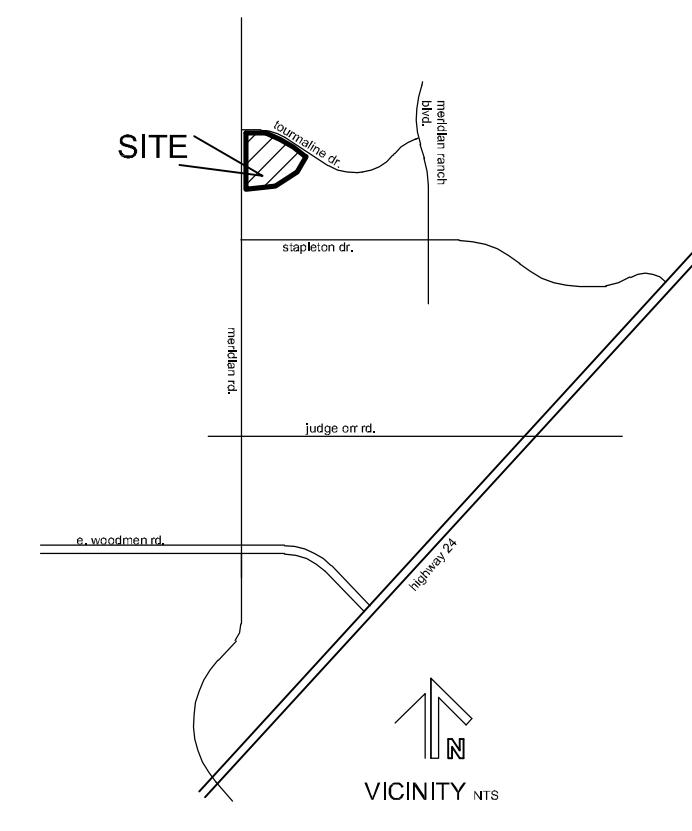
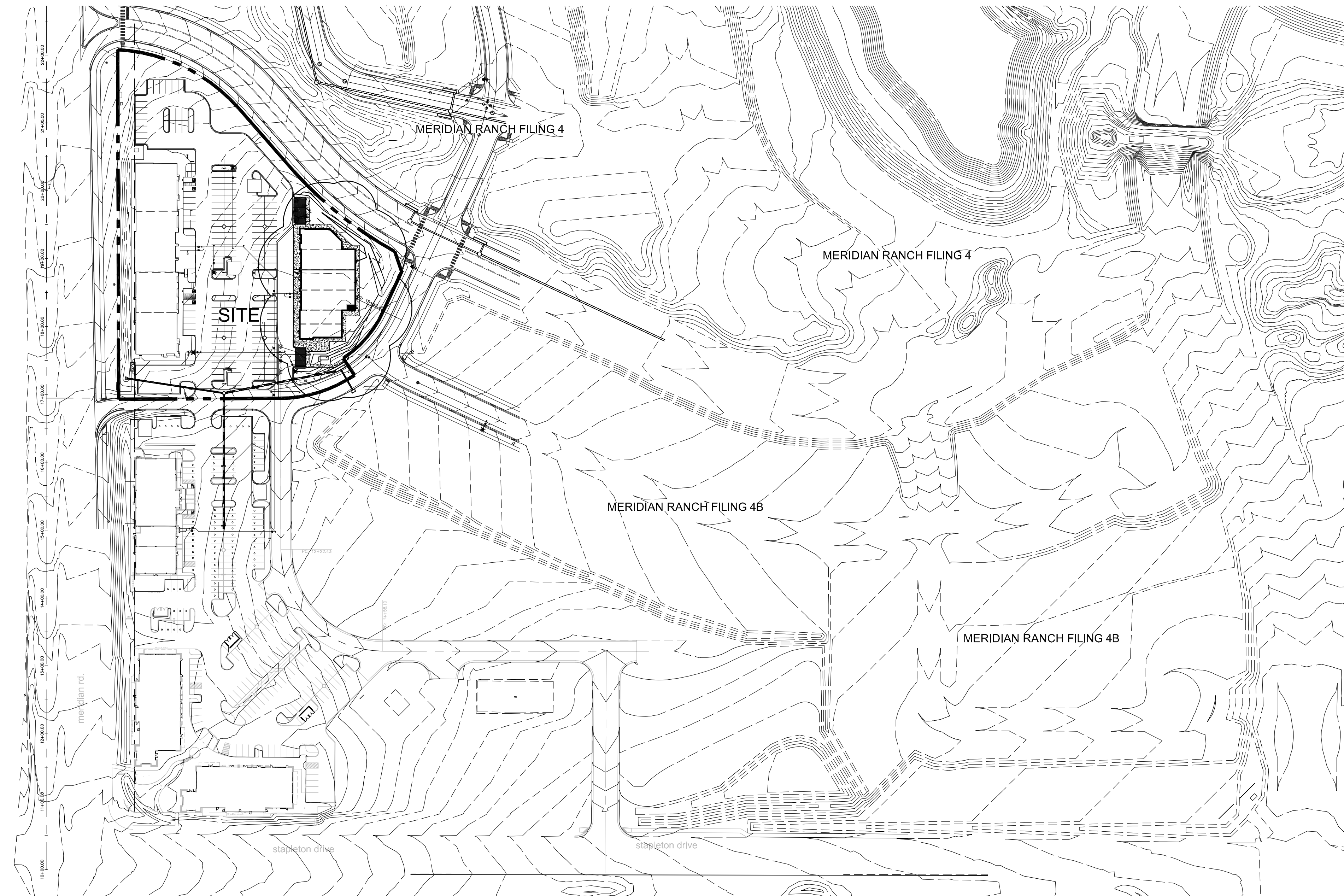


THE SHOP'S AT MERIDIAN RANCH

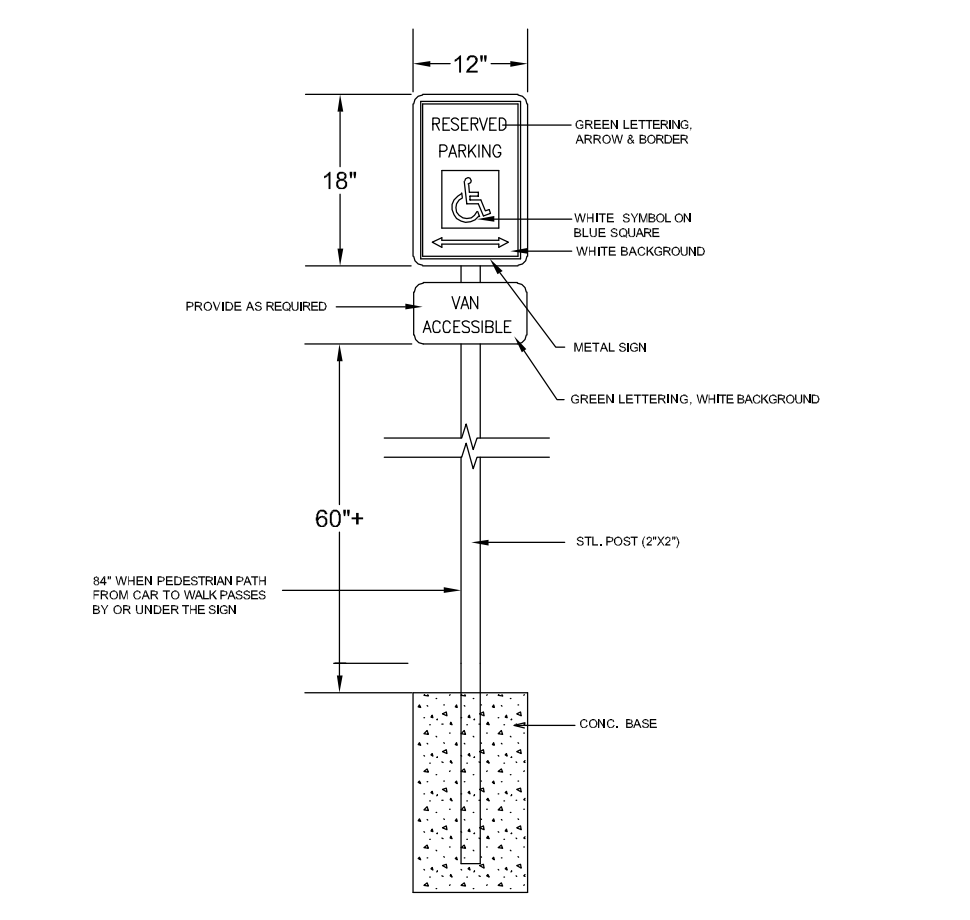
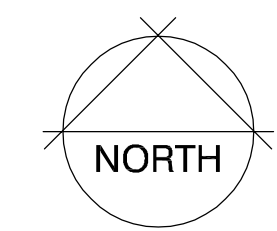
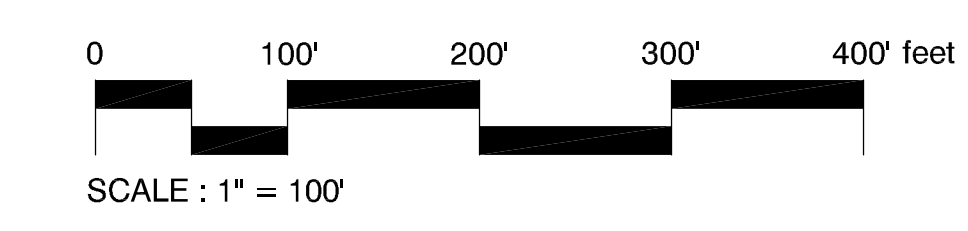
FILING NO. 1, LOT 4
 SITE DEVELOPMENT PLAN
 EL PASO COUNTY, COLORADO.
 FALCON, COLORADO



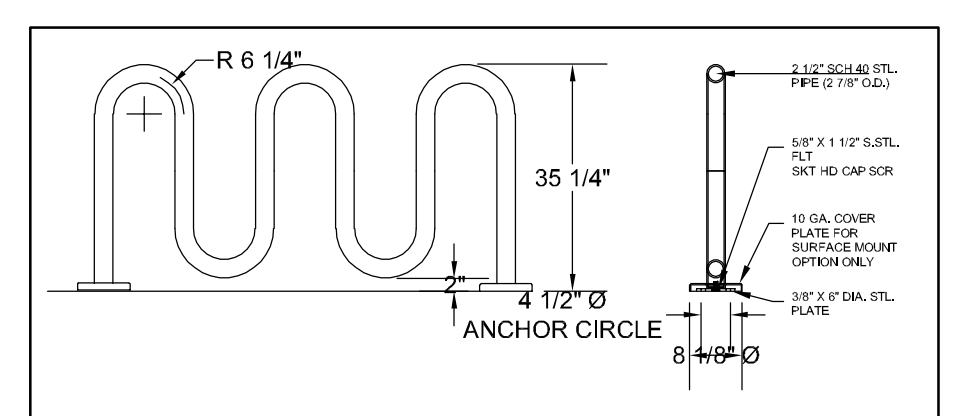
LEGAL:
 THE SHOPS AT MERIDIAN RANCH FILING NO. 1 LOT 4
 SITE DATA

tax schedule no.:	4230319054		
area	3.43ac		
ex zone	n/a		
proposed zone	CR		
ex use	vacant		
proposed use	commercial center		
master plan	Falcon/Peyton Small Area Plan		
development schedule	SPRING 2019		
area	3.43ac		
proposed use	commercial center		
bidg area	29,390sf		
max. bidg height	45'		
prop. bidg height	44'		
bidg setbacks			
front	25'		
side	25'		
rear	25'		
%lot coverage			
bidgs	20% (29,390sf)		
impervious	43% (64,383sf)		
	37% (55,712sf)		
use	retail D commercial center	retail E commercial center	
bidg area	17,450sf	11,398sf	
ratio	1/250sf	1/250sf	
required (incl h/c)	70 (incl 3h/c)	48 (incl 3h/c)	116 TOTAL
provided	95 (incl 4h/c)	47 (incl 3h/c)	142

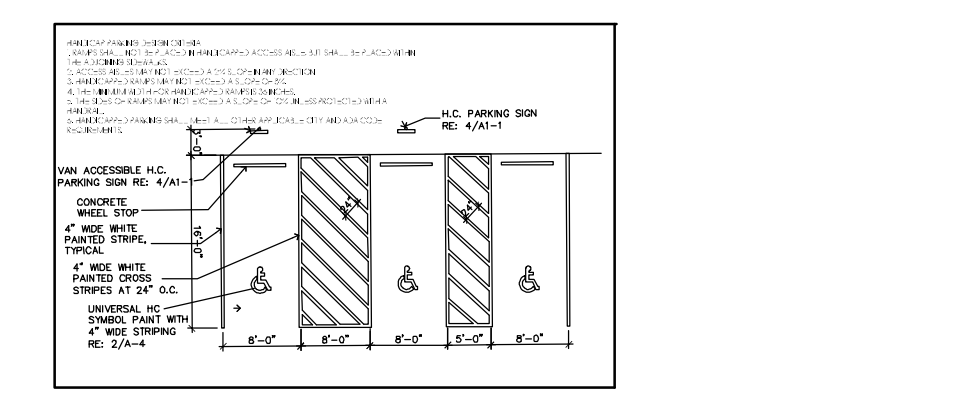
Approved
 By: Craig Dossey, Executive Director
 Date: 04/14/2022
 El Paso County Planning & Community Development



