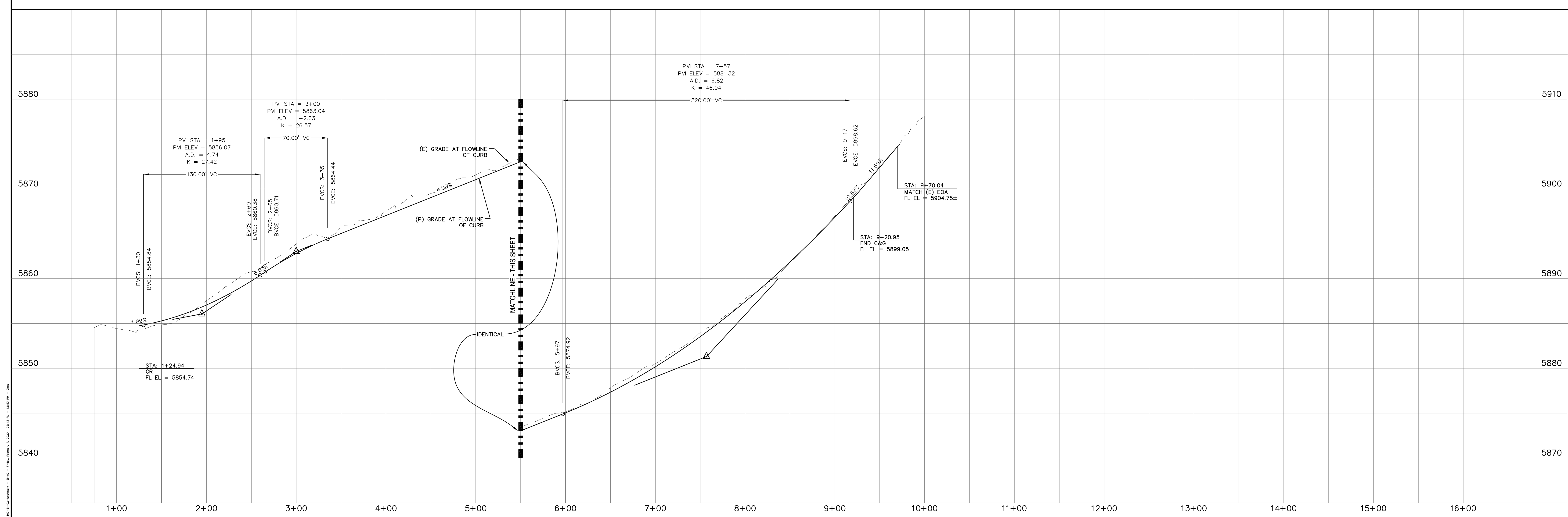
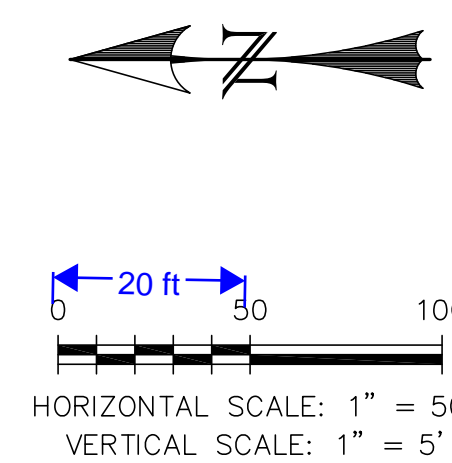


LINE	BEARING	DISTANCE
L1	S24°57'21"W	74.55
L2	S53°57'15"E	187.88
L3	S04°00'16"E	191.76
L4	S66°02'05"W	54.65
L5	S79°32'48"W	44.09

CURVE	DELTA	RADIUS	LENGTH
C1	78°54'36"	117.00	161.14
C2	49°56'59"	83.00	72.36
C3	70°02'21"	48.00	58.68



REV.	DESCRIPTION	DATE
1	ADDRESS AGENCY COMMENTS	01/30/20



Know what's below.
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For more details visit:
www.call811.com

DESIGN DATA:		PAVEMENT:	
SIDEWALKS:	WIDTH: _____	TYPE:	HMA <input type="checkbox"/> BASE <input type="checkbox"/>
	LOCATION: <input type="checkbox"/> Attached <input type="checkbox"/> Detached	THICKNESS:	_____
DESIGN SPEED	_____	COMPOSITE SECTION:	
CURB TYPE:	<input type="checkbox"/> 1 <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/> 4 <input type="checkbox"/> 5	HMA	_____ BASE _____
ROW WIDTH:	_____ FL-FL _____	SUBGRADE STABILIZATION:	
STREET TYPE:	_____	CHEM. <input type="checkbox"/> MECH. <input type="checkbox"/>	
		TYPE _____ THICKNESS _____	

PREPARED FOR:

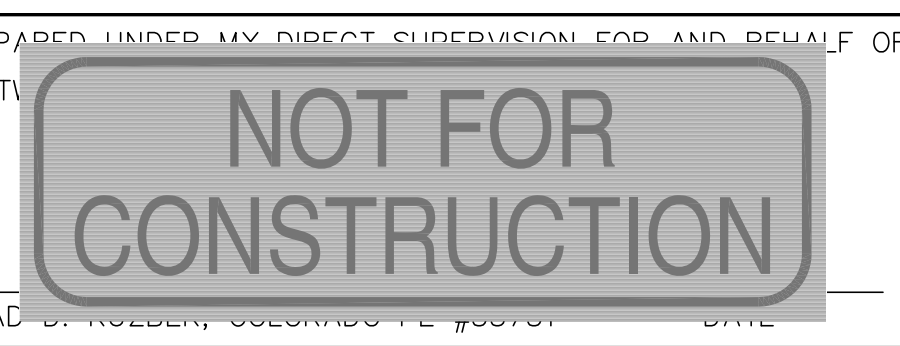
ESH DEVELOPMENT, LLC

5671 NORTH ORACLE ROAD
SUITE #1102
TUSCON, AZ 85704
(520) 742-2114

PREPARED FOR:

ESH DEVELOPMENT, LLC

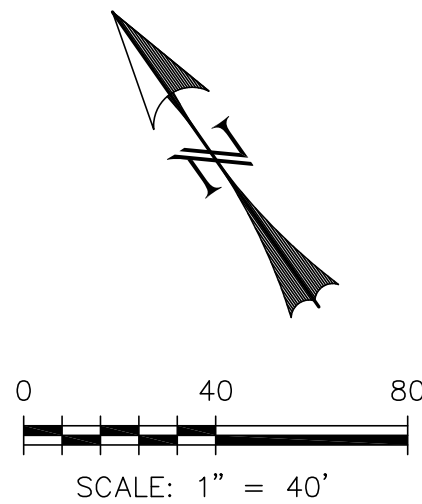
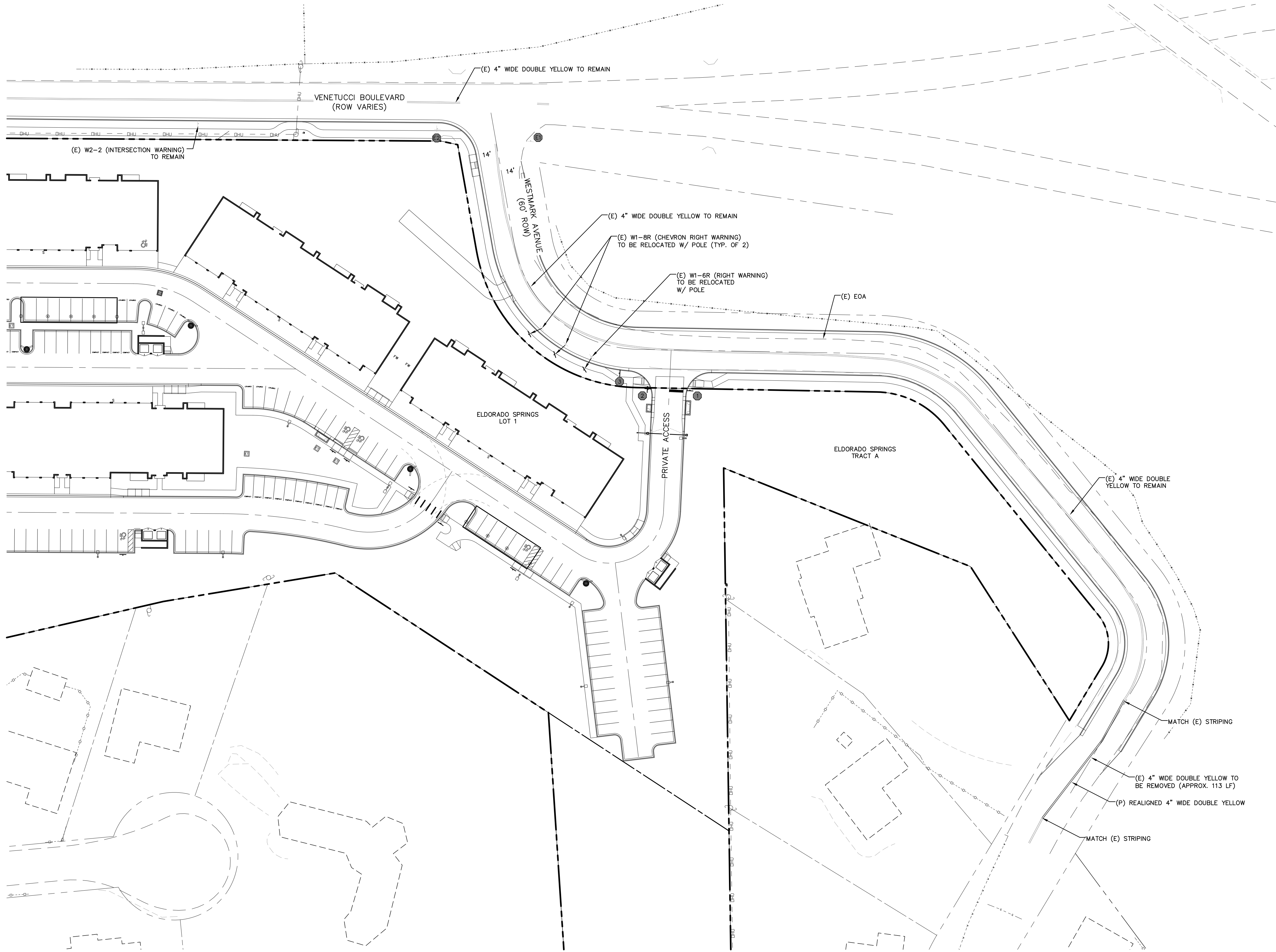
5671 NORTH ORACLE ROAD
SUITE #1102
TUSCON, AZ 85704
(520) 742-2114



ELDORADO SPRINGS

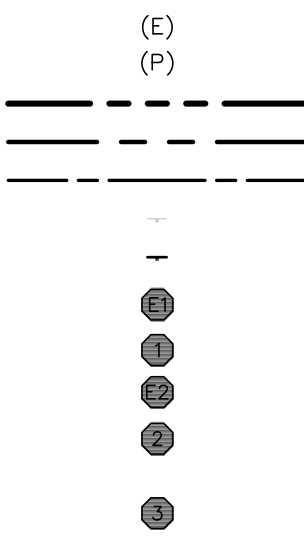
EL PASO COUNTY
STREET IMPROVEMENT PLANS
PLAN & PROFILE

DESIGNED BY:	MGP	DRAWN BY:	CDK
SCALE:	1"=50'	DATE:	02/05/20
JOB NUMBER		SHEET	
91807		SI2 OF 3	



LEGEND

- EXISTING
- PROPOSED
- BOUNDARY
- RIGHT-OF-WAY
- LOT LINE
- (E) SIGN
- (P) SIGN
- (E) R1-1 (STOP SIGN - 30"x30")
- (P) R1-1 (STOP SIGN - 30"x30")
- (E) D-3 (STREET NAME)
- (P) D-3 (STREET NAME)
- [6" HEIGHT; 4" LETTERING]
- (P) SPEED LIMIT SIGN (25 MPH)



REV.	DESCRIPTION	DATE
1	ADDRESS AGENCY COMMENTS	01/30/20



PREPARED FOR:
ESH DEVELOPMENT, LLC

5671 NORTH ORACLE ROAD
SUITE #1102
TUSCON, AZ 85704
(520) 742-2114

PREPARED UNDER MY DIRECT SUPERVISION FOR AND BEHALF OF
WEST

CHAD

NOT FOR CONSTRUCTION



EL DORADO SPRINGS
EL PASO COUNTY STREET IMPROVEMENT PLANS SIGNAGE & STRIPING PLAN

DESIGNED BY: CDK	DRAWN BY: CDK
SCALE: 1" = 40'	DATE: 02/05/20
JOB NUMBER	SHEET
91807	SI3 OF 3

ELDORADO SPRINGS

PUBLIC STREET IMPROVEMENT PLANS

EL PASO COUNTY, COLORADO

STANDARD CONSTRUCTION NOTES:

- ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD LOCATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
- CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
 - EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
 - CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
 - COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
 - CDOT M & S STANDARDS
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE, AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT (PCD) - INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
- CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
- ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD.
- CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
- SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DPW AND MUTCD CRITERIA.
- CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DPW, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
- THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.

SIGNAGE & STRIPING NOTES:

- ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY A METHOD THAT DOES NOT MATERIALLY DAMAGE THE PAVEMENT. THE PAVEMENT MARKINGS SHALL BE REMOVED TO THE EXTENT THAT THEY WILL NOT BE VISIBLE UNDER DAY OR NIGHT CONDITIONS. AT NO TIME WILL IT BE ACCEPTABLE TO PAINT OVER EXISTING PAVEMENT MARKINGS.
- ANY DEVIATION FROM THE STRIPING AND SIGNING PLAN SHALL BE APPROVED BY EL PASO COUNTY DEVELOPMENT SERVICES.
- ALL SIGNS SHOWN ON THE SIGNING AND STRIPING PLAN SHALL BE NEW SIGNS. EXISTING SIGNS MAY REMAIN OR BE REUSED IF THEY MEET CURRENT EL PASO COUNTY AND MUTCD STANDARDS.
- STREET NAME AND REGULATORY STOP SIGNS SHALL BE ON THE SAME POST AT INTERSECTIONS.
- ALL REMOVED SIGNS SHALL BE DISPOSED OF IN A PROPER MANNER BY THE CONTRACTOR.
- ALL STREET NAME SIGNS SHALL HAVE "D" SERIES LETTERS, WITH LOCAL ROADWAY SIGNS BEING 4" UPPER-LOWER CASE LETTERING ON 8" BLANK AND NON-LOCAL ROADWAY SIGNS BEING 6" LETTERING, UPPER-LOWER CASE ON 12" BLANK, WITH A WHITE BORDER THAT IS NOT RECESSED. MULTI-LANE ROADWAYS WITH SPEED LIMITS OF 40 MPH OR HIGHER SHALL HAVE 8" UPPER-LOWER CASE LETTERING ON 18" BLANK WITH A WHITE BORDER THAT IS NOT RECESSED. THE WIDTH OF THE NON-RECESSED WHITE BORDERS SHALL MATCH PAGE 255 OF THE 2012 MUTCD "STANDARD HIGHWAY SIGNS".
- ALL TRAFFIC SIGNS SHALL HAVE A MINIMUM HIGH INTENSITY PRISMATIC GRADE SHEETING.
- ALL LOCAL RESIDENTIAL STREET SIGNS SHALL BE MOUNTED ON A 1.75" x 1.75" SQUARE TUBE SIGN POST AND STUB POST BASE. FOR OTHER APPLICATIONS, REFER TO THE CDOT STANDARD S-614-B REGARDING USE OF THE P2 TUBULAR STEEL POST SLIPBASE DESIGN.
- ALL SIGNS SHALL BE SINGLE SHEET ALUMINUM WITH 0.100" MINIMUM THICKNESS.
- ALL LIMIT LINES/STOP LINES, CROSSWALK LINES, PAVEMENT LEGENDS, AND ARROWS SHALL BE A MINIMUM 125 MIL THICKNESS PREFORMED THERMOPLASTIC PAVEMENT MARKINGS WITH TAPERED LEADING EDGES PER CDOT STANDARD S-627-1. WORD AND SYMBOL MARKINGS SHALL BE THE NARROW TYPE. STOP BARS SHALL BE 24" IN WIDTH. CROSSWALKS LINES SHALL BE 12" WIDE AND 8' LONG PER CDOT S-627-1.
- ALL LONGITUDINAL LINES SHALL BE A MINIMUM 15MIL THICKNESS EPOXY PAINT. ALL NON-LOCAL RESIDENTIAL ROADWAYS SHALL INCLUDE BOTH RIGHT AND LEFT EDGE LINE STRIPING AND ANY ADDITIONAL STRIPING AS REQUIRED BY CDOT S-627-1.
- THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY DEVELOPMENT SERVICES (719) 520-6819 PRIOR TO AND UPON COMPLETION OF SIGNING AND STRIPING.
- THE CONTRACTOR SHALL OBTAIN A WORK IN THE RIGHT OF WAY PERMIT FROM THE EL PASO COUNTY PUBLIC SERVICE DEPARTMENT (PSD) PRIOR TO ANY SIGNAGE OR STRIPING WORK WITHIN AN EXISTING EL PASO COUNTY ROADWAY.

GENERAL NOTES:

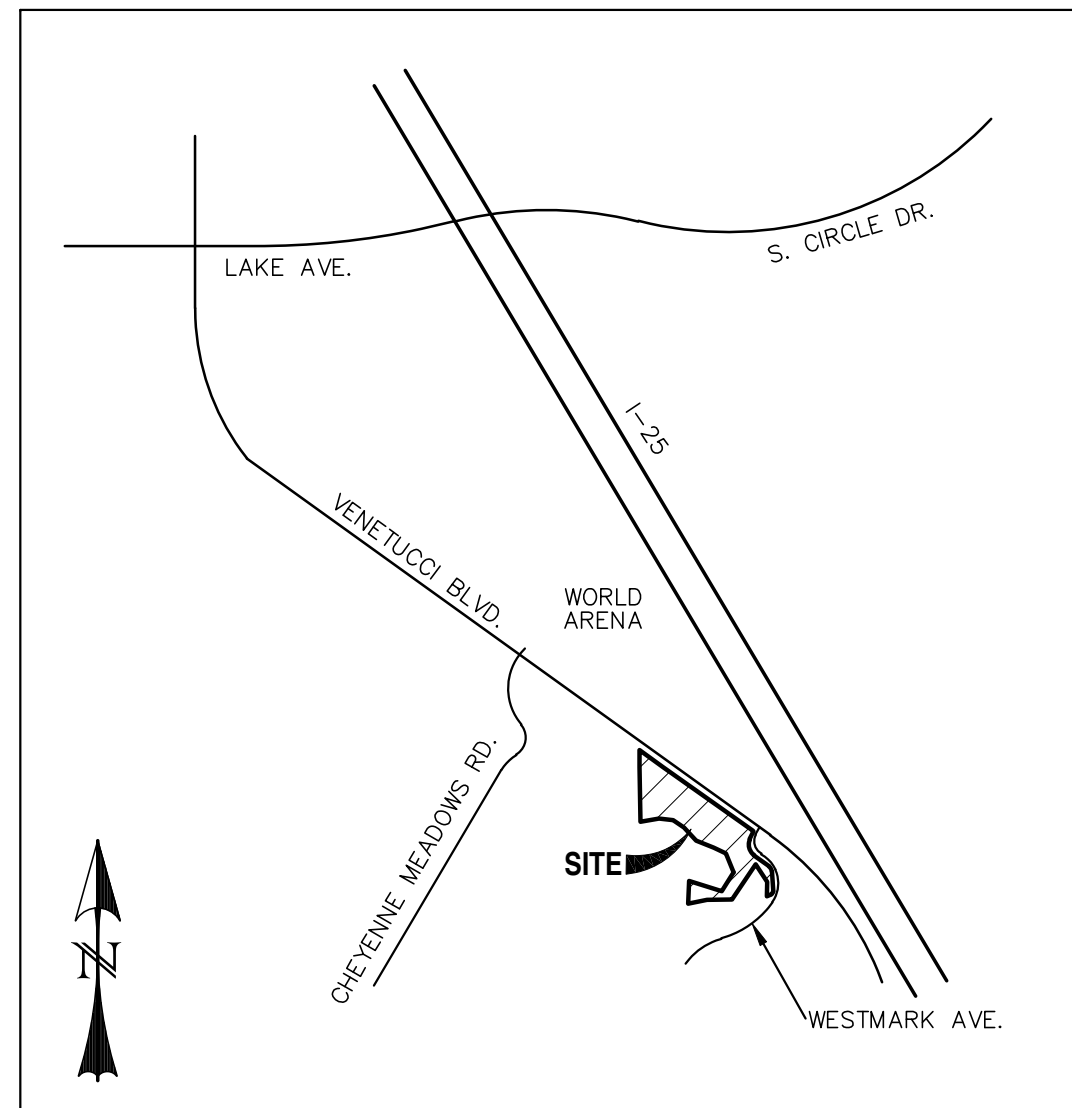
- ALL PAVING AND CURB & GUTTER SHALL BE CONSTRUCTED SO AS NOT TO OBSTRUCT THE DRAINAGE PATHS. GRADES SHALL BE MAINTAINED AS SHOWN IN THESE PLANS FOR THE DRAINAGE PATHS. IF THIS CANNOT BE ACCOMPLISHED, THEN THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CORRECTION.
- POSITIVE DRAINAGE AWAY FROM THE BUILDING SHALL BE MAINTAINED DURING AND AFTER SITE CONSTRUCTION. SWALES SHALL BE CONSTRUCTED AROUND BUILDINGS TO DIRECT DRAINAGE AWAY FROM STRUCTURES.
- SITE CONSTRUCTION INCLUDING PAVING AND CURB & GUTTER INSTALLATION SHALL MAINTAIN POSITIVE DRAINAGE AS SHOWN ON THIS PLAN. STANDING WATER OR PONDING ANYWHERE ON THE SITE IS UNACCEPTABLE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WORK. THE OMISSION FROM OR THE INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NONEXISTENCE OF OR A DEFINITE LOCATION OF EXISTING UNDERGROUND UTILITIES.

BENCHMARKS:

- THE MOST NORTHERLY CORNER OF THE SITE MONUMENTED BY A 1" YELLOW PLASTIC CAP STAMPED "23890."
EL = 5865.58
- THE MOST SOUTHERLY CORNER ALONG US HIGHWAY 85-87 BEING MONUMENTED BY A 1-1/2" ALUMINUM SURVEYORS CAP STAMPED "CCES LLC PLS 30118" LOCATED AT THE WESTERLY CORNER OF THE INTERSECTION OF WESTMARK AVENUE AND US HIGHWAY 85-87.
EL = 5854.18

BASIS OF BEARING:

THE WEST LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M. BEING MONUMENTED AT THE NORTH END BY A 2-1/2" ALUMINUM SURVEYORS CAP WITH APPROPRIATE MARKINGS AND AT THE SOUTH END BY A 3-1/4" ALUMINUM SURVEYORS CAP WITH APPROPRIATE MARKINGS IS ASSUMED TO BEAR N00°44'35"W, A DISTANCE OF 1320.61 FEET.



VICINITY MAP
SCALE: N.T.S.

CONSTRUCTION PLANS AND SPECIFICATIONS ENGINEERS STATEMENT:

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID DETAILED PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE CITY/COUNTY FOR DETAILED DRAINAGE PLANS AND SPECIFICATIONS, AND SAID DETAILED PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH THE MASTER PLAN OF THE DRAINAGE BASIN. SAID DETAILED PLANS AND SPECIFICATIONS MEET THE PURPOSES WHICH THE PARTICULAR DRAINAGE FACILITY(S) IS DESIGNED. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERROR OR OMISSIONS ON MY PART IN PREPARATION OF THE DETAILED PLANS AND SPECIFICATIONS.

CHAD D. KUZBEK, COLORADO PE #35751

DATE

EL PASO COUNTY (WESTMARK AVENUE ONLY):

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

JENNIFER IRVINE, P.E.
COUNTY ENGINEER/ECM ADMINISTRATOR

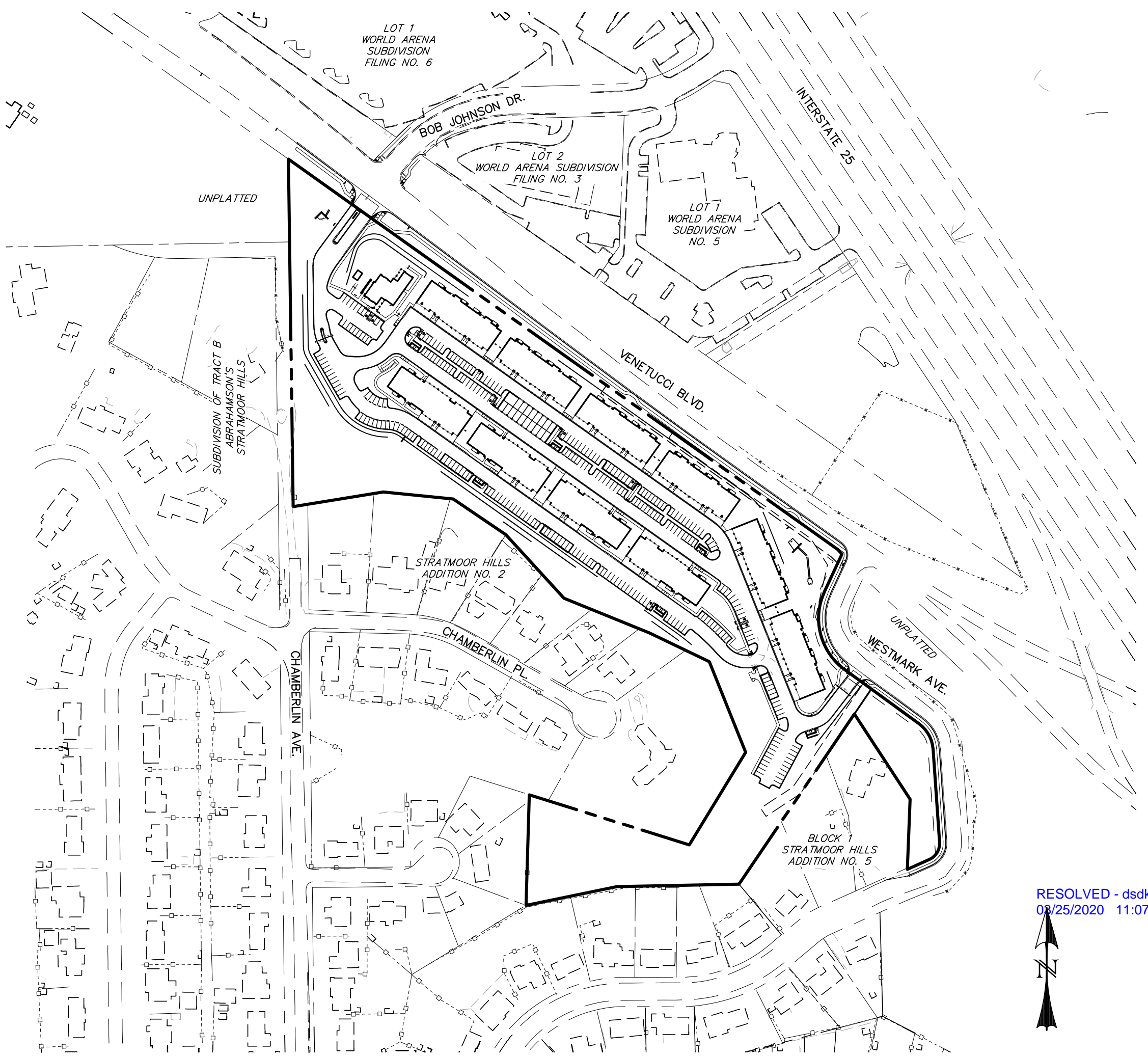
DATE

OWNER STATEMENT:

THE OWNER WILL COMPLY WITH THE REQUIREMENTS OF THE STREET IMPROVEMENT PLANS.

OWNER NAME:

DATE



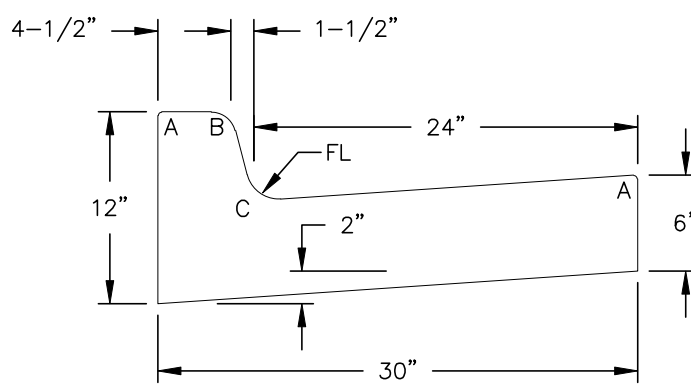
SITE MAP
SCALE: 1"=200'

In accordance with ECM Section 1.12, these construction documents will be valid for construction for a period of 2 years from the date signed by the El Paso County Engineer. If construction has not started within those 2 years, the plans will need to be resubmitted for approval, including payment of review fees at the Planning and Community Development Directors discretion

RESOLVED - dsdkuehster
03/25/2020 11:07:31 AM

Street Plans broken into separate sets for City and County.

RESOLVED - dsdkuehster
03/25/2020 11:07:47 AM



TYPE A

VERTICAL CURB & GUTTER
SCALE: N.T.S.

