

ELDORADO SPRINGS

PUBLIC STREET IMPROVEMENT PLANS

EL PASO COUNTY, COLORADO

STANDARD CONSTRUCTION NOTES:

- ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD LOCATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
- CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
 - EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
 - CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
 - COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
 - CDOT M & S STANDARDS
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT (PCD) - INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
- CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
- ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD.
- CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
- SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DPW AND MUTCD CRITERIA.
- CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DPW, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
- THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.

SIGNAGE & STRIPING NOTES:

- ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY A METHOD THAT DOES NOT MATERIALLY DAMAGE THE PAVEMENT. THE PAVEMENT MARKINGS SHALL BE REMOVED TO THE EXTENT THAT THEY WILL NOT BE VISIBLE UNDER DAY OR NIGHT CONDITIONS. AT NO TIME WILL IT BE ACCEPTABLE TO PAINT OVER EXISTING PAVEMENT MARKINGS.
- ANY DEVIATION FROM THE STRIPING AND SIGNING PLAN SHALL BE APPROVED BY EL PASO COUNTY DEVELOPMENT SERVICES.
- ALL SIGNS SHOWN ON THE SIGNING AND STRIPING PLAN SHALL BE NEW SIGNS. EXISTING SIGNS MAY REMAIN OR BE REUSED IF THEY MEET CURRENT EL PASO COUNTY AND MUTCD STANDARDS.
- STREET NAME AND REGULATORY STOP SIGNS SHALL BE ON THE SAME POST AT INTERSECTIONS.
- ALL REMOVED SIGNS SHALL BE DISPOSED OF IN A PROPER MANNER BY THE CONTRACTOR.
- ALL STREET NAME SIGNS SHALL HAVE "D" SERIES LETTERS, WITH LOCAL ROADWAY SIGNS BEING 4" UPPER-LOWER CASE LETTERING ON 8" BLANK AND NON-LOCAL ROADWAY SIGNS BEING 6" LETTERING, UPPER-LOWER CASE ON 12" BLANK, WITH A WHITE BORDER THAT IS NOT RECESSED. MULTI-LANE ROADWAYS WITH SPEED LIMITS OF 40 MPH OR HIGHER SHALL HAVE 8" UPPER-LOWER CASE LETTERING ON 18" BLANK WITH A WHITE BORDER THAT IS NOT RECESSED. THE WIDTH OF THE NON-RECESSED WHITE BORDERS SHALL MATCH PAGE 255 OF THE 2012 MUTCD "STANDARD HIGHWAY SIGNS".
- ALL TRAFFIC SIGNS SHALL HAVE A MINIMUM HIGH INTENSITY PRISMATIC GRADE SHEETING.
- ALL LOCAL RESIDENTIAL STREET SIGNS SHALL BE MOUNTED ON A 1.75" x 1.75" SQUARE TUBE SIGN POST AND STUB POST BASE. FOR OTHER APPLICATIONS, REFER TO THE CDOT STANDARD S-614-B REGARDING USE OF THE P2 TUBULAR STEEL POST SLIPBASE DESIGN.
- ALL SIGNS SHALL BE SINGLE SHEET ALUMINUM WITH 0.100" MINIMUM THICKNESS.
- ALL LIMIT LINES/STOP LINES, CROSSWALK LINES, PAVEMENT LEGENDS, AND ARROWS SHALL BE A MINIMUM 125 MIL THICKNESS PREFORMED THERMOPLASTIC PAVEMENT MARKINGS WITH TAPERED LEADING EDGES PER CDOT STANDARD S-627-1. WORD AND SYMBOL MARKINGS SHALL BE THE NARROW TYPE. STOP BARS SHALL BE 24" IN WIDTH. CROSSWALKS LINES SHALL BE 12" WIDE AND 8' LONG PER CDOT S-627-1.
- ALL LONGITUDINAL LINES SHALL BE A MINIMUM 15MIL THICKNESS EPOXY PAINT. ALL NON-LOCAL RESIDENTIAL ROADWAYS SHALL INCLUDE BOTH RIGHT AND LEFT EDGE LINE STRIPING AND ANY ADDITIONAL STRIPING AS REQUIRED BY CDOT S-627-1.
- THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY DEVELOPMENT SERVICES (719) 520-6819 PRIOR TO AND UPON COMPLETION OF SIGNING AND STRIPING.
- THE CONTRACTOR SHALL OBTAIN A WORK IN THE RIGHT OF WAY PERMIT FROM THE EL PASO COUNTY PUBLIC SERVICE DEPARTMENT (PSD) PRIOR TO ANY SIGNAGE OR STRIPING WORK WITHIN AN EXISTING EL PASO COUNTY ROADWAY.

GENERAL NOTES:

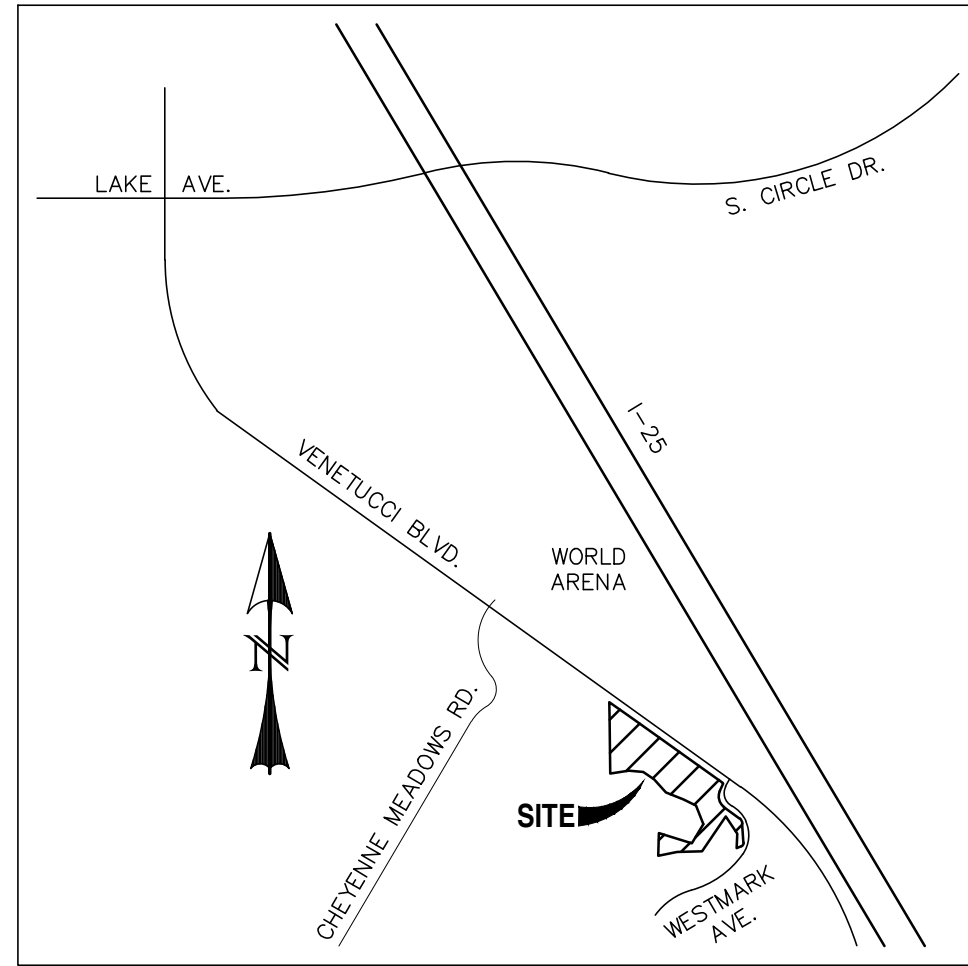
- ALL PAVING AND CURB & GUTTER SHALL BE CONSTRUCTED SO AS NOT TO OBSTRUCT THE DRAINAGE PATHS. GRADES SHALL BE MAINTAINED AS SHOWN IN THESE PLANS FOR THE DRAINAGE PATHS. IF THIS CANNOT BE ACCOMPLISHED, THEN THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CORRECTION.
- POSITIVE DRAINAGE AWAY FROM THE BUILDING SHALL BE MAINTAINED DURING AND AFTER SITE CONSTRUCTION. SWALES SHALL BE CONSTRUCTED AROUND BUILDINGS TO DIRECT DRAINAGE AWAY FROM STRUCTURES.
- SITE CONSTRUCTION INCLUDING PAVING AND CURB & GUTTER INSTALLATION SHALL MAINTAIN POSITIVE DRAINAGE AS SHOWN ON THIS PLAN. STANDING WATER OR PONDING ANYWHERE ON THE SITE IS UNACCEPTABLE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WORK. THE OMISSION FROM OR THE INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NONEXISTENCE OF OR A DEFINITE LOCATION OF EXISTING UNDERGROUND UTILITIES.

BENCHMARKS:

- THE MOST NORTHERLY CORNER OF THE SITE MONUMENTED BY A 1" YELLOW PLASTIC CAP STAMPED "23890."
EL = 5865.58
- THE MOST SOUTHERLY CORNER ALONG US HIGHWAY 85-87 BEING MONUMENTED BY A 1-1/2" ALUMINUM SURVEYORS CAP STAMPED "CCES LLC PLS 30118" LOCATED AT THE WESTERLY CORNER OF THE INTERSECTION OF WESTMARK AVENUE AND US HIGHWAY 85-87.
EL = 5854.18

BASIS OF BEARING:

THE WEST LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M. BEING MONUMENTED AT THE NORTH END BY A 2-1/2" ALUMINUM SURVEYORS CAP WITH APPROPRIATE MARKINGS AND AT THE SOUTH END BY A 3-1/4" ALUMINUM SURVEYORS CAP WITH APPROPRIATE MARKINGS IS ASSUMED TO BEAR N00°44'35"W, A DISTANCE OF 1320.61 FEET.



VICINITY MAP
SCALE: N.T.S.

CONSTRUCTION PLANS AND SPECIFICATIONS ENGINEERS STATEMENT:

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID DETAILED PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE CITY/COUNTY FOR DETAILED DRAINAGE PLANS AND SPECIFICATIONS, AND SAID DETAILED PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH THE MASTER PLAN OF THE DRAINAGE BASIN. SAID DETAILED PLANS AND SPECIFICATIONS MEET THE PURPOSES WHICH THE PARTICULAR DRAINAGE FACILITY(S) IS DESIGNED. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERROR OR OMISSIONS ON MY PART IN PREPARATION OF THE DETAILED PLANS AND SPECIFICATIONS.

CHAD D. KUZBEK, COLORADO PE #35751

DATE

EL PASO COUNTY (WESTMARK AVENUE ONLY):

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

JENNIFER IRVINE, P.E.
COUNTY ENGINEER/ECM ADMINISTRATOR

DATE

OWNER STATEMENT:

THE OWNER WILL COMPLY WITH THE REQUIREMENTS OF THE STREET IMPROVEMENT PLANS.