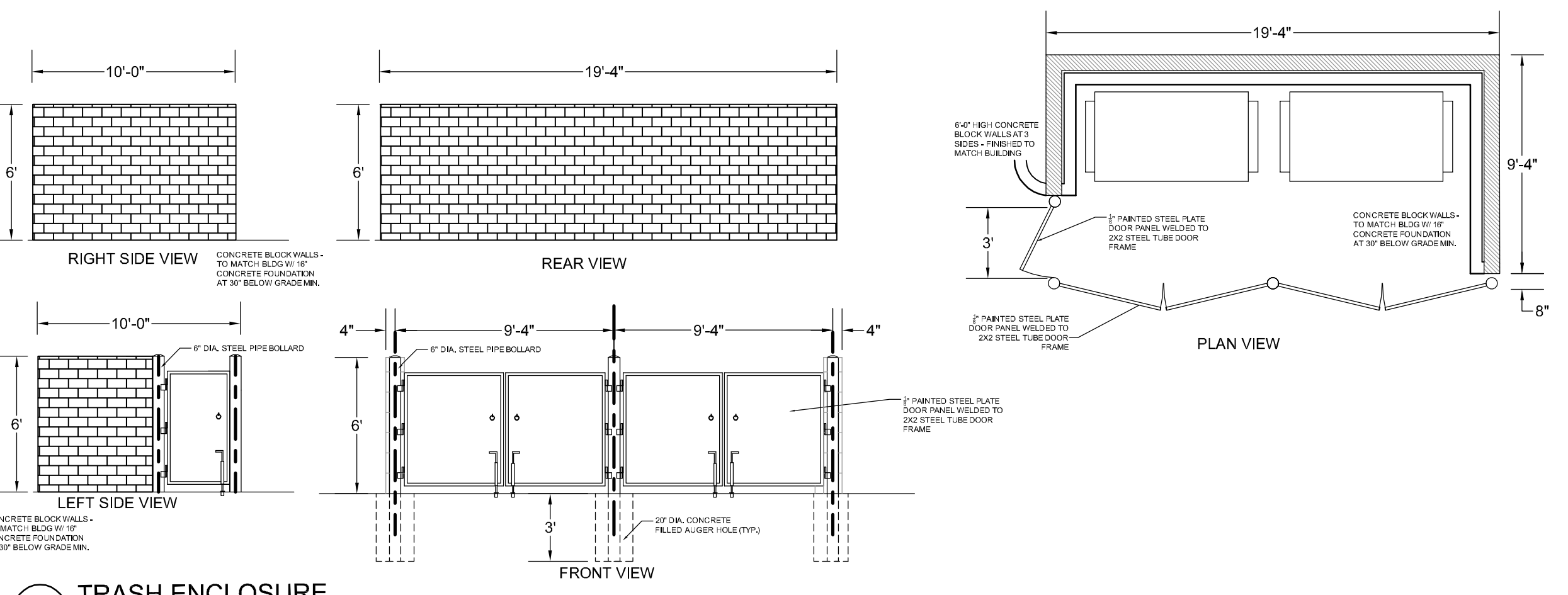
A ACCESSIBLE SIGNAGE DETAIL
 N.T.S.



B BIKE LOOP
 N.T.S.



C TYPICAL HANDICAP PARKING DETAIL
 N.T.S.



D TRASH ENCLOSURE
 N.T.S.

ADA DESIGN PROFESSIONAL STANDARD NOTE:
 The party responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA Design Standards and Guidelines as published by the United States Department of Justice. Approval of this plan by the City of Colorado Springs does not assure compliance with the ADA or any other Federal or State accessibility laws or any regulations or guidelines enacted or promulgated under or with respect to such laws. Sole responsibility for compliance with Federal and State accessibility laws lies with the property owner.

SHEET INDEX

- 1.... Site development plan
- 2.... Landscape plan
- 3.... Landscape details
- 4.... Photometric plan
- 5....
- 6....
- 7....
- 8....

OWNER INFO

company name	SHOPS AT MERIDIAN RANCH LLC
address	P.O. BOX 80036
city/state	SAN DIEGO CA 91238
phone no	

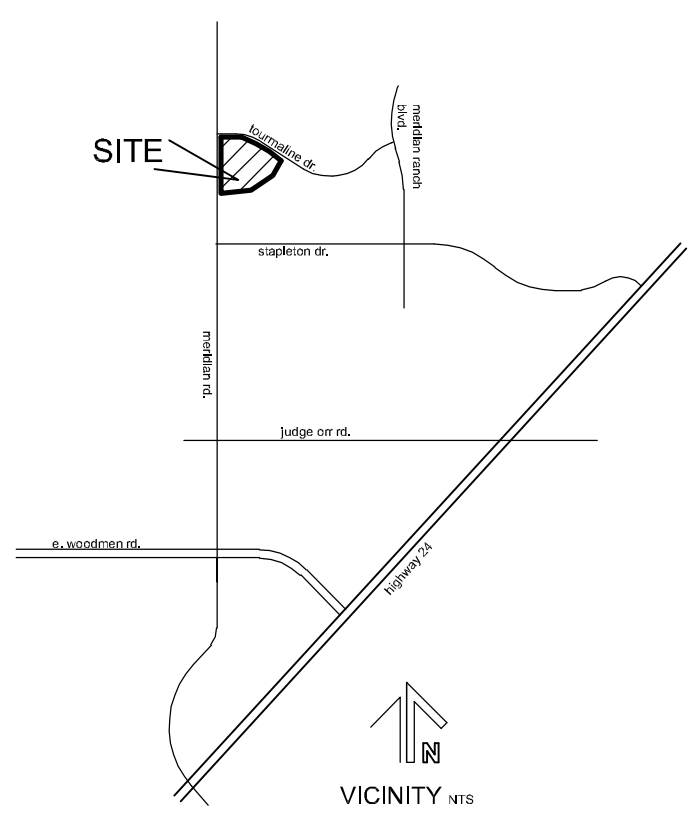
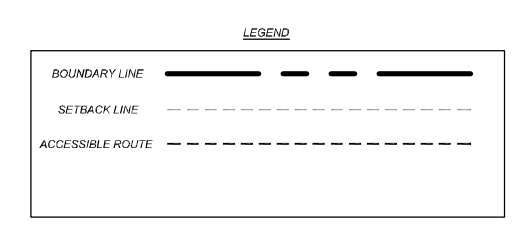
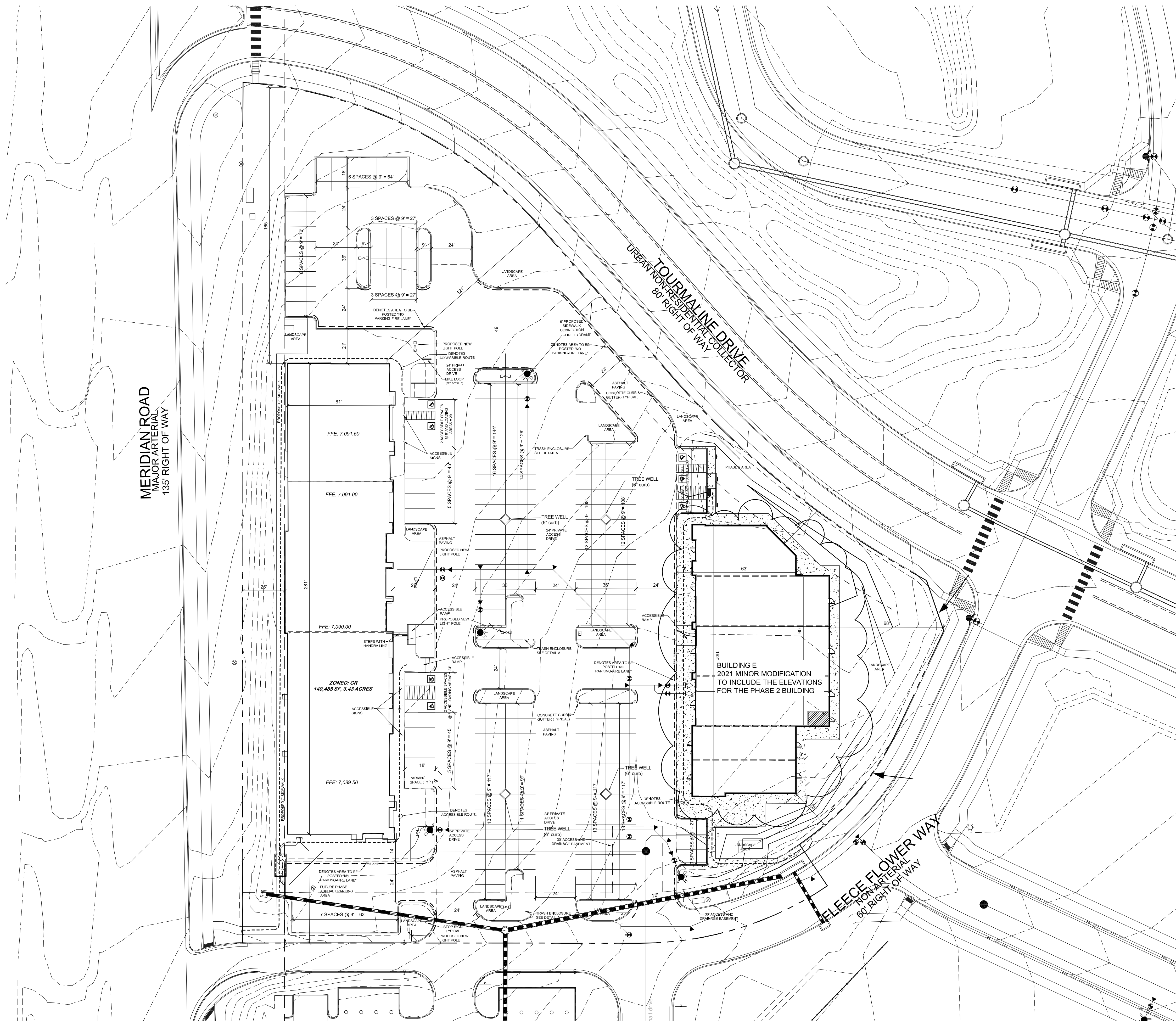
YOW ARCHITECTS PC
 ARCHITECTURE & PLANNING
 115 S. Weber
 Colorado Springs, Colorado 475-8133

Shop's @ Meridian Ranch
 Site Development Plan
 Meridian Road
 Falcon, CO

Proj No.	18-115
Directory	Planning
File	Site development plan 1-18-2022
Drawn By	DBN
Date	6/22/2018
Revised	12/26/2021

COVER
 SITE DEVELOPMENT PLAN

THE SHOP'S AT MERIDIAN RANCH
 FILING NO. 1, LOT 4
 SITE DEVELOPMENT PLAN
 EL PASO COUNTY, COLORADO.
 FALCON, COLORADO



LEGAL:
 THE SHOPS AT MERIDIAN RANCH LOT 4 FILING NO. 1

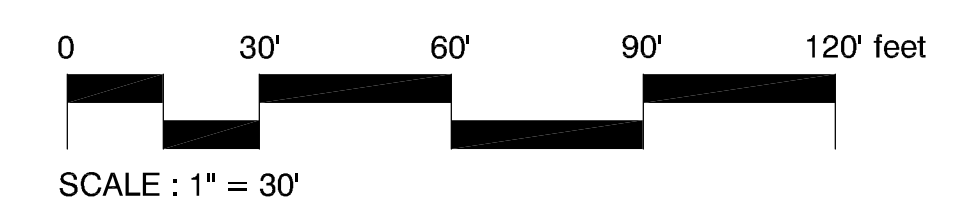
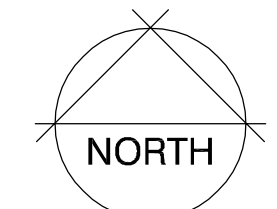
SITE DATA

tax schedule no.:	4230319054
area	3.43ac
ex zone	n/a
proposed zone	CR
ex use	vacant
proposed use	commercial center
master plan development schedule	Falcon/Peyton Small Area Plan SPRING 2019

proposed use	area	3.43ac	commercial center
bldg area	29,390sf		
max. bldg height	45'		
prop. bldg height	44'		
bldg setbacks			
front	25'		
side	25'		
rear	25'		
%lot coverage			
bldgs	20% (29,390sf)		
impervious	43% (64,383sf)		
landscaping	37% (55,712sf)		

PARKING	use	retail D commercial center	retail E commercial center
	bldg area	17,450sf	11,398sf
	ratio	1/250sf	1/250sf
	required (incl h/v)	70 (incl 3h/v)	46 (incl 3h/v)
	provided	99 (incl 5h/v)	47 (incl 3h/v)
	TOTAL	116	146

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.