RADII LEGEND:

- A = 1/8" TO 1/4"
- B = 1-1/2"
- C = 1-1/2" TO 2"
- D = 1/2"

AGENCIES:

- DEVELOPER:
- ESH DEVELOPMENT, LLC
5671 NORTH ORACLE ROAD, SUITE 1102
TUSCON, AZ 85704
(520) 742-2114
- ENGINEER:
- WESTWORKS ENGINEERING
1023 W. COLORADO AVENUE
COLORADO SPRINGS, CO 80904
CHAD D. KUZBEK, P.E. (719) 685-1670
DEVELOPMENT SERVICES DEPARTMENT
2880 INTERNATIONAL CIRCLE, SUITE 110
COLORADO SPRINGS, CO 80910
(719) 520-7959
- EL PASO COUNTY:
- STRATMOOR HILLS WATER & SANITATION DISTRICT
1811 B STREET
COLORADO SPRINGS, CO 80906
KIRK MEDINA (719) 576-0331
- UTILITIES:
(WATER & SANITARY)
- COLORADO SPRINGS UTILITIES
111 S. CASCADE AVENUE
COLORADO SPRINGS, CO 80903
(719) 448-4800
- UTILITIES:
(GAS)
- COLORADO SPRINGS UTILITIES
2160 B STREET
COLORADO SPRINGS, CO 80906
DOTTIE BARRETT (719) 576-1200
- FIRE:
- STRATMOOR HILLS FIRE PROTECTION DISTRICT
2160 B STREET
COLORADO SPRINGS, CO 80906
DOTTIE BARRETT (719) 576-1200

LEGEND

- | | |
|----------------------------|------|
| EXISTING | (E) |
| PROPOSED | (P) |
| FUTURE | (F) |
| BEGIN TRANSITION | BT |
| END TRANSITION | ET |
| CURB RETURN | CR |
| POINT ON CURVE | POC |
| POINT ON CURB RETURN | POCR |
| POINT OF REVERSE CURVATURE | PRC |
| EDGE OF ASPHALT | EOA |
| POINT OF CURVATURE | PC |
| POINT OF TANGENCY | PT |
| BOUNDARY | --- |
| RIGHT-OF-WAY | --- |
| LOT LINE | --- |
| EASEMENT | --- |
| (E) STORM SEWER | --- |
| (P) STORM SEWER, INLET, MH | --- |

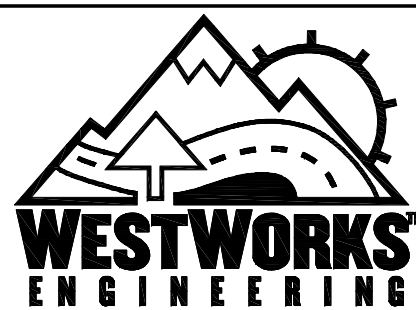
SHEET INDEX:

- | | |
|---|----------|
| TITLE SHEET | S11 OF 5 |
| STREET IMPROVEMENT PLAN - WESTMARK AVENUE | S12 OF 5 |
| STREET IMPROVEMENT PLAN - VENETUCCI BOULEVARD | S13 OF 5 |
| SIGNAGE & STRIPING PLAN - VENETUCCI BOULEVARD | S14 OF 5 |
| SIGNAGE & STRIPING PLAN - WESTMARK AVENUE | S15 OF 5 |

REV.	DESCRIPTION	DATE		PREPARED FOR:	PREPARED UNDER MY DIRECT SUPERVISION FOR AND BEHALF OF:		ELDORADO SPRINGS	DRAWN BY:
				ESH DEVELOPMENT, LLC	WEST			CDK
				5671 NORTH ORACLE ROAD SUITE #1102 TUSCON, AZ 85704 (520) 742-2114	CHAD D. KUZBEK, COLORADO PE #35751			DATE: 06/27/19
							STREET IMPROVEMENT PLANS TITLE SHEET	SHEET
							91807	S11 OF 5



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www.call811.com



1023 W. COLORADO COLORADO SPRINGS, CO 80904 (719) 685-1670

UNRESOLVED - dsdkuehster
03/25/2020 11:09:35 AM

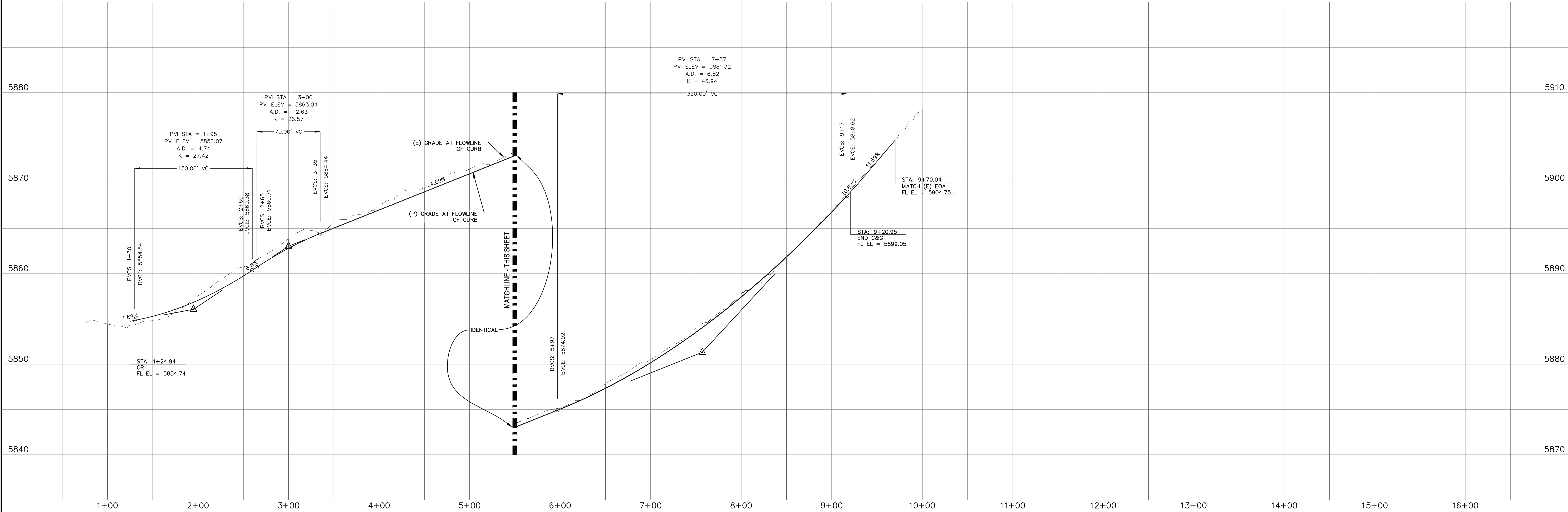
Call out a full urban
street section with
Curb and Gutter on
both sides.
Show in the Plans a
typical section of the
street.

LINE TABLE - FL		
LINE	BEARING	DISTANCE
L1	S24°57'21"W	74.55
L2	S53°57'15"E	187.88
L3	S04°00'16"E	191.76
L4	S66°02'05"W	54.65
L5	S79°32'48"W	44.09

CURVE TABLE - FL			
CURVE	DELTA	RADIUS	LENGTH
C1	78°54'36"	117.00	161.14
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C3	70°02'21"	48.00	58.68



0 50 100
HORIZONTAL SCALE: 1" = 50'
VERTICAL SCALE: 1" = 5'



REV.	DESCRIPTION	DATE



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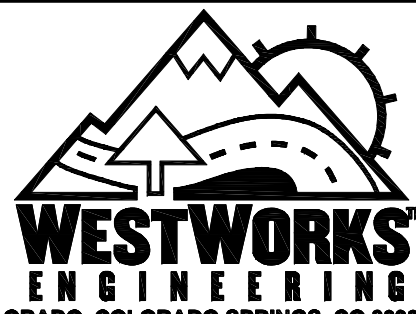
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CURB TYPE: ☐ 1 ☐ 2 ☐ 3 ☐ 4 ☐ 5
ROW WIDTH: _____ FL-FL
STREET TYPE: _____

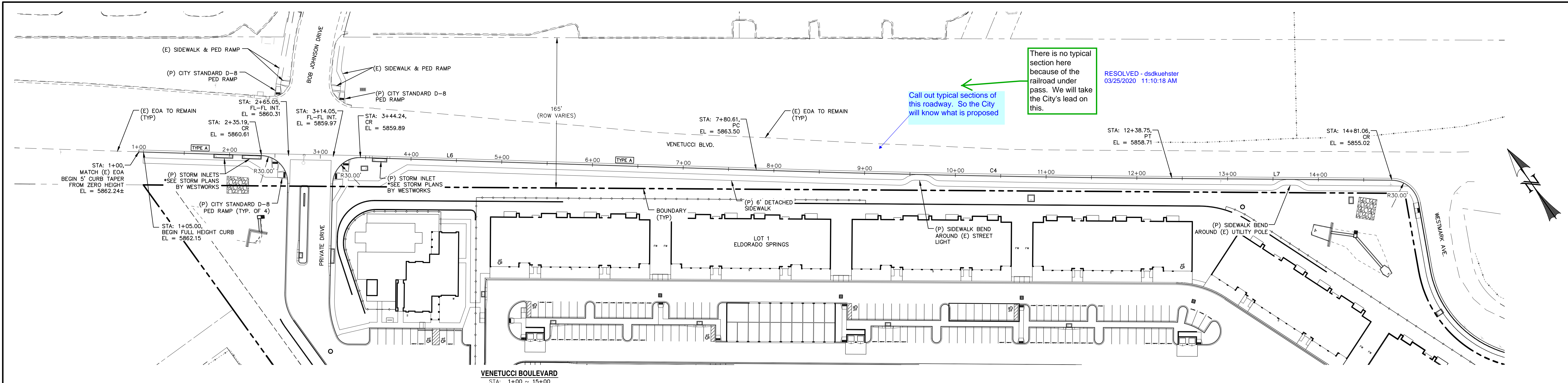
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THICKNESS: _____
COMPOSITE SECTION:
HMA _____ BASE _____
SUBGRADE STABILIZATION:
CHEM. ☐ MECH. ☐
TYPE _____ THICKNESS _____

PREPARED FOR:
ESH DEVELOPMENT, LLC
5671 NORTH ORACLE ROAD
SUITE #1102
TUSCON, AZ 85704
(520) 742-2114

PREPARED UNDER MY DIRECT SUPERVISION FOR AND BEHALF OF
WEST
NOT FOR CONSTRUCTION
CHAD



ELDORADO SPRINGS		DESIGNED BY: MGP	DRAWN BY: CDK
STREET IMPROVEMENT PLANS WESTMARK AVENUE		SCALE: 1"=50'	DATE: 06/27/19
		JOB NUMBER: 91807	SHEET: SI2 OF 5





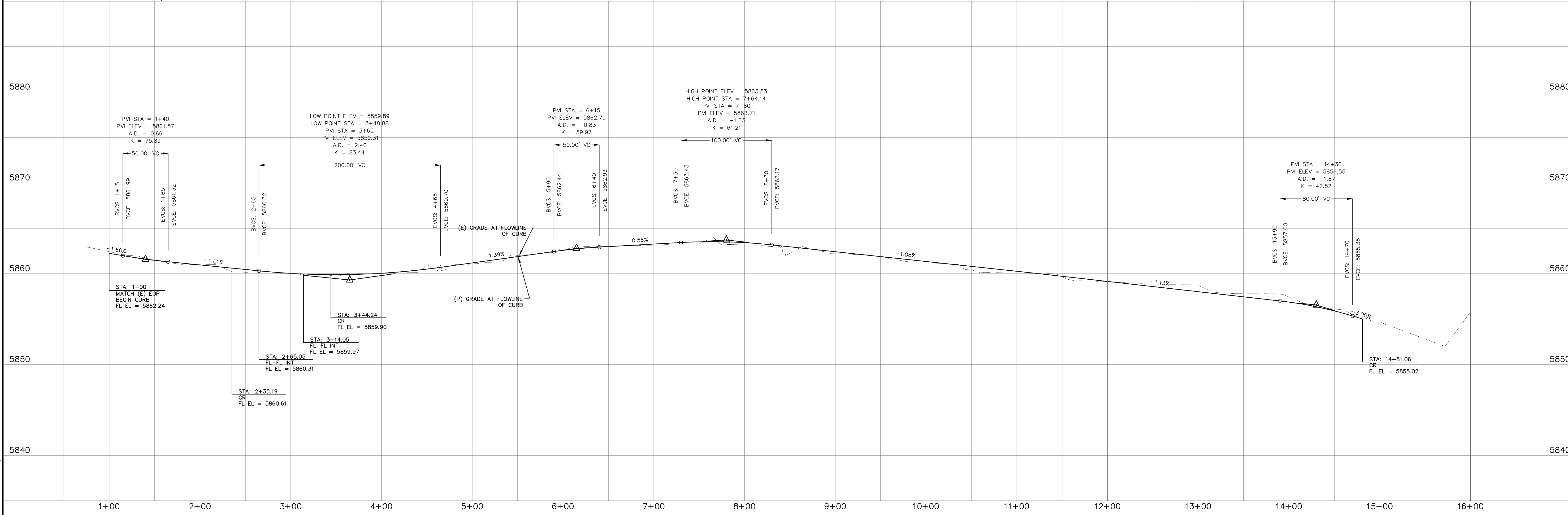
Know what's below.
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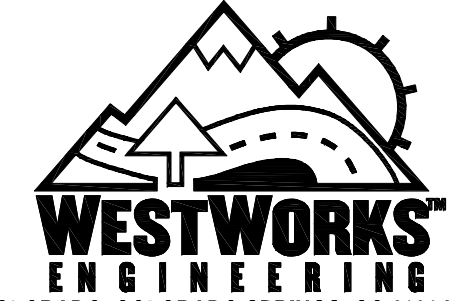
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L7	S54°31'34"E	242.31			458.14

050100

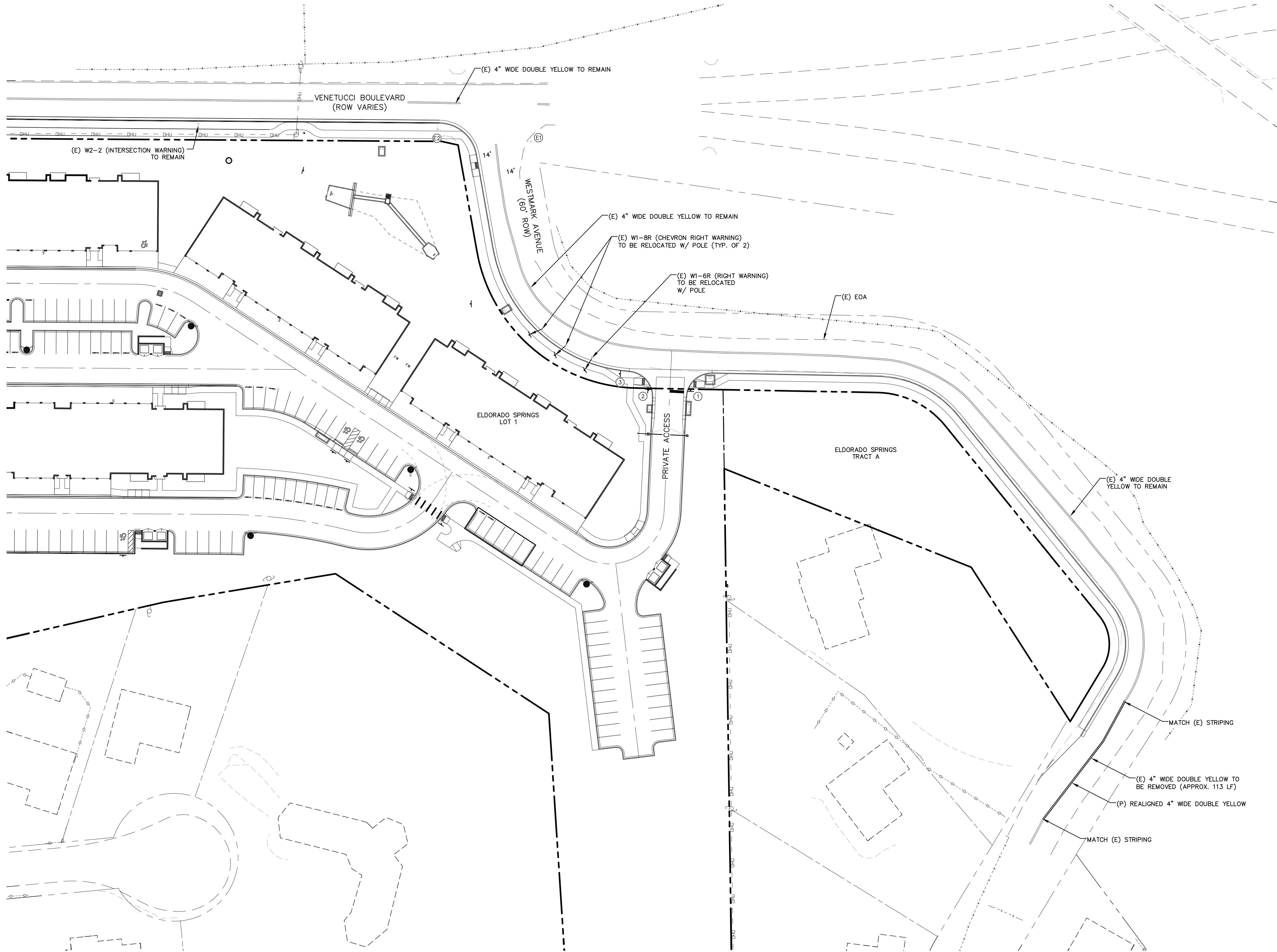
HORIZONTAL SCALE: 1" = 50'

VERTICAL SCALE: 1" = 5'



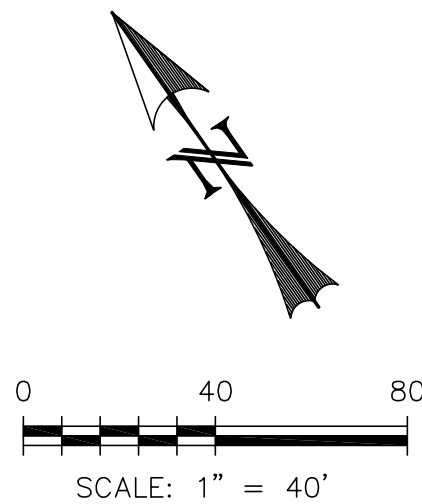
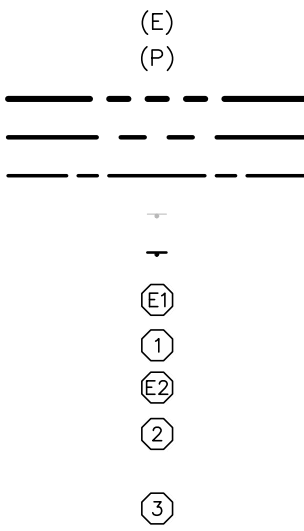
REV.	DESCRIPTION	DATE	REVIEW:	DESIGN DATA:	PAVEMENT:	PREPARED UNDER MY DIRECT SUPERVISION FOR AND BEHALF OF:	 <div>1023 W. COLORADO COLORADO SPRINGS, CO 80904 (719) 685-1670</div>	ELDORADO SPRINGS	DESIGNED BY: MGP	DRAWN BY: CDK
			STREET DESIGN FOR CITY ENGINEERING	SIDEWALKS: WIDTH: LOCATION: TYPE: THICKNESS:	TYPE: HMA □ BASE □	<div>NOT FOR CONSTRUCTION</div>		SCALE: 1"=50'	JOB NUMBER	DATE: 06/27/19
			UTILITY GRADE REVIEW	DESIGN SPEED	COMPOSITE SECTION: HMA □ BASE □			STREET IMPROVEMENT PLANS		SHEET
			CURB & GUTTER REVIEW	CURB TYPE: □ 1 □ 2 □ 3 □ 4 □ 5	SUBGRADE STABILIZATION: CHEM. □ MECH. □			VENETUCCI BOULEVARD	91807	SI3 OF 5

W:\Projects\81807 - Eldorado Springs\81807-05-05-Venetucci-05-05-1023 W. Colorado Springs, CO 80904 (719) 685-1670



LEGEND

- EXISTING
- PROPOSED
- BOUNDARY
- RIGHT-OF-WAY
- LOT LINE
- (E) SIGN
- (P) SIGN
- (E) R1-1 (STOP SIGN - 30"x30")
- (P) R1-1 (STOP SIGN - 30"x30")
- (E) D-3 (STREET NAME)
- (P) D-3 (STREET NAME)
- [6" HEIGHT; 4" LETTERING]
- (P) SPEED LIMIT SIGN (25 MPH)



REV.	DESCRIPTION	DATE

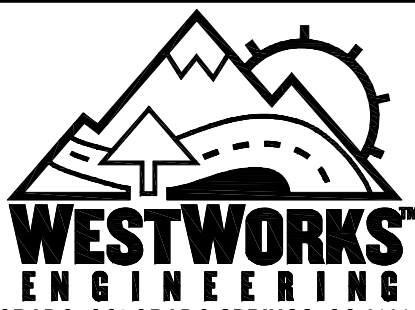


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ESH DEVELOPMENT, LLC

5671 NORTH ORACLE ROAD
SUITE #1102
TUSCON, AZ 85704
(520) 742-2114

PREPARED UNDER MY DIRECT SUPERVISION FOR AND BEHALF OF
WEST
NOT FOR CONSTRUCTION
CHAC



1023 W. COLORADO COLORADO SPRINGS, CO 80904 (719) 685-1670

ELDORADO SPRINGS

SIGNAGE & STRIPING PLAN
WESTMARK AVENUE

DESIGNED BY: CDK	DRAWN BY: CDK
SCALE: 1"=40'	DATE: 06/27/19
JOB NUMBER	SHEET
91807	SI5 OF 5

LOT 1 WORLD ARENA SUBDIVISION NO. 5

LOT 2 WORLD ARENA SUBDIVISION FILING NO. 3

BOB JOHNSON DR.

INTERSTATE 75

VENETUCCI BLVD.

CHAMBERLIN PL.

WESTMARK AVE.

UNPLATTED

POND A

POND B

STRATMOOR HILLS ADDITION NO. 2

BLOCK 1 STRATMOOR HILLS ADDITION NO. 5

SUBDIVISION OF TRACT B ABRAHAMSON'S STRATMOOR HILLS

(P) PUBLIC STORM "STM-PUB-02" TO BE OWNED AND MAINTAINED BY THE CITY OF COLORADO SPRINGS

(P) PUBLIC STORM "STM-PUB-01" TO BE OWNED AND MAINTAINED BY EL PASO COUNTY

(P) PUBLIC STORM "STM-PUB-01" TO BE OWNED AND MAINTAINED BY EL PASO COUNTY

NOTE:
UNLESS NOTED ALL PROPOSED STORM SEWERS TO BE PRIVATELY OWNED AND MAINTAINED.

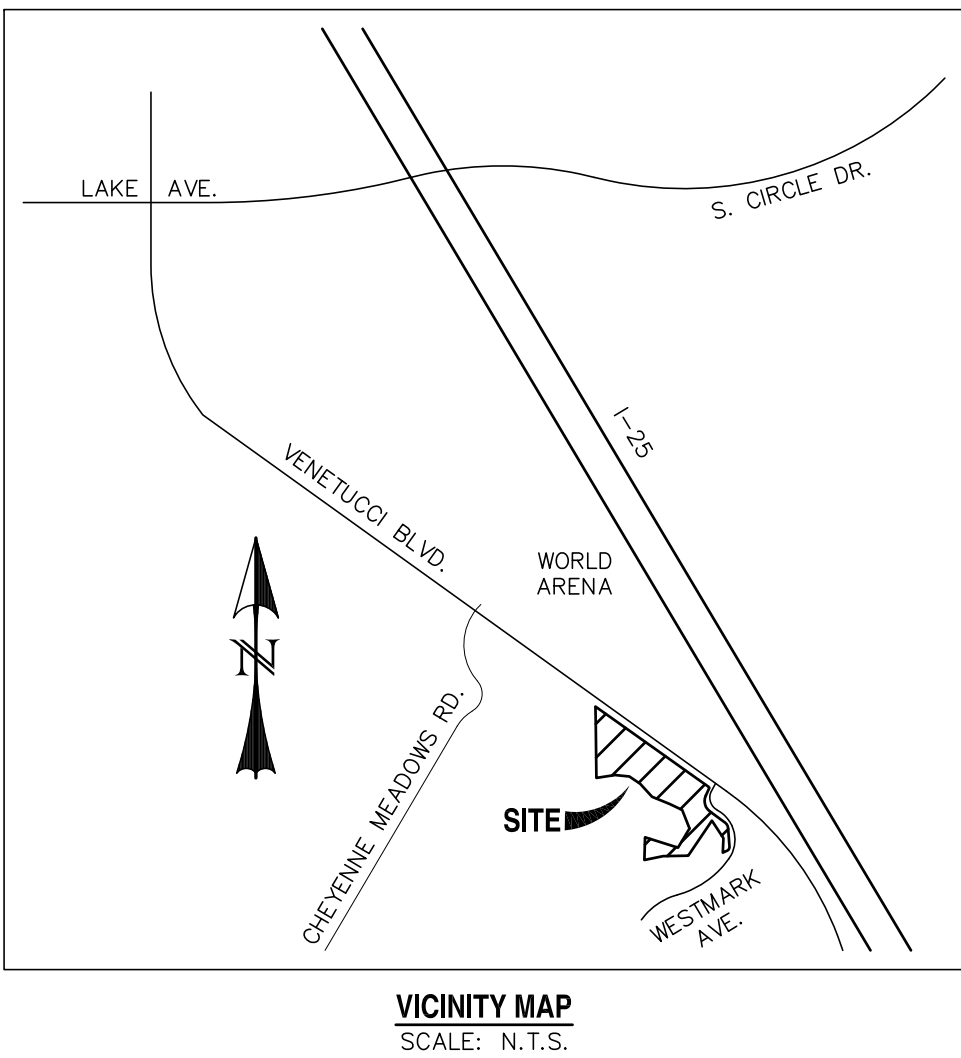
SITE MAP
SCALE: 1" = 200'

3. ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD LOCATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
3. CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
 - a. EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
 - b. CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
 - c. COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
 - d. CDOT M & S STANDARDS
4. NOTWITHSTANDING ANYTHING CONFORMED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND UTILITIES SHALL BE IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
5. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
6. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT (PCD) – INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY DRAINAGE AND STORMWATER QUALITY CONTROL PERMIT (EQSP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS—ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
8. CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
9. ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD.
10. CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
11. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
12. SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
13. SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DPW AND MUTCD CRITERIA.
14. CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DPW, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
15. THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.