OWNER NAME: Michael E. Winterfeld
DATE: 10-8-2020

LEGEND

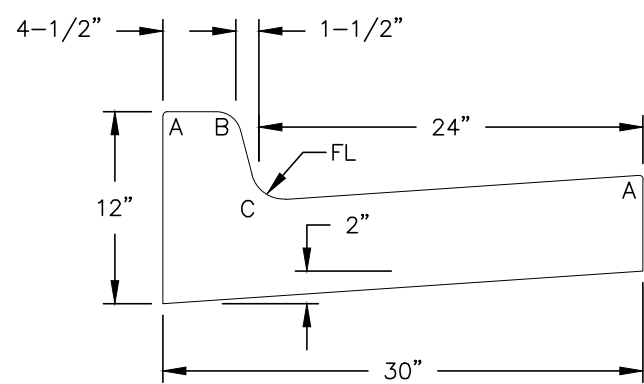
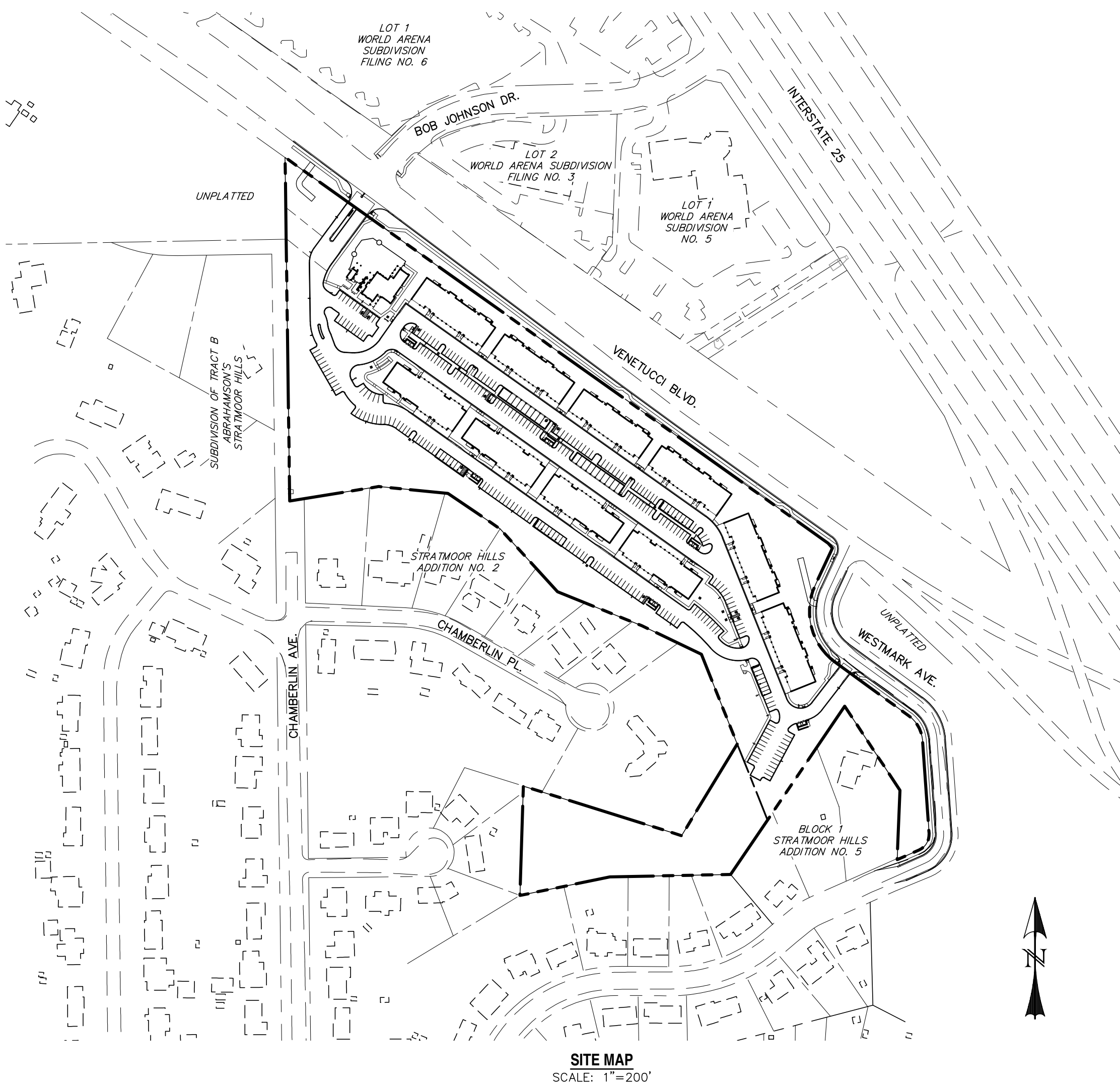
EXISTING	(E)
PROPOSED	(P)
FUTURE	(F)
BEGIN TRANSITION	BT
END TRANSITION	ET
CURB RETURN	CR
POINT ON CURVE	POC
POINT ON CURB RETURN	POCR
POINT OF REVERSE CURVATURE	PRC
EDGE OF ASPHALT	EOA
POINT OF CURVATURE	PC
POINT OF TANGENCY	PT
BOUNDARY	---
RIGHT-OF-WAY	---
LOT LINE	---
EASEMENT	---
(E) STORM SEWER	---
(P) STORM SEWER, INLET, MH	---

SHEET INDEX:

TITLE SHEET
STREET IMPROVEMENT PLAN - WESTMARK AVENUE
SIGNAGE & STRIPING PLAN - WESTMARK AVENUE

SI1 OF 3
SI2 OF 3
SI3 OF 3

Add "PCD File No. PPR1932"
Unresolved.



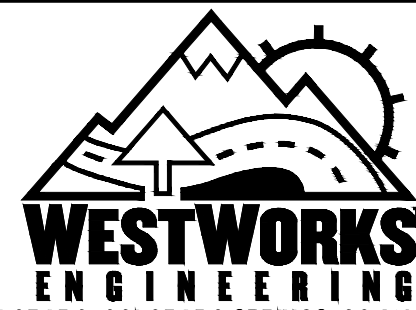
TYPE A
VERTICAL CURB & GUTTER
SCALE: N.T.S.

RADI LEGEND:

A = 1/8" TO 1/4"
B = 1-1/2"
C = 1-1/2" TO 2"
D = 1/2"

AGENCIES:

DEVELOPER:	ESH DEVELOPMENT, LLC 5671 NORTH ORACLE ROAD, SUITE 1102 TUSCON, AZ 85704 EMERY CHUKLY (520) 742-2114
ENGINEER:	WESTWORKS ENGINEERING 1023 W. COLORADO AVENUE COLORADO SPRINGS, CO 80904 CHAD D. KUZBEK, P.E. (719) 685-1670
EL PASO COUNTY:	PLANNING AND COMMUNITY DEVELOPMENT 2880 INTERNATIONAL CIRCLE, SUITE 110 COLORADO SPRINGS, CO 80910 (719) 520-7959
UTILITIES: (WATER & SANITARY)	STRATMOOR HILLS WATER & SANITATION DISTRICT 1811 B STREET COLORADO SPRINGS, CO 80906 KIRK MEDINA (719) 576-0311
UTILITIES: (GAS)	COLORADO SPRINGS UTILITIES 111 S. CASCADE AVENUE COLORADO SPRINGS, CO 80903 (719) 448-4800
FIRE:	STRATMOOR HILLS FIRE PROTECTION DISTRICT 2160 B STREET COLORADO SPRINGS, CO 80906 DOTTIE BARRETT (719) 576-1200



1023 W. COLORADO COLORADO SPRINGS, CO 80904 (719) 685-1670

REV.	DESCRIPTION	DATE
1	ADDRESS AGENCY COMMENTS	01/30/20
2	ADDRESS AGENCY COMMENTS	05/05/20



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ESH DEVELOPMENT, LLC

5671 NORTH ORACLE ROAD
SUITE #1102
TUSCON, AZ 85704
(520) 742-2114

PREPARED UNDER MY DIRECT SUPERVISION FOR AND BEHALF OF
WESTWORKS ENGINEERING.

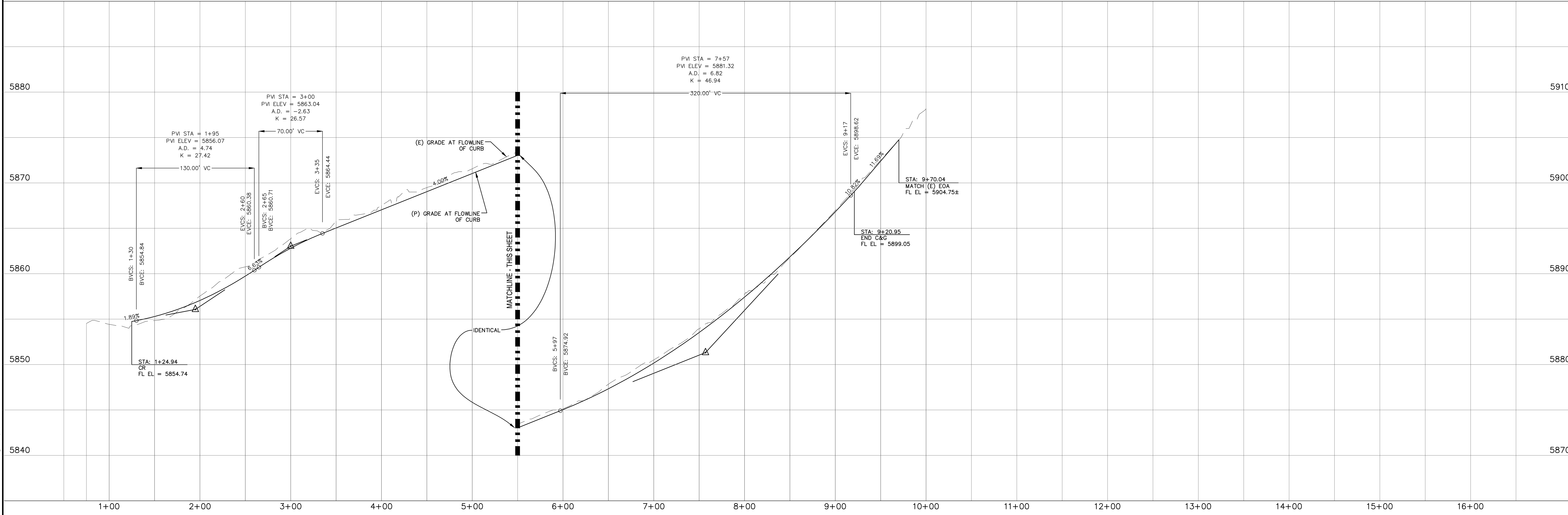
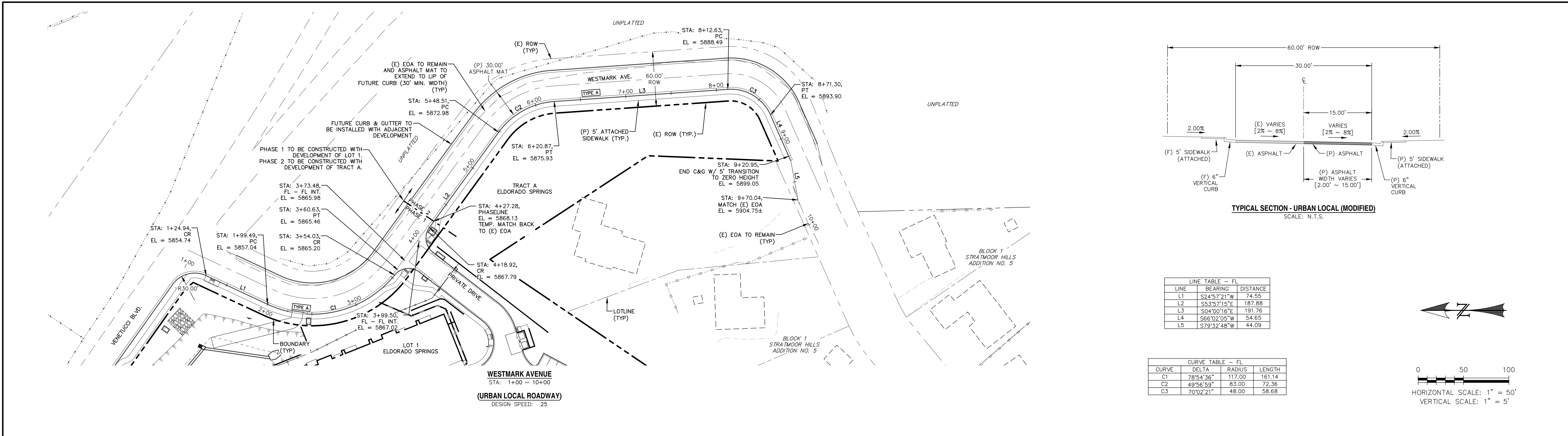
CHAD D. KUZBEK, COLORADO PE #35751