OWNER INFO

company name	SHOPS AT MERIDIAN RANCH LLC
address	P.O. BOX 80036
city/state	SAN DIEGO CA 91238
phone no	



YOW ARCHITECTS PC
 ARCHITECTURE & PLANNING
 115 S. Weber
 Colorado Springs, Colorado 475-8133

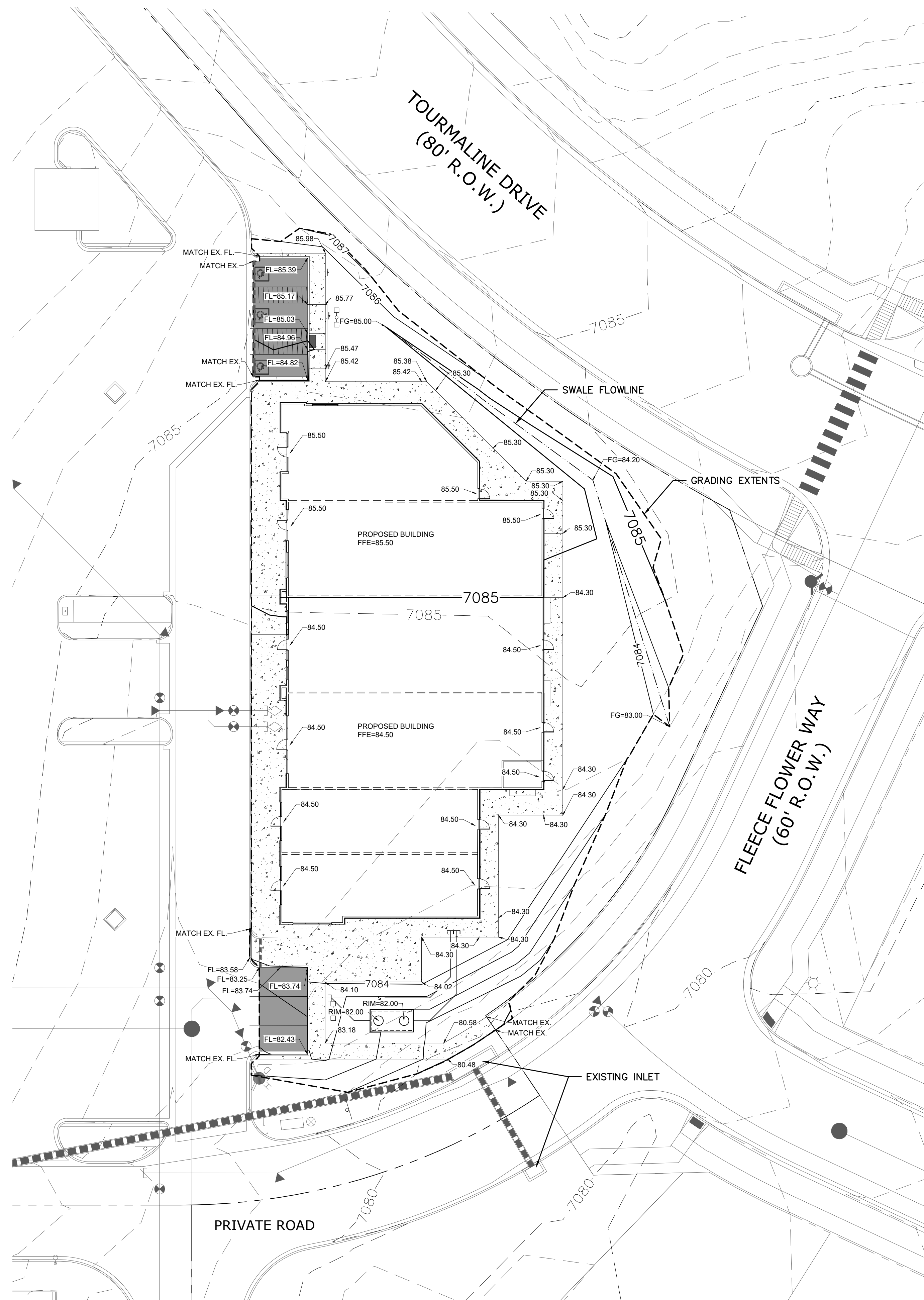
Structural: _____
 Electrical: _____
 Mechanical: _____
 Plumbing: _____

Shop's @ Meridian Ranch
 Site Development Plan
 Meridian Road
 Falcon, CO

JOB No. 16-110
 Directory Planning
 File Site Development plan 1-10-2018
 Drawn By DIB
 Date 6/22/2018
 Revised 12/20/2021

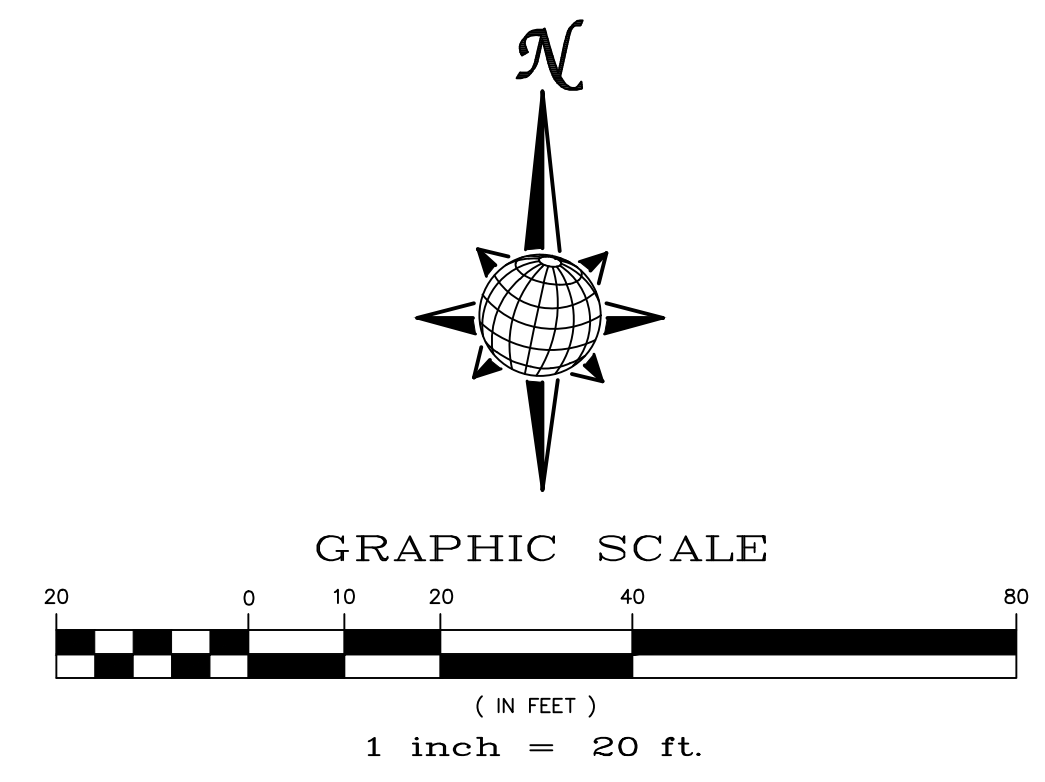
DRAWING NO.
1
 SITE DEVELOPMENT PLAN

S:\OneDrive\Civil\Proj\Shops Phase 2\DWG\Plan Sheets\Improvement Plans\THE SHOPS LOT 4 BLDG E CIVIL PLANS.dwg, 1/5/2022 7:55:36 AM



LEGEND	
	LIMITS OF GRADING
	EXISTING CONTOUR (10')
	EXISTING CONTOUR (2')
	PROPOSED CONTOUR (10')
	PROPOSED CONTOUR (2')

- NOTES:**
- ALL ELEVATIONS ARE SIDEWALK UNLESS NOTED OTHERWISE.
 - ADD 7000 FT. TO ALL SPOT ELEVATIONS.
 - ALL CONTOURS SHOWN ARE FINISHED SURFACE.
 - REFER TO THE "SUBSURFACE SOIL INVESTIGATION, THE SHOPS AT MERIDIAN RANCH FILING NO. 1, LOT 4) PREPARED BY ENTECH ENGINEERING INC. OCTOBER 9, 2018".
 - APPROXIMATELY 160 CU. YDS. OF EXPORT. EXPORT QUANTITIES TO BE FIELD VERIFIED AT TIME OF EXPORT.
- TP = TOP OF PAVEMENT
 SW = SIDEWALK
 FG = FINISHED GRADE
 RIM = RIM ELEVATION
 FFE = FINISHED FLOOR ELEVATION
 TG = TOP OF GRATE
 EX = EXISTING



TWO WORKING DAYS BEFORE YOU DIG CALL 811
 OR
 UTILITY NOTIFICATION CENTER OF COLORADO
 1-800-922-1987
 (SEE COVER FOR LIST OF UTILITY CONTACTS)

Scale		Drawn by		Checked by		Date	
AS SHOWN	LOG	LOG	TAK	TAK	TAK	JANUARY 2022	JANUARY 2022
SHEET C-50		AS SHOWN		SHEET C-50		SHEET C-50	
LOT 4 BLDG E, THE SHOPS AT MERIDIAN RANCH FILING NO. 1 SITE CONSTRUCTION DOCUMENTS GRADING PLAN				TECH CONTRACTORS 11886 STAPLETON DRIVE FALCON, CO 80831 TELEPHONE: 719.495.7444 FAX: 719.495.2457			
MERIDIAN RANCH				Revisions			
				No.		Date	
				1		Date	
				2		Date	
				3		Date	
				4		Date	

THE SHOP'S AT MERIDIAN RANCH

FILING NO. 1, LOT 4
LANDSCAPE PLAN
EL PASO COUNTY, COLORADO.
FALCON, COLORADO

INSTALLATION PHASING AND MAINTENANCE GUIDE

KEYED NOTES: (not all items labeled. Items labeled considered typ.)

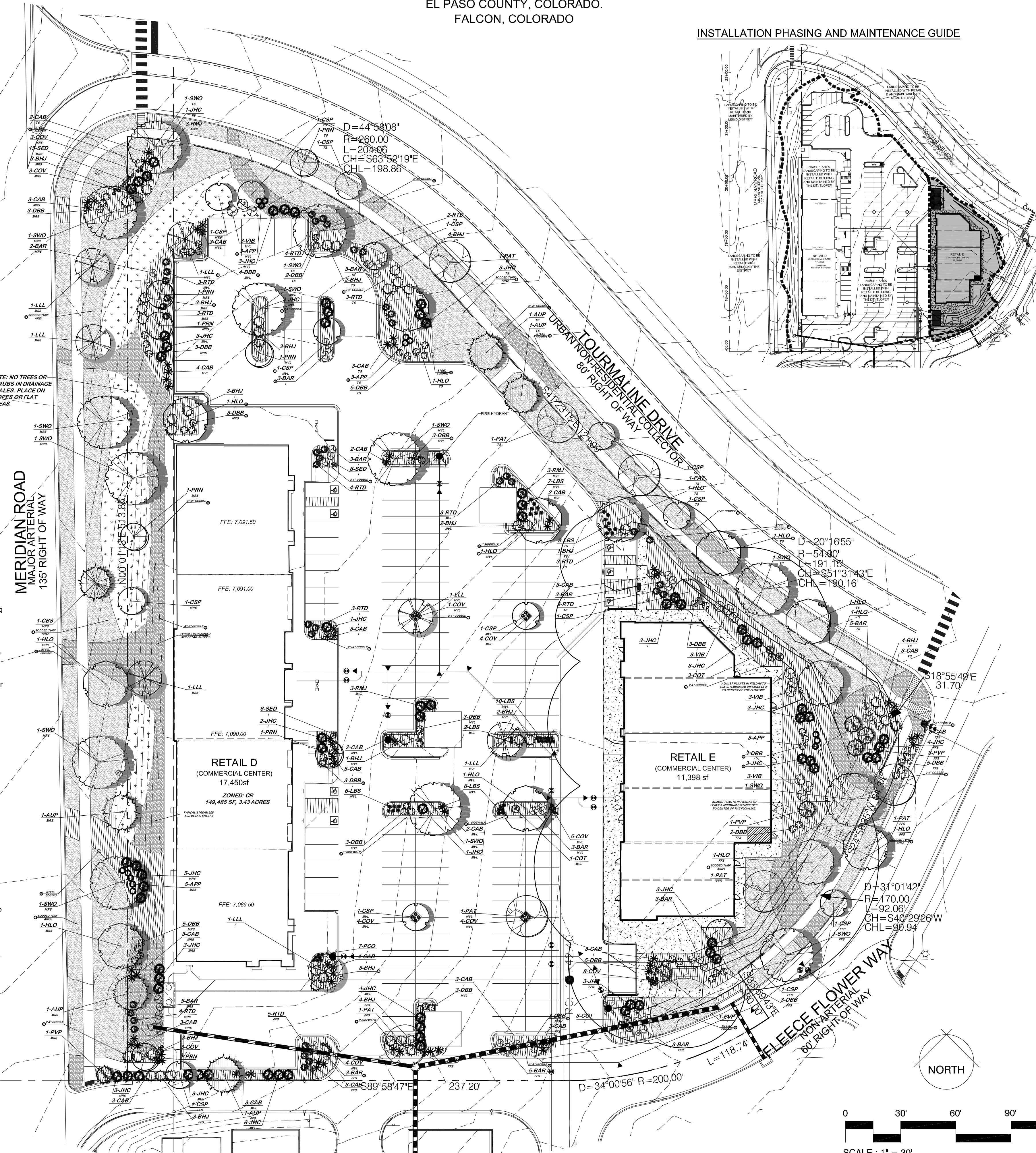
- 1 TYPICAL DECIDUOUS TREE PLANTING
- see detail 02-2
- 2 TYPICAL EVERGREEN TREE PLANTING
- see detail 02-2
- 3 TYPICAL SHRUB PLANTING
- see detail 02-2
- 4 TYPICAL GROUND COVER/PERENNIAL PLANTING
- see detail 02-2
- 5 LANDSCAPE BOULDER
- see detail 02-2
- 6 STEEL EDGE
- see detail 02-2
- 7 2" 4" BLUE GREY GRAVEL MULCH
- 8 ORGANIC MULCH
- 9 4" 8" COBBLE
- 10 COMPACTED BREEZE
- 11 TURF LAWN AREA (THERMAL BLUE BLEND)
- see landscape notes for required amendments
- 12 1'-0" WIDE CONCRETE WALK, DOWEL INTO BACK OF CURB EVERY 24" O.C.