1. STORMWATER DISCHARGES FROM CONSTRUCTION SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ONE-SITE OR OFF SITE WATERS, INCLUDING WETLANDS.
2. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL BE IN CONFORMANCE WITH THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS TO REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.
3. A SEPARATE STORMWATER MANAGEMENT PLAN (SWMP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. DURING CONSTRUCTION THE SWMP IS THE RESPONSIBILITY OF THE DESIGNATED STORMWATER MANAGER, SHALL BE LOCATED ON SITE AT ALL TIMES AND SHALL BE KEPT UP TO DATE WITH WORK PERMITS AND CHANGES IN THE FIELD.
4. ONCE THE ESQCP HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL BMPs AS INDICATED ON THE GEC. A PRECONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY DSD INSPECTIONS STAFF.
5. SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 21 CALENDAR DAYS AFTER FINAL GRADING, OR FINAL GRADING OF ANY DISTURBED AREAS AND STOCKPILES WHICH ARE NOT AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN 30 DAYS SHALL ALSO BE MULCHED WITHIN 21 DAYS AFTER INTERIM GRADING. AN AREA THAT IS GOING TO REMAIN IN AN INTERIM STATE FOR MORE THAN 60 DAYS SHALL ALSO BE SEEDDED. ALL TEMPORARY SOIL EROSION CONTROL MEASURES AND BMPs SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND ESTABLISHED.
6. TEMPORARY SOIL EROSION CONTROL FACILITIES SHALL BE REMOVED AND EARTH DISTURBANCE AREAS GRADED AND STABILIZED WITH PERMANENT SOIL EROSION CONTROL MEASURES PURSUANT TO STANDARDS AND SPECIFICATION PRESCRIBED IN THE DCM VOLUME II AND THE ENGINEERING CRITERIA MANUAL (ECM) APPENDIX I.
7. ALL PERSONS ENGAGED IN EARTH DISTURBANCE SHALL IMPLEMENT AND MAINTAIN ACCEPTABLE SOIL EROSION AND SEDIMENT CONTROL MEASURES INCLUDING BMPs IN CONFORMANCE WITH THE EROSION CONTROL TECHNICAL STANDARDS OF THE DRAINAGE CRITERIA MANUAL (DCM) VOLUME II AND IN ACCORDANCE WITH THE STORMWATER MANAGEMENT PLAN (SWMP).
8. ALL TEMPORARY EROSION CONTROL FACILITIES INCLUDING BMPs AND ALL PERMANENT FACILITIES INTENDED TO CONTROL EROSION OF ANY EARTH DISTURBANCE OPERATIONS, SHALL BE INSTALLED PRIOR TO THE APPROVED PLANS, SWMP, AND THE DCM VOLUME II, AND MAINTAINED THROUGHOUT THE DURATION OF THE EARTH DISTURBANCE OPERATION.
9. ANY EARTH DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY REDUCE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME.
10. ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE DESIGNED TO LIMIT THE DISCHARGE TO A NON-EROSIVE VELOCITY.
11. CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO RUNOFF TO STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
12. EROSION CONTROL BLANKETING IS TO BE USED ON SLOPES STEEPER THAN 3:1.
13. BUILDING, CONSTRUCTION, EXCAVATION, OR OTHER WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. BMPs MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.
14. VEHICLE TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFFSITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
16. THE OWNER, SITE DEVELOPER, CONTRACTOR, AND/OR THEIR AUTHORIZED AGENTS SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, AND SAND THAT MAY ACCUMULATE IN THE STORM SEWER OR OTHER DRAINAGE CONVEYANCE SYSTEM AND STORMWATER APPEARANCES AS A RESULT OF SITE DEVELOPMENT.
17. THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.
18. NO CHEMICALS ARE TO BE USED BY THE CONTRACTOR, WHICH HAVE THE POTENTIAL TO BE RELEASED IN STORMWATER UNLESS PERMISSION FOR THE USE OF A SPECIFIC CHEMICAL IS GRANTED IN WRITING BY THE ECM ADMINISTRATION. IN GRANTING THE USE OF SUCH CHEMICALS, SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
19. BULK STORAGE STRUCTURES FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE ADEQUATE PROTECTION SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING STATE OR FEDERAL WATERWAYS.
20. NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE FLOW LINE OF THE CURB AND GUTTER OR IN THE DITCHLINE.
21. INDIVIDUALS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS), AND THE "CLEAN WATER ACT" (33 USC 1344), IN ADDITION TO THE REQUIREMENTS IN THE PERMIT AND THE ECM APPENDIX I. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (NPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.). IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, OR COUNTY AGENCIES, THE MORE RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
22. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
23. PRIOR TO ACTUAL CONSTRUCTION THE PERMITEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.
24. A WATER SOURCE SHALL BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
25. THE SOILS REPORT FOR THIS SITE HAS BEEN PREPARED BY _____ AND SHALL BE CONSIDERED A PART OF THESE PLANS.
26. AT LEAST TEN DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB 1 ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION CONTAINING CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART, FOR INFORMATION OR APPLICATION MATERIALS CONTACT:

COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT
WATER QUALITY CONTROL DIVISION
WOOD - PERMITS
4300 CREEK DRIVE SOUTH
DENVER, CO 80246-1530
ATTN: PERMITS UNIT

DEVELOPER:	ESH DEVELOPMENT, LLC 5671 NORTH ORACLE ROAD, SUITE 1102 TUSCON, AZ 85704 EMERY CHUKLY (520) 742-2114
ENGINEER:	WESTWORKS ENGINEERING 1023 W. COLORADO AVENUE COLORADO SPRINGS, CO 80904 CHAD D. KUZBEK, P.E. (719) 686-1670
EL PASO COUNTY:	PLANNING AND COMMUNITY DEVELOPMENT 2850 INTERNATIONAL CIRCLE, SUITE 110 COLORADO SPRINGS, CO 80910 (719) 520-7959
UTILITIES: (WATER & SANITARY)	STRATMOOR HILLS WATER & SANITATION DISTRICT 1811 B STREET COLORADO SPRINGS, CO 80906 KIRK MEDINA (719) 576-0311
UTILITIES: (GAS)	COLORADO SPRINGS UTILITIES 111 S. CASCADE AVENUE COLORADO SPRINGS, CO 80903 (719) 448-4800
FIRE:	STRATMOOR HILLS FIRE PROTECTION DISTRICT 2160 B STREET COLORADO SPRINGS, CO 80906 DOTTIE BARRETT (719) 576-1200



THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID DETAILED PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE CITY/COUNTY FOR DETAILED DRAINAGE PLANS AND SPECIFICATIONS, AND SAID DETAILED PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH THE MASTER PLAN OF THE DRAINAGE BASIN. SAID DETAILED PLANS AND SPECIFICATIONS MEET THE PURPOSES WHICH THE PARTICULAR DRAINAGE FACILITY(S) IS DESIGNED. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERROR OR OMISSIONS ON MY PART IN PREPARATION OF THE DETAILED PLANS AND SPECIFICATIONS.

CHAD D. KUZBEK, COLORADO PE #35751

DATE _____

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

JENNIFER IRVINE, P.E.
COUNTY ENGINEER/ECM ADMINISTRATOR

THE OWNER WILL COMPLY WITH THE REQUIREMENTS OF THE STORM SEWER PLANS

OWNER NAME:

DATE _____

FOR THE CITY ENGINEER

DATE _____

TITLE SHEET	ST1	OF 10
STORM SEWER PLAN & PROFILES [PRIVATE]		
STM-01, STM-02, STM-03 & STM-03A	ST2	OF 10
STM-04, STM-05, & STM-07	ST3	OF 10
STM-06, STM-06A, & STM-06B	ST4	OF 10
STM-08	ST5	OF 10
STORM SEWER PLAN & PROFILES [PUBLIC]		
STM-PUB-01	ST6	OF 10
STM-PUB-02	ST7	OF 10
PERMANENT BMP POND A PLAN	ST8	OF 10
PERMANENT BMP POND B PLAN	ST9	OF 10
DETAIL SHEET	ST10	OF 10

REV.	DESCRIPTION	DATE
1	ADDRESS AGENCY COMMENTS	02/07/20



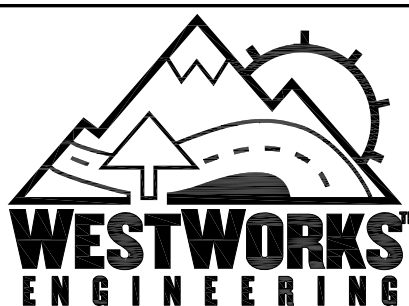
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ESH DEVELOPMENT, LLC
5671 NORTH ORACLE ROAD
SUITE #1102
TUSCON, AZ 85704
(520) 742-2114

PREPARED UNDER MY DIRECT SUPERVISION FOR AND BEHALF OF
WESTVUE

**NOT FOR
CONSTRUCTION**

CHAD C. ROBERT, GEOLGIST, P.E. #30761 DATE



1023 W. COLORADO COLORADO SPRINGS, CO 80904 (719) 685-1670

ELDORADO SPRINGS

DESIGNED BY: MGP

MGP

SCALE: 1"=200'

'07 / 20

STORM SEWER PLAN & PROFILES

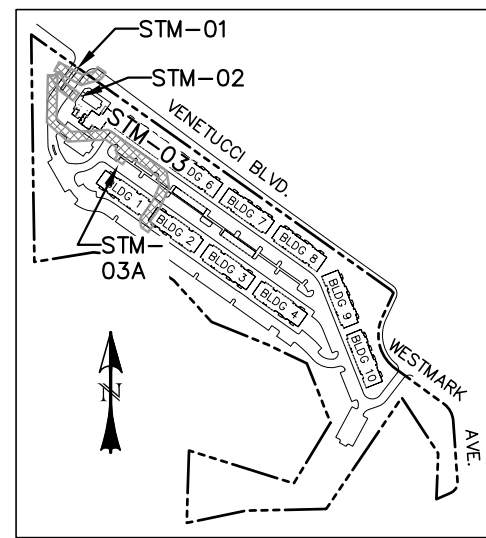
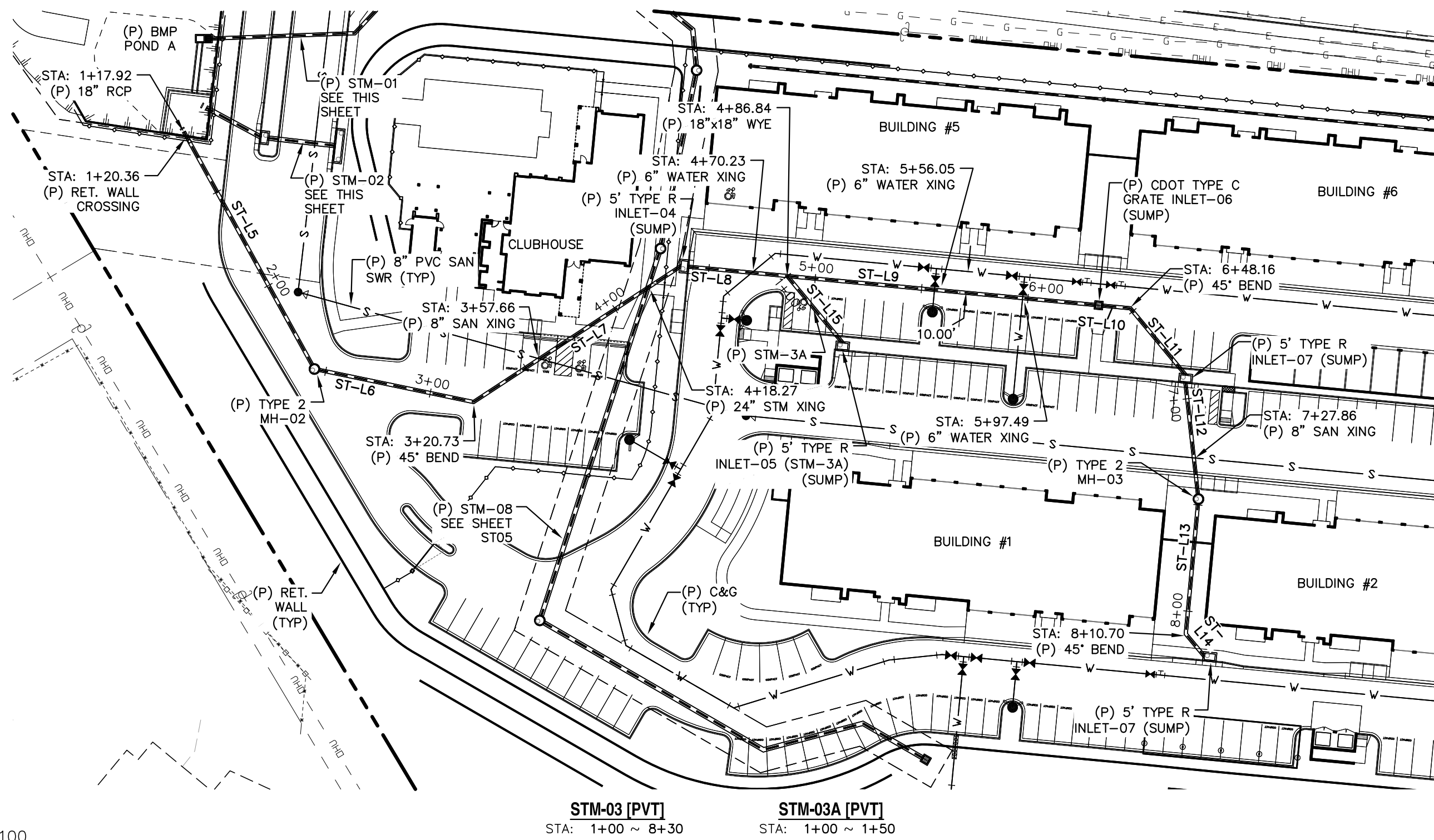
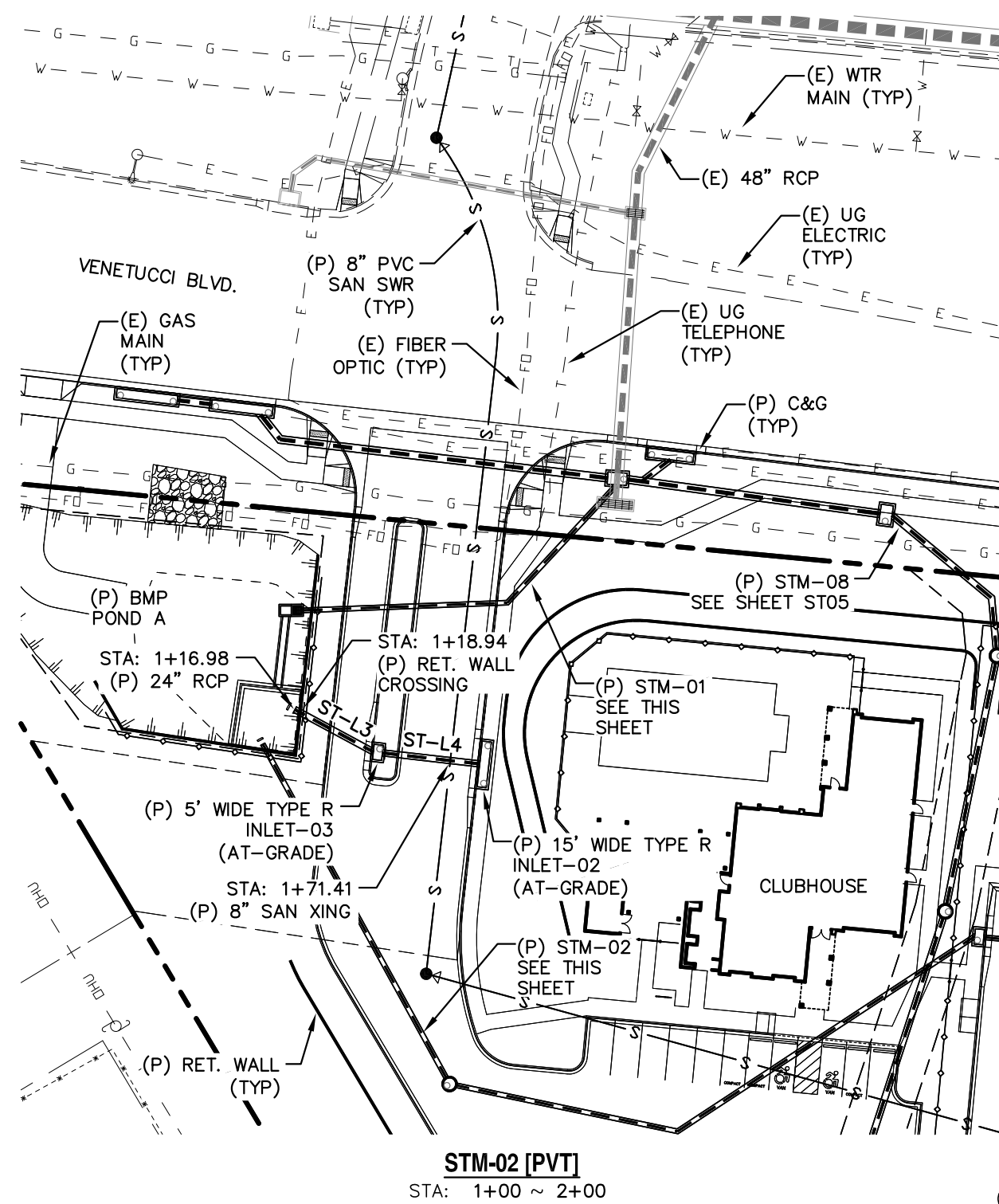
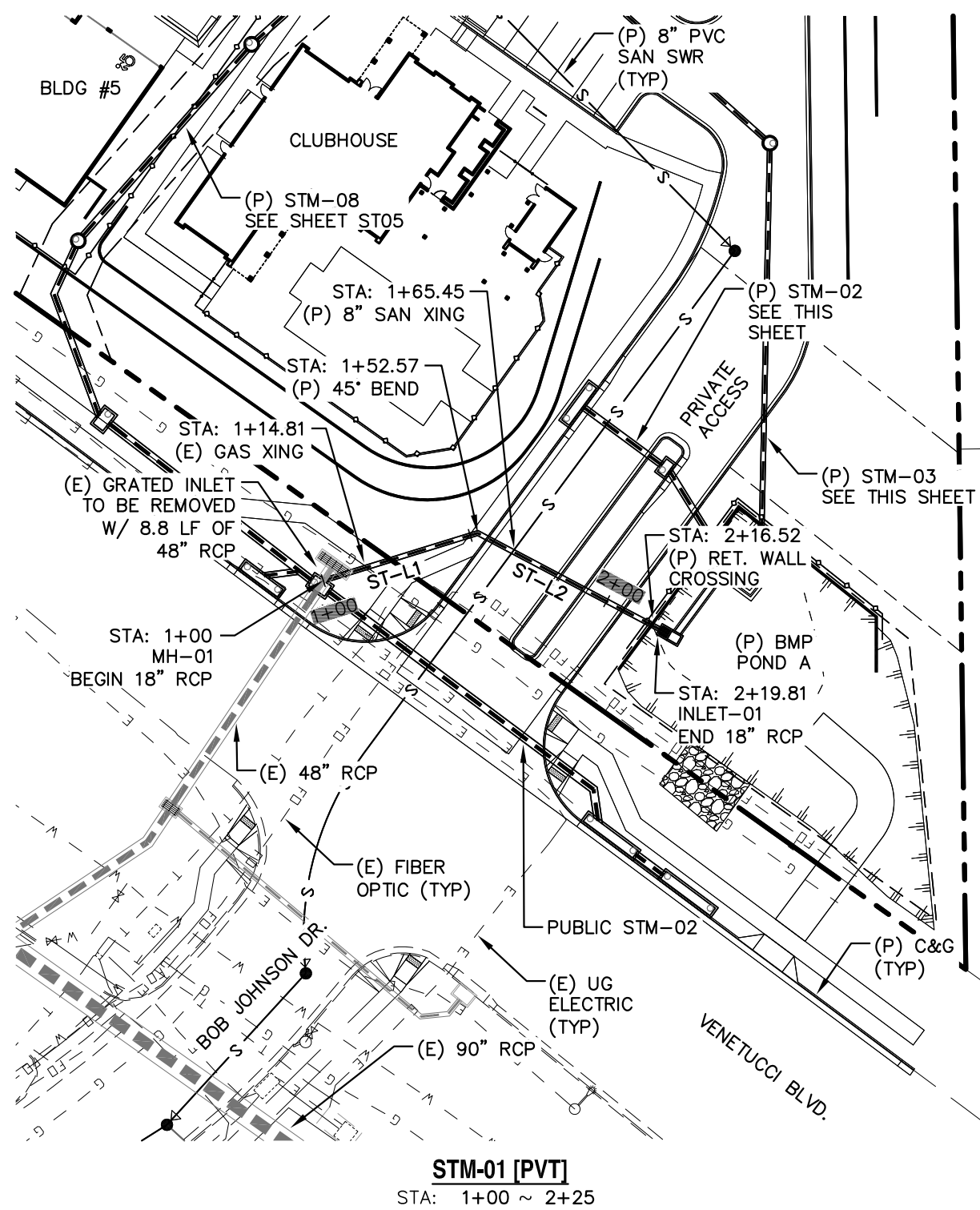
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JOB NUMBER

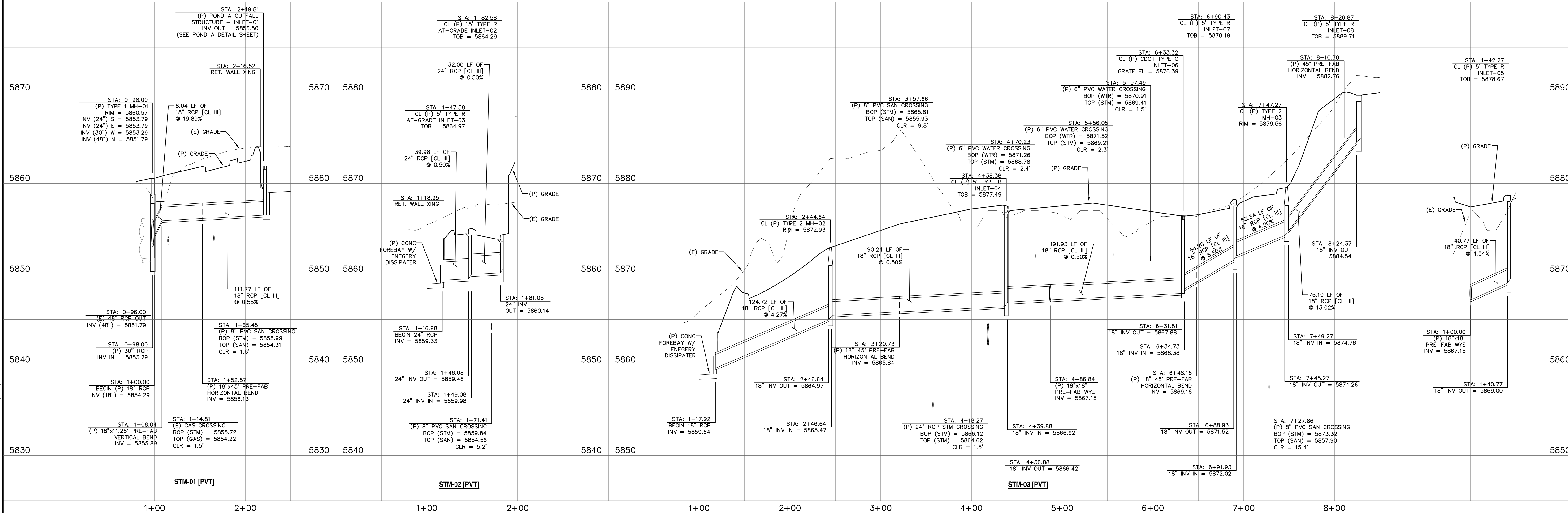
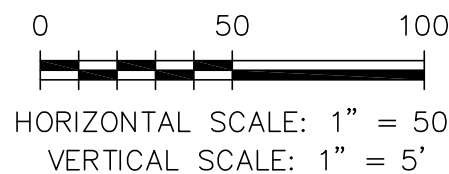
SHEET

91807

ST1 OF 10



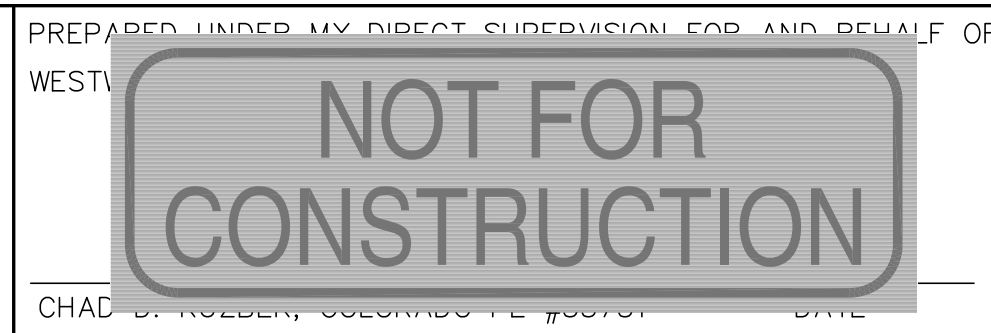
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LINE	BEARING	DISTANCE
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ST-2	N62°08'05"W	67.24
ST-3	S31°40'01"E	29.10
ST-4	S53°33'06"E	32.00
ST-5	S01°11'49"W	124.72
ST-6	S48°15'53"E	74.08
ST-7	N68°44'07"E	116.15
ST-8	S54°37'33"E	46.95
ST-9	S54°37'33"E	144.98
ST-10	S54°37'33"E	13.43
ST-11	S09°37'33"E	40.77
ST-12	S23°36'17"W	53.33
ST-13	S35°22'27"W	61.43
ST-14	S09°37'33"E	13.68
ST-15	S09°37'33"E	40.77



REV.	DESCRIPTION	DATE
1	ADDRESS AGENCY COMMENTS	02/07/20

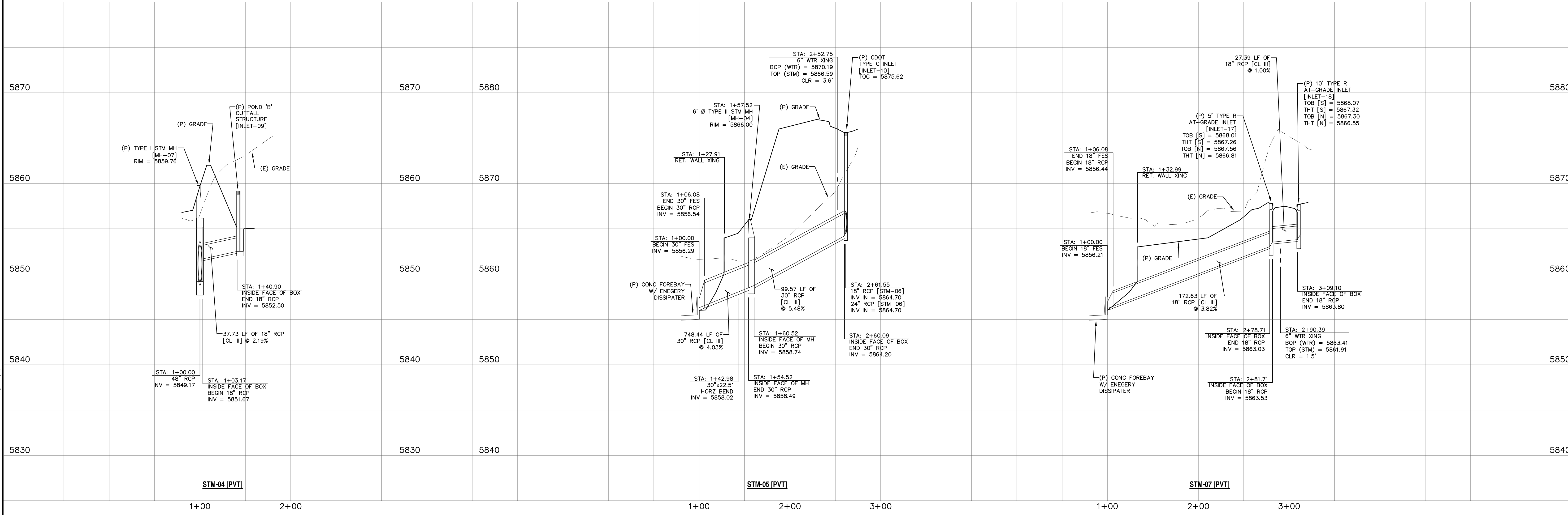
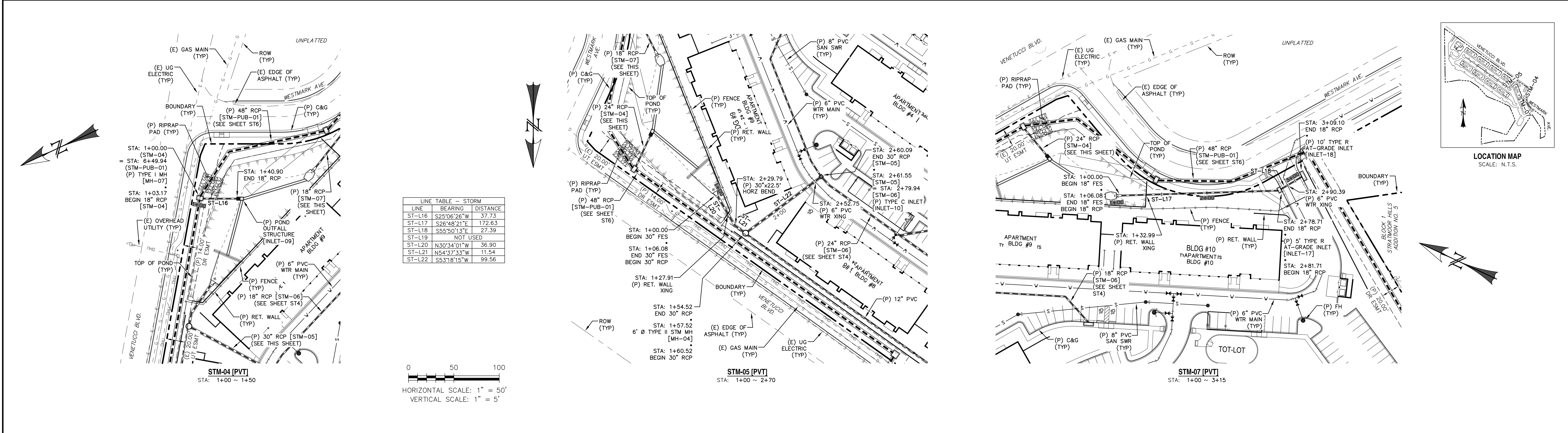