DATE


ELDORADO SPRINGS

EL PASO COUNTY
STREET IMPROVEMENT PLANS
TITLE SHEET

DRAWN BY:	CDK
SCALE:	1"=200'
DATE:	10/07/20
JOB NUMBER	SHEET
91807	SI1 OF 3



REV.	DESCRIPTION	DATE
1	ADDRESS AGENCY COMMENTS	01/30/20
2	ADDRESS AGENCY COMMENTS	05/05/20



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DESIGN DATA:	
SIDEWALKS: WIDTH: _____	LOCATION: <input type="checkbox"/> Attached <input type="checkbox"/> Detached
DESIGN SPEED	CURB TYPE: <input type="checkbox"/> 1 <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/> 4 <input type="checkbox"/> 5
ROW WIDTH: _____	FL-FL _____
STREET TYPE: _____	THICKNESS _____

PAVEMENT:	TYPE: HMA <input type="checkbox"/> BASE <input type="checkbox"/>
THICKNESS:	_____
COMPOSITE SECTION:	HMA _____ BASE _____
SUBGRADE STABILIZATION:	CHEM. <input type="checkbox"/> MECH. <input type="checkbox"/>
TYPE _____	THICKNESS _____

PREPARED FOR:

ESH DEVELOPMENT, LLC

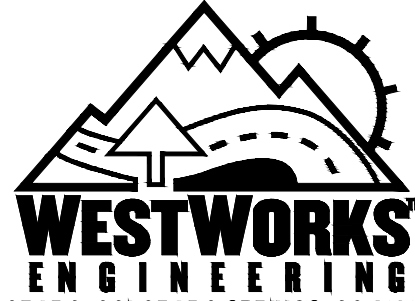
5671 NORTH ORACLE ROAD
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TUSCON, AZ 85704
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PREPARED UNDER MY DIRECT SUPERVISION FOR AND BEHALF OF

WESTWORKS ENGINEERING.

CHAD D. KUZBEK, COLORADO PE #35751

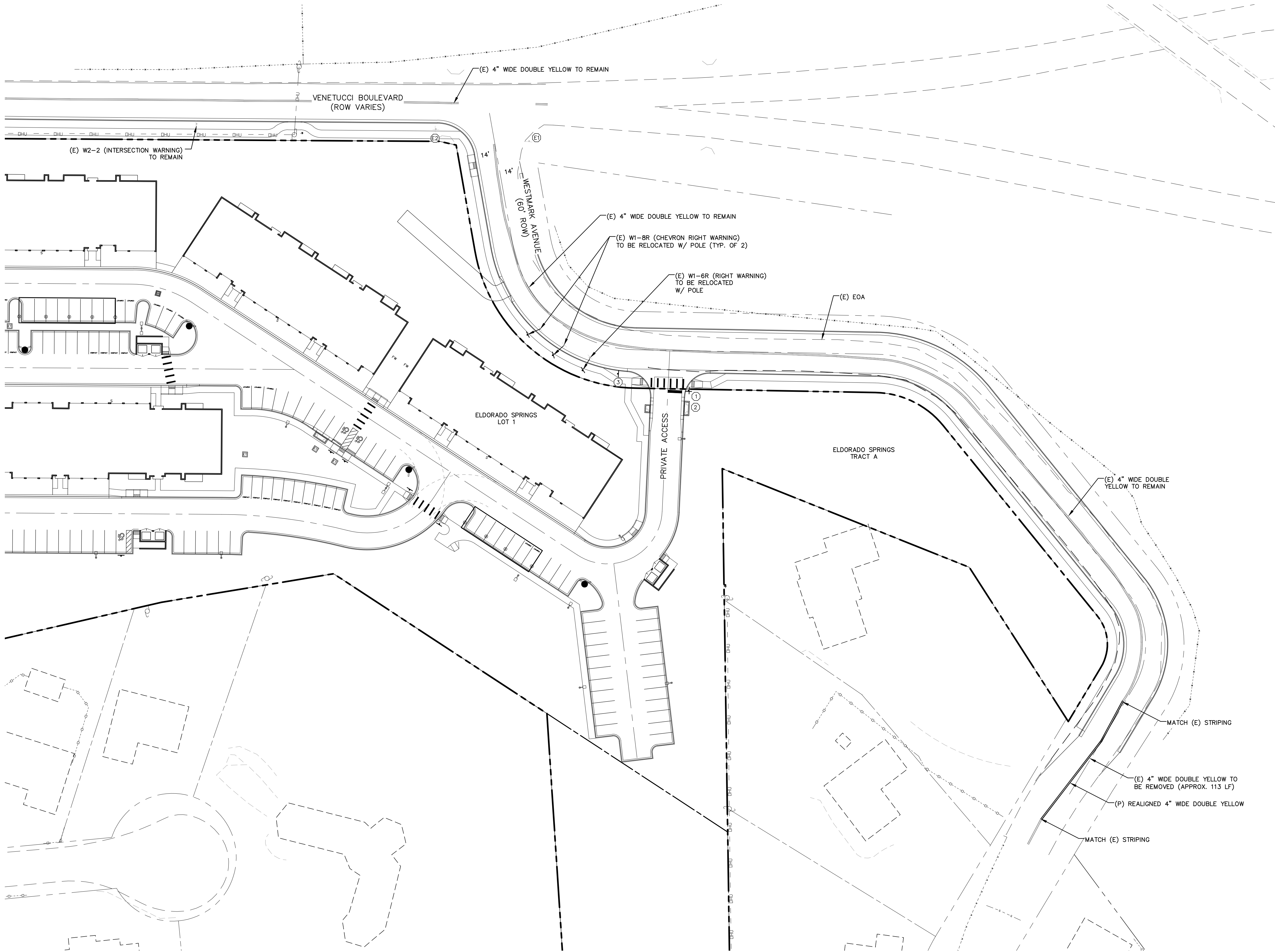
DATE _____



1023 W. COLORADO COLORADO SPRINGS, CO 80904 (719) 885-1670

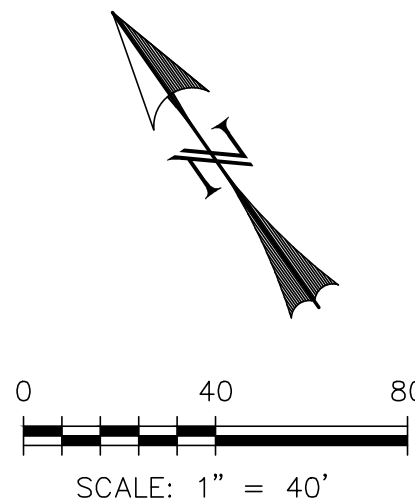
ELDORADO SPRINGS	
EL PASO COUNTY	
STREET IMPROVEMENT PLANS	
PLAN & PROFILE	

DESIGNED BY: MGP	DRAWN BY: CDK
SCALE: 1"=50'	DATE: 10/07/20
JOB NUMBER	SHEET
91807	SI2 OF 3



SIGNING AND STRIPING NOTES:

1. ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
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LEGEND

EXISTING	(E)
PROPOSED	(P)
BOUNDARY	---
RIGHT-OF-WAY	---
LOT LINE	---
(E) SIGN	+
(P) SIGN	+
(E) R1-1 (STOP SIGN - 30"x30")	Ⓡ1
(P) R1-1 (STOP SIGN - 30"x30")	①
(E) D-3 (STREET NAME)	Ⓢ
(P) D-3 (STREET NAME)	②
[6" HEIGHT; 4" LETTERING]	
(P) SPEED LIMIT SIGN (25 MPH)	③

REV.	DESCRIPTION	DATE
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CHAD D. KUZBEK, COLORADO PE #35751
DATE _____



1023 W. COLORADO COLORADO SPRINGS, CO 80904 (719) 885-1670

ELDORADO SPRINGS

EL PASO COUNTY
STREET IMPROVEMENT PLANS
SIGNAGE & STRIPING PLAN

DESIGNED BY: CDK	DRAWN BY: CDK
SCALE: 1" = 40'	DATE: 10/07/20
JOB NUMBER	SHEET
91807	SI3 OF 3

ELDORADO SPRINGS

STORM SEWER PLAN & PROFILES

[PUBLIC & PRIVATE]

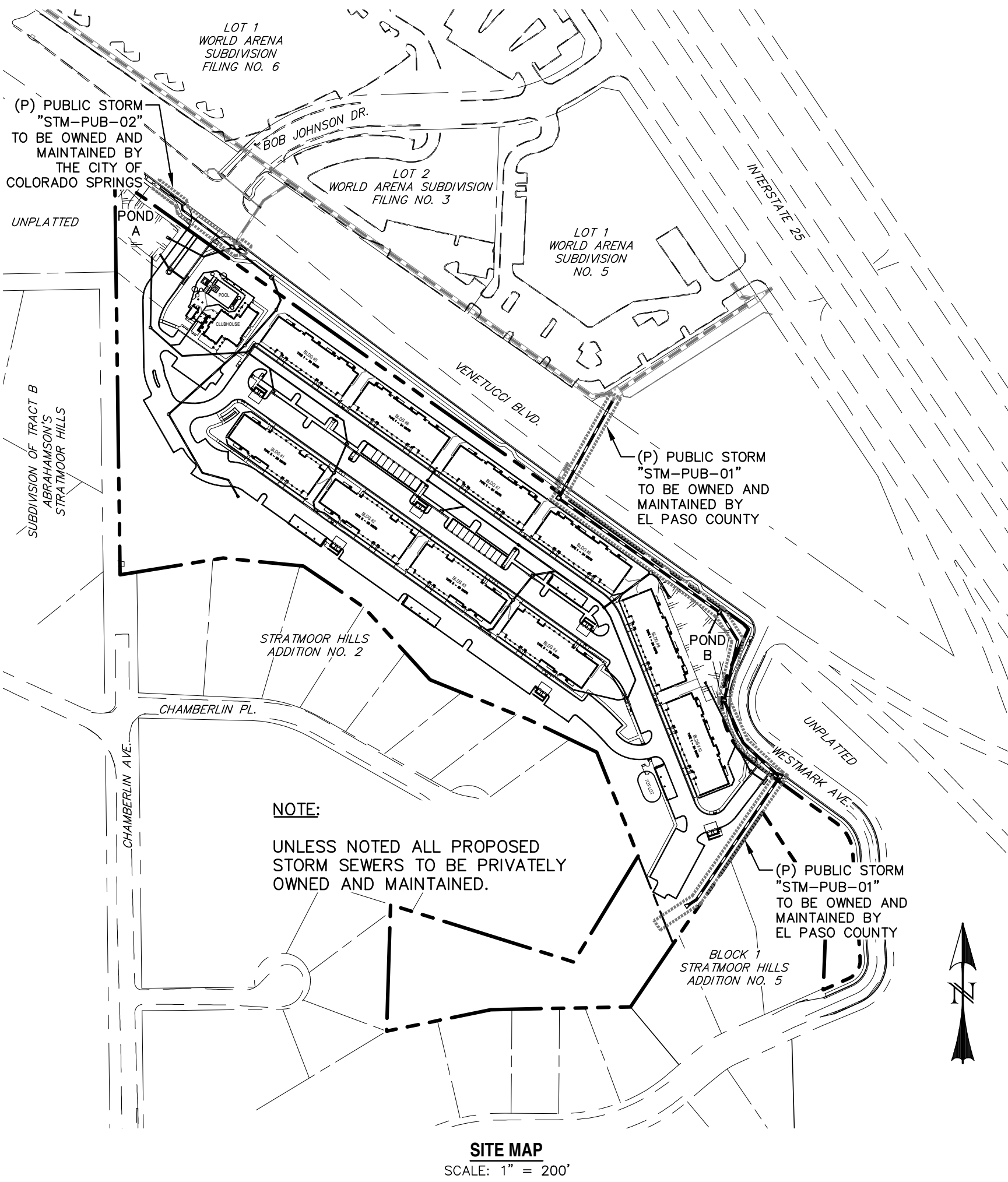
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- CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT (PCD) – INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
- CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
- ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD.
- CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND GEOTECH.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
- SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DPW AND MUTCD CRITERIA.
- CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DPW, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
- THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.