HATCH LEGEND

- TURF 23,771 sf
NATURALLY BLUE GRASS
(THERMAL BLUE BLEND)
- 4" 8" COBBLE 9,495 sf
- 2" 4" COBBLE 16,603 sf
- NATIVE SEED MIX 6,615 sf
15% Western Wheatgrass
15% Big Bluestem
15% Thickspike Wheat Grass
10% Sideoats Grama
15% Little Bluestem
15% Blue Grama
15% Annual Ryegrass
Application Rate: Native Grass Mix-
3lbs/1000sf or 130lbs/ac
Application Method: Drill Seed with
hydromulch and tackifier

GENERAL LANDSCAPE NOTES:

1. PLANT QUANTITY AND SUBSTITUTION: In case of discrepancy in plant quantities shown on the plant table and those shown on the planting plan, the quantities shown on the planting plan shall govern. The minimum acceptable sizes of plants measured before pruning shall conform to the planting sizes as specified in the planting table. Any substitution of plant size or species must be submitted to the Landscape Architect in writing for approval prior to installation.
2. ACCEPTABLE PLANT MATERIAL: All plants shall meet or exceed standards set by the "COLORADO NURSERY ASSOCIATION" and the "AMERICAN STANDARD OF NURSERY STOCK". All plants shall be typical of their species, healthy, free of disease, insect pests, mechanical injuries, and have adequate root systems. Trees shall be fully branched in proportion to width and height and have a relatively straight trunk with a central leader. The contractor shall prune lower branches of deciduous trees to 6 feet above finish grade. All trees, shrubs, and ground covers shall be installed per planting details. All plant material shall be inspected by the Landscape Architect or owner prior to installation.
3. SOIL AMENDMENTS: All planting areas and turf areas shall be amended as follows:
- 3 cubic yards per 1000 sq. ft. of well-composted aged manure or premium compost.
RECOMMENDED SOIL AMENDMENT:
TRI-MIX III as supplied by C&C Sand
-To be applied as backfill in planting pits
ALL AMENDED AREAS SHALL BE TILLED TO A DEPTH OF 4" PRIOR TO PLANTING.
4. SEEDED AREAS: All seeded or hydromulched areas shall demonstrate 95% germination prior to final acceptance.
5. IRRIGATION: All trees, shrubs, and ground covers shall be irrigated by an automatic drip or spray irrigation system equipped with a rain sensor or shutoff device. All turf areas to be irrigated by underground, automatic irrigation system also equipped with a rain sensor automatic shutoff device.
6. INORGANIC MULCH: The type of inorganic mulch as specified within the KEYED NOTES on the landscape plan shall be applied at a standard depth of 3"-4" over geo-textile filter fabric. Filter fabric shall be min. 4 oz. woven needle punched polypropylene (dewitt or equivalent). Overlap ends 3", turn down edges 6".
7. STEEL EDGE: All edger shall be 3/16" x 4" RYERSON or PRO STEEL EDGER with 16" stakes at 30" O.C., color shall be green.
8. INSPECTION AND APPROVAL: The Landscape Architect shall be notified at least 48 hours prior to client seeking certificate of occupancy for FINAL LANDSCAPE INSPECTION.
9. Any field changes or deviations to these plans without prior City Approval of an Amended Development Plan may result in a delay of final approval and issuance of a Certificate of Occupancy.
10. GENERAL AREAS OF DISTURBANCE: ANY AREAS OF CONSTRUCTION DISTURBANCE NOT SHOWN AS LANDSCAPED ARE TO BE RE-VEGETATED AND/OR OVERSEED AS REQUIRED.
11. PLANTS SHALL BE WARRANTED FOR THE DURATION OF ONE FULL YEAR AFTER THE INSTALLATION (WARRANTY SHALL COVER 100% OF THE REPLACEMENT COST).
12. ALL SHRUB AND TREE PLANTER BEDS TO RECEIVE 3" DEEP 1/2" BLUE GREY COBBLE MULCH UNLESS OTHERWISE SPECIFIED. ALL TREES WITH SOD AREAS SHALL RECEIVE A 60" DIAMETER SHREDDED CEDAR MULCH RING. ROCK AND SHREDDED CEDAR MULCH IS AVAILABLE FROM C&C SAND AND STONE. ALL ROCK MULCH SHALL BE PLACED OVER GEOTEXTILE FILTER FABRIC FOR WEED CONTROL AND SHALL BE POLYSPUN 550, 3.5 OUNCES/SQUARE YARD OR APPROVED EQUAL. SUBMIT ROCK MULCH, WOOD MULCH, AND FABRIC SAMPLES & PRODUCT INFORMATION TO OWNER FOR APPROVAL PRIOR TO INSTALLATION.
13. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL PLANT MATERIAL SHOWN ON THIS PLAN. IF ANY DISCREPANCIES ARE FOUND BETWEEN THE LANDSCAPE PLAN AND THE PLANT SCHEDULE, THE QUANTITIES SHOWN ON THE LANDSCAPE PLAN SUPERSEDE THOSE SHOWN ON THE PLANT SCHEDULE.



SITE CATEGORY CALCULATIONS

LANDSCAPE SETBACKS											
Plant Label	Street Name / Zone Boundary	Street Classification	Width (ft)	Linear Footage	Tree / Plant	No. Trees	Required	Provided			
MRS	Meridian Road Setback	Major-Arterial	25'	513'	120'	26	18				
TS	Tourmaline Setback	Minor-Arterial	20'	502'	120'	21	19				
FFS	Fleecie Flower Setback	Minor-Arterial	10'	525'	120'	18	13				
	Shrub Substitutions	On-Grass			% Ground Plane Veg.						
	Required	Provided	Required	Provided	Required	Provided					
	80	70	20	21	MRS	80%	80%				
	30	42	38	36	TS	75%	80%				
	50	41	19	19	FFS	75%	80%				
MOTOR VEHICLE LOTS											
Plant Label	No. of Vehicle Spaces Provided	Shade Trees (1/10) Required	Vehicle Lot Footage (including driveway)	Length of Frontage (ft)	% Length of Frontage (ft)						
MVL	172	12	191'	191'	100%						
	Min 3' Screen Plants	Evergreen Plants	Length of Screening	Vehicle Lot Front Adj.	% Ground Plane Veg.						
	Required	Provided	Required	Provided	Required	Provided					
	26	40	13	14	n/a	MVL	75%	75%			
INTERNAL LANDSCAPING											
Plant Label	Net Site Area (SF)	Percent Minimum (Trees Public ROW)	Internal Area (SF)	Internal Trees (1/100 SF)	Required	Provided					
I	149,485 SF	5%	7,474 SF	58,484 SF	18	7					
	Shrub Substitutions	On-Grass	Internal Area Adj.	% Ground Plane Veg.	Required	Provided					
	Required	Provided	Required	Provided	Required	Provided					
	80	80	10	94	7	75%	75%				

LANDSCAPE PLANT SCHEDULE

SYMBOL	QUANTITY	SCIENTIFIC NAME	COMMON NAME	MATURE SIZE	PLANTING SIZE	NOTES
DECIDUOUS TREES						
PAT	7	<i>Fraxinus pennsylvanica</i>	Palmetto Green Ash	50' x 40'	2" Caliper	Ball and Burlap
HLO	12	<i>Gleditsia triacanthos</i>	Shiny Honeylocust	40' x 30'	2" Caliper	Ball and Burlap
SWO	12	<i>Quercus laevis</i>	Swamp White Oak	40' x 50'	2" Caliper	Ball and Burlap
LLL	7	<i>Thea cordata 'Ole-Neva'</i>	Glenlivet Linden	45' x 25'	2" Caliper	Ball and Burlap
		<i>Cleome integrifolia 'Clematis'</i>	Cleopatra Select Pear	35' x 15'	2" Caliper	Ball and Burlap
EVERGREEN TREES						
AUP	2	<i>Pinus strobus</i>	Austrian Pine	50' x 30'	10" Height	Ball and Burlap
CBS	1	<i>Pinus jeffersonii</i>	Colorado Blue Spruce	60' x 25'	10" Height	Ball and Burlap
		<i>Pinus resinosa</i>	Vanderwolf Pine	30' x 15'	8" Height	Ball and Burlap
ORNAMENTAL TREES						
PKW	1	<i>Prunella nigra</i>	Princess Kay Plum	18' x 12'	1" Caliper	Ball and Burlap
DECIDUOUS SHRUBS						
DBB	84	<i>Euonymus alatus</i>	Scrub Burning Bush	5' x 4'	5 Gallon	Container
RTD	43	<i>Cornus alba</i>	Rocky Dogwood	6' x 5'	5 Gallon	Container
VB	12	<i>Viburnum lentago</i>	Norway Viburnum	9' x 7'	5 Gallon	Container
BAR	39	<i>Berberis thunbergii</i>	Redleaf Barberry	9' x 5'	5 Gallon	Container
APP	14	<i>Fallugia japonica</i>	Abasco Flame	3' x 2'	5 Gallon	Container
COT	6	<i>Cotoneaster depressus</i>	Secretary Cotoneaster	1' x 2'	1 Gallon	Container
EVERGREEN SHRUBS						
RMJ	9	<i>Juniperus scopulorum</i>	Rocky Mountain Juniper	12' x 4'	15 Gallon	Container
BMJ	41	<i>Juniperus horizontalis</i>	Blue Mound Juniper	1' x 2'	1 Gallon	Container
JMC	60	<i>Juniperus chinensis</i>	Arising Juniper	1' x 2'	5 Gallon	Container
ORNAMENTAL GRASSES						
CAB	70	<i>Miscanthus sinensis</i>	Cabaret Joazeiro Silver Grass	3' x 4'	1 Gallon	Container
COV	42	<i>Calamagrostis canadensis</i>	Canadian Feather Reed Grass	2' x 2'	1 Gallon	Container
JBS	40	<i>Sorghastrum nutans</i>	Little Bluestem	1' x 2'	1 Gallon	Container
FLOWERS						
SED	27	<i>Sedum spectabile</i>	Dragon's Blood	1' x 1'	1 Gallon	Container
PCO	7	<i>Echinacea purpurea</i>	Purple Coneflower	2' x 2'	1 Gallon	Container

IRRIGATION SUBMITTAL

- A Final Irrigation Plan application is due at time of the (core and shell) building Permit.
Submittal Requirements:
1. An irrigation plan shall be submitted at the time of building permit application and approved within thirty (30) days subsequent to building permit issuance or prior to issuance of a certificate of occupancy, whichever comes first.
 2. Upon request by the applicant, an irrigation plan shall be submitted within ninety (90) days subsequent to building permit issuance and approved prior to the installation of any irrigation components and prior to issuance of a certificate of occupancy.
 3. In the case of the conversion of vacant land to nonresidential use that does not involve the construction of a structure, an irrigation plan shall be submitted and approved concurrent with development plan review and approval.
 4. The irrigation plan shall graphically and through notes depict a water efficient design consistent with the landscape and grading plans.
 5. The irrigation plan shall show and note hydrozones. The hydrozones shall take into account like water demand plants, slopes, microclimates, environmental factors, and water pressure.
 6. Irrigation systems shall conform to the irrigation standards and all other provisions of the Landscape Code and landscape policy manual.



YOW ARCHITECTS PC
ARCHITECTURE & PLANNING
115 S. Weber
Colorado Springs, Colorado 475-8133

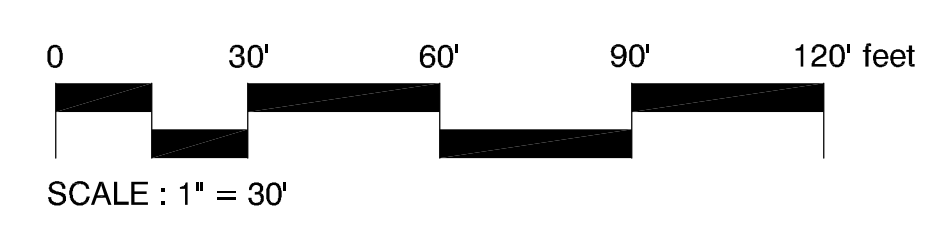
Shop's @ Meridian Ranch
Site Development Plan
Meridian Road
Falcon, CO

Job No. 18115
Owner: L&W
File: Site development plan 1-18-2002
Drawn By: DBN
Date: 6/22/018
Revised: 12/20/201

DRAWING NO.
2
LANDSCAPE PLAN

OWNER INFO

company name SHOPS AT MERIDIAN RANCH LLC
address P.O. BOX 80036
city/state SAN DIEGO CA 91288
phone no