PREPARED FOR:
ESH DEVELOPMENT, LLC
5671 NORTH ORACLE ROAD
SUITE #102
TUSCON, AZ 85704
(520) 742-2114



ELDORADO SPRINGS
STORM SEWER PLAN & PROFILES
STM-01, STM-02, STM-03, & STM-03A

DESIGNED BY: MGP	DRAWN BY: CDK
SCALE: 1"=50'	DATE: 02/07/20
JOB NUMBER: 91807	SHEET: ST2 OF 10



REV.	DESCRIPTION	DATE
1	ADDRESS AGENCY COMMENTS	02/07/20

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Call 72 hours before you dig.
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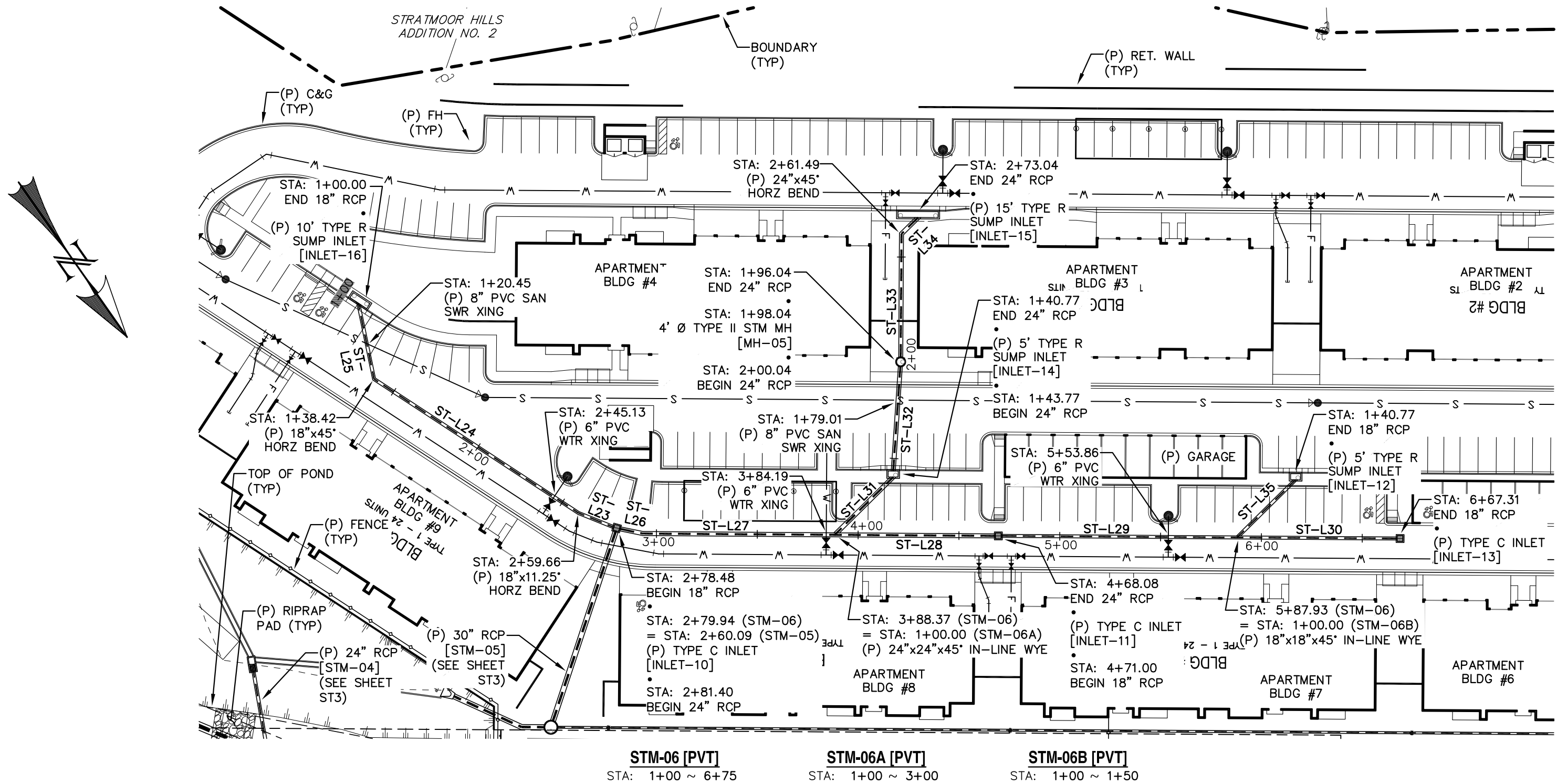
PREPARED UNDER MY DIRECT SUPERVISION FOR AND BEHALF OF
WESTWORKS ENGINEERING

1023 W. COLORADO COLORADO SPRINGS, CO 80904 (719) 685-1670

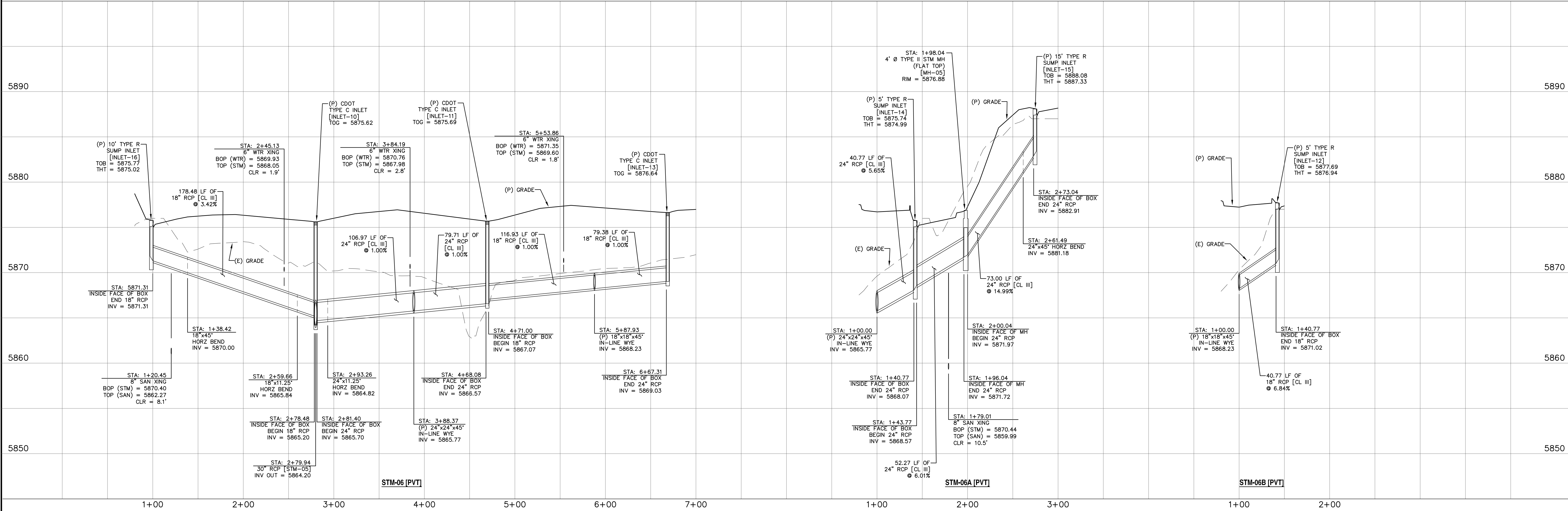
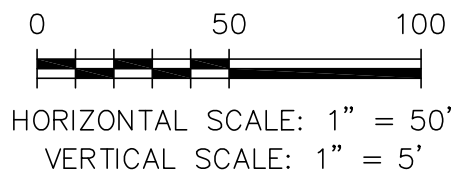
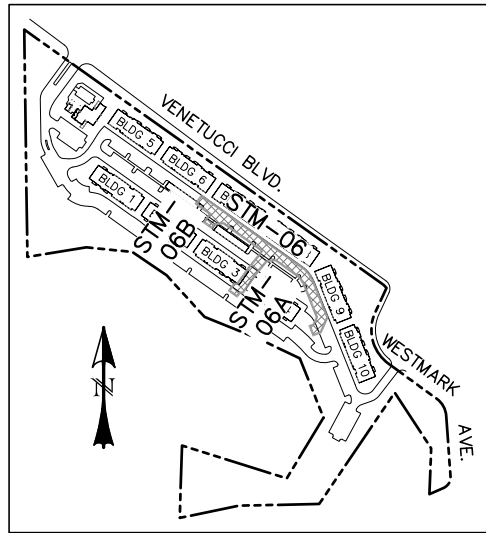
ELDERADO SPRINGS

STORM SEWER PLAN & PROFILES
STM-04, STM-05, & STM-07

DESIGNED BY:	MGP	DRAWN BY:	MGP
SCALE:	1"=50'	DATE:	02/07/20
JOB NUMBER	91807	SHEET	ST3 OF 10



LINE TABLE - STORM		
LINE	BEARING	DISTANCE
ST-L23	S33°01'15"E	18.82
ST-L24	S21°46'15"E	121.24
ST-L25	S23°13'45"W	38.42
ST-L26	N43°22'33"W	11.86
ST-L27	N54°37'33"W	95.11
ST-L28	N54°37'33"W	79.71
ST-L29	N54°37'33"W	116.93
ST-L30	N54°37'33"W	79.38
ST-L31	S80°22'27"W	40.77
ST-L32	S38°53'49"W	52.77
ST-L33	S35°22'27"W	61.44
ST-L34	S80°22'27"W	11.55
ST-L35	S80°22'27"W	40.77



REV.	DESCRIPTION	DATE
1	ADDRESS AGENCY COMMENTS	02/07/20

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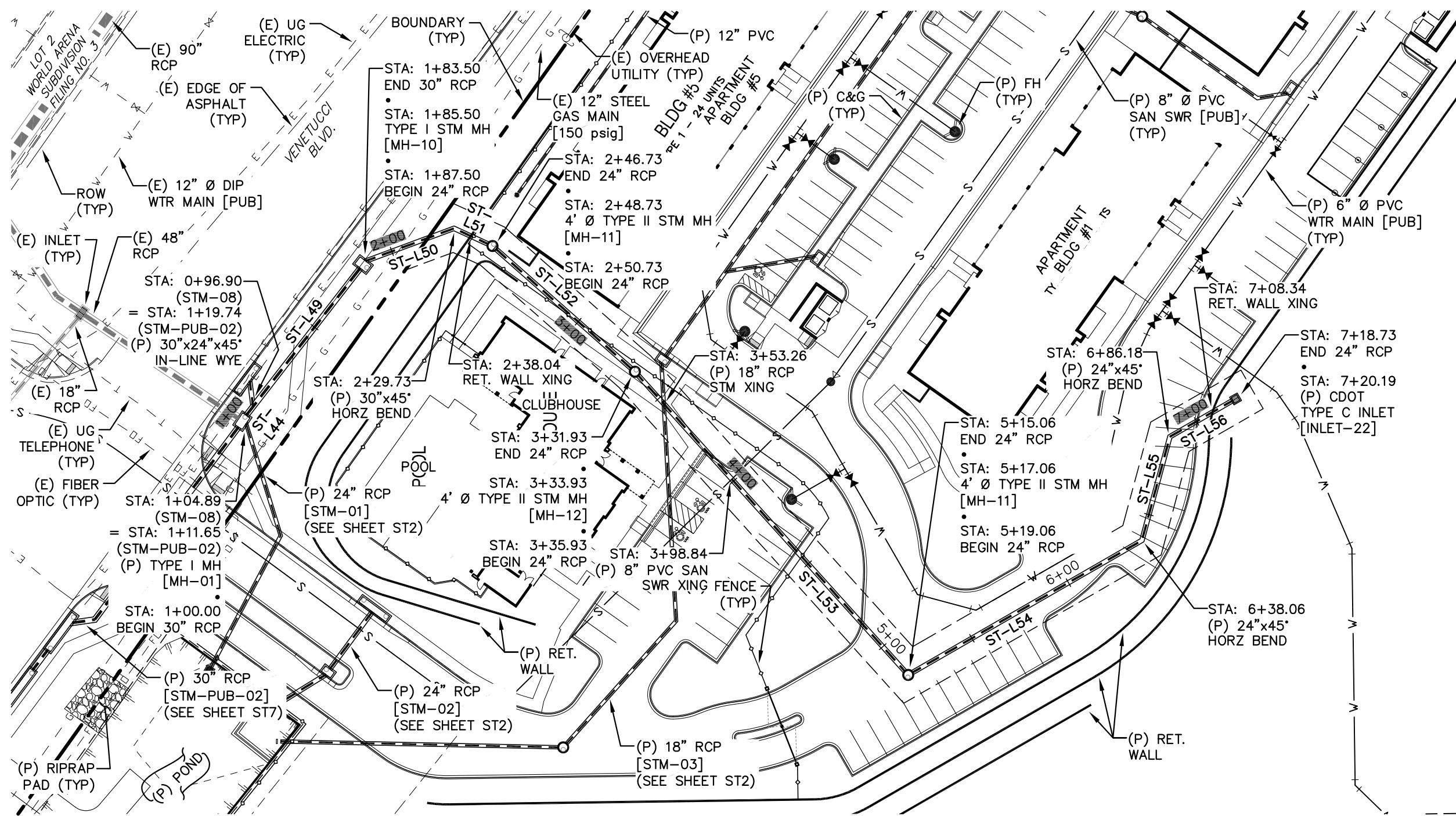
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ESH DEVELOPMENT, LLC
5671 NORTH ORACLE ROAD
SUITE #102
TUSCON, AZ 85704
(520) 742-2114

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CHAD [Signature]

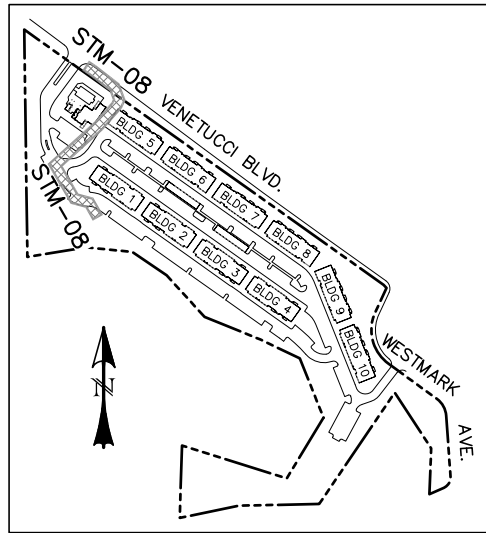
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ELDORADO SPRINGS
STORM SEWER PLAN & PROFILES
STM-06, STM-06A, & STM-06B

DESIGNED BY:	MGP	DRAWN BY:	MGP
SCALE:	1"=50'	DATE:	02/07/20
JOB NUMBER	91807	SHEET	ST4 OF 10

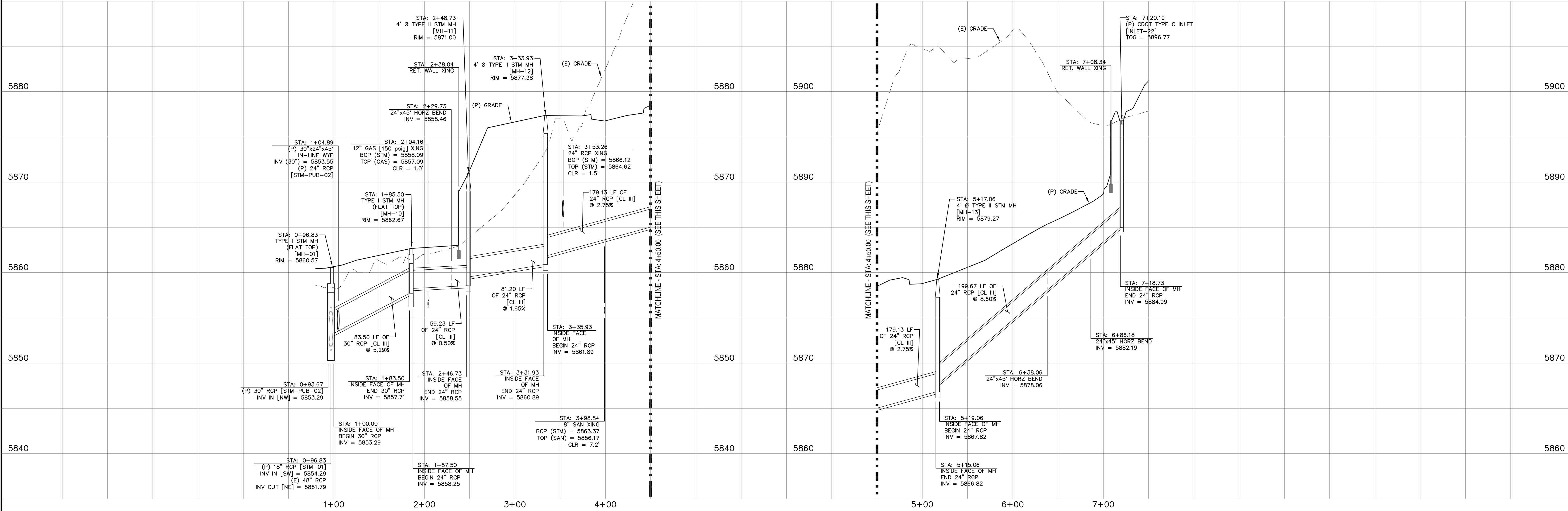


LINE TABLE - STORM		
LINE	BEARING	DISTANCE
ST-L44	S52°15'45\"/>	4.89
ST-L49	S52°15'45\"/>	78.62
ST-L50	S20°19'40\"/>	42.22
ST-L51	S24°40'20\"/>	17.00
ST-L52	S41°25'52\"/>	81.21
ST-L53	S47°58'20\"/>	179.12
ST-L54	S29°56'19\"/>	119.00
ST-L55	S74°56'19\"/>	48.12
ST-L56	S29°56'19\"/>	32.55



LOCATION MAP
SCALE: N.T.S.

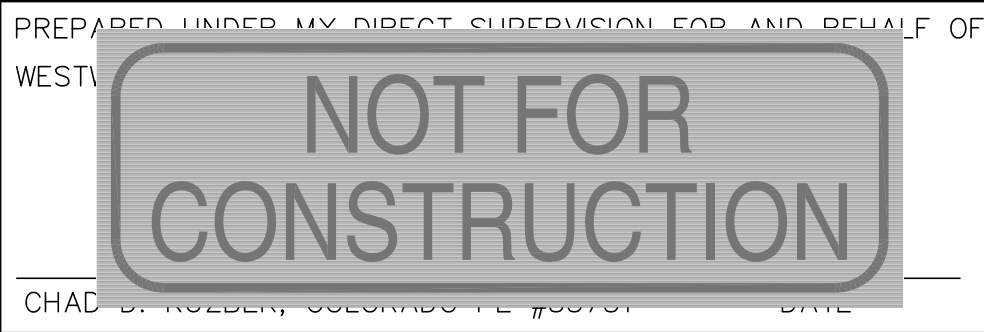
0 50 100
HORIZONTAL SCALE: 1" = 50'
VERTICAL SCALE: 1" = 5'



REV.	DESCRIPTION	DATE
1	ADDRESS AGENCY COMMENTS	02/07/20

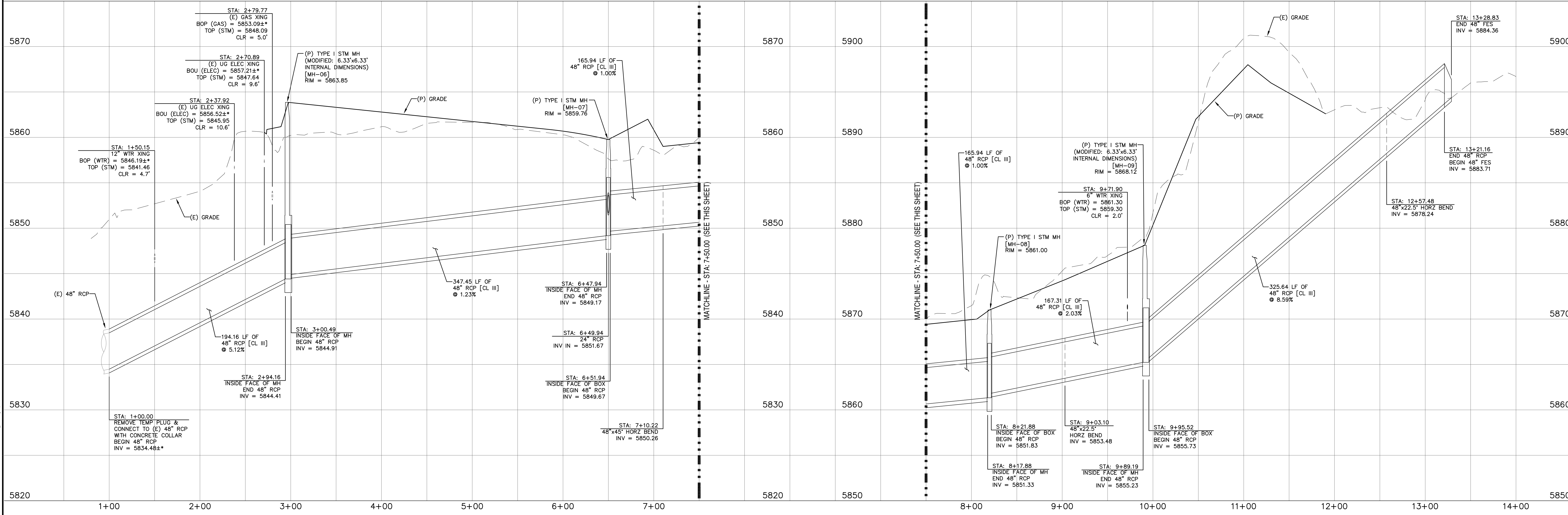
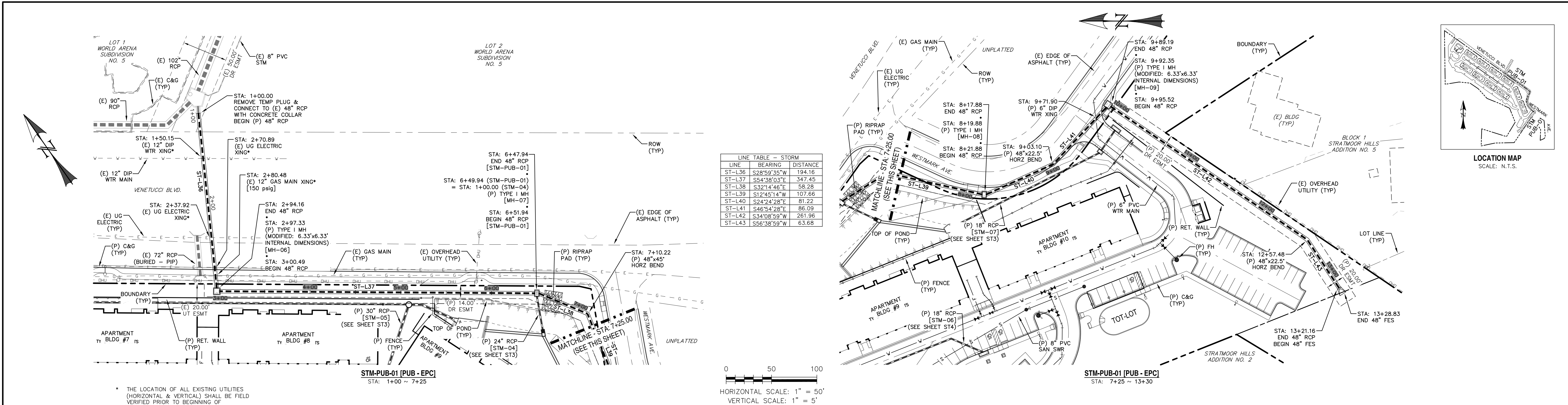


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ELDERADO SPRINGS
STORM SEWER PLAN & PROFILES
STM-08

DESIGNED BY:	MGP	DRAWN BY:	MGP
SCALE:	1"=50'	DATE:	02/07/20
JOB NUMBER	91807	SHEET	ST5 OF 10



REV.	DESCRIPTION	DATE
1	ADDRESS AGENCY COMMENTS	02/07/20




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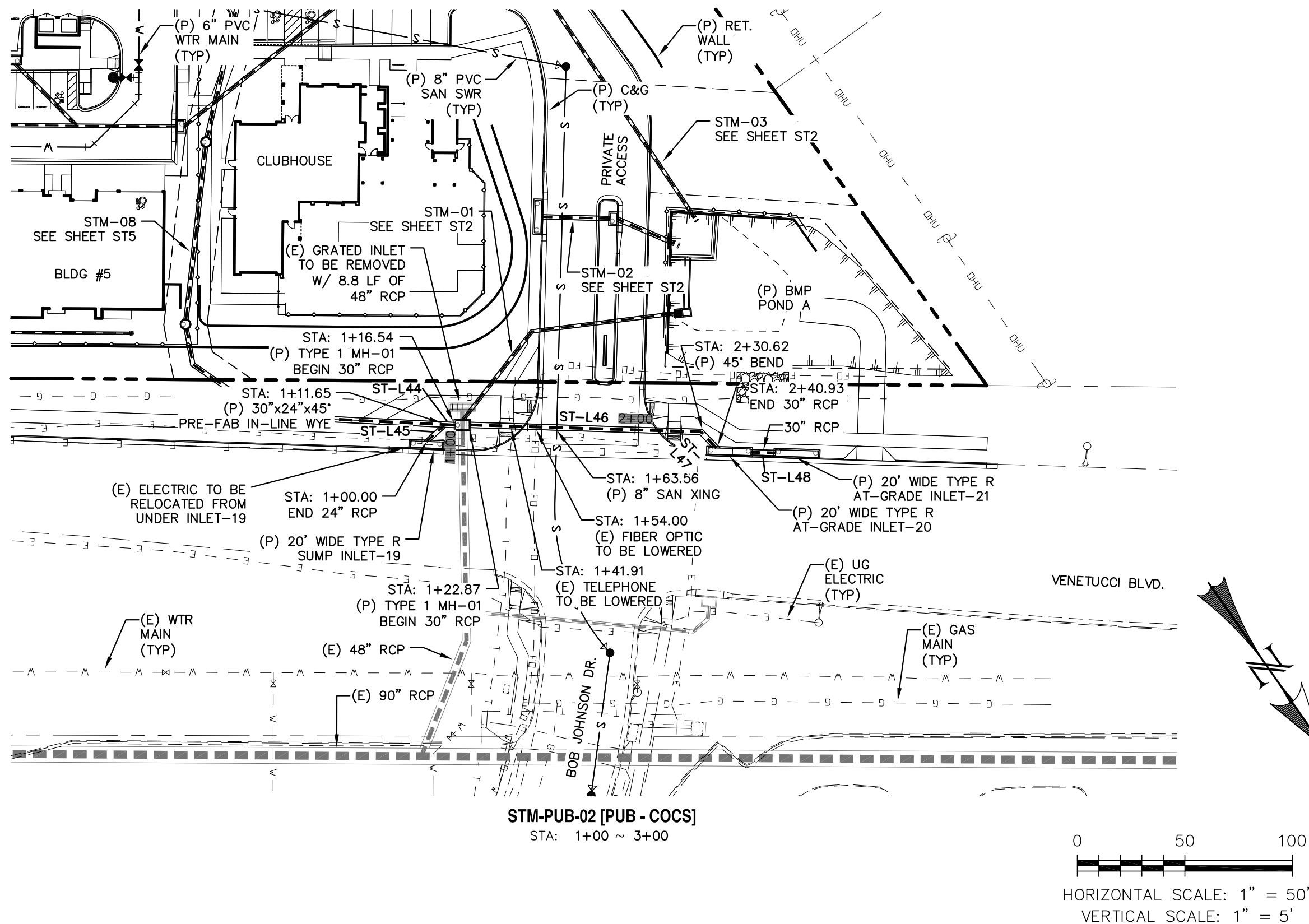
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ELDERADO SPRINGS

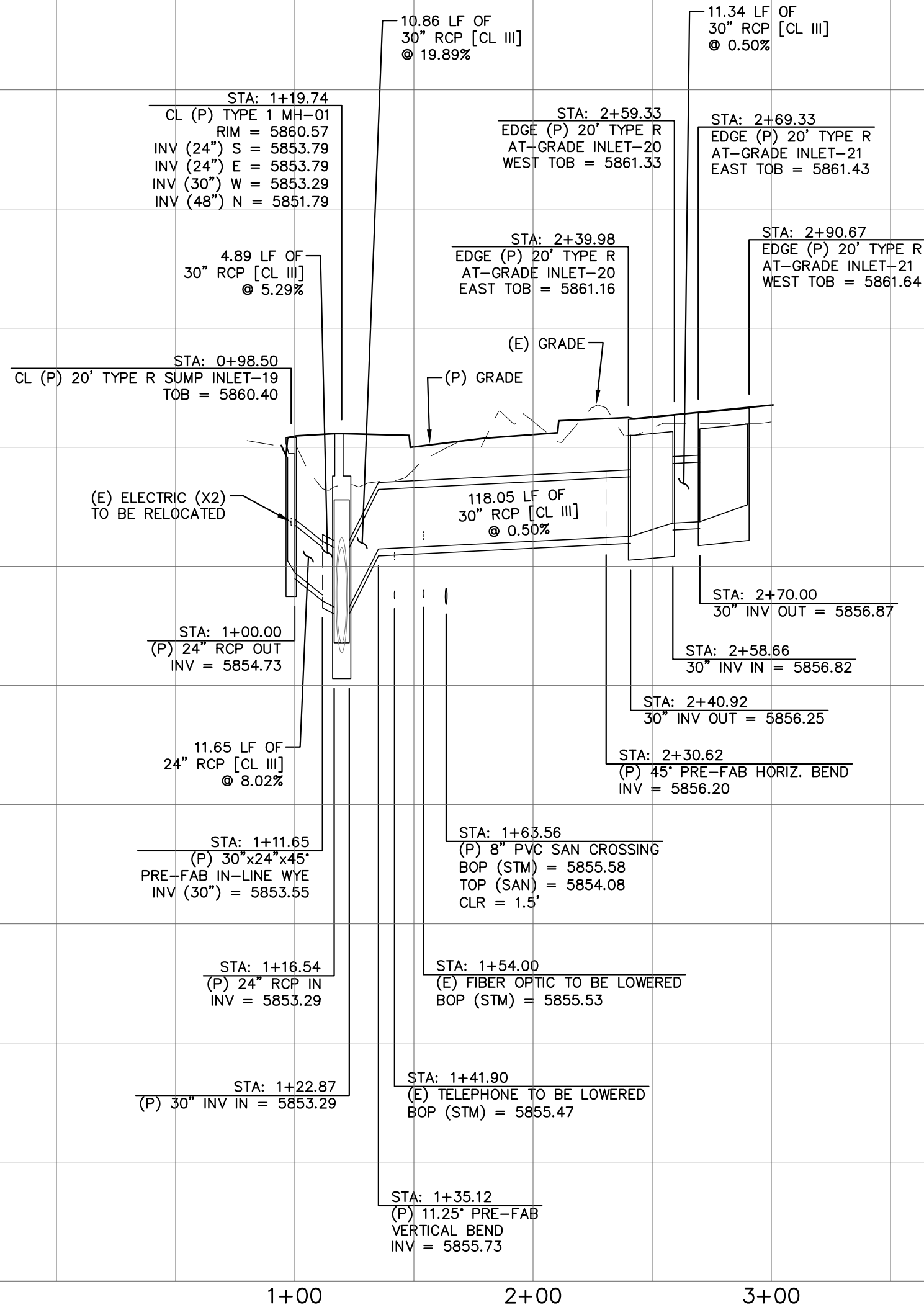
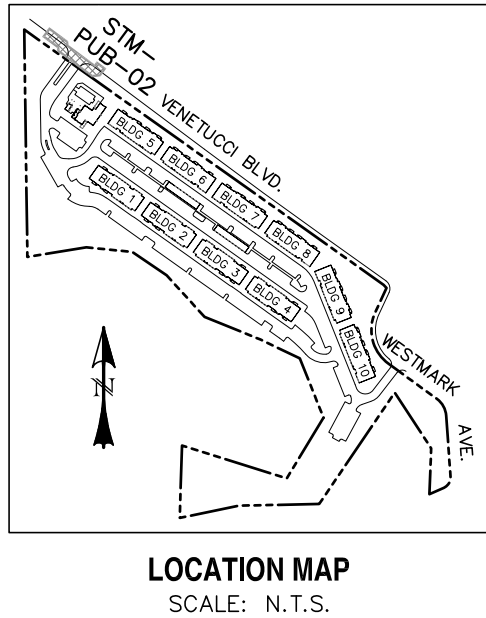
STORM SEWER PLAN & PROFILES
STM-PUB-01

DESIGNED BY: MGP
SCALE: 1"=50'
JOB NUMBER: 91807

DRAWN BY: MGP
DATE: 02/07/20
SHEET: ST5 OF 10



LINE TABLE - STORM		
LINE	BEARING	DISTANCE
ST-L44	S52°15'45"E	4.89
ST-L45	N82°44'15"E	11.65
ST-L46	N53°16'45"W	107.76
ST-L47	N08°16'45"W	10.30
ST-L48	N53°16'45"W	11.34



REV.	DESCRIPTION	DATE
1	ADDRESS AGENCY COMMENTS	02/07/20



REVIEW:	
STREET DESIGN FOR CITY ENGINEERING	DATE: _____
UTILITY GRADE REVIEW	DATE: _____
CURB & GUTTER REVIEW	DATE: _____
FINAL REVIEW	DATE: _____
DRAINAGE DESIGN	DATE: _____

THIS IS FILED IN ACCORDANCE WITH SECTION 7-7-906 (DRAINAGE ORDINANCE) OF THE CODE OF COLORADO SPRINGS 2001, AS AMENDED.