GRADING NOTES:

- STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFF SITE WATERS, INCLUDING WETLANDS.
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS TO REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.
- A SEPARATE STORMWATER MANAGEMENT PLAN (SWMP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. DURING CONSTRUCTION THE SWMP IS THE RESPONSIBILITY OF THE DESIGNATED STORMWATER MANAGER, SHALL BE LOCATED ON SITE AT ALL TIMES AND SHALL BE KEPT UP TO DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.
- ONCE THE ESQCP HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL BMPs AS INDICATED ON THE DEC. A PRECONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY DSD INSPECTIONS STAFF.
- SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 21 CALENDAR DAYS AFTER FINAL GRADING, OR FINAL EARTH DISTURBANCE, HAS BEEN COMPLETED. DISTURBED AREAS AND STOCKPILES WHICH ARE NOT AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN 30 DAYS SHALL ALSO BE MULCHED WITHIN 21 DAYS AFTER FINAL GRADING. AN AREA THAT IS GOING TO REMAIN IN AN INTERIM STATE FOR MORE THAN 60 DAYS SHALL ALSO BE SEEDDED. ALL TEMPORARY SOIL EROSION CONTROL MEASURES AND BMPs SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND ESTABLISHED.
- TEMPORARY SOIL EROSION CONTROL FACILITIES SHALL BE REMOVED AND EARTH DISTURBANCE AREAS GRADED AND STABILIZED WITH PERMANENT SOIL EROSION CONTROL MEASURES PURSUANT TO STANDARDS AND SPECIFICATION PRESCRIBED IN THE DCM VOLUME II AND THE ENGINEERING CRITERIA MANUAL (ECM) APPENDIX I.
- ALL PERSONS ENGAGED IN EARTH DISTURBANCE SHALL IMPLEMENT AND MAINTAIN ACCEPTABLE SOIL EROSION AND SEDIMENT CONTROL MEASURES INCLUDING BMPs IN CONFORMANCE WITH THE EROSION CONTROL TECHNICAL STANDARDS OF THE DRAINAGE CRITERIA MANUAL (DCM) VOLUME II AND IN ACCORDANCE WITH THE STORMWATER MANAGEMENT PLAN (SWMP).
- ALL TEMPORARY EROSION CONTROL FACILITIES INCLUDING BMPs AND ALL PERMANENT FACILITIES INTENDED TO CONTROL EROSION OF ANY EARTH DISTURBANCE OPERATIONS, SHALL BE INSTALLED AS DEFINED IN THE APPROVED PLANS, THE SWMP AND THE DCM VOLUME II AND MAINTAINED THROUGHOUT THE DURATION OF THE EARTH DISTURBANCE OPERATION.
- ANY EARTH DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY REDUCE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME.
- ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE DESIGNED TO LIMIT THE DISCHARGE TO A NON-EROSIVE VELOCITY.
- CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO RUNOFF TO STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
- EROSION CONTROL BLANKETING IS TO BE USED ON SLOPES STEEPER THAN 3:1.
- BUILDING, CONSTRUCTION, EXCAVATION, OR OTHER WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. BMPs MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.
- VEHICLE TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFFSITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- THE OWNER, SITE DEVELOPER, CONTRACTOR, AND/OR THEIR AUTHORIZED AGENTS SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, AND SAND THAT MAY ACCUMULATE IN THE STORM SEWER OR OTHER DRAINAGE CONVEYANCE SYSTEM AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
- THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.
- NO CHEMICALS ARE TO BE USED BY THE CONTRACTOR, WHICH HAVE THE POTENTIAL TO BE RELEASED IN STORMWATER UNLESS PERMISSION FOR THE USE OF A SPECIFIC CHEMICAL IS GRANTED IN WRITING BY THE ECM ADMINISTRATOR. IN GRANTING THE USE OF SUCH CHEMICALS, SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
- BULK STORAGE STRUCTURES FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE ADEQUATE PROTECTION SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
- NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE FLOW LINE OF THE CURB AND GUTTER OR IN THE DITCHLINE.
- INDIVIDUALS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS), AND THE "CLEAN WATER ACT" (33 USC 1344), IN ADDITION TO THE REQUIREMENTS INCLUDED IN THE DCM VOLUME II AND THE ECM APPENDIX I. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (NPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.). IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, OR COUNTY AGENCIES, THE MORE RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- PRIOR TO ACTUAL CONSTRUCTION THE PERMITEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.
- A WATER SOURCE SHALL BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
- THE SOILS REPORT FOR THIS SITE HAS BEEN PREPARED BY ENTECH ENGINEERING AND SHALL BE CONSIDERED A PART OF THESE PLANS.
- AT LEAST TEN DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB 1 ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:
COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT
WATER QUALITY CONTROL DIVISION
WQCD - PERMITS
4300 CHERRY CREEK DRIVE SOUTH
DENVER, CO 80246-1530
ATTN: PERMITS UNIT



GENERAL NOTES:

- ALL PAVING AND CURB & GUTTER SHALL BE CONSTRUCTED SO AS NOT TO OBSTRUCT THE DRAINAGE PATHS. GRADES SHALL BE MAINTAINED AS SHOWN IN THESE PLANS FOR THE DRAINAGE PATHS. IF THIS CANNOT BE ACCOMPLISHED, THEN THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CORRECTION.
- POSITIVE DRAINAGE AWAY FROM THE BUILDING SHALL BE MAINTAINED DURING AND AFTER SITE CONSTRUCTION. SWALES SHALL BE CONSTRUCTED AROUND BUILDINGS TO DIRECT DRAINAGE AWAY FROM STRUCTURES.
- SITE CONSTRUCTION INCLUDING PAVING AND CURB & GUTTER INSTALLATION SHALL MAINTAIN POSITIVE DRAINAGE AS SHOWN ON THIS PLAN. STANDING WATER OR PONDING ANYWHERE ON THE SITE IS UNACCEPTABLE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WORK. THE OMISSION FROM OR THE INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NONEXISTENCE OF OR A DEFINITE LOCATION OF EXISTING UNDERGROUND UTILITIES.

BENCHMARKS:

- THE MOST NORTHERLY CORNER OF THE SITE MONUMENTED BY A 1" YELLOW PLASTIC CAP STAMPED "23890." EL = 5865.58
- THE MOST SOUTHERLY CORNER ALONG US HIGHWAY 85-87 BEING MONUMENTED BY A 1-1/2" ALUMINUM SURVEYORS CAP STAMPED "CCES LLC PLS 30118" LOCATED AT THE WESTERLY CORNER OF THE INTERSECTION OF WESTMARK AVENUE AND US HIGHWAY 85-87. EL = 5854.18

BASIS OF BEARING:

THE WEST LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M. BEING MONUMENTED AT THE NORTH END BY A 2-1/2" ALUMINUM SURVEYORS CAP WITH APPROPRIATE MARKINGS AND AT THE SOUTH END BY A 3-1/4" ALUMINUM SURVEYORS CAP WITH APPROPRIATE MARKINGS IS ASSUMED TO BEAR N00°44'35"W, A DISTANCE OF 1320.61 FEET.

AGENCIES:

DEVELOPER: ESH DEVELOPMENT, LLC
5671 NORTH ORACLE ROAD, SUITE 1102
TUSCON, AZ 85704
EMERY CHUKLY (520) 742-2114

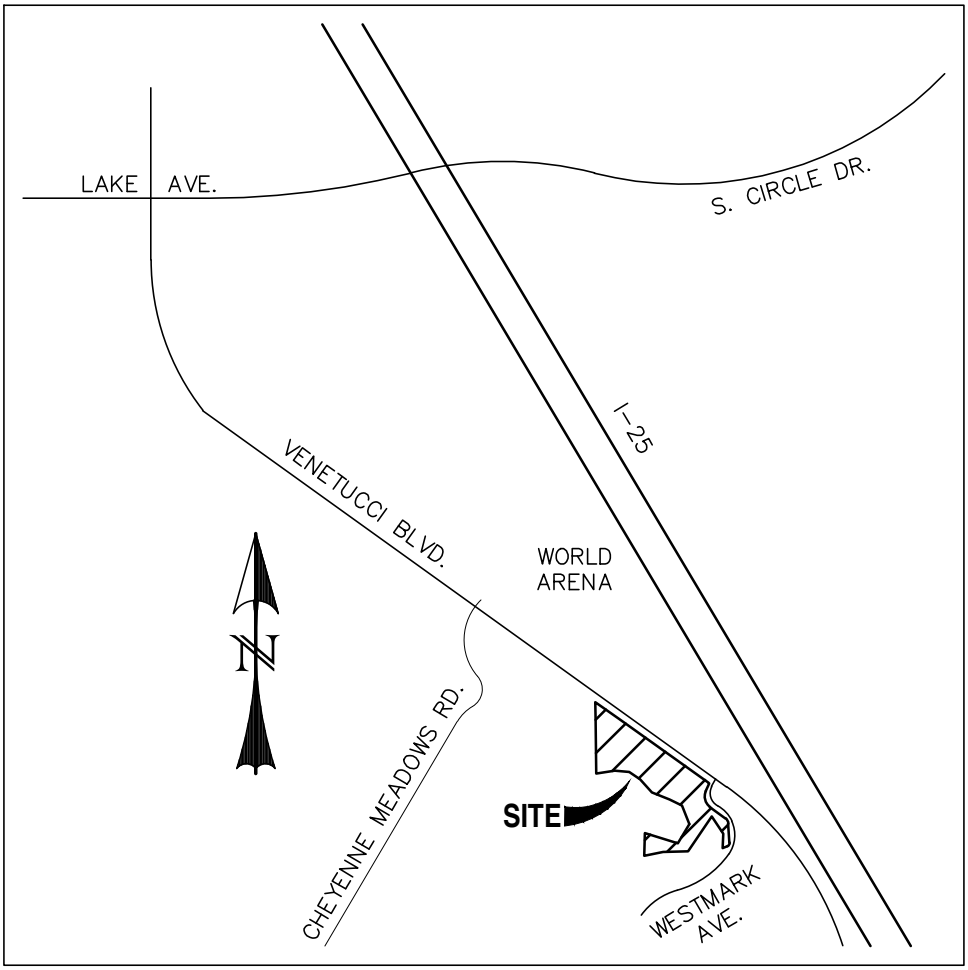
ENGINEER: WESTWORKS ENGINEERING
1023 W. COLORADO AVENUE
COLORADO SPRINGS, CO 80904
CHAD D. KUZBEK, P.E. (719) 685-1670

EL PASO COUNTY: PLANNING AND COMMUNITY DEVELOPMENT
2880 INTERNATIONAL CIRCLE, SUITE 110
COLORADO SPRINGS, CO 80910
(719) 520-7959

UTILITIES: (WATER & SANITARY) STRATMOOR HILLS WATER & SANITATION DISTRICT
1811 B STREET
COLORADO SPRINGS, CO 80906
KIRK MEDINA (719) 576-0311

UTILITIES: (GAS) COLORADO SPRINGS UTILITIES
111 S. CASCADE AVENUE
COLORADO SPRINGS, CO 80903
(719) 448-4800

FIRE: STRATMOOR HILLS FIRE PROTECTION DISTRICT
2160 B STREET
COLORADO SPRINGS, CO 80906
DOTTIE BARRETT (719) 576-1200



VICINITY MAP
SCALE: N.T.S.