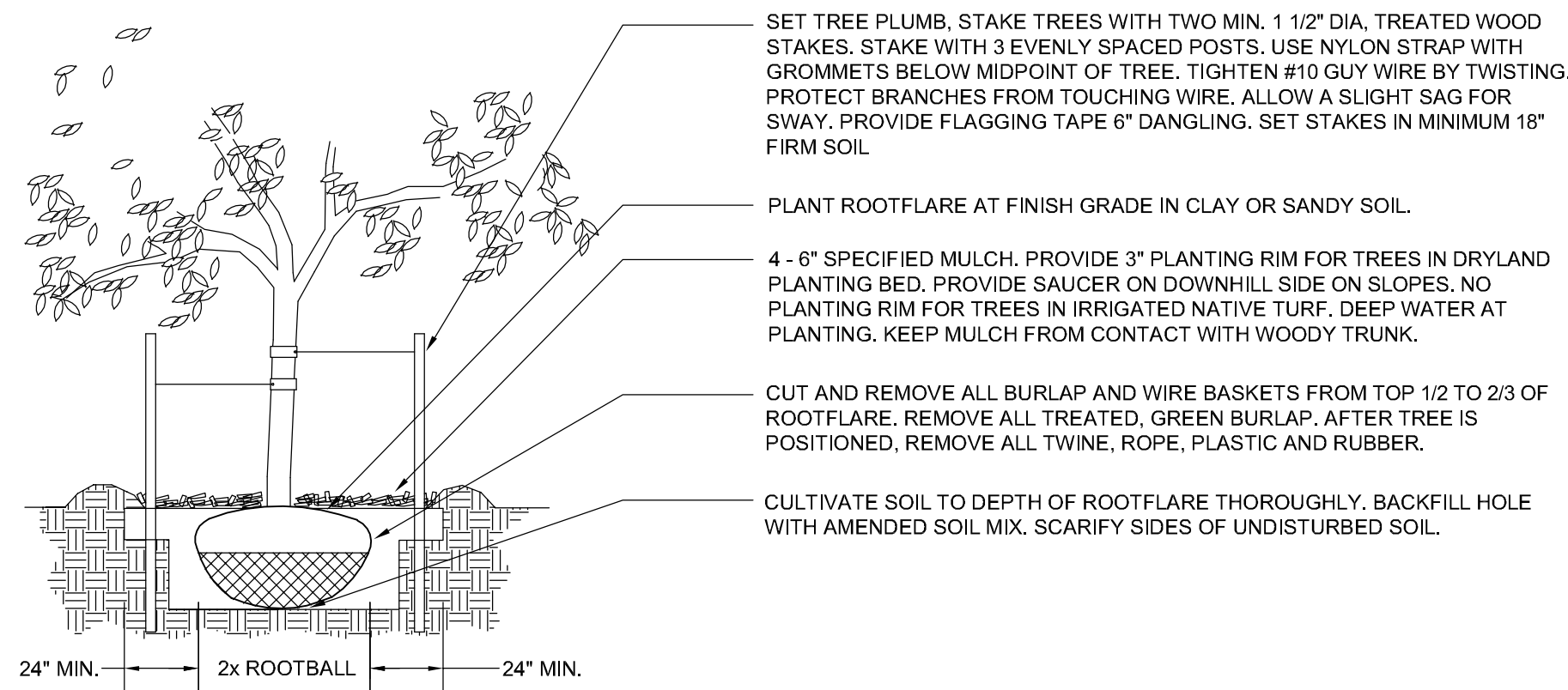


THE SHOP'S AT MERIDIAN RANCH

LANDSCAPE DETAILS

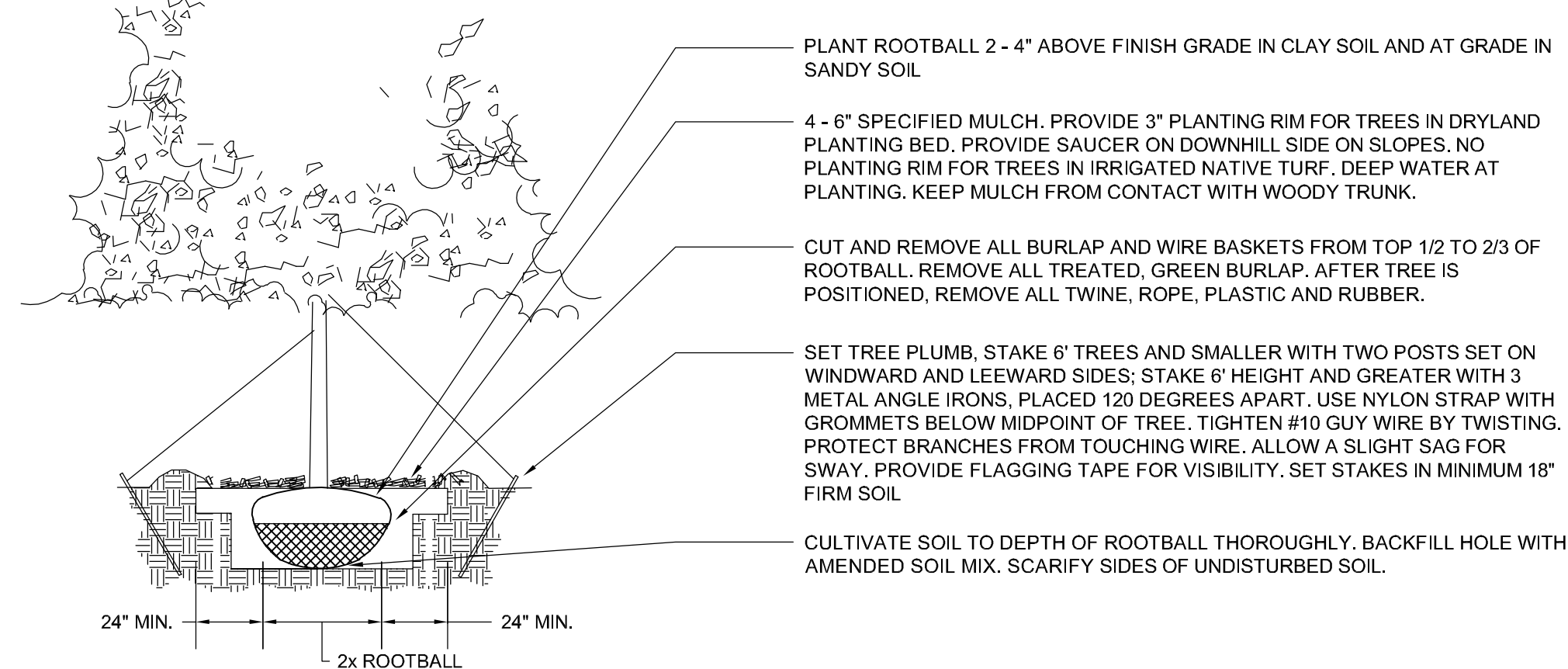
EL PASO COUNTY, COLORADO.
FALCON, COLORADO

- NOTES:
- DO NOT REMOVE OR CUT LEADER.
 - PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
 - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 - AMENDED BACKFILL SHALL BE 80% SOIL FROM PLANTING PIT AND 20% ORGANIC MATERIAL, PREFERABLY CANADIAN PEAT MOSS.
 - STAKING POST SHALL BE 1 1/2" DIA. TREATED WOOD STAKE. METAL POST WILL NOT BE APPROVED.



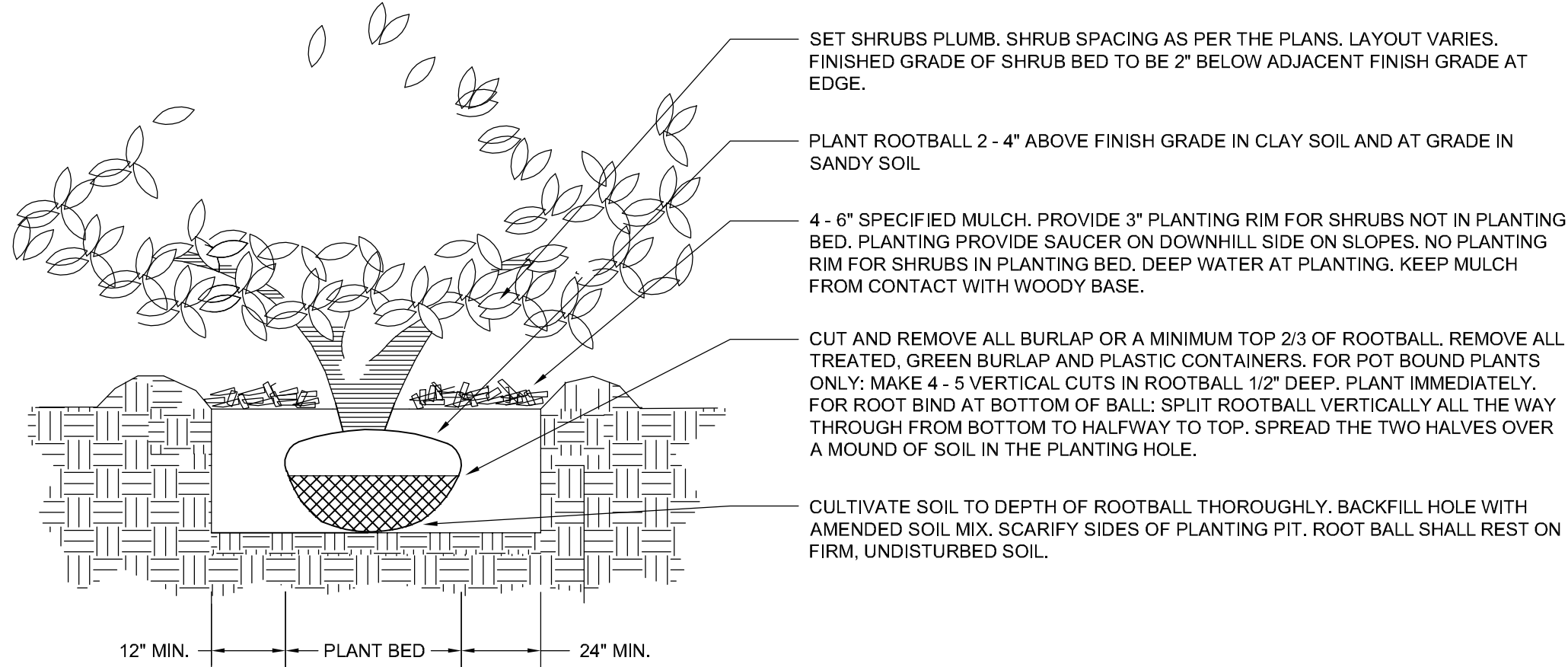
a DECIDUOUS TREE PLANTING DETAIL
2-8 N.T.S.

- NOTES:
- DO NOT REMOVE OR CUT LEADER.
 - PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
 - REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE.
 - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 - AVOID FALL PLANTING IF POSSIBLE.
 - AMENDED BACKFILL SHALL BE 70% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL, PREFERABLY CANADIAN PEAT MOSS.

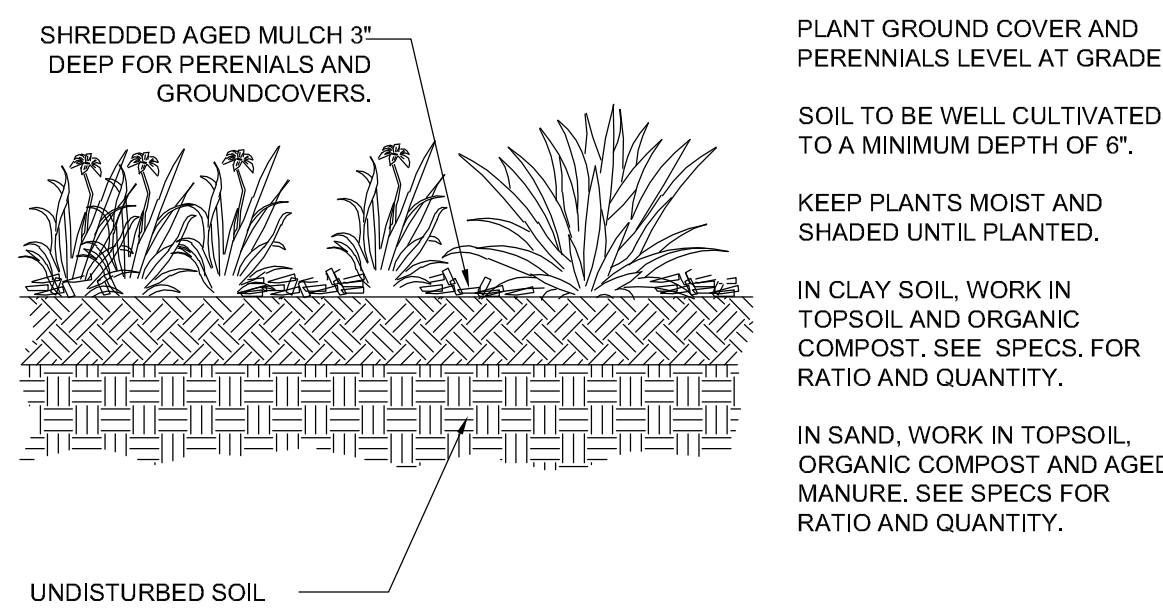


b EVERGREEN TREE PLANTING DETAIL
2-8 N.T.S.

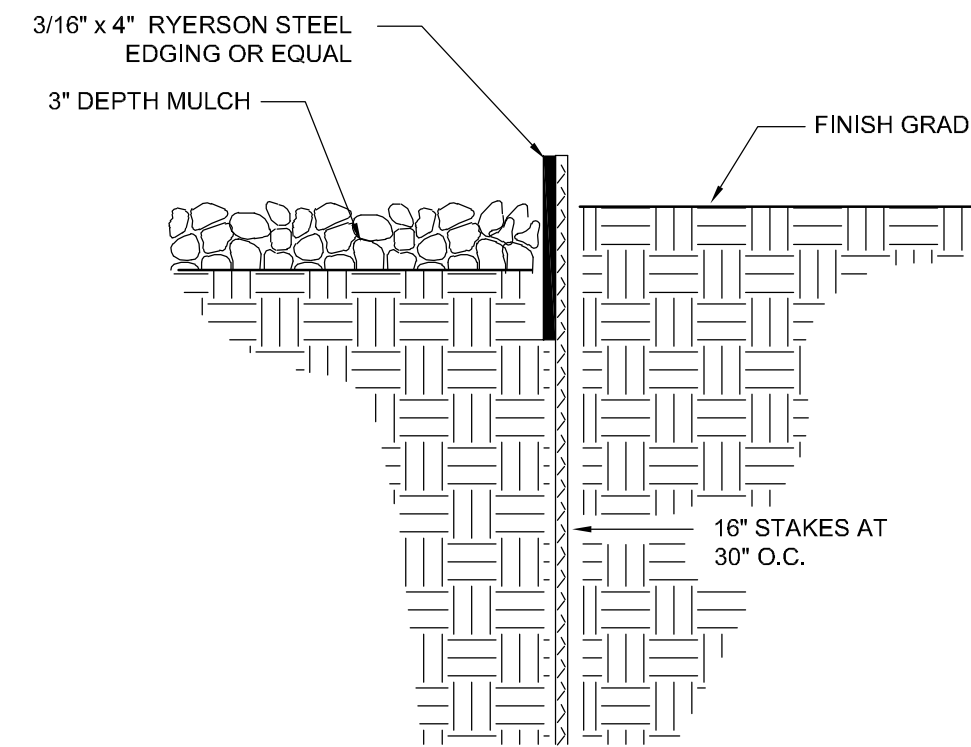
- NOTES:
- PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
 - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 - DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
 - AMENDED BACKFILL SHALL BE 70% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL, PREFERABLY CANADIAN PEAT MOSS.