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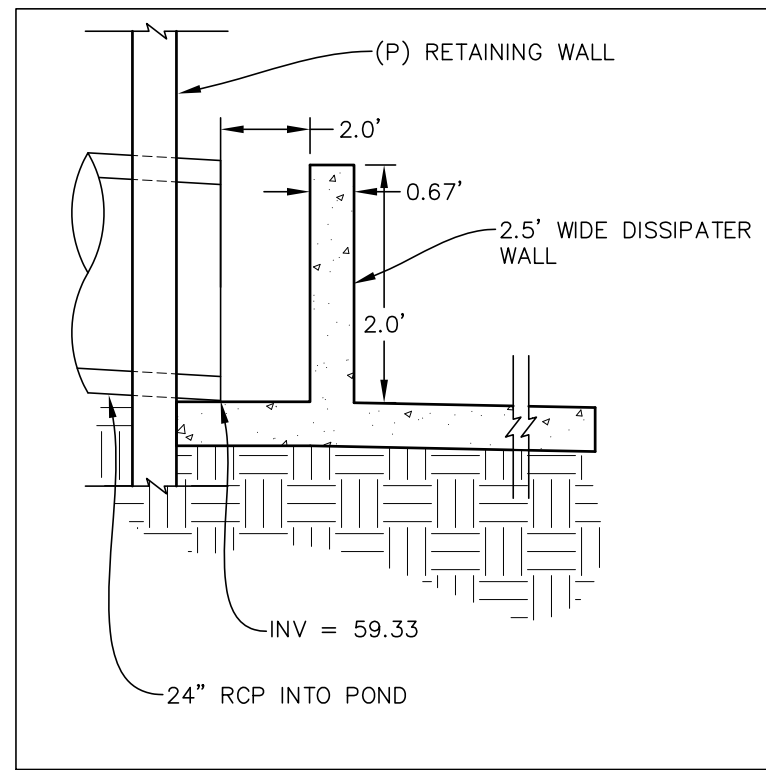
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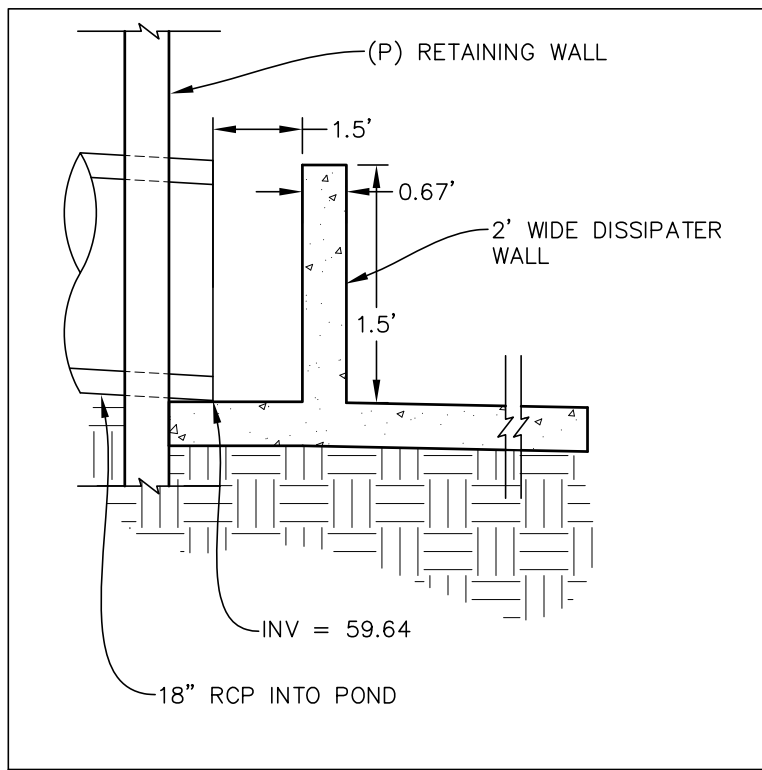
ELDORADO SPRINGS

STORM SEWER PLAN & PROFILES
STM-PUB-02

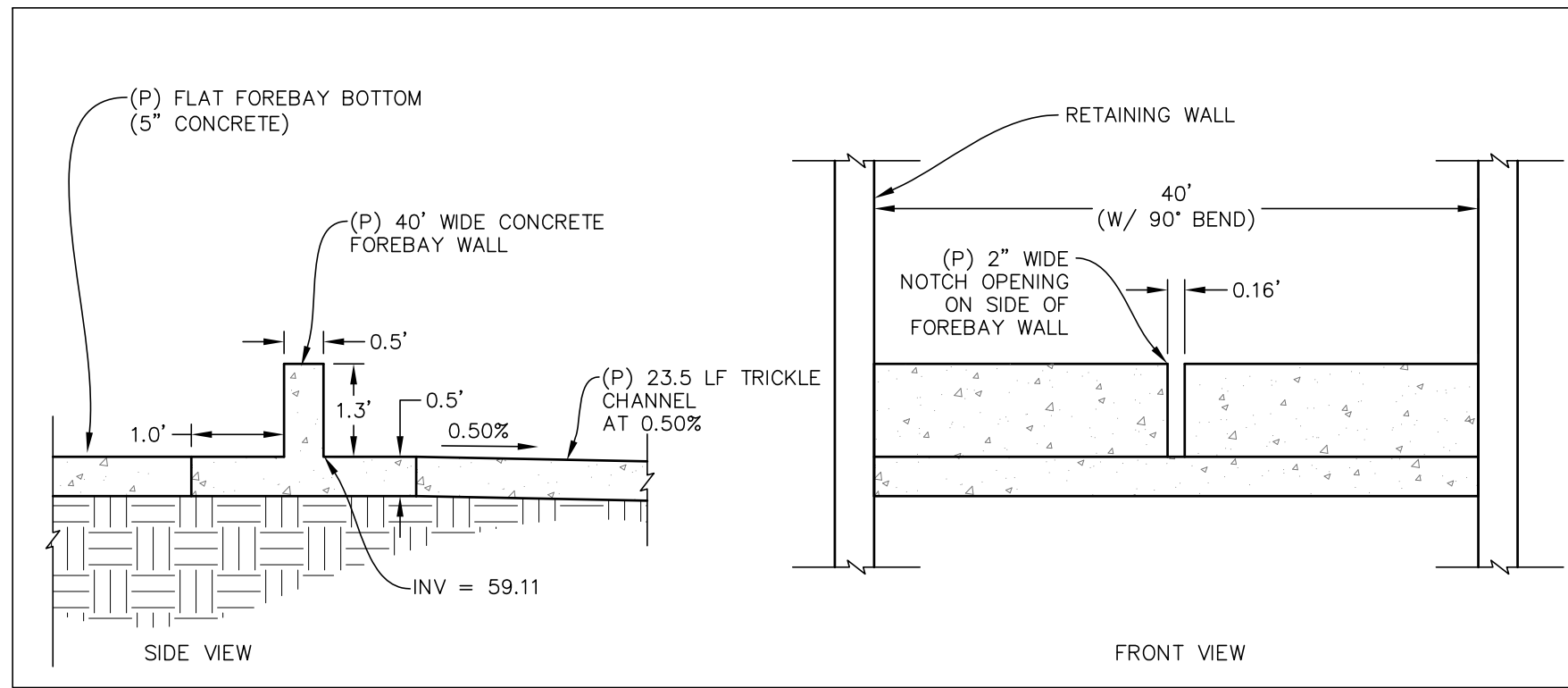
DESIGNED BY:	MGP	DRAWN BY:	CDK
SCALE:	1"=50'	DATE:	02/07/20
JOB NUMBER	91807	SHEET	ST7 OF 10



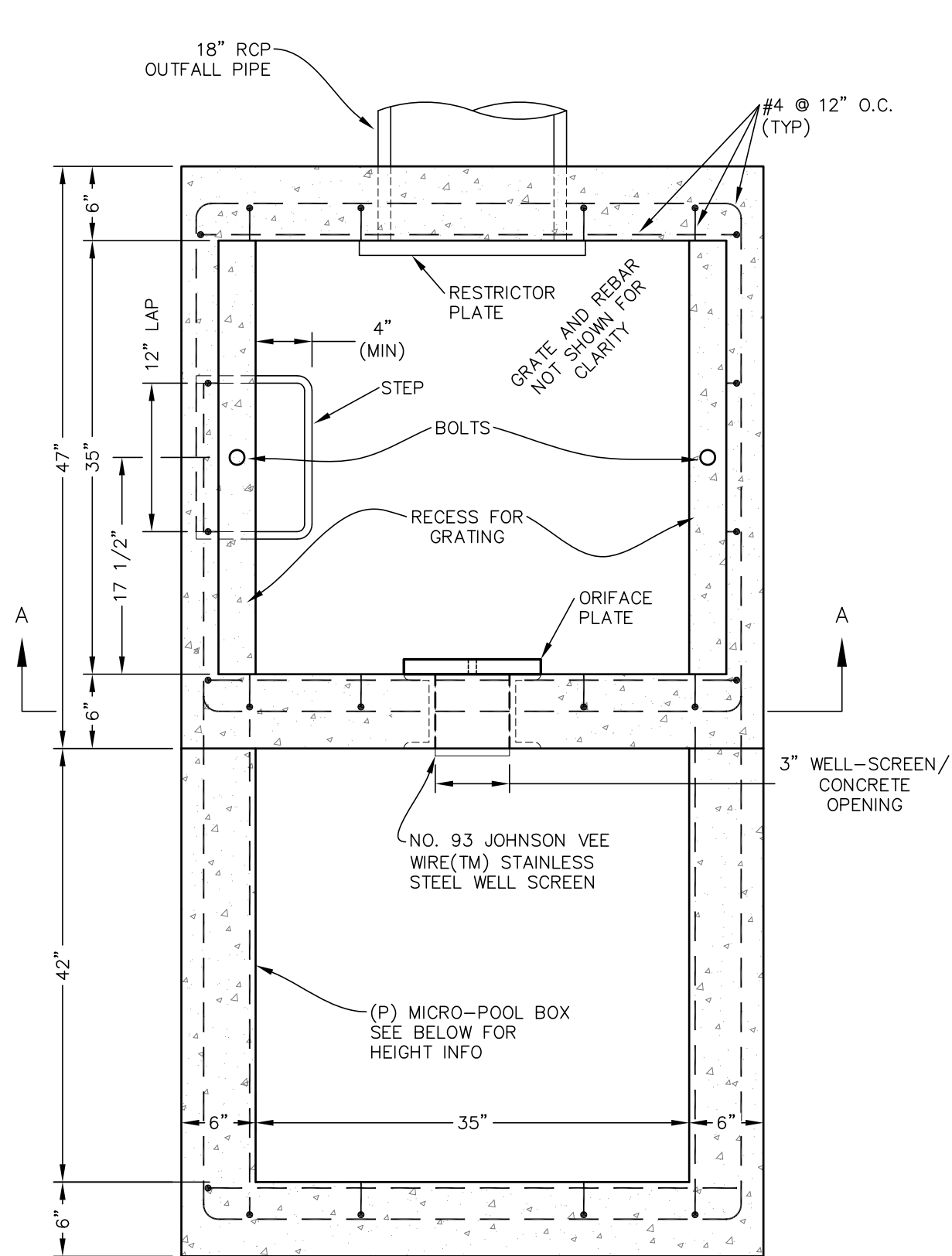
FOREBAY DISSIPATER ST-L3
SCALE: N.T.S.



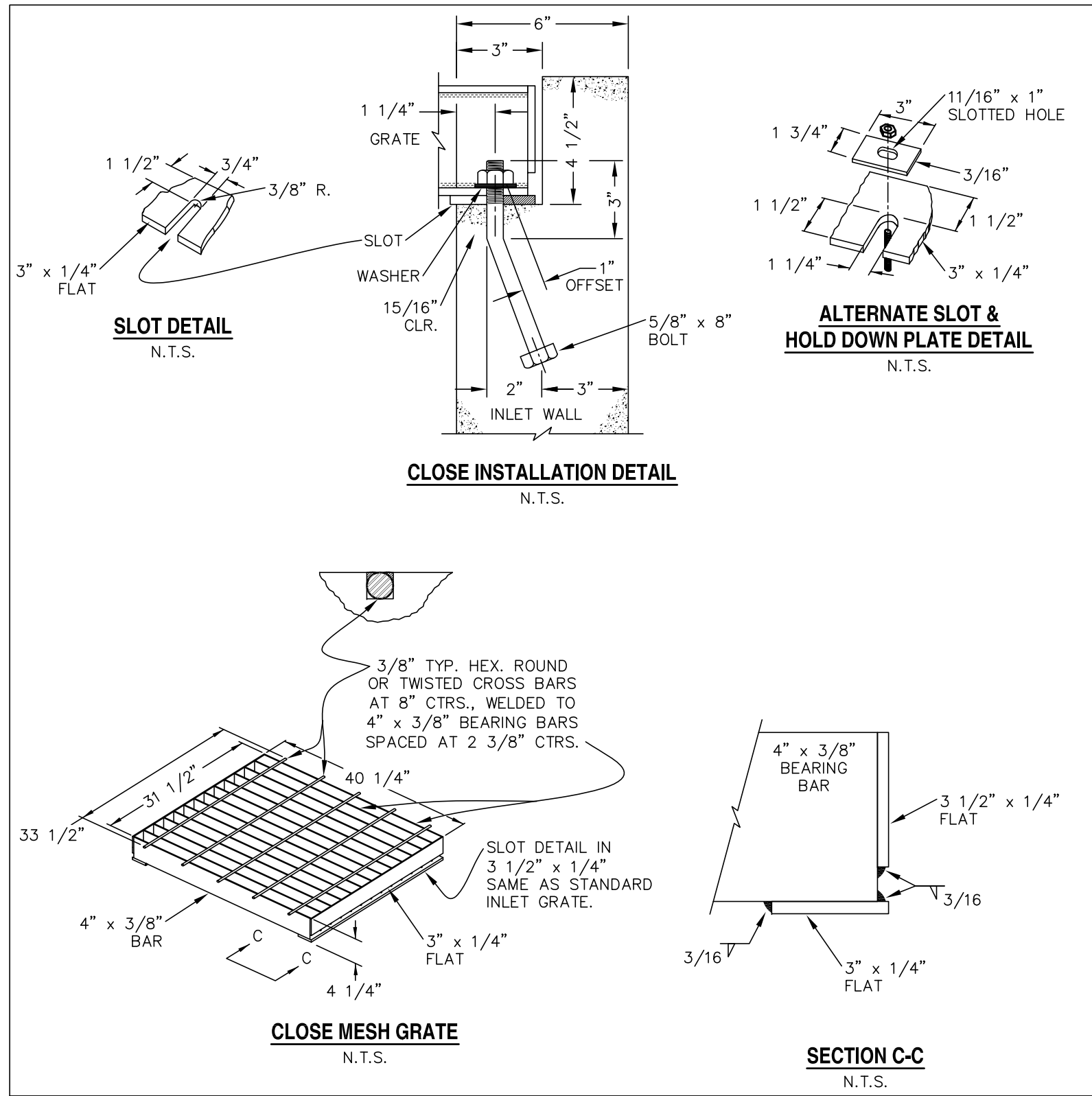
FOREBAY DISSIPATER ST-L5
SCALE: N.T.S.



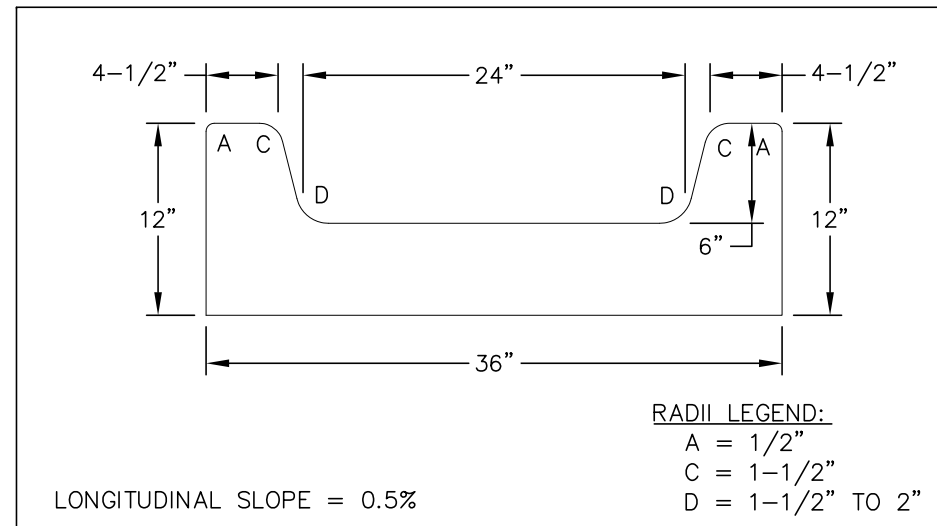
FOREBAY WALL DETAILS
SCALE: N.T.S.



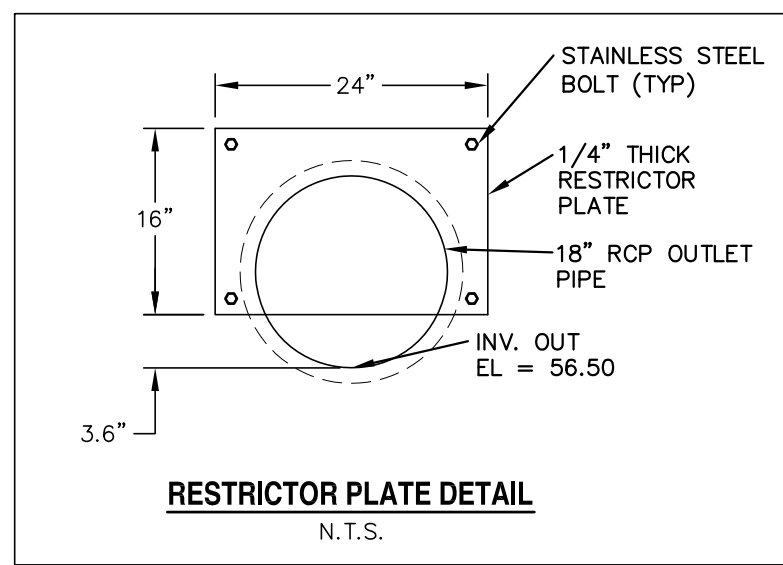
PLAN VIEW
N.T.S.



CDOT MESH GRATE DETAILS
N.T.S.

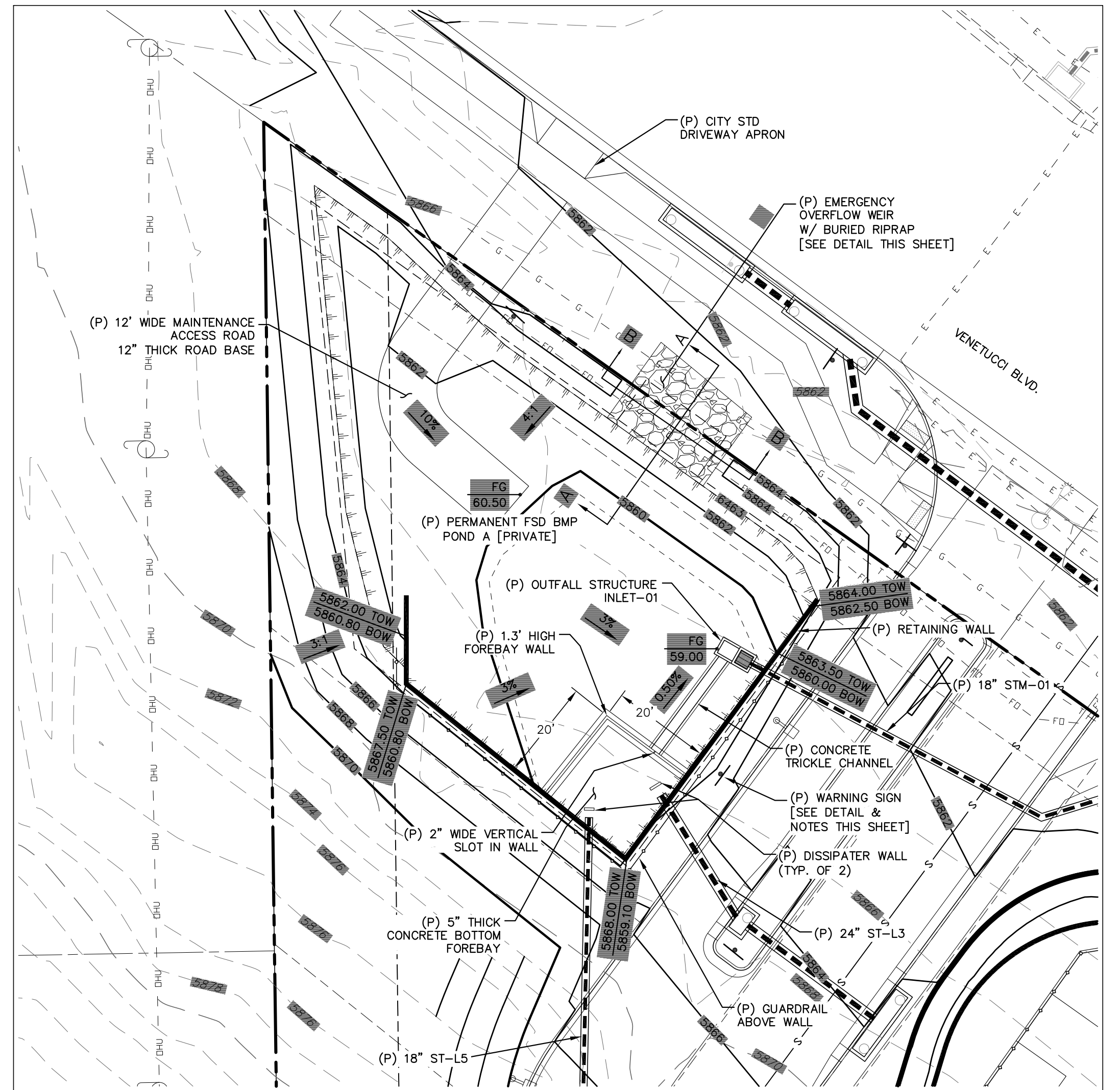


CONCRETE TRICKLE CHANNEL
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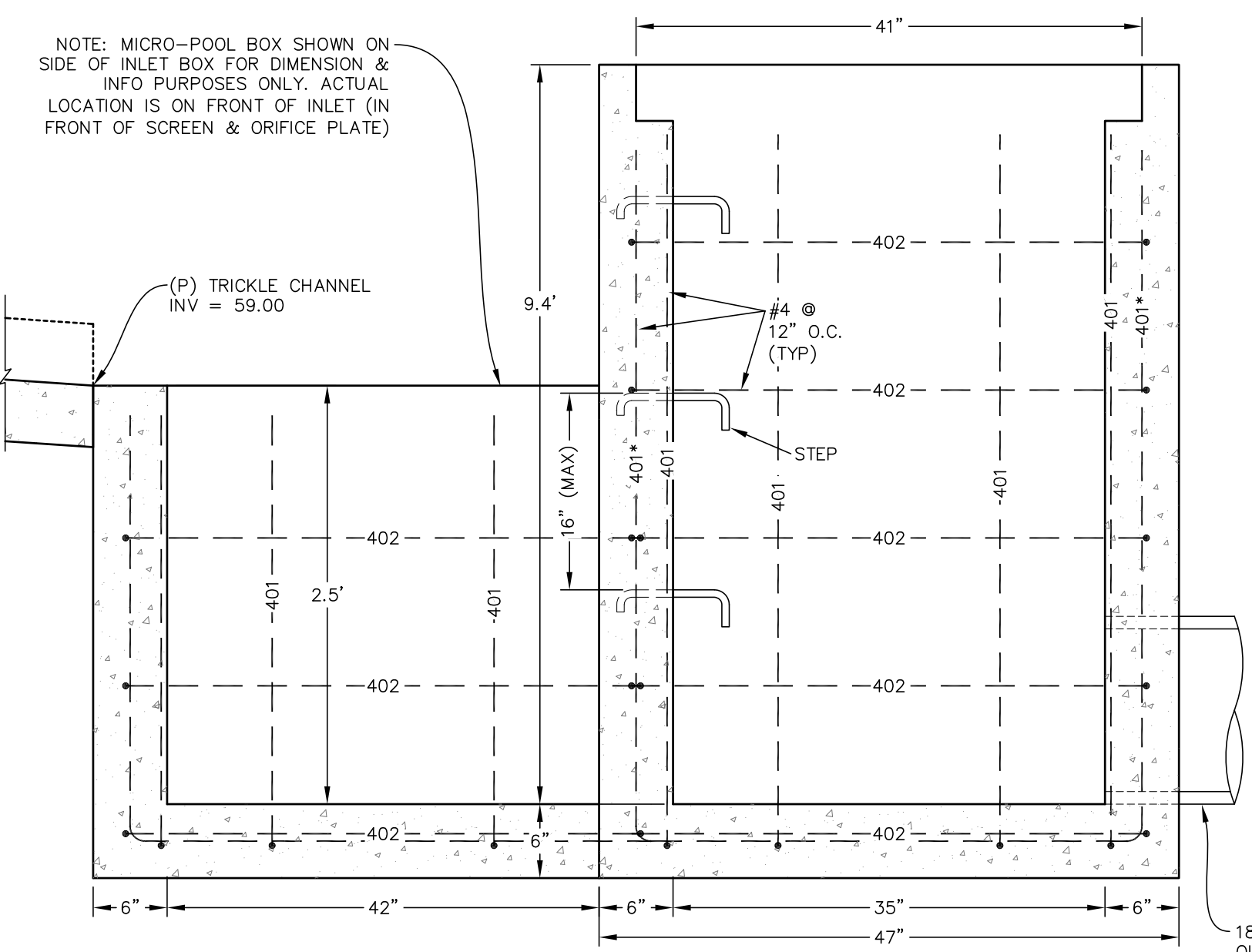


RESTRICTOR PLATE DETAIL
N.T.S.