CONSTRUCTION PLANS AND SPECIFICATIONS ENGINEERS STATEMENT:

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID DETAILED PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE CITY/COUNTY FOR DETAILED DRAINAGE PLANS AND SPECIFICATIONS, AND SAID DETAILED PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH THE MASTER PLAN OF THE DRAINAGE BASIN. SAID DETAILED PLANS AND SPECIFICATIONS MEET THE PURPOSES WHICH THE PARTICULAR DRAINAGE FACILITY(S) IS DESIGNED. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERROR OR OMISSIONS ON MY PART IN PREPARATION OF THE DETAILED PLANS AND SPECIFICATIONS.

CHAD D. KUZBEK, COLORADO PE #35751

DATE

EL PASO COUNTY:

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

JENNIFER IRVINE, P.E.
COUNTY ENGINEER/ECM ADMINISTRATOR

OWNER STATEMENT:

THE OWNER WILL COMPLY WITH THE REQUIREMENTS OF THE STORM SEWER PLANS.

OWNER NAME: *Michael E. Winterfeld*
10-8-2020

LEGEND

EXISTING	(E)
PROPOSED	(P)
CURB AND GUTTER	C&G
EASEMENT	ESMT
BUILDING	BLDG
DRAINAGE	DR
PUBLIC	PUB
PRIVATE	PVT
UNDERGROUND	UG
UTILITY	UT
SANITARY	SAN
SEWER	SWR
WATER	WTR
CITY OF COLORADO SPRINGS	COCs
EL PASO COUNTY	EPC
BOUNDARY	---
RIGHT-OF-WAY	---
LOT LINE	---
EASEMENT	---
SETBACK	---
(E) SANITARY MAIN, MH	--- S --- S --- S ---
(E) WATER MAIN, VALVE, FH	--- W --- W --- W ---
(E) UG ELECTRIC	--- E --- E --- E ---
(E) FIBER OPTIC	--- FO --- FO --- FO ---
(E) GAS MAIN	--- G --- G --- G ---
(E) OVERHEAD UTILITY	--- OHU --- OHU ---
(E) UG TELEPHONE	--- T --- T --- T ---
(E) STORM SEWER	---
(P) SANITARY MAIN, MH	--- S --- S --- S ---
(P) WATER MAIN, VALVE, FH	--- W --- W --- W ---
(P) FIRE SERVICE, VALVE	--- F --- F --- F ---
(P) STORM SEWER, MH	---

SHEET INDEX:

TITLE SHEET	ST1	OF 9
STORM SEWER PLAN & PROFILES [PRIVATE]		
STM-01, STM-02, STM-03, & STM-03A	ST2	OF 9
STM-04, STM-05, & STM-07	ST3	OF 9
STM-06, STM-06A, & STM-06B	ST4	OF 9
STM-08	ST5	OF 9
STORM SEWER PLAN & PROFILES [PUBLIC]		
STM-PUB-01	ST6	OF 9
DETAIL SHEET	ST7	OF 9
ROOF/FOUNDATION DRAIN PLAN	ST8	OF 9
ROOF/FOUNDATION DRAIN PLAN	ST9	OF 9

PCD FILE NO. PPR1932

REV.	DESCRIPTION	DATE
1	ADDRESS AGENCY COMMENTS	02/07/20
2	ADDRESS AGENCY COMMENTS	05/05/20
3	ADDRESS AGENCY COMMENTS	12/30/20
4	ADDRESS AGENCY COMMENTS	03/26/21



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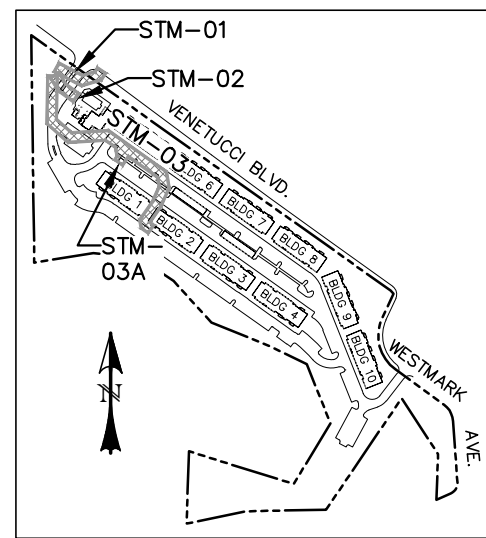
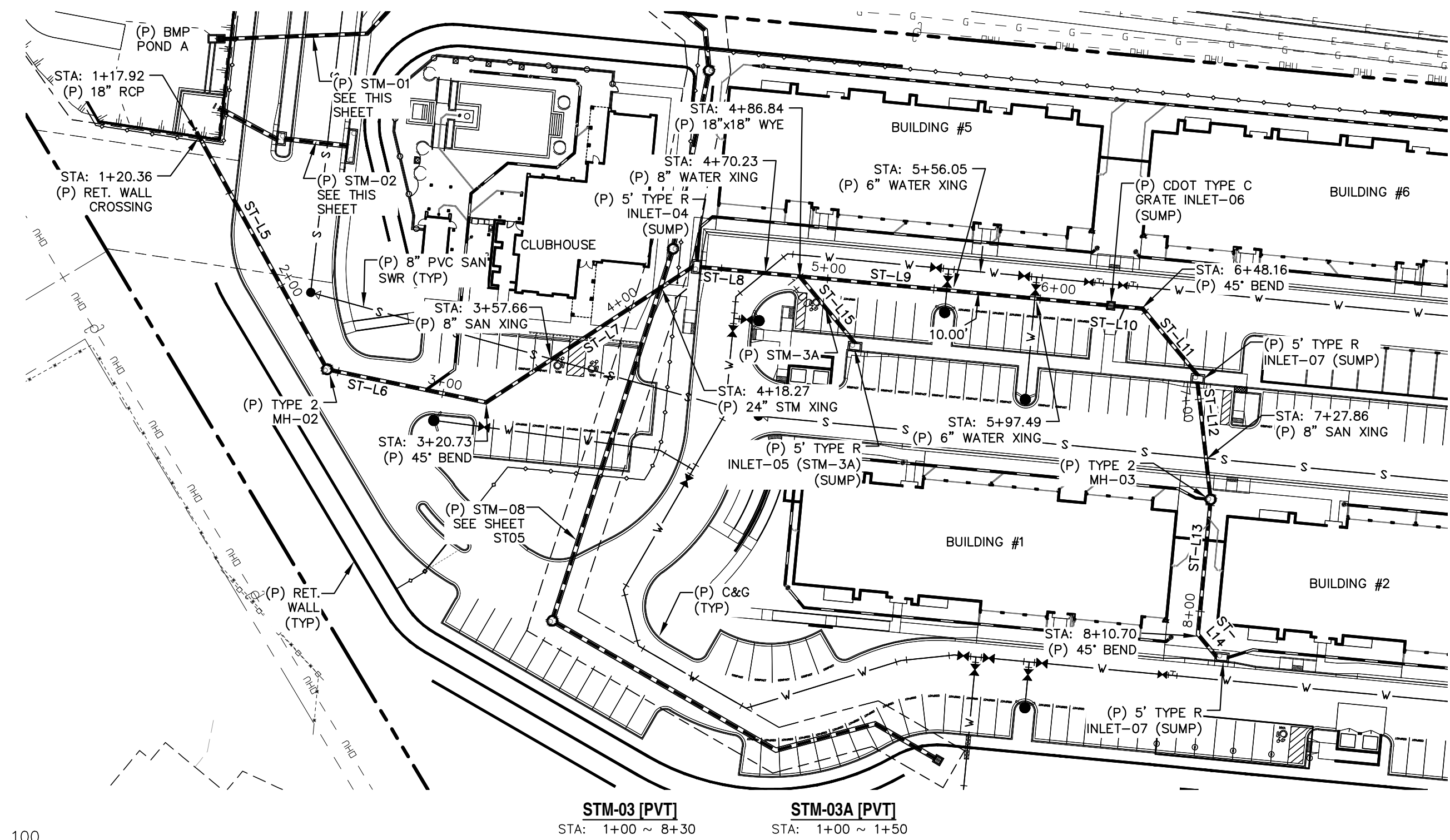
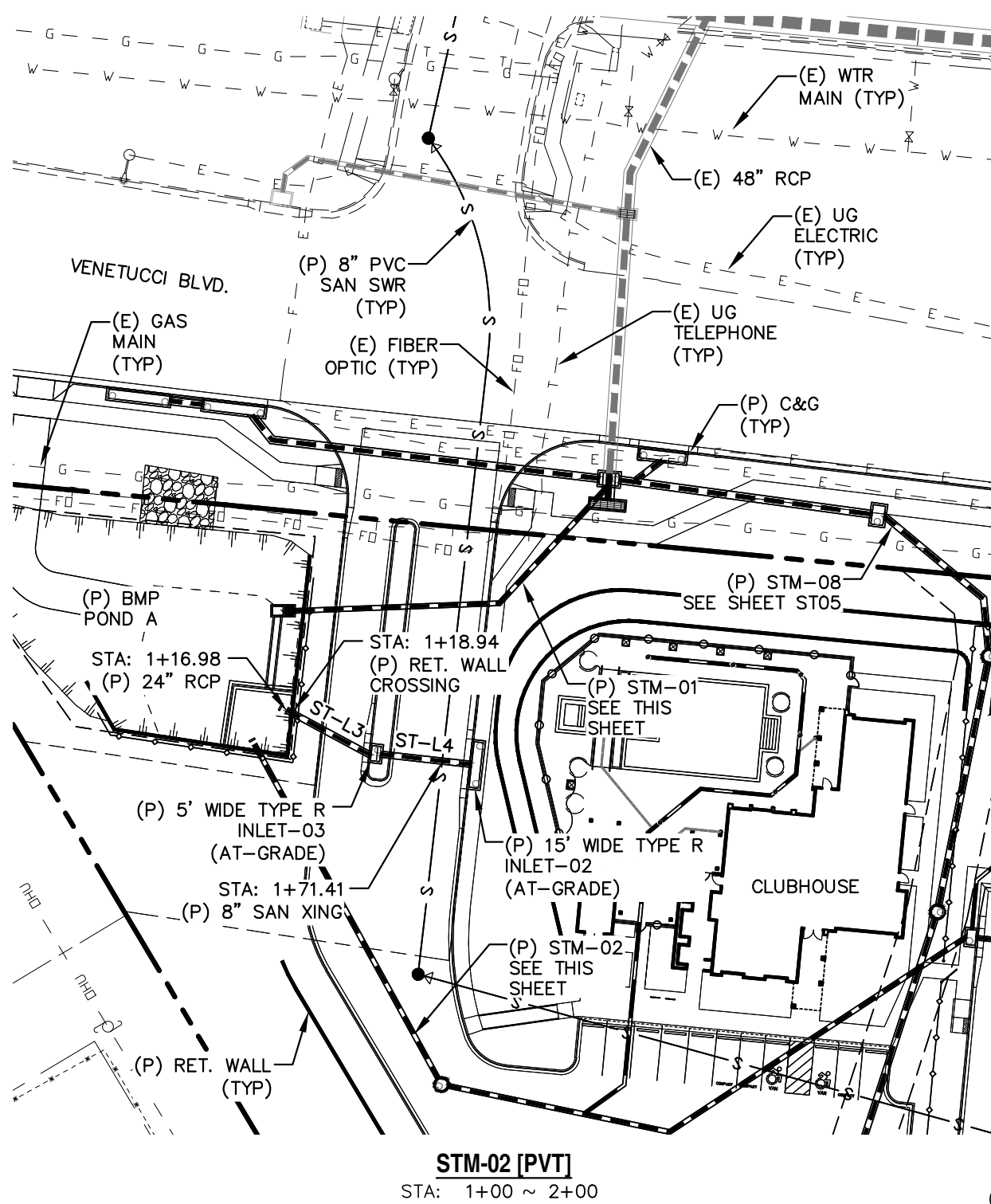
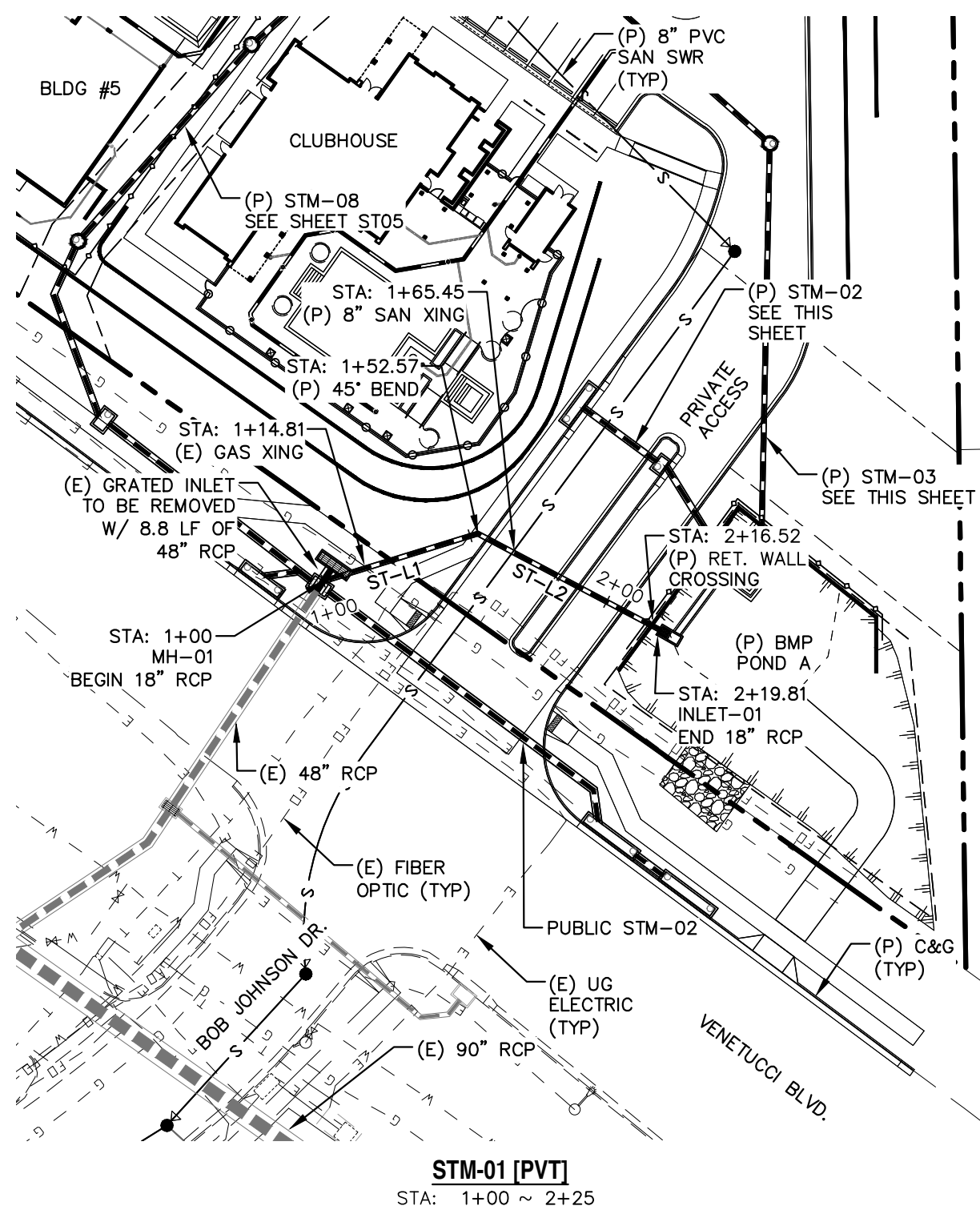
PREPARED FOR:
ESH DEVELOPMENT, LLC
5671 NORTH ORACLE ROAD
SUITE #1102
TUSCON, AZ 85704
(520) 742-2114