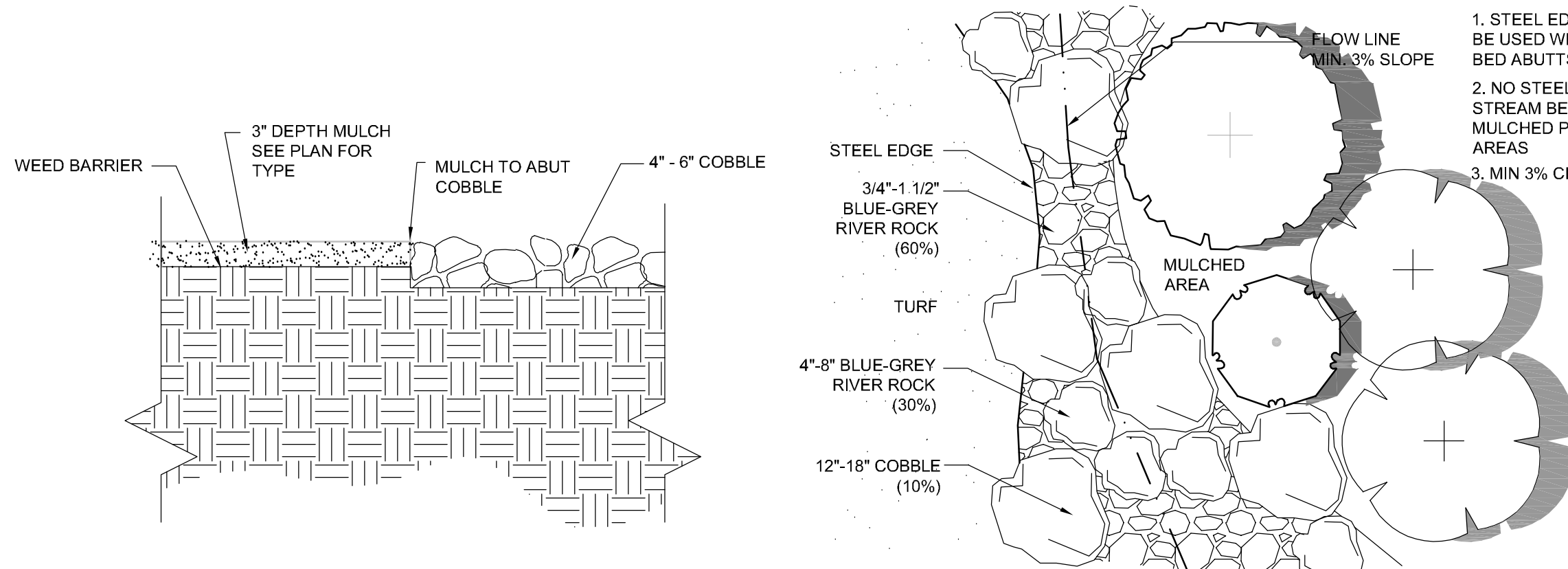
c SHRUB PLANTING DETAIL
2-8 N.T.S.



d PERENNIAL/GROUND COVER PLANTING DETAIL
2-8 N.T.S.

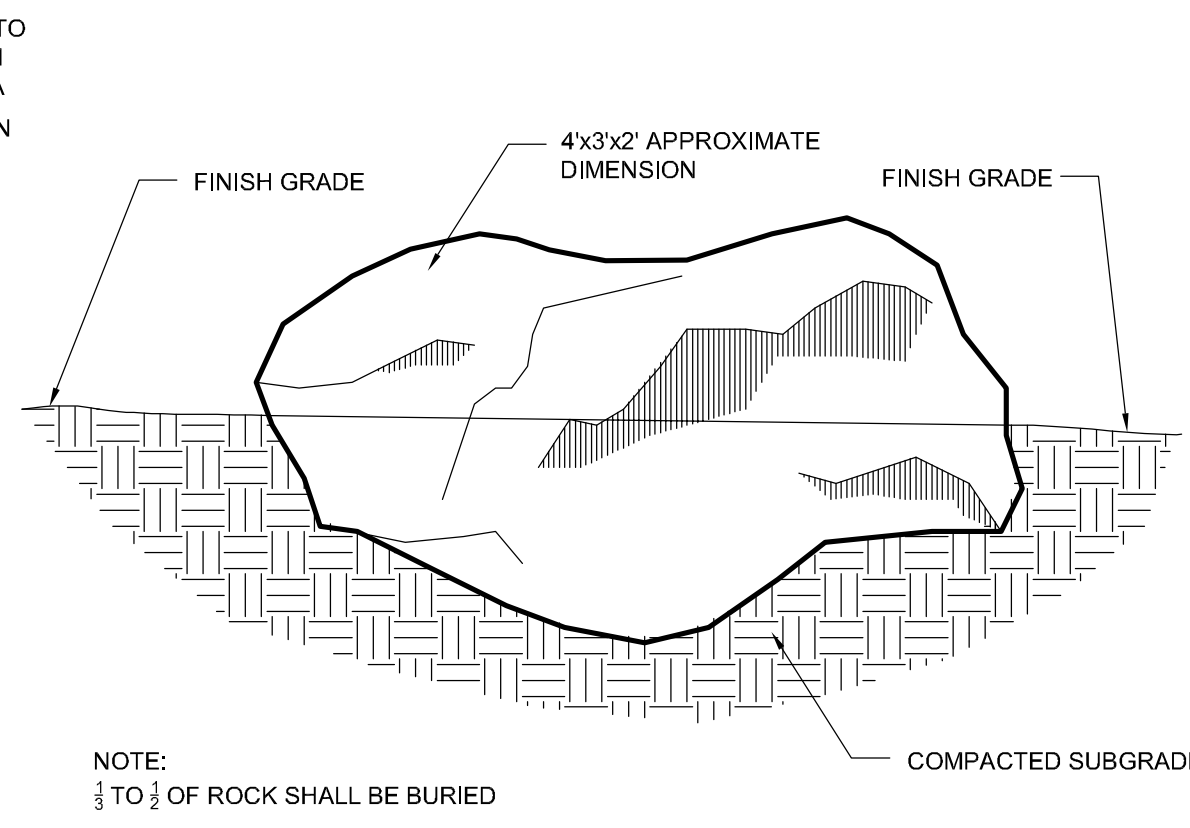


e STEEL EDGE DETAIL
2-8 N.T.S.



f COBBLE @ MULCH
2-8 N.T.S.

g TYPICAL STREAM BED
2-8 N.T.S.



h LANDSCAPE BOULDER
2-8 N.T.S.

GENERAL LANDSCAPE NOTES:

- PLANT QUANTITY AND SUBSTITUTION: In case of discrepancy in plant quantities shown on the plant table and those shown on the planting plan, the quantities shown on the planting plan shall govern. The minimum acceptable sizes of plants measured before pruning shall conform to the planting sizes as specified in the planting table. Any substitution of plant size or species must be submitted to the Landscape Architect in writing for approval prior to installation.
- ACCEPTABLE PLANT MATERIAL: All plants shall meet or exceed standards set by the "COLORADO NURSERY ASSOCIATION," and the "AMERICAN STANDARD OF NURSERY STOCK". All plants shall be typical of their species, healthy, free of disease, insect pests, mechanical injuries, and have adequate root systems. Trees shall be fully branched in proportion to width and height and have a relatively straight trunk with a central leader. The contractor shall prune lower branches of deciduous trees to 6 feet above finish grade. All trees, shrubs, and ground covers shall be installed per planting details. All plant material shall be inspected by the Landscape Architect or owner prior to installation.
- SOIL AMENDMENTS: All planting areas and turf areas shall be amended as follows:
 - 3 cubic yards per 1000 s.f. of a mixture of aged manure and top soil to increase organic matter.
 - 2.3 lbs per 1000 s.f. of Sulfur every 4-6 weeks or peat moss (1-3 cy/1000sf) to lower the pH.
 - 3 lbs per 1,000 s.f. of Nitrate for every 0.1 lb of N apply 1/2 lb urea or 1/2 lb of ammonium sulfate.
 - 3 lbs of P205 per 1,000 sf to increase the Phosphorus
 - 2 lbs of K20 per 1,000 sf to increase the Potassium

- RECOMMENDED BACKFILL:
- TRI-MIX III as supplied by C&C Sand
 - To be applied as backfill in planting pits

- ALL AMENDED AREAS SHALL BE TILLED TO A DEPTH OF 6" PRIOR TO PLANTING.
- SEEDED AREAS: All seeded or hydromulched areas shall demonstrate 95% germination prior to final acceptance.
 - IRRIGATION: All trees, shrubs, and ground covers shall be irrigated by an automatic drip or spray irrigation system equipped with a rain sensor shutoff device. All turf areas to be irrigated by underground, automatic irrigation system also equipped with a rain sensor automatic shutoff device.
 - ORGANIC MULCH: All planting areas for trees, shrubs, groundcovers and ornamental grasses shall be mulched with a (3") depth. A 36" diameter of 3" depth wood mulch shall be provided at base of all trees in turf areas. Mulch shall be fibrous in nature, not chipped or in chunks, and watered in after installation. NO FILTER FABRIC IS TO BE USED UNDER WOOD MULCH.
 - INORGANIC MULCH: The type of inorganic mulch as specified within the KEYED NOTES on the landscape plan shall be applied at a standard depth of 3"-4" over geo-textile filter fabric. Filter fabric shall be min. 4 oz. woven needle punched polypropylene (dewitt or equivalent). Overlap ends 3", turn down edges 6".
 - LANDSCAPE BOULDERS: All landscape boulders shown on plan are to be 10-12 cubic feet minimum, blue grey river rock boulders unless otherwise specified.
 - STEEL EDGE: All edger shall be 3/16" x 4" RYERSON or PRO STEEL EDGER WITH 16" stakes at 30" O.C., color shall be green.
 - INSPECTION AND APPROVAL: Notification for IRRIGATION INSPECTION AFFIDAVIT shall be given during construction while trench is open and after completion of system installation prior to seeding or sodding. The Landscape Architect shall be notified at least 48 hours prior to client seeking certificate of occupancy for FINAL LANDSCAPE INSPECTION AFFIDAVIT.
 - Any field changes or deviations to these plans without prior City Approval of an Amended Development Plan may result in a delay of final approval and issuance of a Certificate of Occupancy.
 - AN IRRIGATION PLAN MUST BE SUBMITTED FOR REVIEW WITHIN 90 DAYS SUBSEQUENT TO RECEIVING THE BUILDING PERMIT. THE PLAN MUST BE APPROVED PRIOR TO THE INSTALLATION OF ANY IRRIGATION COMPONENTS AND/OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY PER CITY OF COLORADO SPRINGS.
 - GENERAL AREAS OF DISTURBANCE: ANY AREAS OF CONSTRUCTION DISTURBANCE NOT SHOWN AS LANDSCAPED ARE TO BE RE-VEGETATED AND/OR OVERSEEDED AS REQUIRED.
 - TREE WELLS: ALL TREES LOCATED IN PAVED BUILDING AREAS OR IN PARKING LOT ISLANDS ARE TO UTILIZE STRUCTURAL SOILS A MINIMUM OF 8'-8" OUTSIDE OF DESIGNATED PLANTING PITS. SOILS SHOULD NOT BE STOCKPILED ON SITE FOR MORE THEN 24HRS. IF STORAGE OF SOIL ON SITE IS NECESSARY PROTECTION OF SOIL IS NEEDED TO MINIMIZE CONTAMINATION.

IRRIGATION NOTES:

- IRRIGATION IS TO BE DESIGN-BUILD. THE IRRIGATION PLAN APPLICATION SUBMITTAL AND APPROVAL MUST BE COMPLETED BEFORE ANY IRRIGATION SYSTEM EQUIPMENT IS INSTALLED. CONTRACTOR TO PROVIDE A FINAL IRRIGATION PLAN, WITH APPLICABLE SUPPORT MATERIAL, SHALL BE SUBMITTED NINETY (90) DAYS SUBSEQUENT TO BUILDING PERMIT ISSUANCE AND APPROVED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- All trees, shrubs, and ground covers shall be irrigated by an automatic drip irrigation system equipped with a rain sensor shutoff device. All turf areas to be irrigated by underground, automatic spray irrigation system also equipped with a rain sensor automatic shutoff device.
- All valve boxes shall be supported by concrete block (min. 4 per box). Install blocks in a manner that will prevent contact with piping, wires, and valve.
- Irrigation control wire shall be common trench with mainline and shall have separate sleeve were crossing all hard construction.
- The contractor shall adjust all valves and spray nozzles for optimum coverage.
- Contractor shall tape closed all sleeve pipe openings to prevent debris from entering sleeves.
- Backflow preventer should be located in a locked/secured metal enclosure.
- Minimum of (2 - 1gph) emitters per shrub and (4 - 1gph) per tree at minimum. Preferred method for irrigating trees would be to utilize tree ring assembly constructed of 2" dripline(diameter to match root ball). Reference Rainbird standard dripline tree detail.
- All seeded areas need to be zoned and scheduled separately. Seeded irrigation zones are for temporary/establishment water purposes only (see seeding notes).
- Contractor to provide irrigation schedule to owner/maintenance group addressing watering schedule for both establishment period and regular watering schedule.
- Irrigation system, as noted, is to be design-build MODIFYING the current system in place. Where possible, all existing valves should be used and incorporated into the revised system design. The use of lower water use spray nozzles is strongly encouraged in all spray zones (i.e. MP Rotators).
- All turf, seeded and drip areas should be zoned SEPARATELY.
- All seeded areas are to be irrigated with permanent in-ground spray irrigation. These areas should be zoned separately as noted above. Irrigation in seeded areas should be used primarily for establishment purposes only. Once seeded areas have been established irrigation zones should not be part of regular watering schedule.