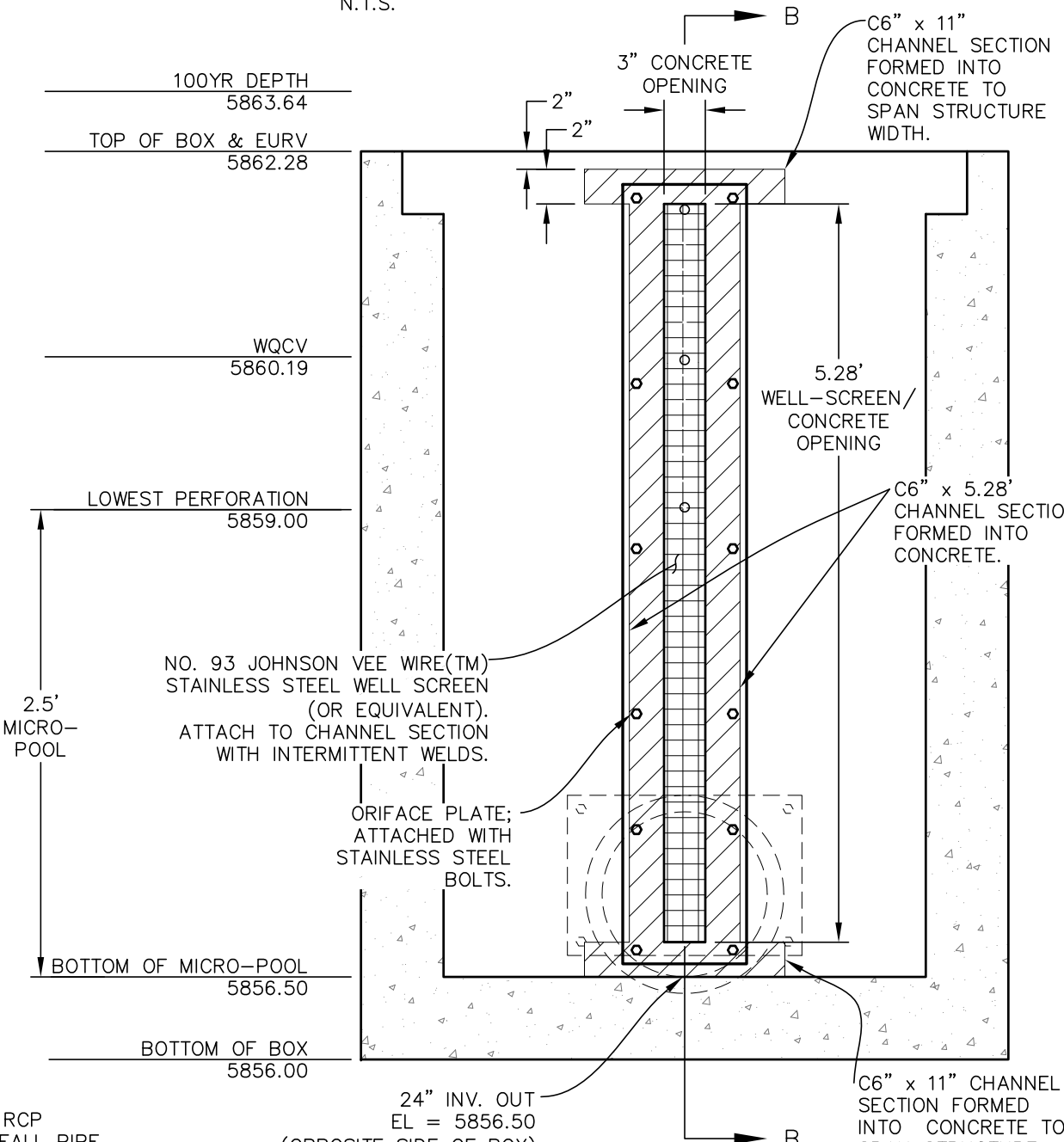
FOREBAY SIZE:
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-PROVIDED = 0.01 AC-FT



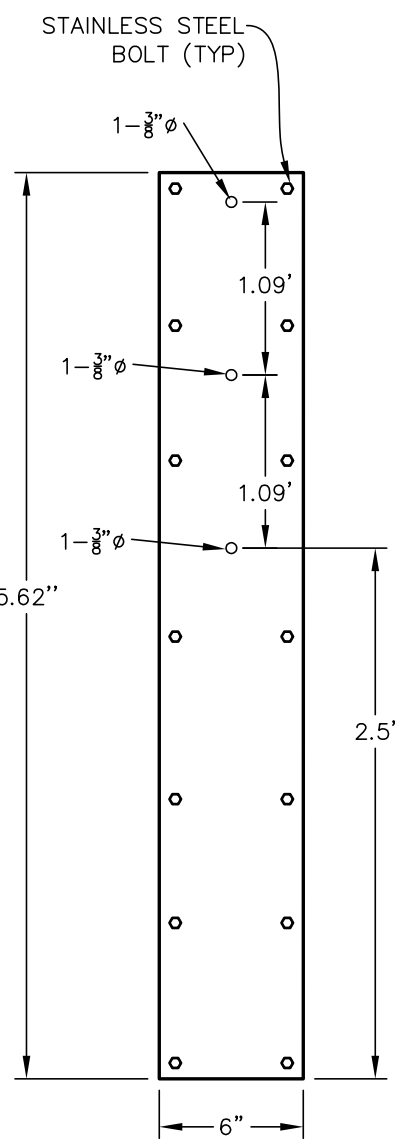
POND A
SCALE: 1" = 20'



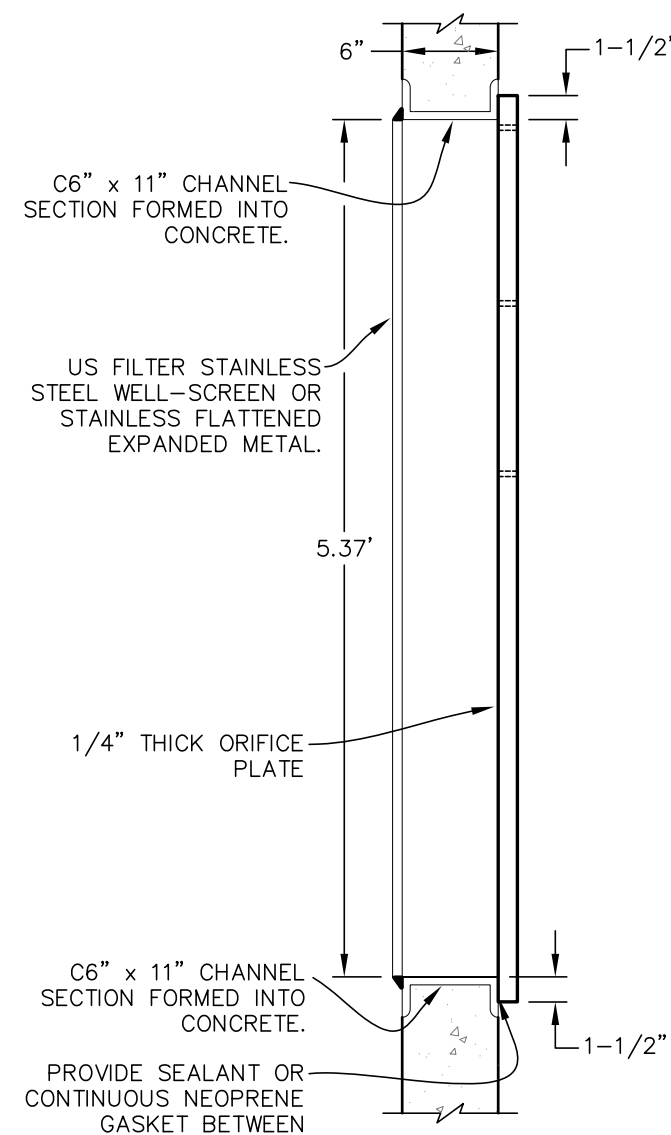
ELEVATION
N.T.S.



SECTION A-A
N.T.S.



ORIFICE PLATE
N.T.S.



SECTION B-B
N.T.S.

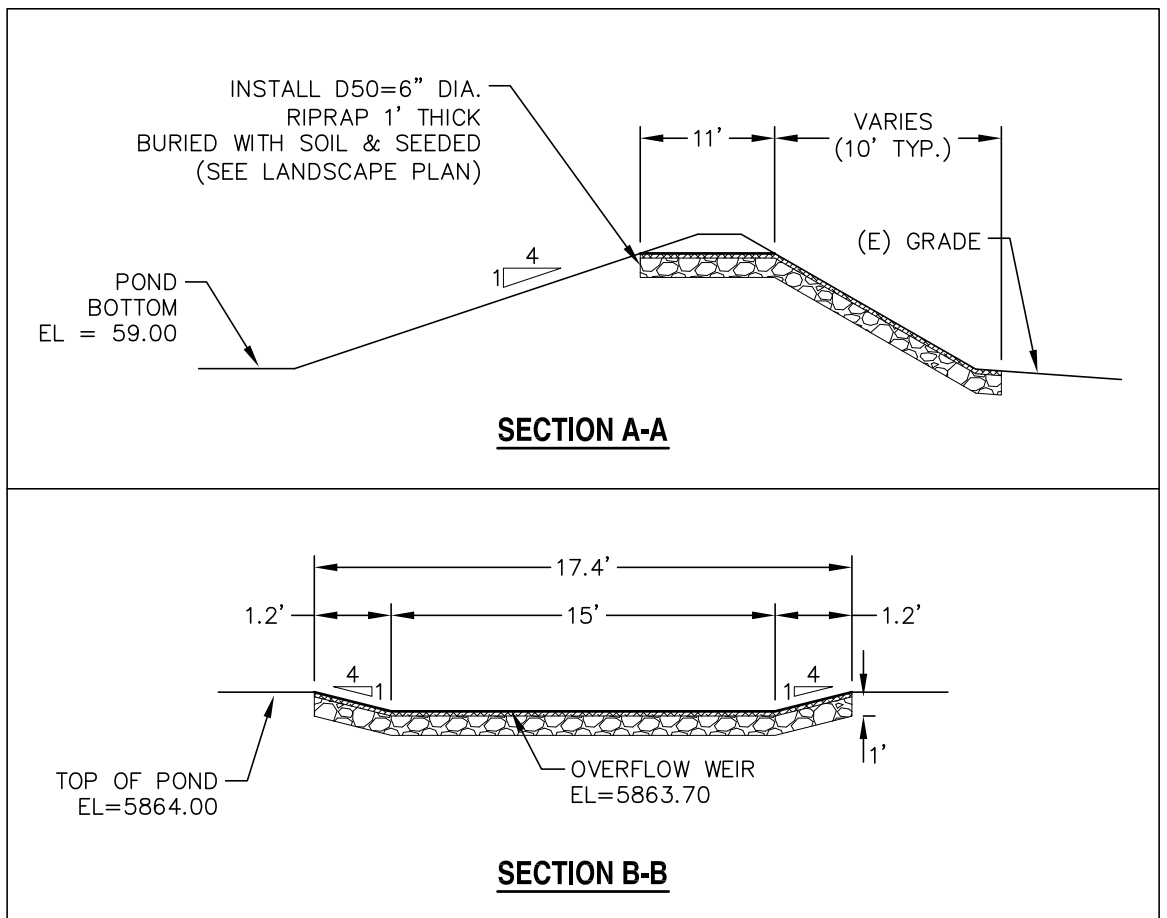
CDOT GENERAL NOTES:

1. CONCRETE SHALL BE CLASS B. INLET MAY BE CAST-IN-PLACE OR PRECAST.
2. REINFORCING BARS SHALL HAVE A MINIMUM 2 IN. CLEARANCE.
3. CONCRETE SLOPE AND DITCH PAVING SHALL CONFORM TO SECTION 507. REINFORCEMENT FOR CONCRETE SLOPE PAVING SHALL BE 6 X 6 - W14 X W14 OR 6 X 6 - W21 X W21.
4. STRUCTURAL STEEL FOR GRATES AND GRATE INSTALLATION HARDWARE SHALL BE GALVANIZED AND SHALL BE IN ACCORDANCE WITH 712.06.
5. THE STANDARD INLET GRATES SHALL BE USED ON ALL TYPE C INLETS UNLESS CLOSE MESH GRATES ARE SPECIFIED ON THE PLANS.
6. STEPS SHALL BE PROVIDED WHEN INLET DIMENSION "H" EXCEEDS 3 FT.-6 IN. AND SHALL BE IN ACCORDANCE WITH AASHTO M 199.
7. SEE SHEET M-604-11, INLET, TYPE D, FOR REINFORCEMENT AROUND THE PIPE OPENING.

WARNING
THIS AREA IS A STORMWATER FACILITY
AND IS SUBJECT TO PERIODIC FLOODING

WARNING SIGN DETAIL
SCALE: N.T.S.

NOTES:
-SIGN SHALL BE A MINIMUM OF 3 SQ.FT.
-SIGN SHALL BE FABRICATED OF DURABLE MATERIALS SUCH AS METAL OR PLASTIC.
-SIGN SHALL HAVE RED LETTERING ON A WHITE BACKGROUND.



OVERFLOW WEIR DETAILS
SCALE: N.T.S.

REV.	DESCRIPTION	DATE
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WESTWORKS ENGINEERING
CHAD [Signature]
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ELDORADO SPRINGS
PERMANENT BMP PLANS & DETAILS
POND A

DESIGNED BY: CDK	DRAWN BY: CDK
SCALE: AS SHOWN	DATE: 02/07/20
JOB NUMBER: 91807	SHEET: ST8 OF 10



1. CONCRETE SHALL BE CLASS B. INLET MAY BE CAST-IN-PLACE OR PRECAST.
2. REINFORCING BARS SHALL HAVE A MINIMUM 2 IN. CLEARANCE.
3. CONCRETE SLOPE AND DITCH PAVING SHALL CONFORM TO SECTION 507. REINFORCEMENT FOR SLOPE PAVING SHALL BE 6 X 6 - W14 X W14 OR 6 X 6 - W21 X W21.
4. STRUCTURAL STEEL FOR GRATES AND GRATE INSTALLATION HARDWARE SHALL BE GALVANIZED AND ALL BE IN ACCORDANCE WITH 712.06.
5. THE STANDARD INLET GRATES SHALL USED ALL TYPE C INLETS UNLESS CLOSE MESH GRATES ARE SPECIFIED ON THE PLANS.
6. STEPS SHALL BE PROVIDED WHEN INLET DIMENSION "H" EXCEEDS 3' AND SHALL BE IN ACCORDANCE WITH AASHTO M 199.
7. SEE SHEET M-604-11, INLET, TYPE FOR REINFORCEMENT AROUND THE PIPE OPENING.
8. CONCRETE SLOPE AND DITCH PAVING WILL BE REQUIRED WHEN SHOWN ON PLANS.

NOTES:

- SIGN SHALL BE A MINIMUM OF 3 SQ.FT.
- SIGN SHALL BE FABRICATED OF DURABLE MATERIALS SUCH AS METAL OR PLASTIC.
- SIGN SHALL HAVE RED LETTERING ON A WHITE BACKGROUND.



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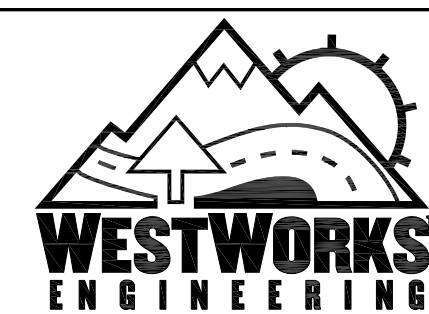
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SUITE #1102
TUSCON, AZ 85704
(520) 742-2114

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CHAD C. ROBERT, LICENSED ELECTRICAL ENGINEER DATE



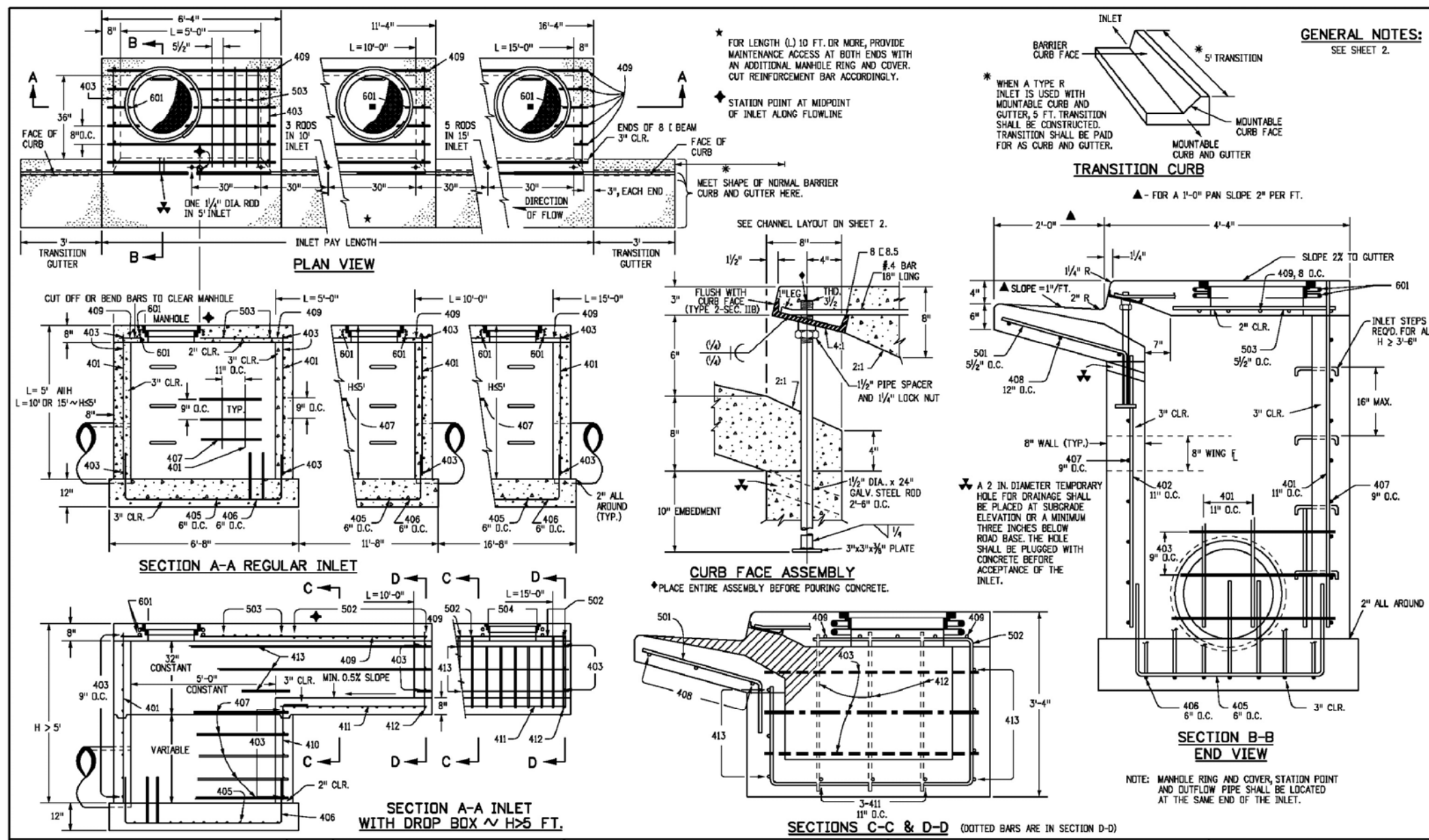
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ELDORADO SPRINGS

PERMANENT BMP PLANS & DETAILS

POND B

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SCALE: AS SHOWN	DATE: 02/07/20
JOB NUMBER	SHEET
91807	ST9 OF 10



RESOLVED - dsdkuehster
03/25/2020 12:01:27 PM

1. ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD LOCATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
3. CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
 - a. EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
 - b. CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
 - c. COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
 - d. CDOT M & S STANDARDS
4. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER THE—FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
5. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
6. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT (PCD) – INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS—ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
8. CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
9. ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD.
10. CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
11. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
12. SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
13. SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DPW AND MUTCD CRITERIA.
14. CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DPW, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
15. THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.

- CONSTRUCTION SHALL NOT COMMENCE UNTIL A CONSTRUCTION PERMIT IS OBTAINED FROM DEVELOPMENT SERVICES AND A PRECONSTRUCTION CONFERENCE IS HELD WITH DEVELOPMENT SERVICES INSPECTIONS.
2. STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFF SITE WATERS, INCLUDING WETLANDS.
3. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.
4. A SEPARATE STORMWATER MANAGEMENT PLAN (SWMP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO BEGINNING CONSTRUCTION. DURING CONSTRUCTION THE SWMP IS THE RESPONSIBILITY OF THE DESIGNATED STORMWATER MANAGER SHALL BE LOCATED ON SITE AT ALL TIMES AND SHALL BE KEPT UP TO DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.
5. ONCE THE ESQCP HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL BMPs AS INDICATED ON THE GEC. A PRECONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND DATE.
6. SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 21 CALENDAR DAYS AFTER FINAL GRADING, OR FINAL EARTH DISTURBANCE, HAS BEEN COMPLETED. DISTURBED AREAS AND STOCKPILES WHICH ARE NOT AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN 30 DAYS SHALL ALSO BE MULCHED WITHIN 21 DAYS AFTER INTERIM GRADING. AN AREA THAT IS GOING TO REMAIN IN AN INTERIM STATE FOR MORE THAN 60 DAYS SHALL ALSO BE SEEDED. ALL TEMPORARY SOIL EROSION CONTROL MEASURES MUST BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND ESTABLISHED.
7. TEMPORARY SOIL EROSION CONTROL FACILITIES SHALL BE REMOVED AND EARTH DISTURBANCE AREAS GRADED AND STABILIZED WITH PERMANENT SOIL EROSION CONTROL MEASURES PURSUANT TO STANDARDS AND SPECIFICATION PRESCRIBED IN THE DCM VOLUME II AND THE ENGINEERING CRITERIA MANUAL (ECM) APPENDIX I.
8. ALL PERSONS ENGAGED IN EARTH DISTURBANCE SHALL IMPLEMENT AND MAINTAIN ACCEPTABLE SOIL EROSION AND SEDIMENT CONTROL MEASURES INCLUDING BMPs IN CONFORMANCE WITH THE EROSION CONTROL TECHNICAL STANDARDS OF THE DRAINAGE CRITERIA MANUAL (DCM) VOLUME II AND IN ACCORDANCE WITH THE STORMWATER MANAGEMENT PLAN (SWMP).
9. ALL TEMPORARY EROSION CONTROL FACILITIES INCLUDING BMPs AND ALL PERMANENT FACILITIES INTENDED TO CONTROL EROSION OF ANY EARTH DISTURBANCE OPERATIONS, SHALL BE INSTALLED AS DEFINED IN THE APPROVED PLANS, THE SWMP AND THE DCM VOLUME II AND MAINTAINED THROUGHOUT THE DURATION OF THE EARTH DISTURBANCE OPERATION.
10. ANY EARTH DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY REDUCE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME.
11. ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE DESIGNED TO LIMIT THE DISCHARGE TO A NON-EROSIVE VELOCITY.
12. CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO RUNOFF TO STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
13. EROSION CONTROL BLANKETING SHALL BE USED ON SLOPES STEEPER THAN 3:1.
14. BUILDING, CONSTRUCTION, EXCAVATION, OR OTHER WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. BMPs MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.
15. VEHICLE TRACKING OF SOLIDS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFFSITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL, IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
17. THE OWNER, SITE DEVELOPER, CONTRACTOR, AND/OR THEIR AUTHORIZED AGENTS SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, AND SOLIDS THAT MAY ACCUMULATE IN THE STORM DRAINAGE OR OTHER DRAINAGE CONVEYANCE SYSTEM AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
18. THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.
19. NO CHEMICALS ARE TO BE USED BY THE CONTRACTOR, WHICH HAVE THE POTENTIAL TO BE RELEASED IN STORMWATER UNLESS PERMISSION FOR THE USE OF A SPECIFIC CHEMICAL IS GRANTED IN WRITING BY THE ECOM ADMINISTRATOR. IN GRANTING THE USE OF SUCH CHEMICALS, SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
20. BULK STORAGE STRUCTURES FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE ADEQUATE PROTECTION SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
21. NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE FLOW LINE OF THE CURB AND GUTTER OR IN THE DITCHLINE.
22. INDIVIDUALS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS), AND THE "CLEAN WATER ACT" (33 USC 1344), IN ADDITION TO THE REQUIREMENTS INCLUDED IN THE DCM VOLUME II AND THE ECOM APPENDIX I. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (MPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.). IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, OR COUNTY AGENCIES, THE MORE RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
23. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
24. PRIOR TO ACTUAL CONSTRUCTION THE PERMITTEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.
25. A WATER SOURCE SHALL BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
26. THE SOILS REPORT FOR THIS SITE HAS BEEN PREPARED BY ENTECH ENGINEERING AND SHALL BE CONSIDERED A PART OF THESE PLANS.

1. ALL PAVING AND CURBS & GUTTS SHALL BE CONSTRUCTED SO AS NOT TO OBSTRUCT THE DRAINAGE PATHS. GRADES SHALL BE MAINTAINED AS SHOWN IN THESE PLANS FOR THE DRAINAGE PATHS. IF THIS CANNOT BE ACCOMPLISHED, THEN THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CORRECTION.
2. POSITIVE DRAINAGE AWAY FROM THE BUILDING SHALL BE MAINTAINED DURING AND AFTER SITE CONSTRUCTION. SWALES SHALL BE CONSTRUCTED AROUND BUILDINGS TO DIRECT DRAINAGE AWAY FROM STRUCTURES.
3. SITE CONSTRUCTION INCLUDING PAVING AND CURB & GUTTER INSTALLATION SHALL MAINTAIN POSITIVE DRAINAGE AS SHOWN ON THIS PLAN. STANDING WATER OR PONDING ANYWHERE ON THE SITE IS UNACCEPTABLE.
4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WORK. THE OMISSION FROM OR THE INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE EXISTENCE OR NON-EXISTENCE OF SUCH UTILITIES IN THE SUBGRADE.

1. THE MOST NORTHERLY CORNER OF THE SITE MONUMENTED BY A 1" YELLOW PLASTIC CAP STAMPED "23890."
EL = 5865.58
2. THE MOST SOUTHERLY CORNER ALONG US HIGHWAY 85-87 BEING MONUMENTED BY A 1-1/2" ALUMINUM SURVEYORS CAP STAMPED "CCES LLC PLS 30118" LOCATED AT THE WESTERLY CORNER OF THE INTERSECTION OF WESTMARK AVENUE AND US HIGHWAY 85-87.
EL = 5854.18

THE WEST LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M. BEING MONUMENTED AT THE NORTH END BY A 2-1/2" ALUMINUM SURVEYORS CAP WITH APPROPRIATE MARKINGS AND AT THE SOUTH END BY A 3-1/4" ALUMINUM SURVEYORS CAP WITH APPROPRIATE MARKINGS IS ASSUMED TO BEAR N00°44'35"W, A DISTANCE OF 1320.61 FEET.

STRATMOOR HILLS FIRE PROTECTION DISTRICT
2160 B STREET
COLORADO SPRINGS, CO 80906
DOTTIE BARRETT (719) 576-1200



THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID DETAILED PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE CITY/COUNTY FOR DETAILED DRAINAGE PLANS AND SPECIFICATIONS, AND SAID DETAILED PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH THE MASTER PLAN OF THE DRAINAGE BASIN. SAID DETAILED PLANS AND SPECIFICATIONS MEET THE PURPOSES WHICH THE PARTICULAR DRAINAGE FACILITY(S) IS DESIGNED. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERROR OR OMISSIONS ON MY PART IN PREPARATION OF THE DETAILED PLANS AND SPECIFICATIONS.