PREPARED UNDER MY DIRECT SUPERVISION FOR AND BEHALF OF
WESTWORKS ENGINEERING.
CHAD D. KUZBEK, COLORADO PE #35751
DATE



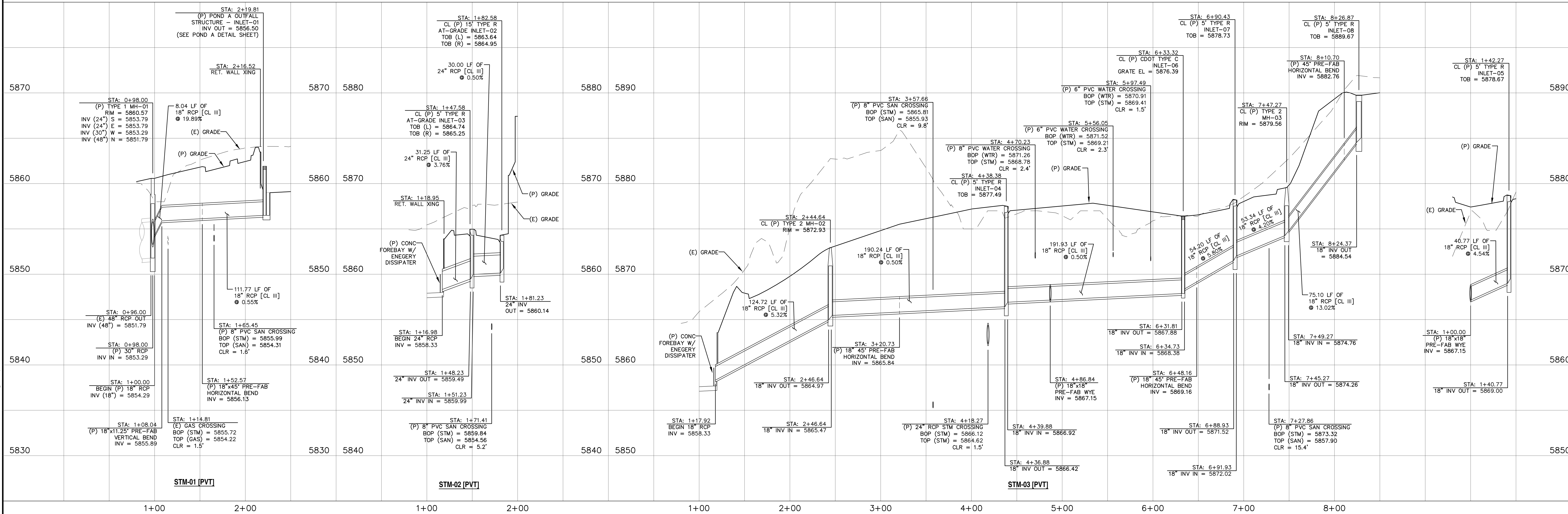
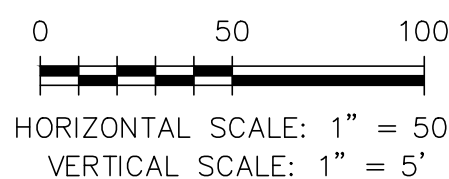
ELDORADO SPRINGS
STORM SEWER PLAN & PROFILES
TITLE SHEET

DESIGNED BY: MGP	DRAWN BY: MGP
SCALE: 1"=200'	DATE: 03/26/21
JOB NUMBER: 91807	SHEET: ST1 OF 9



LOCATION MAP
SCALE: N.T.S.

LINE TABLE - STORM	
LINE	BEARING
ST-1	S72°51'55"W
ST-2	N62°08'05"W
ST-3	S31°40'01"E
ST-4	S53°33'06"E
ST-5	S01°11'49"W
ST-6	S48°15'53"E
ST-7	N68°44'07"E
ST-8	S54°37'33"E
ST-9	S54°37'33"E
ST-10	S54°37'33"E
ST-11	S09°37'33"E
ST-12	S23°36'17"W
ST-13	S35°22'27"W
ST-14	S09°37'33"E
ST-15	S09°37'33"E



REV.	DESCRIPTION	DATE
1	ADDRESS AGENCY COMMENTS	02/07/20
2	ADDRESS AGENCY COMMENTS	05/05/20
3	ADDRESS AGENCY COMMENTS	12/30/20
4	ADDRESS AGENCY COMMENTS	03/26/21

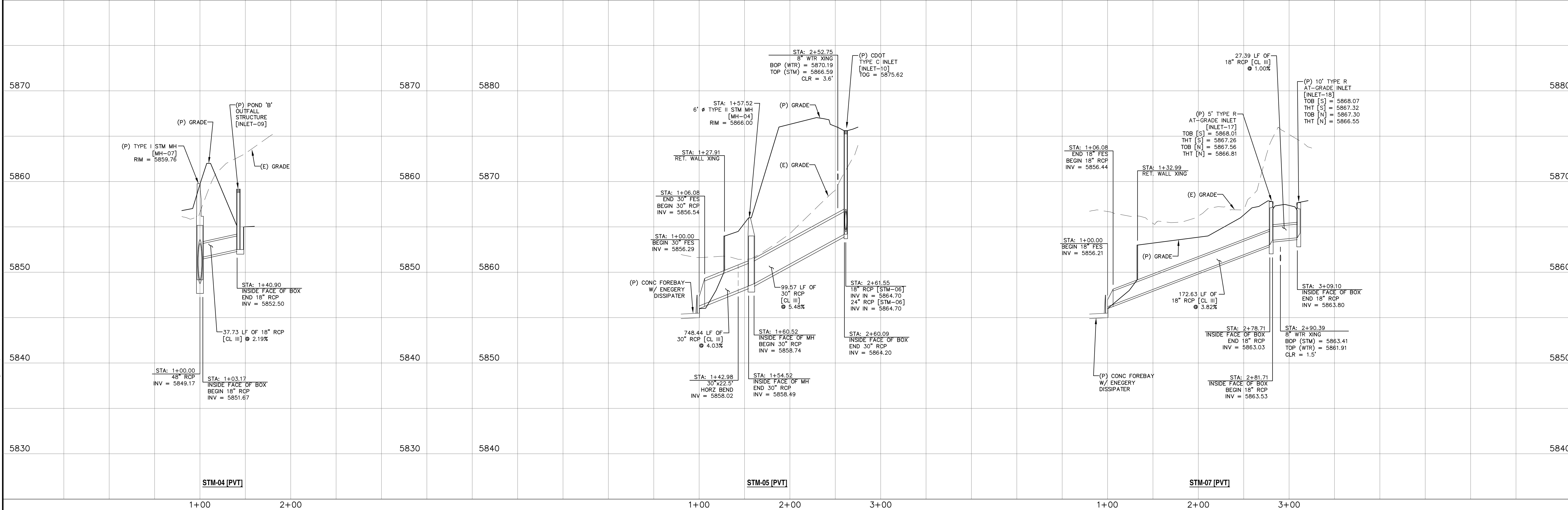
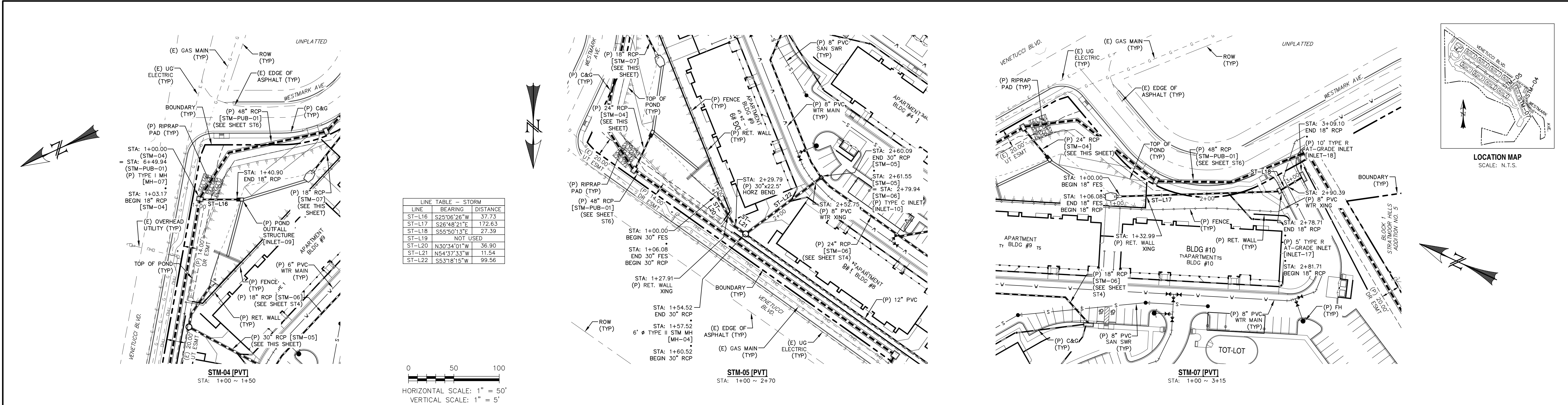