OWNER INFO

company name SHOPS AT MERIDIAN RANCH LLC

address P.O. BOX 80036

city/state SAN DIEGO CA 91238

phone no



YOW ARCHITECTS PC
ARCHITECTURE & PLANNING
Colorado Springs, Colorado 475-8133

Structural:
Electrical:
Mechanical:
Plumbing:

Shop's @ Meridian Ranch
Site Development Plan
Meridian Road
Falcon, CO

File No. 18.118
Directory Landscape
File Site development plan 1-10-2019
Drawn By DEN
Date 6/22/2019
Revised 10/4/2019
11/28/2019
4/8/2019

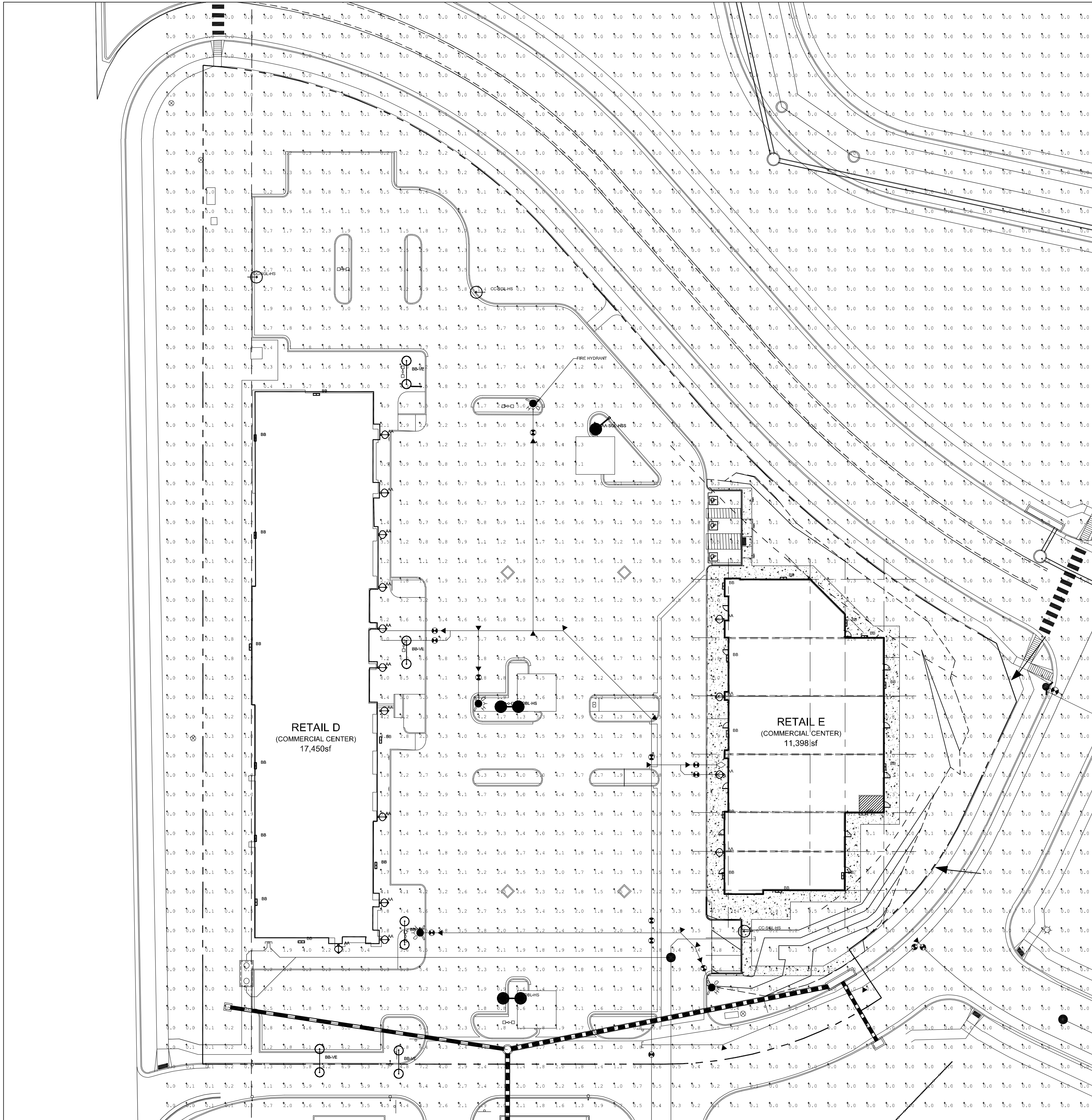
DRAWING NO.
3
LANDSCAPE DETAILS

THE SHOP'S AT MERIDIAN RANCH

FILING NO. 1, LOT 4

PHOTOMETRIC PLAN

EL PASO COUNTY, COLORADO.
FALCON, COLORADO



KIM LIGHTING 25" Arm
Type: AA-SGL

Meridian Ranch
Type: AA-SGL-405
KIM 1A/CC25P70-96L4K**DB/NO
Voltage: 208V-240V/50/60Hz/1-Phase
Wattage: 200W/230W/260W/300W

PR4 - Aluminum Pole

Job Name: Meridian Ranch
Job No.: 18-115
Client: YOW Architects PC
Date: 02/22/2018

25" Arm
Type: AA-SGL

Meridian Ranch
Type: AA-SGL-405
KIM 1A/CC25P70-96L4K**DB/NO
Voltage: 208V-240V/50/60Hz/1-Phase
Wattage: 200W/230W/260W/300W

Job Name: Meridian Ranch
Job No.: 18-115
Client: YOW Architects PC
Date: 02/22/2018

KIM LIGHTING 25" Arm
Type: AA-SGL

Meridian Ranch
Type: AA-SGL-405
KIM 1A/CC25P70-96L4K**DB/NO
Voltage: 208V-240V/50/60Hz/1-Phase
Wattage: 200W/230W/260W/300W

Job Name: Meridian Ranch
Job No.: 18-115
Client: YOW Architects PC
Date: 02/22/2018

KIM LIGHTING 25" Arm
Type: AA-SGL

Meridian Ranch
Type: AA-SGL-405
KIM 1A/CC25P70-96L4K**DB/NO
Voltage: 208V-240V/50/60Hz/1-Phase
Wattage: 200W/230W/260W/300W

Job Name: Meridian Ranch
Job No.: 18-115
Client: YOW Architects PC
Date: 02/22/2018

KIM LIGHTING 25" Arm
Type: AA-SGL

Meridian Ranch
Type: AA-SGL-405
KIM 1A/CC25P70-96L4K**DB/NO
Voltage: 208V-240V/50/60Hz/1-Phase
Wattage: 200W/230W/260W/300W

Job Name: Meridian Ranch
Job No.: 18-115
Client: YOW Architects PC
Date: 02/22/2018

KIM LIGHTING 25" Arm Mounted, Curvilinear, PFC/LED
Type: AA-DBL

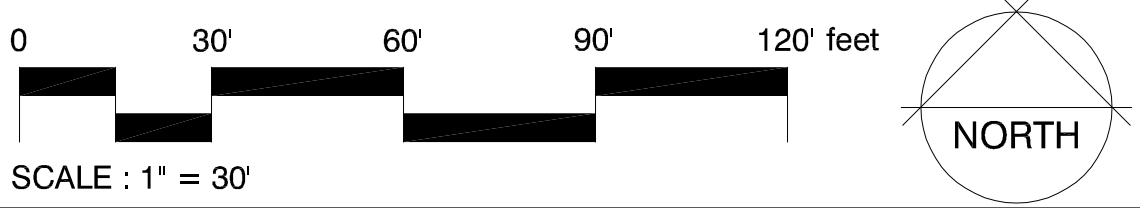
Meridian Ranch
Type: AA-DBL-405
KIM 1A/CC25P70-96L4K**DB/NO
Voltage: 208V-240V/50/60Hz/1-Phase
Wattage: 200W/230W/260W/300W

Job Name: Meridian Ranch
Job No.: 18-115
Client: YOW Architects PC
Date: 02/22/2018

KIM LIGHTING 25" Arm Mounted, Curvilinear, PFC/LED
Type: BB

Meridian Ranch
Type: BB-405
KIM 1A/CC25P70-96L4K**DB/NO
Voltage: 208V-240V/50/60Hz/1-Phase
Wattage: 200W/230W/260W/300W

Job Name: Meridian Ranch
Job No.: 18-115
Client: YOW Architects PC
Date: 02/22/2018



Luminaire Schedule	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description	Lum. Watts	Total Watts
AA	15	AA	SINGLE	0.900	N.A.	UCS-STR-12LED-NW	28.3	283.5
BB	23	BB	SINGLE	0.900	N.A.	VWPH4L30-730-T3-SDGL-OPT-EDD-UNV	35.7	357
AA-DBL	2	AA-DBL	BACK-BACK	0.900	N.A.	2B/CC25P70-96L4K	216.9	1735.2
AA-SGL	1	AA-SGL	SINGLE	0.900	N.A.	1A/CC25P70-96L4K	216.9	650.7
BB-VE	7	BB-VE	BACK-BACK	0.900	N.A.	2-UCM-ANG-T3-32LED-4K-700-AWT	71.3	998.2001

OWNER INFO

company name: SHOPS AT MERIDIAN RANCH LLC
address/city/state: P.O. BOX 80036 SAN DIEGO CA 91238
phone no:

YOW ARCHITECTS PC
ARCHITECTURE & PLANNING
115 S. Weber Colorado Springs, Colorado 475-8133

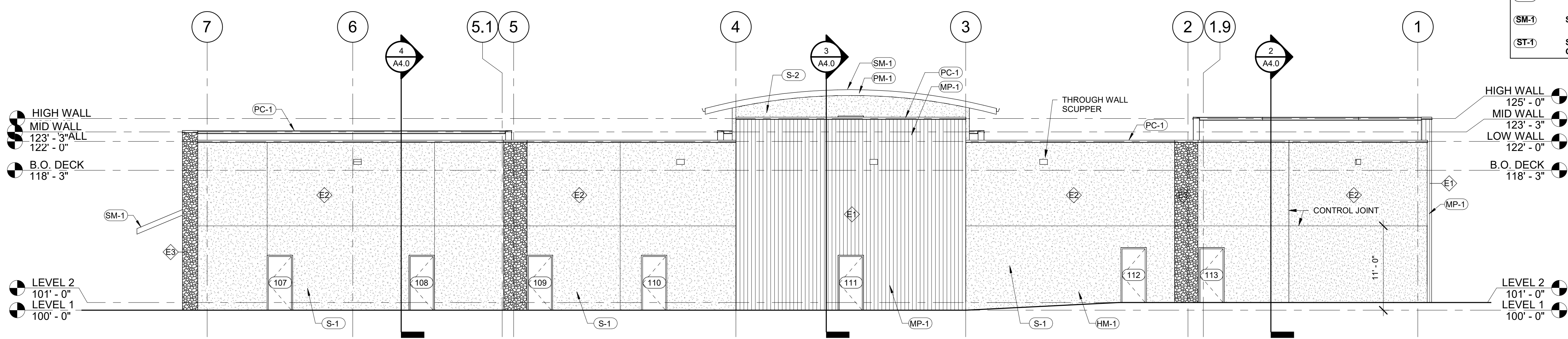
Shop's @ Meridian Ranch
Site Development Plan
Meridian Road
Falcon, CO

Job No.: 18-115
Directory: Planning
File: Site development plan 4-9-18
Drawn By: DBN
Date: 6/22/2018
Revised: 10/4/2018
11/28/2018
4/8/2019