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

JENNIFER IRVINE, P.E.
COUNTY ENGINEER/ECM ADMINISTRATOR

THE OWNER WILL COMPLY WITH THE REQUIREMENTS OF THE STORM SEWER PLANS

OWNER NAME:

EXISTING	(E)
PROPOSED	(P)
CURB AND GUTTER	C&G
EASEMENT	ESMT
BUILDING	BLDG
DRAINAGE	DR
PUBLIC	PUB
PRIVATE	PVT
UNDERGROUND	UG
UTILITY	UT
SANITARY	SAN
SEWER	SWR
WATER	WTR
BOUNDARY	_____
RIGHT-OF-WAY	_____
LOT LINE	_____
EASEMENT	_____
SETBACK	_____
(E) SANITARY MAIN, MH	— S — S — S —
(E) WATER MAIN, VALVE, FH	— W — W — W —
(E) UG ELECTRIC	— E — E — E —
(E) FIBER OPTIC	— FO — FO — FO —
(E) GAS MAIN	— G — G — G —
(E) OVERHEAD UTILITY	— (OH) — (OH) —
(E) UG TELEPHONE	— T — T — T —
(E) STORM SEWER	— S — S — S —
(P) SANITARY MAIN, MH	— S — S — S —
(P) WATER MAIN, VALVE, FH	— W — W — W —
(P) FIRE SERVICE, VALVE	— F — F — F —
(P) STORM SEWER, MH	— S — S — S —

TITLE SHEET		S71	OF	9
STORM SEWER PLAN & PROFILES [PRIVATE]		S72	OF	9
STM--01, STM--02, STM--03, & STM--03A		S73	OF	9
STM--04, STM--05, & STM--07		S74	OF	9
STM--06, STM--06A, & STM--06B		S75	OF	9
STORM SEWER PLAN & PROFILES [PUBLIC]		S76	OF	9
STM--01		S75	OF	9
STM--02		S76	OF	9
PERMANENT BMP POND A PLAN		S77	OF	9
PERMANENT BMP POND B PLAN		S78	OF	9
DETAIL SHEET		S79	OF	9



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WEST

CHAD



ELDORADO SPRINGS

DESIGNED BY:

Page 10 of 10

1

JOB NU

3.3.3

NOTE

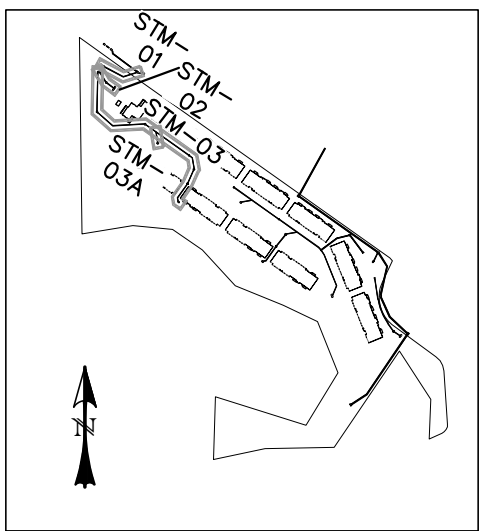
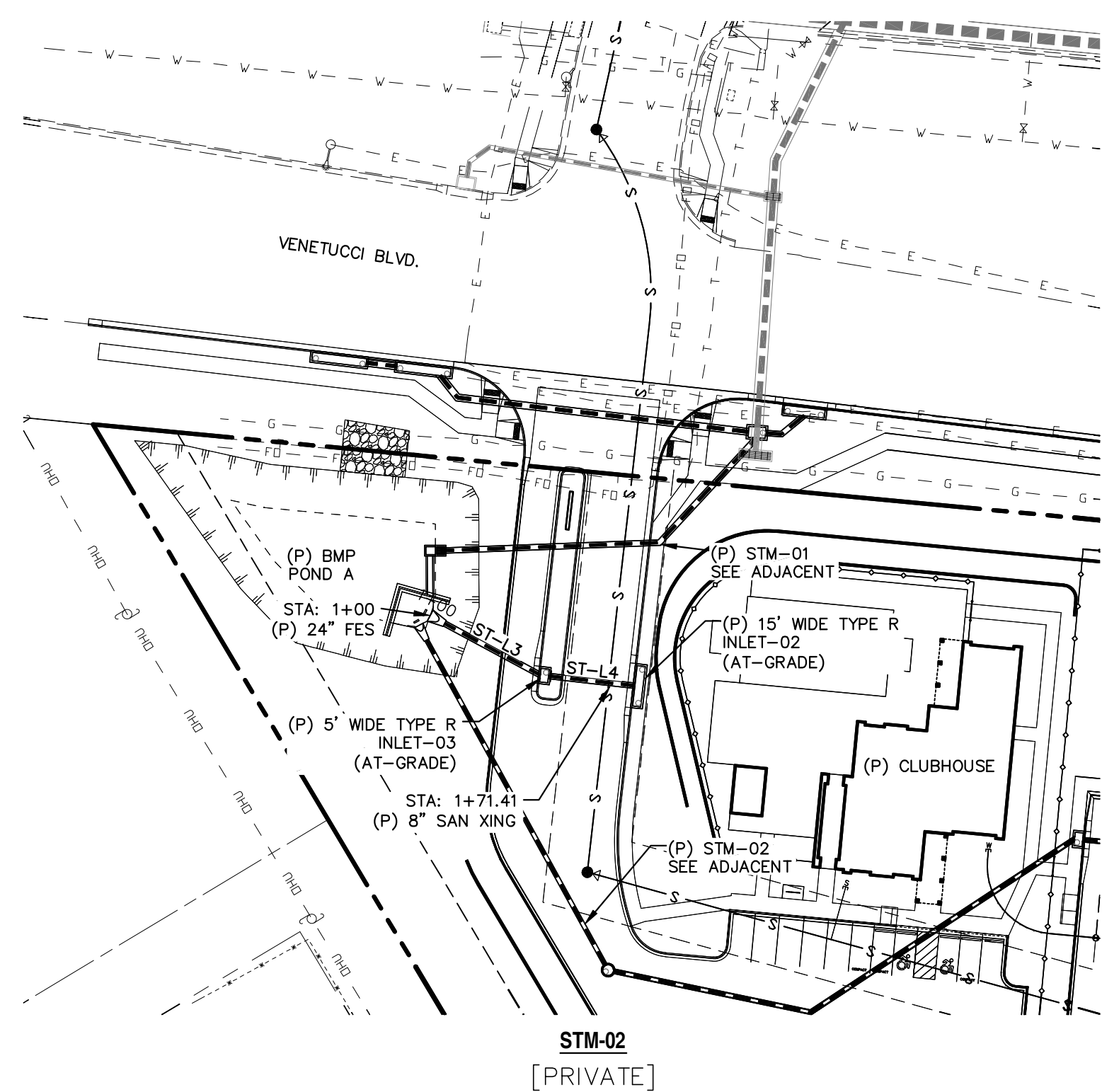
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06/

SHEE

311 01



LINE TABLE - STORM		
LINE	BEARING	DISTANCE
ST-L1	S72°51'55"W	52.57
ST-L2	N62°08'05"W	79.07
ST-L3	S31°40'01"E	39.98
ST-L4	S53°33'06"E	32.00
ST-L5	S01°11'49"W	136.56
ST-L6	S48°15'53"E	74.08
ST-L7	N86°44'07"E	116.15
ST-L8	S54°43'37"E	46.95
ST-L9	S54°37'33"E	144.98
ST-L10	S54°33'33"E	13.43
ST-L11	S09°37'33"E	40.77
ST-L12	S23°36'17"W	53.33
ST-L13	S35°22'27"W	61.43
ST-L14	S09°37'33"E	13.68
ST-L15	S09°37'33"E	40.77

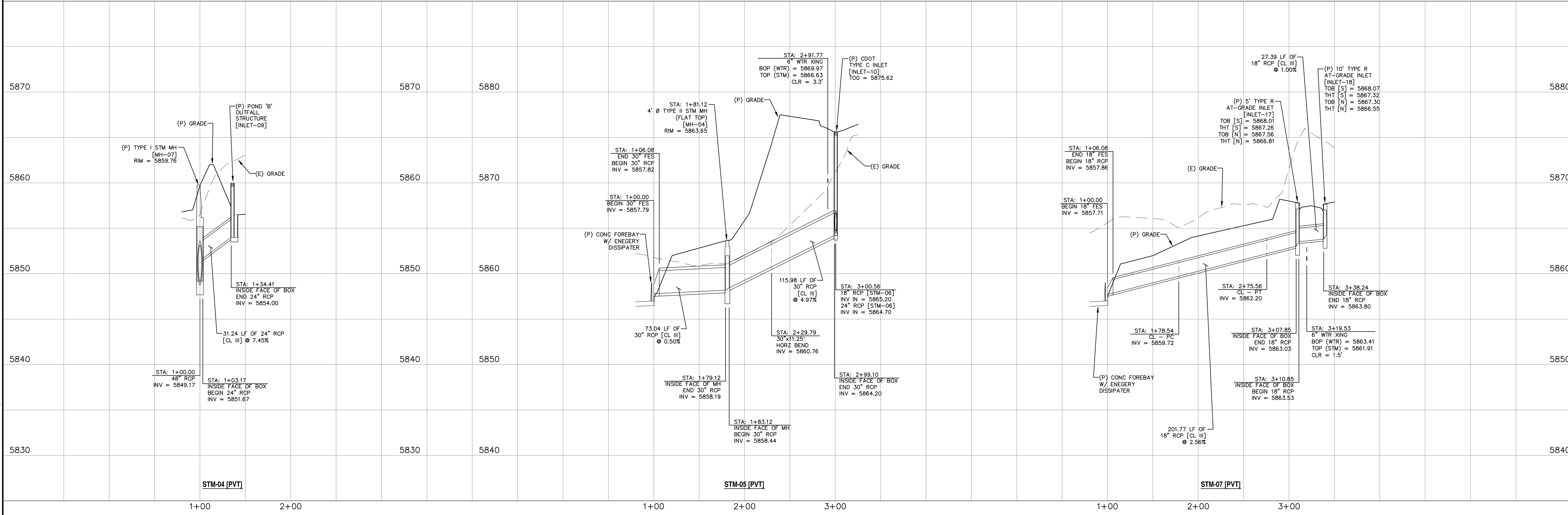
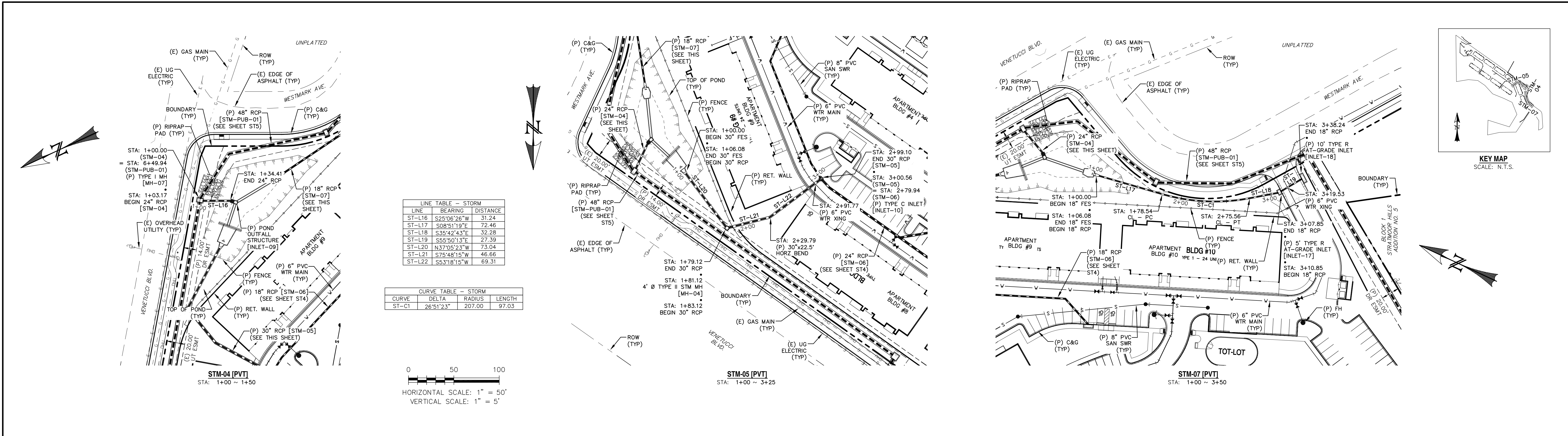


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CHAC. S. ROBERT, COUNTY OF EL PASO, TEXAS



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91807	ST2 OF 9



REV.	DESCRIPTION	DATE



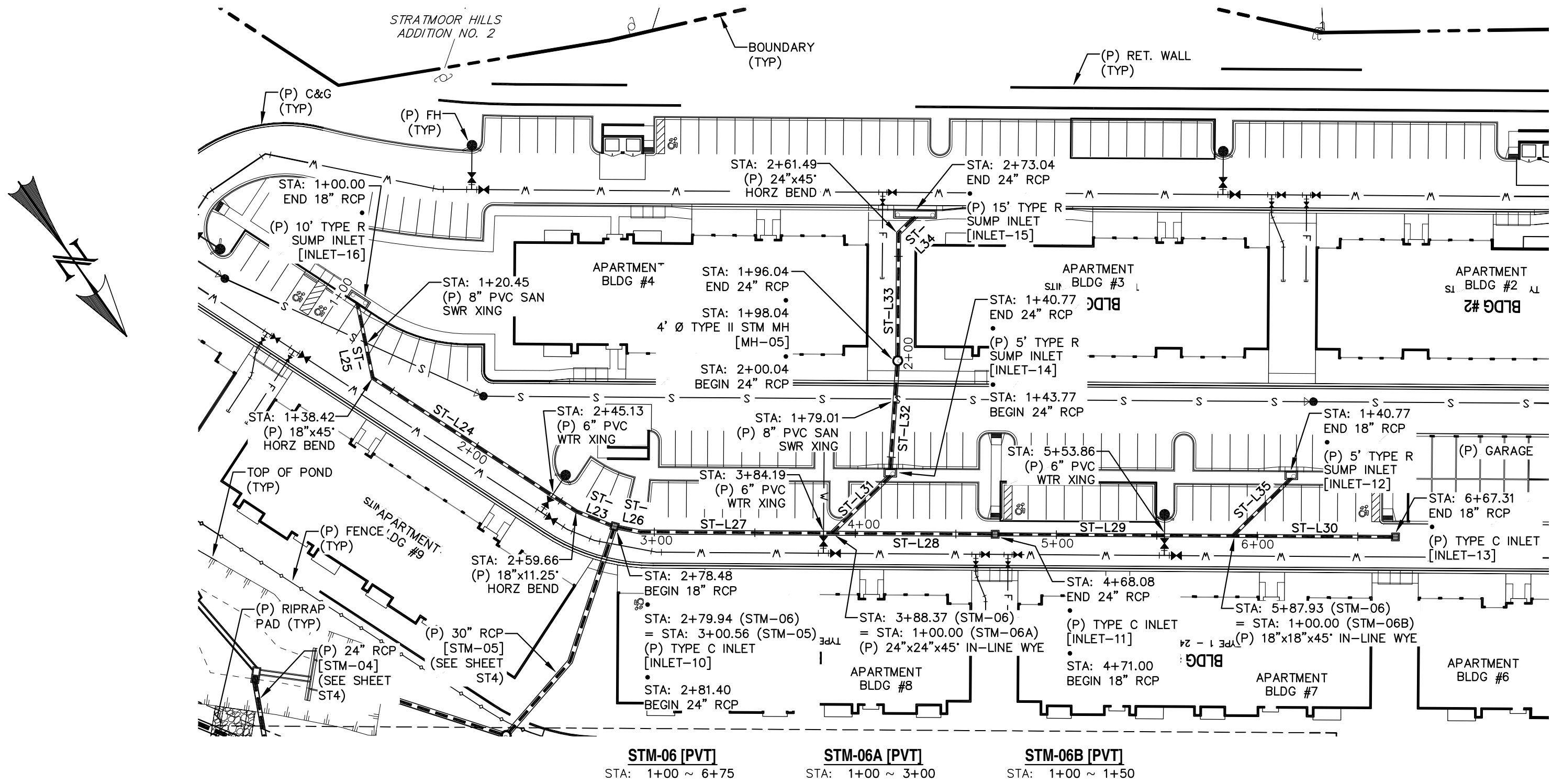
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(520) 742-2114

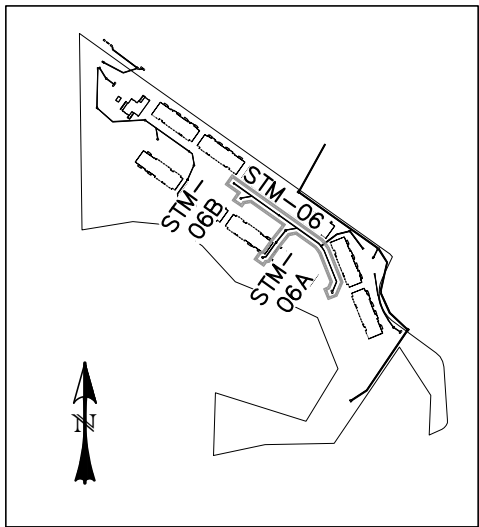
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WESTWORKS ENGINEERING
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ELDERADO SPRINGS
STORM SEWER PLAN & PROFILES
STM-04, STM-05, & STM-07

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JOB NUMBER	91807	SHEET	ST3 OF 9

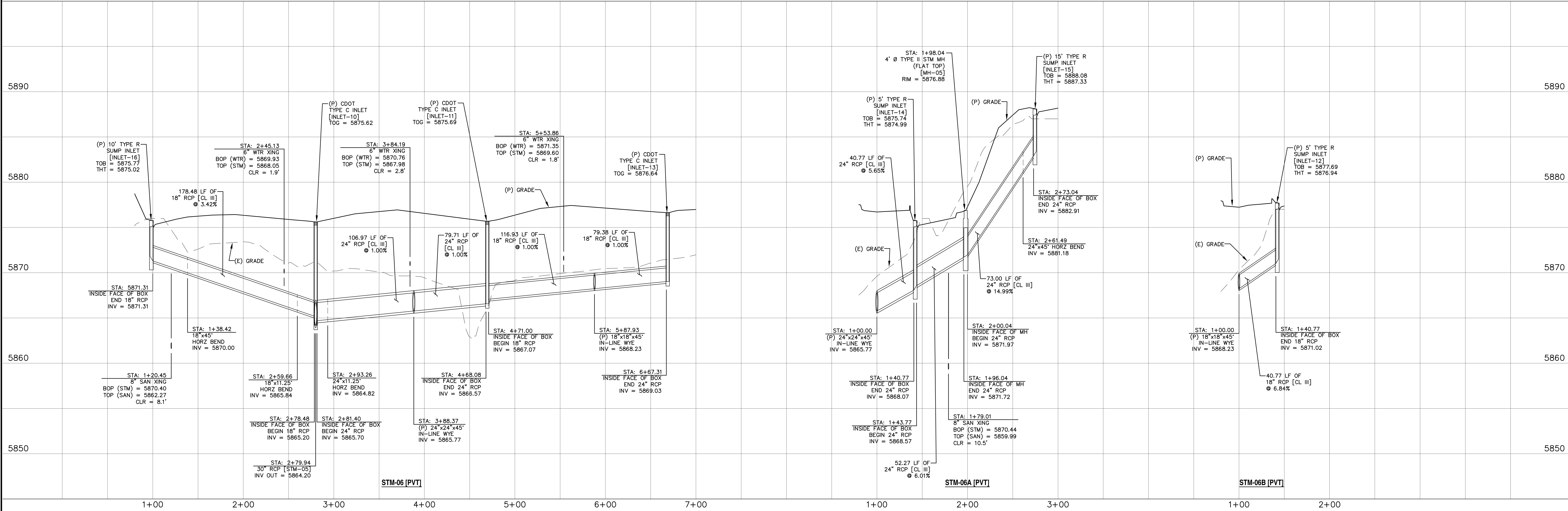


LINE TABLE - STORM		
LINE	BEARING	DISTANCE
ST-L23	S33°01'15"E	18.82
ST-L24	S21°46'15"E	121.24
ST-L25	S23°13'45"W	38.42
ST-L26	N43°22'33"W	11.86
ST-L27	N54°37'33"W	95.11
ST-L28	N54°37'33"W	79.71
ST-L29	N54°37'33"W	116.93
ST-L30	N54°37'33"W	79.38
ST-L31	S80°22'27"W	40.77
ST-L32	S38°53'49"W	52.27
ST-L33	S35°22'27"W	61.44
ST-L34	S80°22'27"W	11.55
ST-L35	S80°22'27"W	40.77



KEY MAP
SCALE: N.T.S.

0 50 100
HORIZONTAL SCALE: 1" = 50'
VERTICAL SCALE: 1" = 5'



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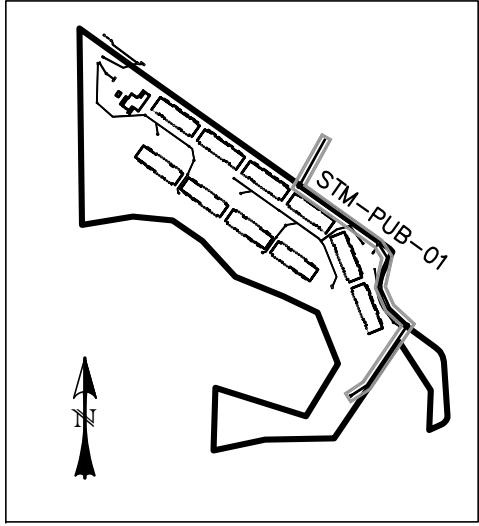
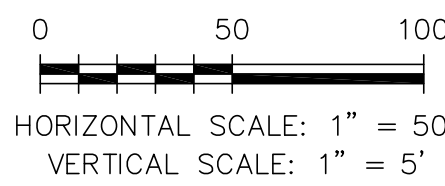
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STORM SEWER PLAN & PROFILES
STM-06, STM-06A, & STM-06B

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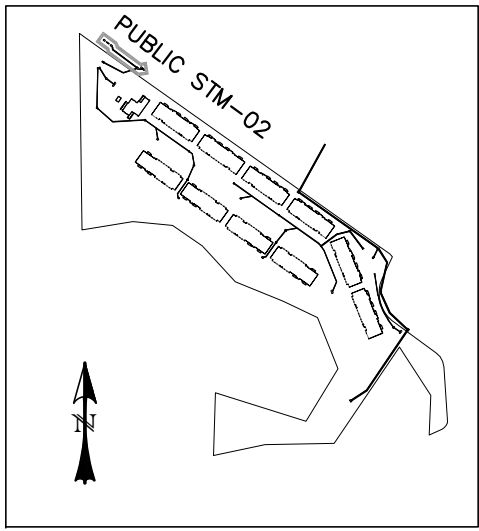
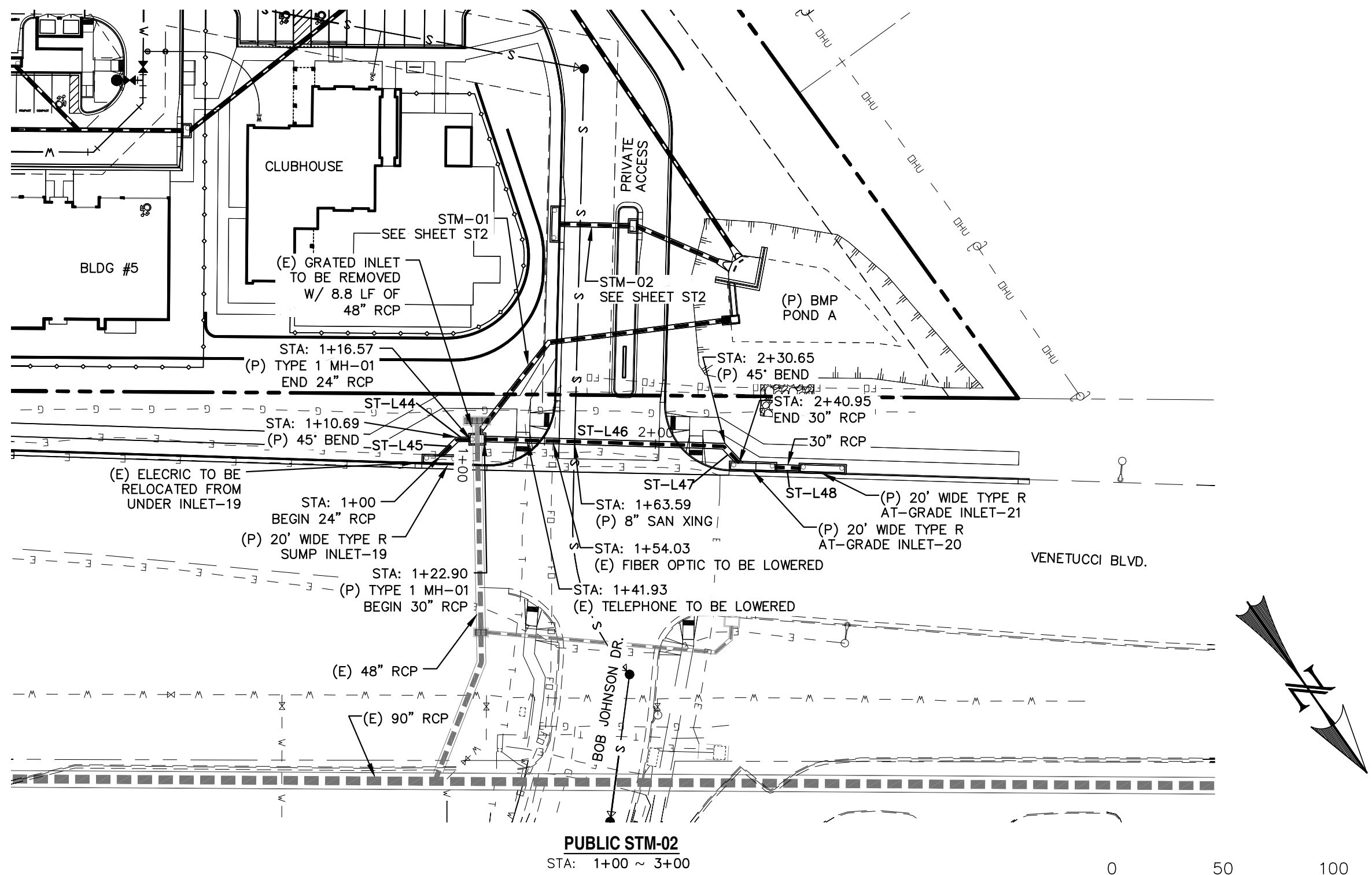
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91807	ST5 OF 9



KEY MAP
SCALE: N.T.S.

LINE TABLE - STORM		
LINE	BEARING	DISTANCE
ST-L44	S56°06'50"E	5.87
ST-L45	N80°32'59"E	10.69
ST-L46	N53°16'45"W	107.76
ST-L47	N08°16'45"W	10.30
ST-L48	N53°16'45"W	11.34

0 50 100
HORIZONTAL SCALE: 1" = 50'
VERTICAL SCALE: 1" = 5'



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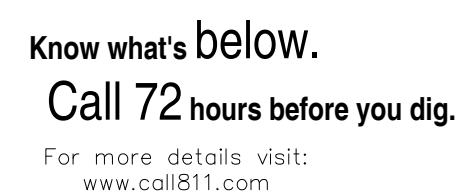
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STORM SEWER PLAN & PROFILES
PUBLIC STM-02

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- OVERFLOW WEIR DETAILS**
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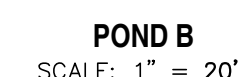
CHAC S. HOLBERT, LICENSED ELECTRICAL ENGINEER DATE 07-16-2018



ELDORADO SPRINGS

PERMANENT BMP PLANS & DETAILS
POND A

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91807	ST7 OF 9



1. CONCRETE SHALL BE CLASS B. INLET MAY BE CAST-IN-PLACE OR PRECAST.
2. REINFORCING BARS SHALL HAVE A MINIMUM 2 IN. CLEARANCE.
3. CONCRETE SLOPE AND DITCH PAVING SHALL CONFORM TO SECTION 507. REINFORCEMENT FOR CONCRETE SLOPE PAVING SHALL BE W14 X 4 W/4 OR 6 X 6 - W2.1 X W2.1.
4. STRUCTURAL STEEL FOR GRATES AND GRATE INSTALLATION HARDWARE SHALL BE GALVANIZED AND SHALL BE IN ACCORDANCE WITH 712.06.
5. THE STANDARD INLET GRATES SHALL BE USED ON ALL TYPE C INLET UNLESS CLOSE MESH GRATES ARE SPECIFIED ON THE PLANS.
6. STEPS SHALL BE PROVIDED WHEN INLET DIMENSION "H" EXCEEDS 3 FT.-6 IN. AND SHALL BE IN ACCORDANCE WITH AASHTO M 199.
7. SEE SHEET M-604-11, INLET, TYPE D, FOR REINFORCEMENT AROUND THE PIPE OPENING.
8. CONCRETE SLOPE AND DITCH PAVING SHALL BE REQUIRED WHEN SHOWN ON PLANS.

NOTES:
-SIGN SHALL BE A MINIMUM OF 3 SQ.FT.
-SIGN SHALL BE FABRICATED OF DURABLE MATERIALS SUCH AS METAL OR PLASTIC.
-SIGN SHALL HAVE RED LETTERING ON A WHITE BACKGROUND.