PREPARED FOR:
ESH DEVELOPMENT, LLC
5671 NORTH ORACLE ROAD
SUITE #1102
TUSCON, AZ 85704
(520) 742-2114

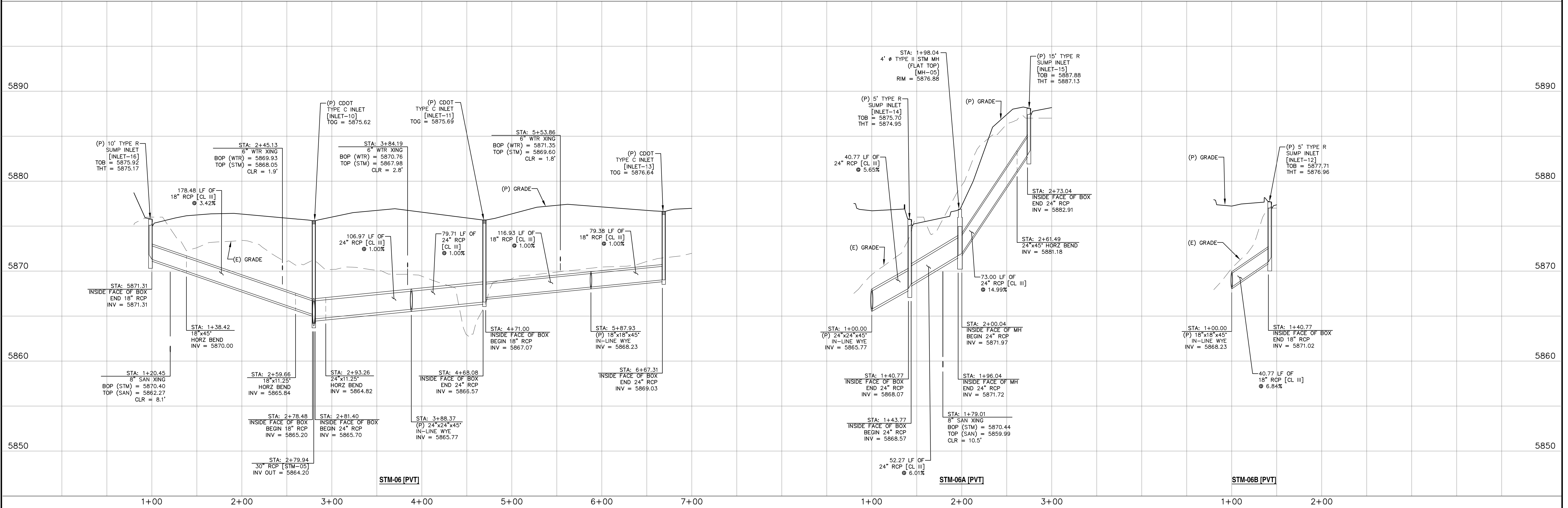
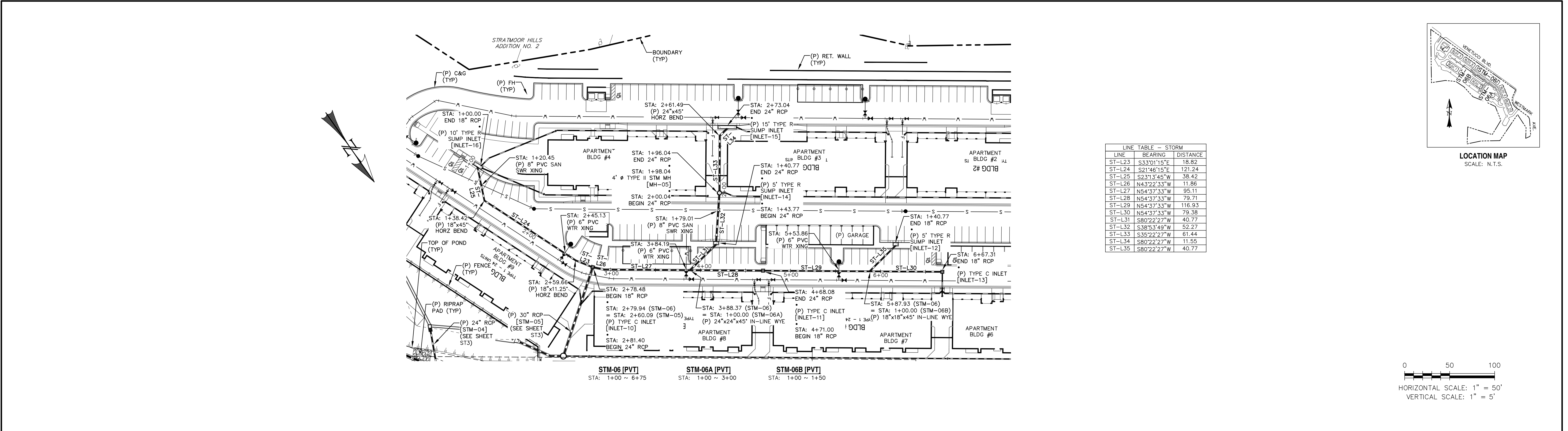
PREPARED UNDER MY DIRECT SUPERVISION FOR AND BEHALF OF
WESTWORKS ENGINEERING.
CHAD D. KUZBEK, COLORADO PE #35751
DATE



ELDERADO SPRINGS		DESIGNED BY: MGP	DRAWN BY: CDK
SCALE: 1"=50'		DATE: 03/26/21	
STORM SEWER PLAN & PROFILES STM-01, STM-02, STM-03, & STM-03A		JOB NUMBER: 91807	SHEET: ST2 OF 9



REV.	DESCRIPTION	DATE	PREPARED FOR:	PREPARED UNDER MY DIRECT SUPERVISION FOR AND BEHALF OF:	DESIGNED BY:	DRAWN BY:
1	ADDRESS AGENCY COMMENTS	02/07/20	ESH DEVELOPMENT, LLC	WESTWORKS ENGINEERING.	MGP	MGP
2	ADDRESS AGENCY COMMENTS	05/05/20			SCALE: 1"=50'	DATE: 03/26/21
3	ADDRESS AGENCY COMMENTS	12/30/20			JOB NUMBER	SHEET
4	ADDRESS AGENCY COMMENTS	03/26/21			91807	ST3 OF 9



REV.	DESCRIPTION	DATE	PREPARED FOR:	PREPARED UNDER MY DIRECT SUPERVISION FOR AND BEHALF OF:	DESIGNED BY:	DRAWN BY:
1	ADDRESS AGENCY COMMENTS	02/07/20	ESH DEVELOPMENT, LLC	WESTWORKS ENGINEERING.	MGP	MGP
2	ADDRESS AGENCY COMMENTS	05/05/20			SCALE: 1"=50'	DATE: 03/26/21
3	ADDRESS AGENCY COMMENTS	12/30/20			JOB NUMBER	SHEET
4	ADDRESS AGENCY COMMENTS	03/26/21			91807	ST4 OF 9

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WESTWORKS ENGINEERING.

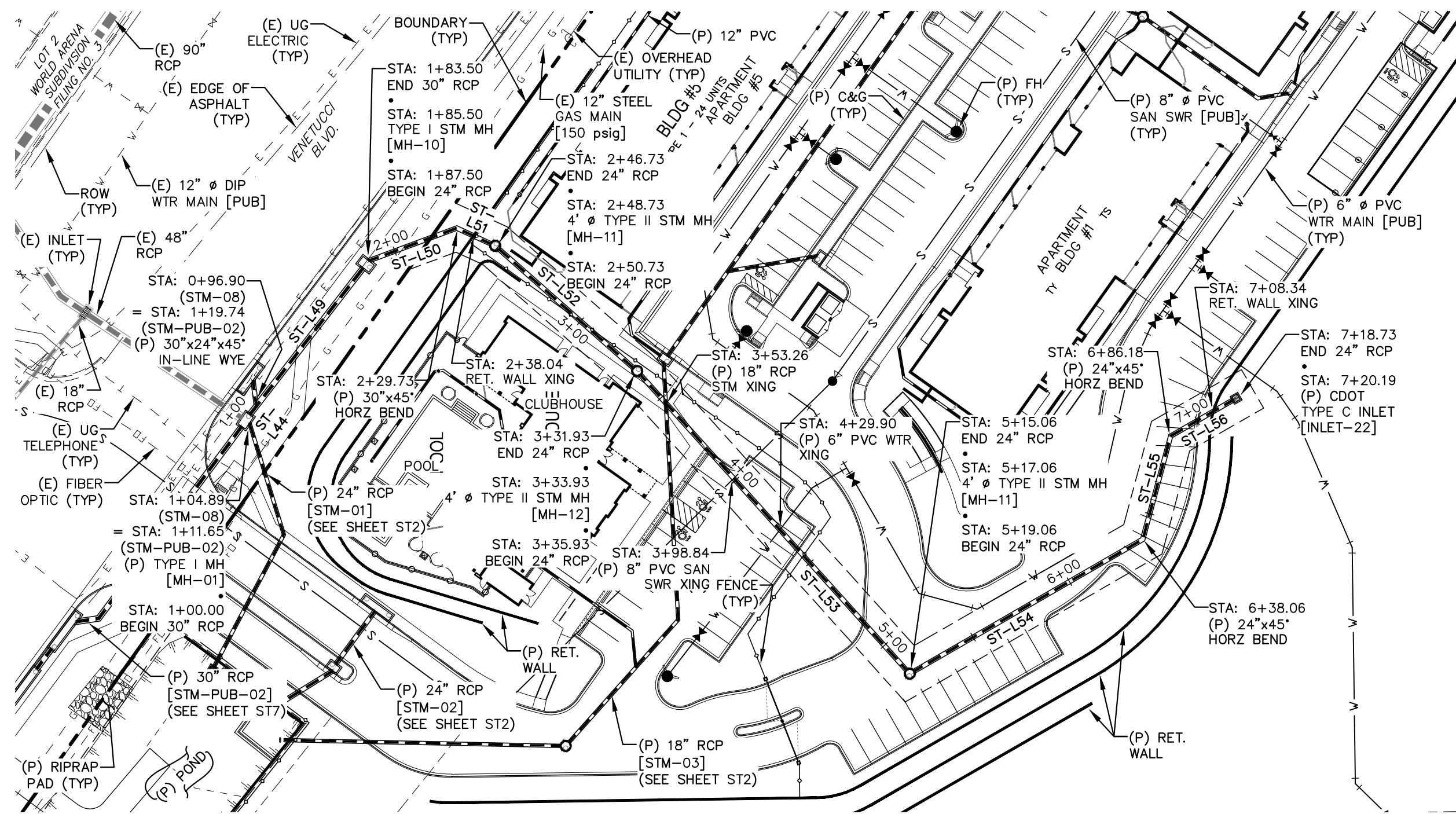
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DATE