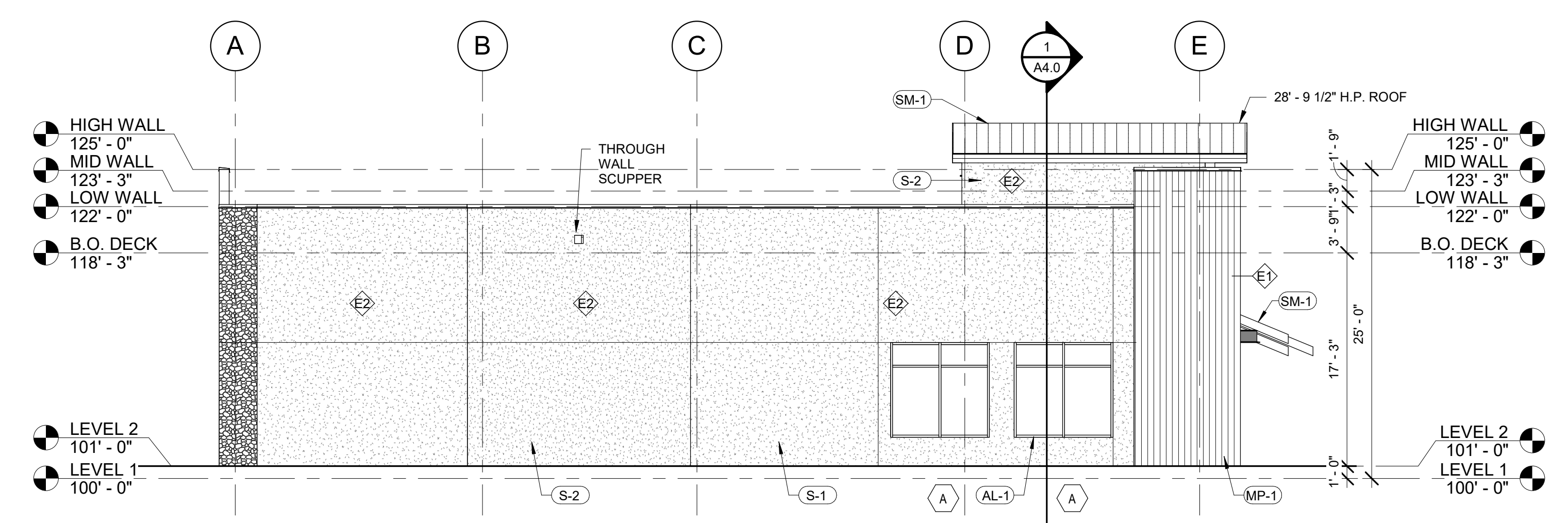
DRAWING NO. **4**
PHOTOMETRIC PLAN



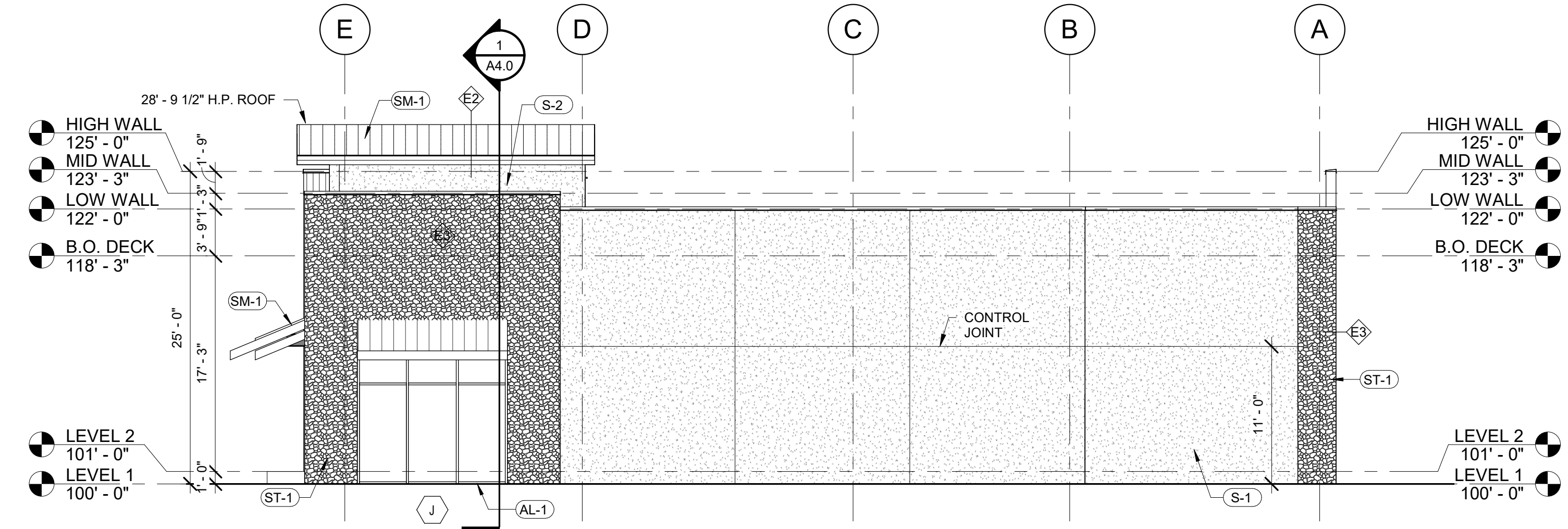
KEYNOTES	
ELEVATIONS	
(AL-1)	ALUMINUM STOREFRONT ANODIZED DARK BRONZE
(HM-1)	HOLLOW METAL DOOR AND FRAME - PAINTED - DARK BRONZE
(MP-1)	CORRUGATED METAL PANEL - PREFINISHED BERRIDGE S-PANEL - HEMLOCK GREEN
(PC-1)	PREFINISHED METAL PARAPET CAP - KYNAR 500 - BERRIDGE DARK BRONZE
(PM-1)	PREFINISHED METAL FASCIA - BERRIDGE DARK BRONZE
(S-1)	STUCCO - EL REY # 119 - FINE FINISH
(S-2)	STUCCO 2 - LA LUZ 125 - FINE FINISH
(SM-1)	STANDING SEAM METAL ROOF - BERRIDGE - DARK BRONZE
(ST-1)	STONE VENEER - EL DORADO COUNTRY RUBBLE - COGNAC - GROUT 3/4 DEPTH - COLORED GROUT



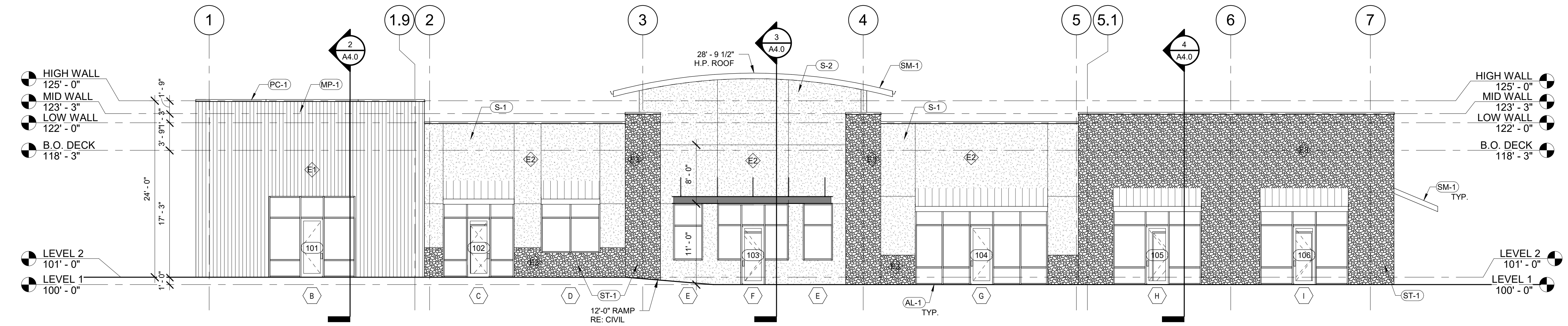
4 EAST ELEVATION
1/8" = 1'-0"



2 SECTION ELEVATION
1/8" = 1'-0"



3 SECTION ELEVATION
1/8" = 1'-0"



1 SECTION ELEVATION
1/8" = 1'-0"

YOW Architects PC
Architecture & Planning

115 S. Weber Colorado Springs, Colorado 719-475-8133

THE SHOPS AT MERIDIAN RANCH
RETAIL BUILDING 'E'

11910 TOURMALINE DR.
PEYTON, CO 80831

Project Number
21.268
Date
12-13-2021
Drawn By
KRM
Checked By
YOW

A3.0
ELEVATIONS
Scale
1/8" = 1'-0"

12/13/2021 2:25:08 PM

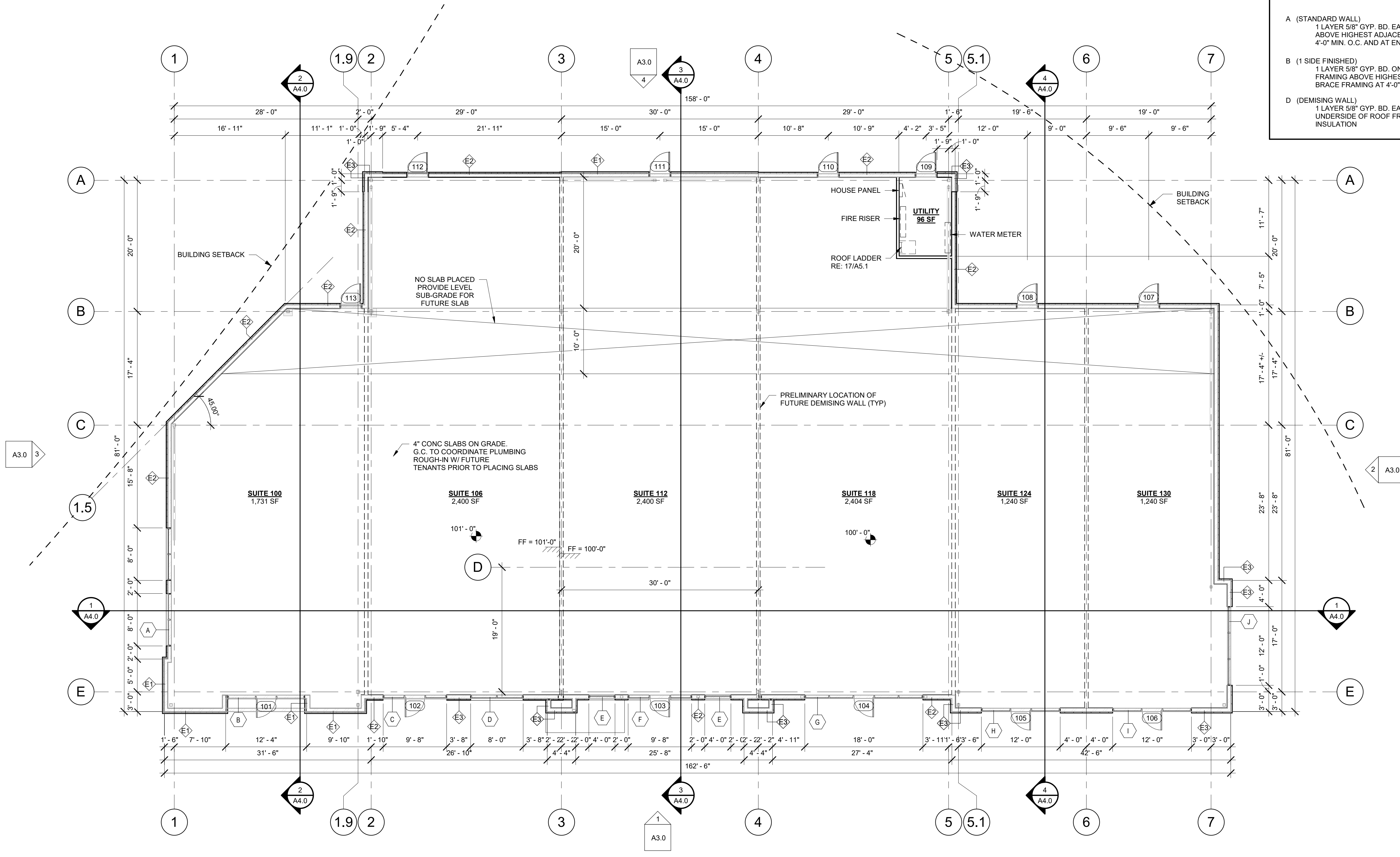


FLOOR PLAN GENERAL NOTES

1. ALL INTERIOR WALLS ARE W3-D UNLESS NOTED OTHERWISE.
2. PROVIDE DOUBLE 20 GA. STUDS (MIN.) AT ALL DOOR JAMBS.
3. ALL DIMENSIONS ARE TO, FACE OF METAL STUD FRAMING U.N.O.
4. WHERE NOT DIMENSIONED, FRAME DOOR OPENINGS 5" FROM FACE OF PERPENDICULAR WALL ON HINGE SIDE.
5. MOISTURE RESISTANT GYP. BD. AT WET LOCATIONS.
6. REFER TO STRUCTURAL DRAWINGS FOR STUD GAUGE AND THICKNESS AT EXTERIOR WALLS.
7. INTERIOR GYP BD FINISH TO BE INSTALLED AS PART OF TENANT FINISH. TO BE 5/8" TYPE 'X' GYP BD.
8. FINISH INSIDE OF UTILITY ROOM TO LEVEL 3 FINISH. FILL ALL WALLS WITH BATT INSULATION FULL HEIGHT.

WALL TYPES - INTERIOR WALLS

- W2 2 1/2" (GA. AS REQ.) METAL STUDS AT 16" O.C.
 - W3 3 5/8" (GA. AS REQ.) METAL STUDS AT 16" O.C.
 - W6 6" (GA. AS REQ.) METAL STUDS AT 16" O.C.
- A (STANDARD WALL)
1 LAYER 5/8" GYP. BD. EACH SIDE OF STUD FRAMING. TERMINATE FRAMING 6" ABOVE HIGHEST ADJACENT FINISHED CEILING. LATERALLY BRACE FRAMING AT 4'-0" MIN. O.C. AND AT ENDS. PROVIDE FULL HEIGHT SOUND BATT INSULATION.
- B (1 SIDE FINISHED)
1 LAYER 5/8" GYP. BD. ONE SIDE OF STUD FRAMING ONLY. TERMINATE FRAMING ABOVE HIGHEST ADJACENT FINISHED CEILING. LATERALLY BRACE FRAMING AT 4'-0" MIN. O.C. AND AT ENDS.
- D (DEMISING WALL)
1 LAYER 5/8" GYP. BD. EACH SIDE OF STUD FRAMING. TERMINATE WALL AT UNDERSIDE OF ROOF FRAMING WITH 4" LONG LEG SLIP. FILL WALL CAVITY WITH INSULATION



YOW Architects PC
Architecture & Planning
115 S. Weber Colorado Springs, Colorado 719-475-8133

Revision Schedule	

THE SHOPS AT MERIDIAN RANCH
RETAIL BUILDING 'E'
11910 TOURMALINE DR.
PEYTON, CO 80831

Project Number
21,268

Date
12-13-2021

Drawn By
KRM

Checked By
YOW

A1.0
FLOOR PLAN
Scale
As indicated

12/13/2021 2:25:04 PM

THE SHOPS AT MERIDIAN - BUILDING E
FLOOR PLAN
1/8" = 1'-0"