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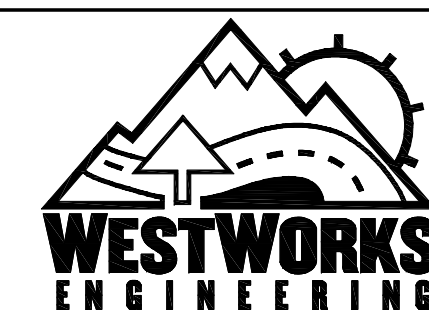
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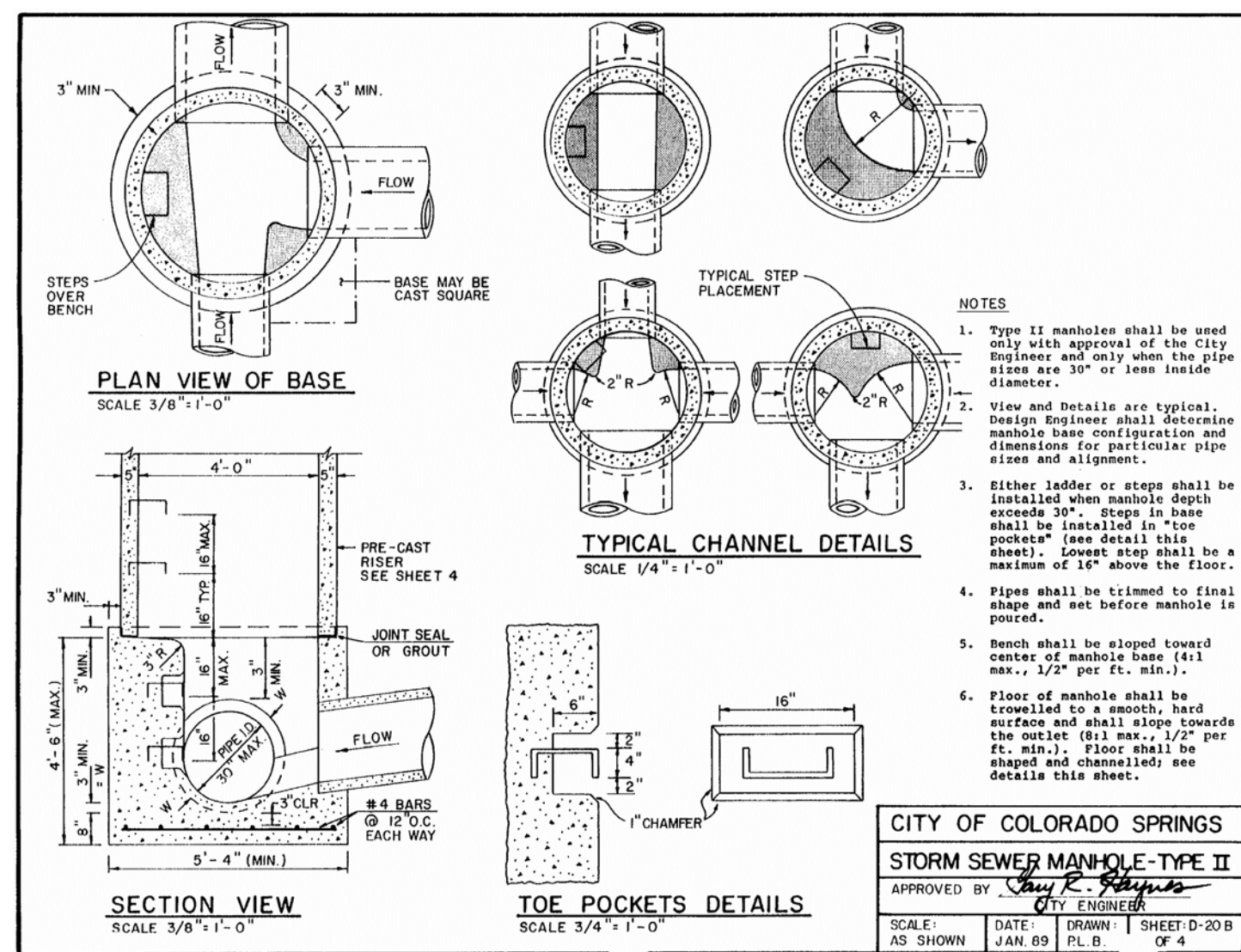
CHAC S. HOLBERG, DISTRICT ENGINEER DATE 04/11/2017



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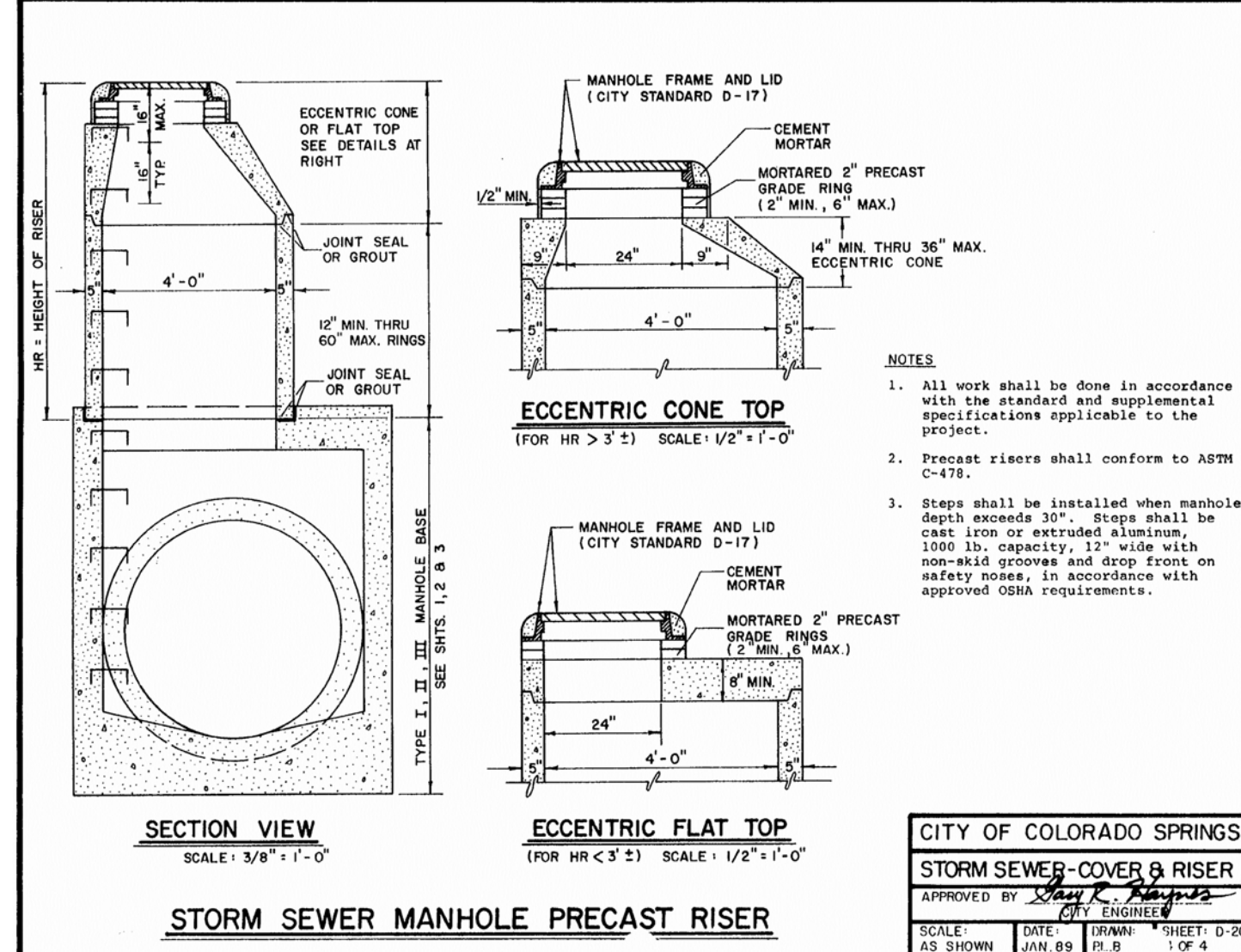
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PERMANENT BMP PLANS & DETAILS POND B

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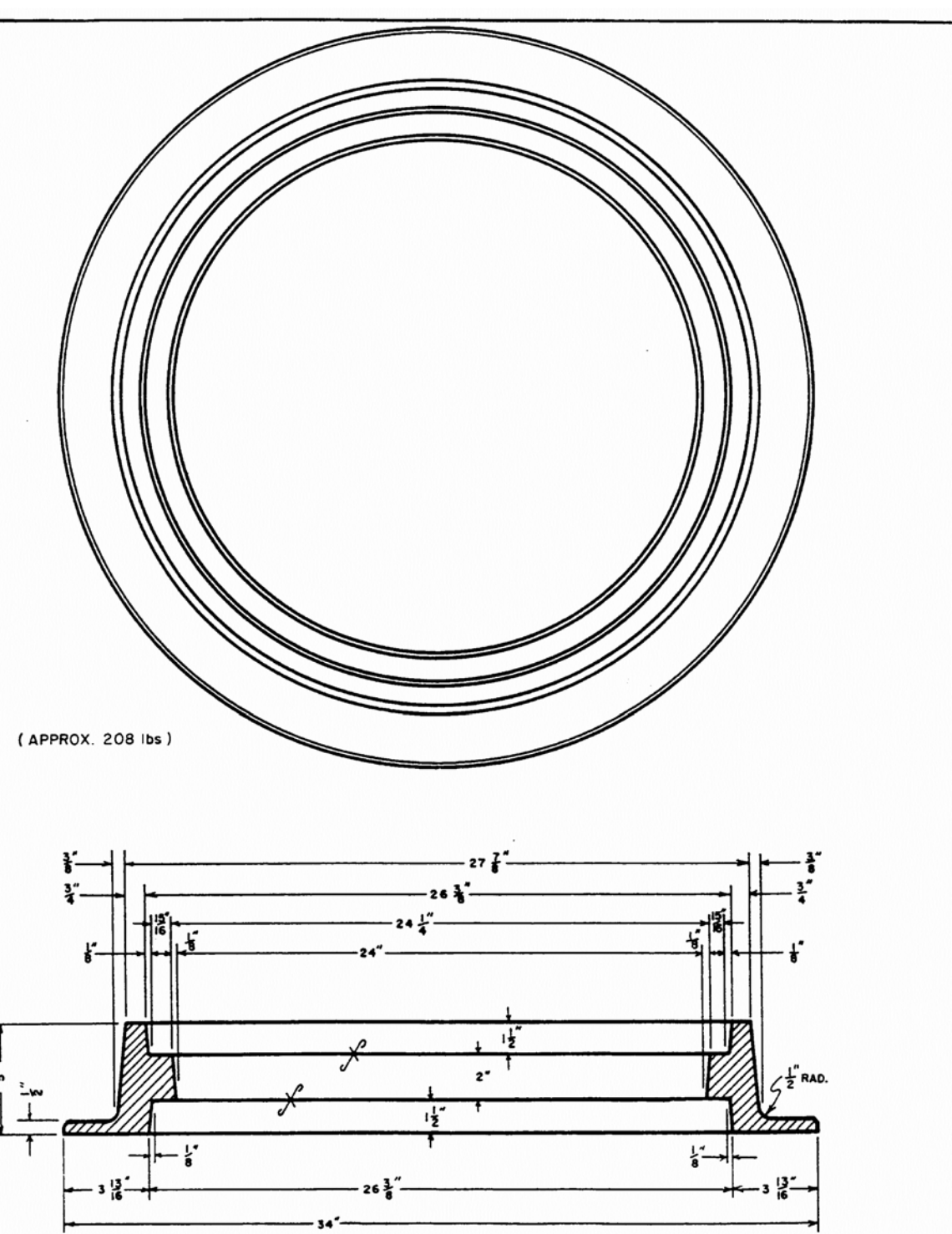
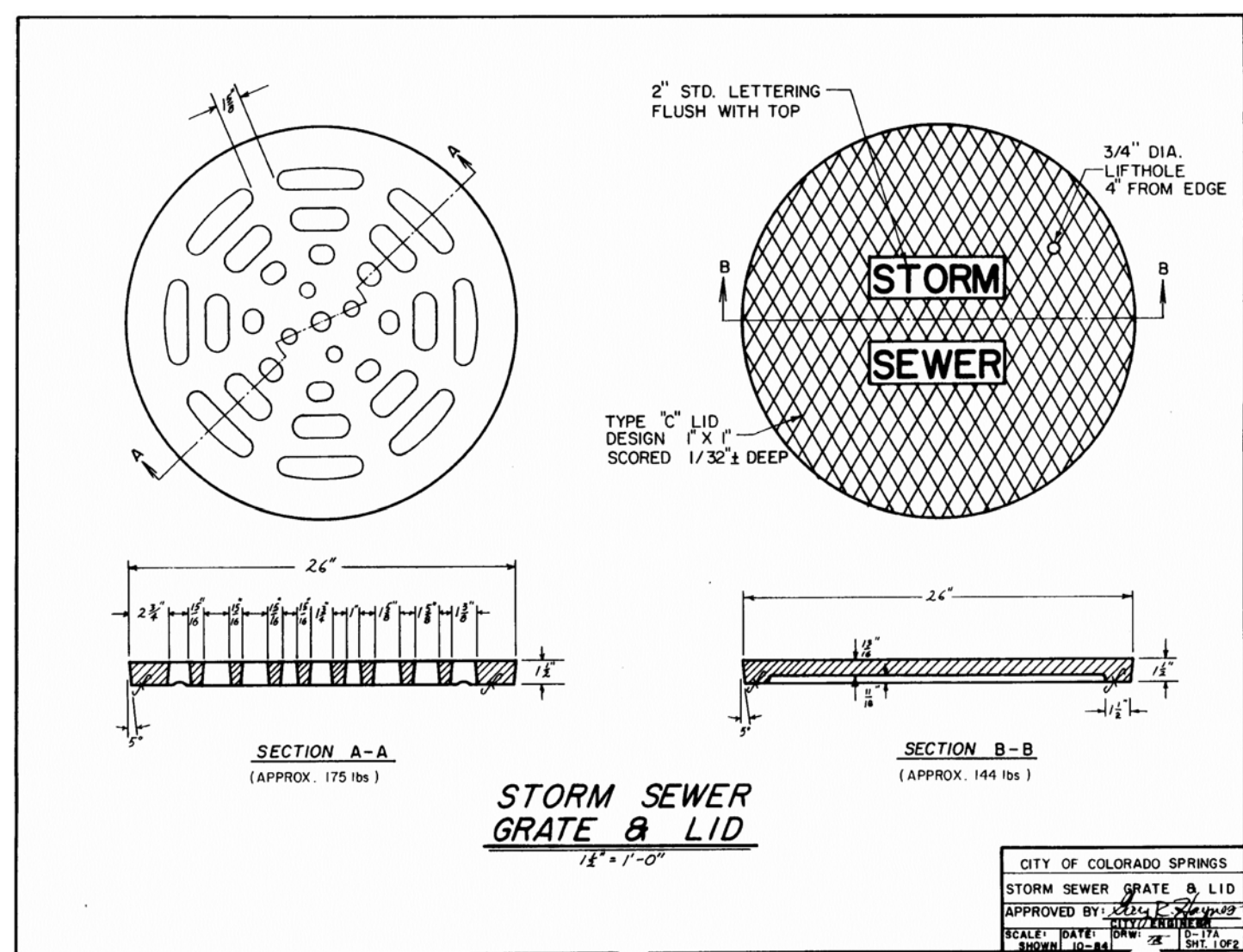


ECCENTRIC CONE

MANHOLE FRAME AND LID
(CITY STANDARD D-17)



<u>SECTION VIEW</u> SCALE: 3/8" = 1'-0"	<u>ECCENTRIC FLAT TOP</u> (FOR HR < 3") SCALE: 1/2" = 1'-0"
<u>STORM SEWER MANHOLE PRECAST RISER</u>	



SOURCE: AMERICAN CONCRETE PIPE ASSOCIATION

TRENCH BEDDING CLASSIFICATION - ROUND PRECAST CONCRETE PIPE

CLASS A

Reinforced $A_1 = 1.0\%$ $L_f = 4.8$
 Reinforced $A_2 = 0.4\%$ $L_f = 2.4$
 Plain $L_f = 2.8$

CLASS B

$L_f = 1.9$

CLASS C

$L_f = 1.5$

Depth of Bedding
Material Below Pipe

D	d (min.)
27" & smaller	3"
30" to 60"	4"
66" & larger	6"

Legend

B_c = outside diameter
 H = backfill cover above top of pipe
 D = inside diameter
 d = depth of bedding material below pipe
 A_1 = area of transverse steel in the cradle or arch expressed as a percentage of area of concrete or insert or crown

Notes:

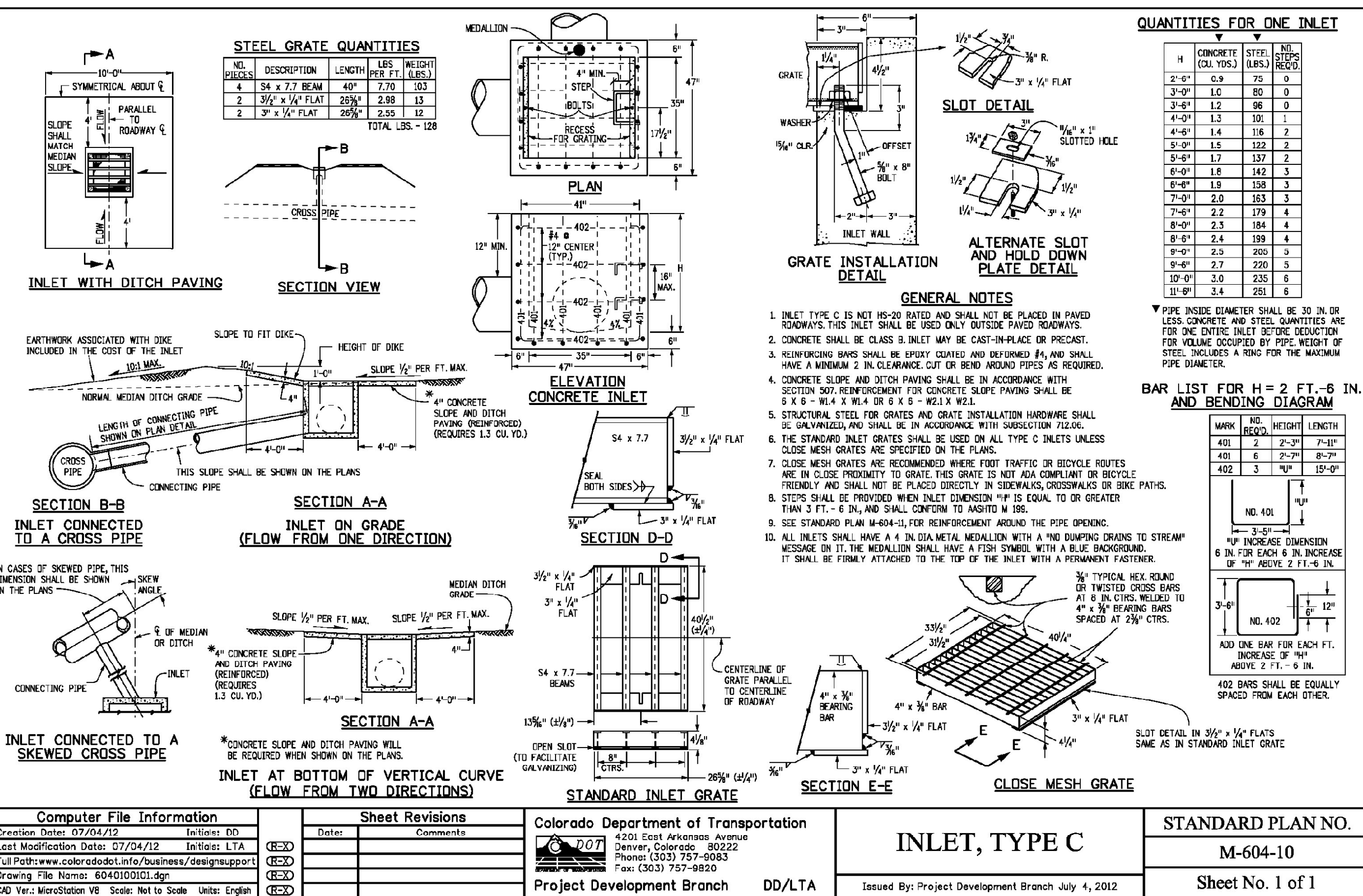
For Class B and C beddings, subgrades should be excavated or over excavated, if necessary, so a uniform foundation free of protruding rocks may be provided.
 Special care may be necessary with Class A or other unyielding foundations to cushion pipe from shock when blasting can be anticipated in the area.

CITY OF COLORADO SPRINGS

TRENCH BEDDING CLASSIFICATION

APPROVED BY *John P. Johnson*
 CITY ENGINEER




SCALE: NO SCALE	DATE: JAN. 90	DRAWN: P.L.B.	SHEET: D - 30
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JOB NUMBER	SHEET
91807	ST9 OF 9



Construction Drawings_V3.pdf Markup Summary



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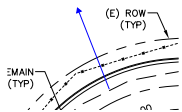
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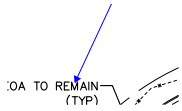
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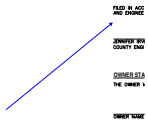
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Author: Steve Kuehster
Date: 8/13/2019 2:38:14 PM
Status:
Color: ■
Layer:
Space:



Subject: Arrow
Page Label: 6
Lock: Locked
Author: Steve Kuehster
Date: 8/13/2019 2:38:21 PM
Status:
Color: ■
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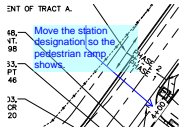


Subject: Arrow
Page Label: 26
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Author: Steve Kuehster
Date: 8/13/2019 2:38:27 PM
Status:
Color: ■
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Space:



Subject: Arrow
Page Label: 26
Lock: Locked
Author: Steve Kuehster
Date: 8/13/2019 2:38:27 PM
Status:
Color: ■
Layer:
Space:

arrow & box (4)



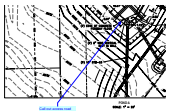
Subject: arrow & box
Page Label: 2
Lock: Locked
Author: Steve Kuehster
Date: 3/25/2020 3:20:02 PM
Status:
Color: ■
Layer:
Space:

Move the station designation so the pedestrian ramp shows.



Subject: arrow & box
Page Label: 5
Lock: Locked
Author: Steve Kuehster
Date: 8/13/2019 2:38:20 PM
Status:
Color: ■
Layer:
Space:

Call out a full urban street section with Curb and Gutter on both sides.
Show in the Plans a typical section of the street.



Subject: arrow & box
Page Label: 25
Lock: Locked
Author: Steve Kuehster
Date: 8/13/2019 2:38:26 PM
Status:
Color: ■
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Space:

Call out access road



Subject: arrow & box
Page Label: 26
Lock: Locked
Author: Steve Kuehster
Date: 8/13/2019 2:38:27 PM
Status:
Color: ■
Layer:
Space:

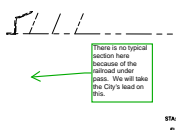
Call out an access road to these items.

Callout (2)



Subject: Callout
Page Label: 4
Lock: Unlocked
Author: Chad
Date: 2/5/2020 2:42:14 PM
Status:
Color: ■
Layer:
Space:

Street Plans broken into separate sets for City and County.



Subject: Callout
Page Label: 6
Lock: Unlocked
Author: Chad
Date: 2/5/2020 2:47:26 PM
Status:
Color: ■
Layer:
Space:

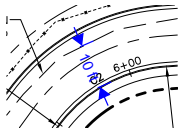
There is no typical section here because of the railroad under pass. We will take the City's lead on this.

EPC ENG Review (1)

Engineering Review
03/25/2020 3:20:01 PM
@stevehuhj
stevehuhj@epcc.com
(719) 826-6413
EPC Planning & Community
Development Department

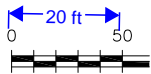
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Page Label: 1
Lock: Locked
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Date: 3/25/2020 3:20:11 PM
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Color: ■
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Length Measurement (2)



Subject: Length Measurement
Page Label: 2
Lock: Locked
Author: Steve Kuehster
Date: 3/25/2020 3:19:58 PM
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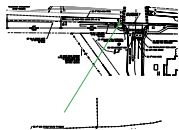
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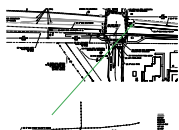
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Page Label: 2
Lock: Locked
Author: Steve Kuehster
Date: 3/25/2020 3:19:58 PM
Status:
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Layer:
Space:

20 ft

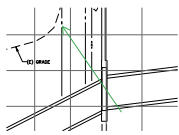
Line (5)



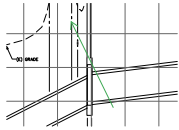
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Lock: Unlocked
Author: Chad
Date: 2/5/2020 2:48:22 PM
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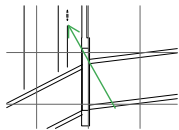
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Page Label: 7
Lock: Unlocked
Author: Chad
Date: 2/5/2020 2:48:37 PM
Status:
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Space:



Subject: Line
Page Label: 23
Lock: Unlocked
Author: Chad
Date: 2/5/2020 2:49:34 PM
Status:
Color: ■
Layer:
Space:



Subject: Line
Page Label: 23
Lock: Unlocked
Author: Chad
Date: 2/5/2020 2:49:37 PM
Status:
Color: ■
Layer:
Space:



Subject: Line
Page Label: 23
Lock: Unlocked
Author: Chad
Date: 2/5/2020 2:49:43 PM
Status:
Color: ■
Layer:
Space:

Pen (2)

5671 NORTH ORACLE ROAD, SUITE 1102
TUCSON, AZ 85704
EMERY GROUP (520) 742-2114
WESTWORKS ENGINEERING
10251 N. COLORADO AVENUE
COLORADO SPRINGS, CO 80904
CHAD D. KUEHSTER, P.E. (719) 485-1670
Y. DEVELOPMENT SERVICES DEPARTMENT
2800 INTERNATIONAL DRIVE, SUITE 110
COLORADO SPRINGS, CO 80910
(719) 520-7959
X(MY) STRATMOR HILLS WATER & SANITATION DISTRICT
1815 B STREET
COLORADO SPRINGS, CO 80908
KIM MEDINA (719) 578-0311

Subject: Pen
Page Label: 4
Lock: Locked
Author: Steve Kuehster
Date: 8/13/2019 2:38:11 PM
Status:
Color: ■
Layer:
Space:

5671 NORTH ORACLE ROAD, SUITE 1102
TUCSON, AZ 85704
EMERY GROUP (520) 742-2114
WESTWORKS ENGINEERING
10251 N. COLORADO AVENUE
COLORADO SPRINGS, CO 80904
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Y. DEVELOPMENT SERVICES DEPARTMENT
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(719) 520-7959
X(MY) STRATMOR HILLS WATER & SANITATION DISTRICT
1815 B STREET
COLORADO SPRINGS, CO 80908
KIM MEDINA (719) 578-0311

Subject: Pen
Page Label: 19
Lock: Locked
Author: Steve Kuehster
Date: 8/13/2019 2:38:23 PM
Status:
Color: ■
Layer:
Space:

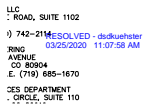
Stamp Resolved (10)

RESOLVED - diskuehster
03/25/2020 11:07:47 AM

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Page Label: 4
Lock: Locked
Author: Steve Kuehster
Date: 3/25/2020 3:20:03 PM
Status:
Color: ■
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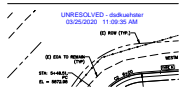


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Author: Steve Kuehster
Date: 3/25/2020 3:20:03 PM
Status:
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Layer:
Space:

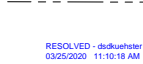


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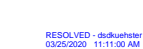
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Author: Steve Kuehster
Date: 3/25/2020 3:20:04 PM
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Author: Steve Kuehster
Date: 3/25/2020 3:20:05 PM
Status:
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Subject: Stamp Resolved
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Author: Steve Kuehster
Date: 3/25/2020 3:20:06 PM
Status:
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Subject: Stamp Resolved
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Author: Steve Kuehster
Date: 3/25/2020 3:20:06 PM
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Subject: Stamp Resolved
Page Label: 19
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Author: Steve Kuehster
Date: 3/25/2020 3:20:07 PM
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FILES

RESOLVED - dskuehster
03/25/2020 12:01:27 PM

Subject: Stamp Resolved
Page Label: 19
Lock: Locked
Author: Steve Kuehster
Date: 3/25/2020 3:20:09 PM
Status:
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Space:

COUNTY DPW, INCLUDING WORK WITHIN THE R/W

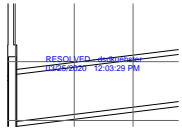
Y LINE UNLESS OTHERWISE NOTED. THE OWNER

PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE

RESOLVED - dskuehster
03/25/2020 12:01:40 PM

MINED FROM DEVELOPMENT SERVICES AND A PRECON

Subject: Stamp Resolved
Page Label: 19
Lock: Locked
Author: Steve Kuehster
Date: 3/25/2020 3:20:09 PM
Status:
Color: ■
Layer:
Space:



Subject: Stamp Resolved
Page Label: 23
Lock: Locked
Author: Steve Kuehster
Date: 3/25/2020 3:20:10 PM
Status:
Color: ■
Layer:
Space:

text box (10)

Call out widening of
Westmark where necessary
to maintain a minimum
asphalt mat of 30 feet.



Subject: text box
Page Label: 2
Lock: Locked
Author: Steve Kuehster
Date: 3/25/2020 3:19:59 PM
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Space:

Call out widening of Westmark where necessary to maintain a minimum asphalt mat of 30 feet.



Subject: text box
Page Label: 1
Lock: Locked
Author: Steve Kuehster
Date: 3/25/2020 3:20:11 PM
Status:
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Minor comments, However, EPC Acceptance is pending the Bob Johnson/Venetucci signal (The Settlement agreement indicated the signal would be constructed as part of the development) and what assurances the City needs to accomplish this.

ENVIRONMENTAL DEVELOPMENT, LLC
2001 WEST GULF ROAD, SUITE 100
DALLAS, TX 75244
DRAFT DATE: 08/13/2019 7:42:20 PM
REVISIONS:
1.0: 08/13/2019 7:42:20 PM
2.0: 08/13/2019 7:42:20 PM
3.0: 08/13/2019 7:42:20 PM
4.0: 08/13/2019 7:42:20 PM
5.0: 08/13/2019 7:42:20 PM
6.0: 08/13/2019 7:42:20 PM
7.0: 08/13/2019 7:42:20 PM
8.0: 08/13/2019 7:42:20 PM
9.0: 08/13/2019 7:42:20 PM
10.0: 08/13/2019 7:42:20 PM
11.0: 08/13/2019 7:42:20 PM
12.0: 08/13/2019 7:42:20 PM
13.0: 08/13/2019 7:42:20 PM
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16.0: 08/13/2019 7:42:20 PM
17.0: 08/13/2019 7:42:20 PM
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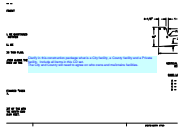
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Planning and Community Development



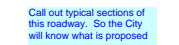
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Date: 8/13/2019 2:38:13 PM
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In accordance with ECM Section 1.12, these construction documents will be valid for construction for a period of 2 years from the date signed by the El Paso County Engineer. If construction has not started within those 2 years, the plans will need to be resubmitted for approval, including payment of review fees at the Planning and Community Development Directors discretion



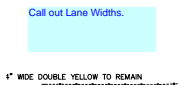
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Page Label: 4
Lock: Locked
Author: Steve Kuehster
Date: 8/13/2019 2:38:15 PM
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Clarify in this construction package what is a City facility, a County facility and a Private facility. Include all items in this CD set. The City and County will need to agree on who owns and maintains facilities.



Subject: text box
Page Label: 6
Lock: Locked
Author: Steve Kuehster
Date: 8/13/2019 2:38:20 PM
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Call out typical sections of this roadway. So the City will know what is proposed



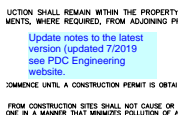
Subject: text box
Page Label: 7
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Author: Steve Kuehster
Date: 8/13/2019 2:38:22 PM
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Call out Lane Widths.



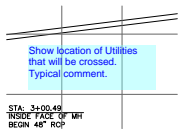
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Page Label: 19
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Author: Steve Kuehster
Date: 8/13/2019 2:38:23 PM
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Color: ■
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In accordance with ECM Section 1.12, these construction documents will be valid for construction for a period of 2 years from the date signed by the El Paso County Engineer. If construction has not started within those 2 years, the plans will need to be resubmitted for approval, including payment of review fees at the Planning and Community Development Directors discretion



Subject: text box
Page Label: 19
Lock: Locked
Author: Steve Kuehster
Date: 8/13/2019 2:38:24 PM
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Color: ■
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Space:

Update notes to the latest version (updated 7/2019 see PDC Engineering website.



Subject: text box
Page Label: 23
Lock: Locked
Author: Steve Kuehster
Date: 8/13/2019 2:38:25 PM
Status:
Color: ■
Layer:
Space:

Show location of Utilities that will be crossed.
Typical comment.