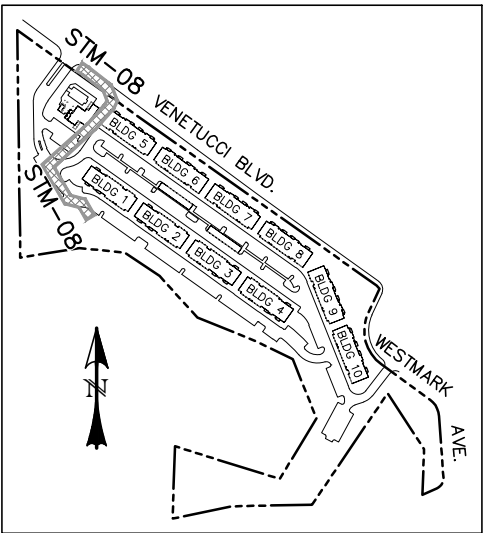
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ELDERADO SPRINGS

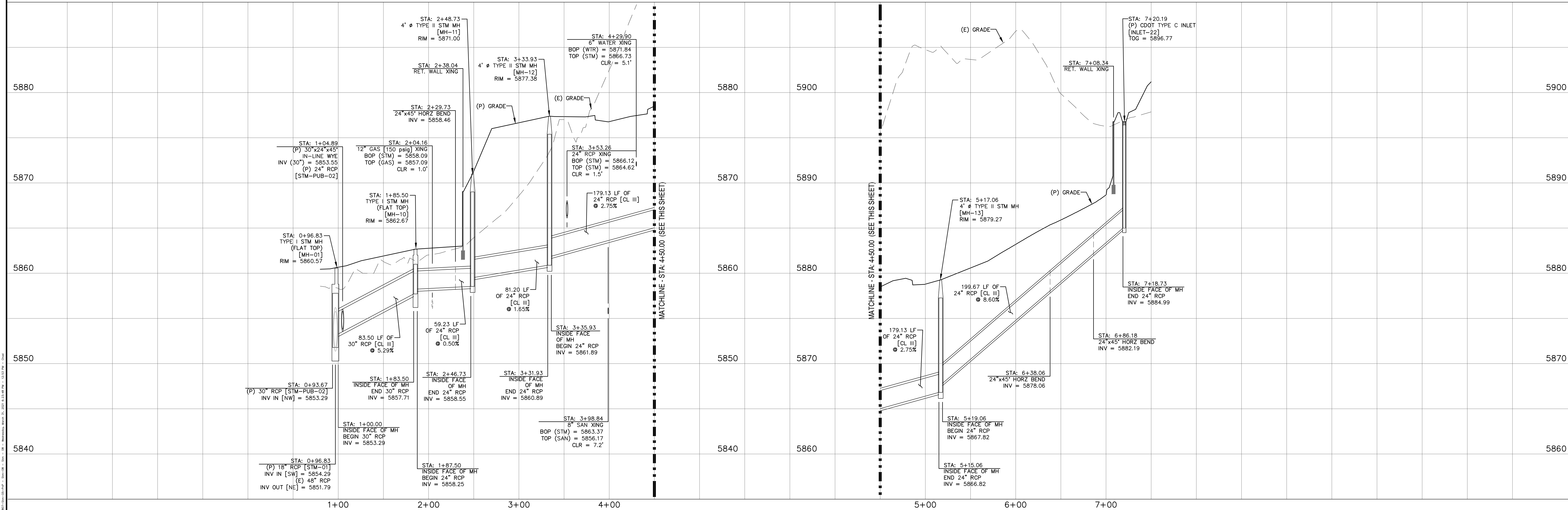
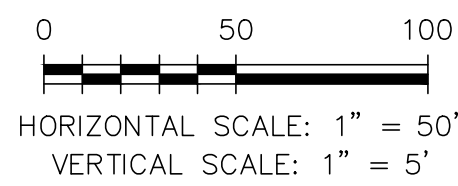
STORM SEWER PLAN & PROFILES
STM-06, STM-06A, & STM-06B



LINE TABLE - STORM		
LINE	BEARING	DISTANCE
ST-L44	S52°15'45\"E	4.89
ST-L49	S52°15'45\"E	78.62
ST-L50	S20°19'40\"E	42.22
ST-L51	S24°40'20\"W	17.00
ST-L52	S41°25'52\"W	81.21
ST-L53	S47°58'20\"W	179.12
ST-L54	S29°56'19\"E	119.00
ST-L55	S74°56'19\"E	48.12
ST-L56	S29°56'19\"E	32.55



LOCATION MAP
SCALE: N.T.S.



REV.	DESCRIPTION	DATE
1	ADDRESS AGENCY COMMENTS	02/07/20
2	ADDRESS AGENCY COMMENTS	05/05/20
3	ADDRESS AGENCY COMMENTS	12/30/20
4	ADDRESS AGENCY COMMENTS	03/26/21

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ESH DEVELOPMENT, LLC

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SUITE #102
TUSCON, AZ 85704
(520) 742-2114

PREPARED UNDER MY DIRECT SUPERVISION FOR AND BEHALF OF
WESTWORKS ENGINEERING.

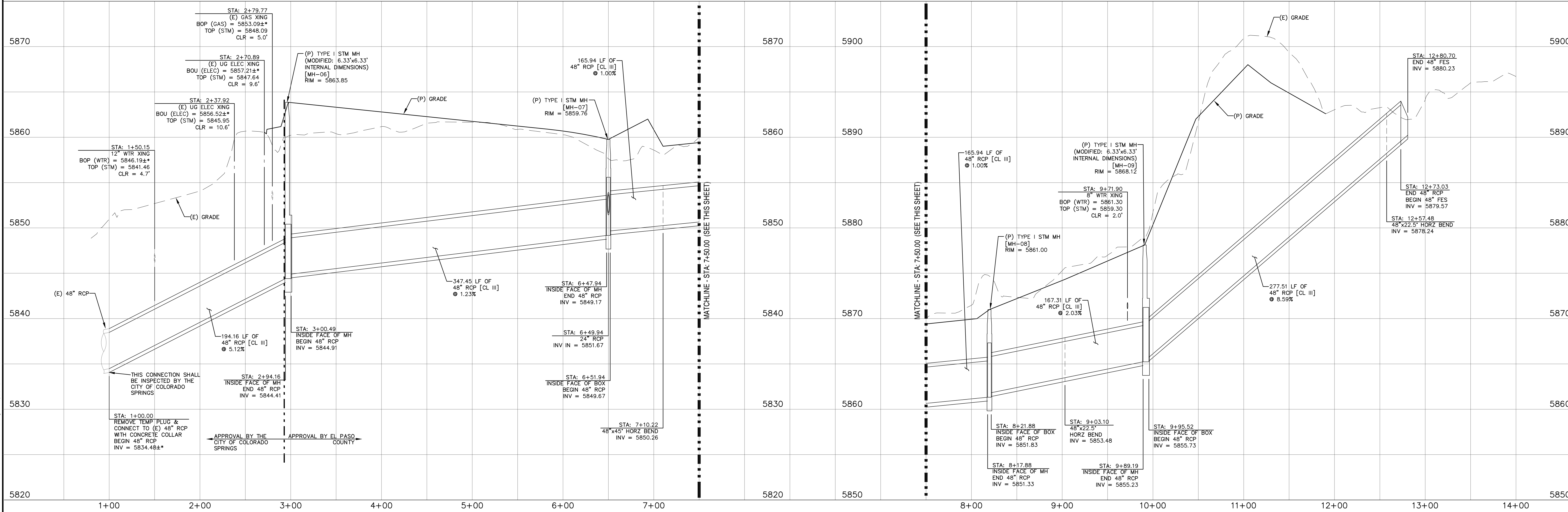
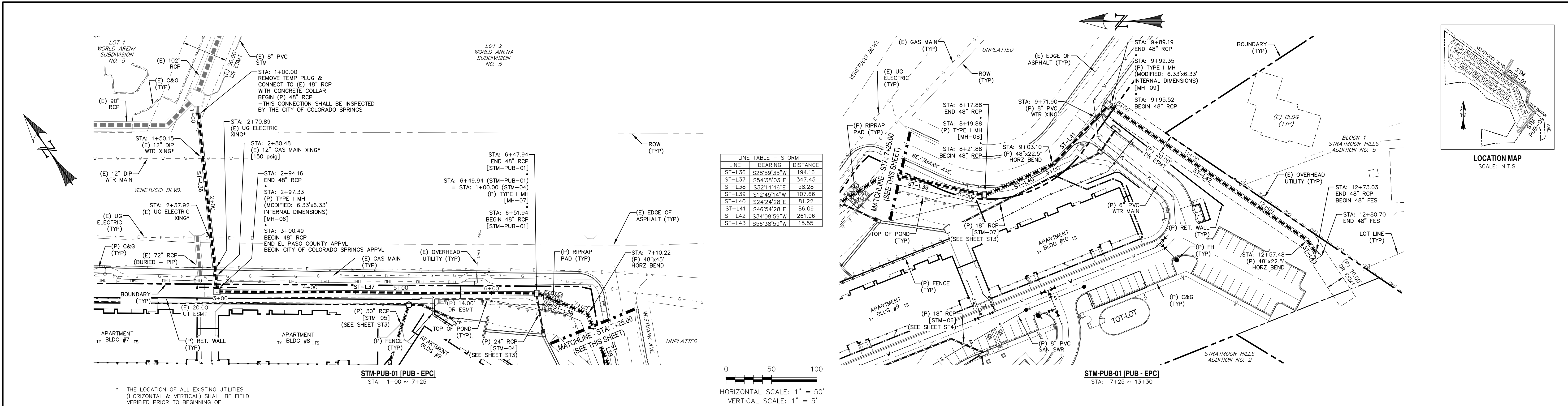
CHAD D. KUZBEK, COLORADO PE #35751
DATE _____

WESTWORKS
ENGINEERING
1023 W. COLORADO COLORADO SPRINGS, CO 80904 (719) 685-1670

ELDORADO SPRINGS

STORM SEWER PLAN & PROFILES
STM-08

DESIGNED BY:	MGP	DRAWN BY:	MGP
SCALE:	1"=50'	DATE:	03/26/21
JOB NUMBER	91807	SHEET	ST5 OF 9



REV.	DESCRIPTION	DATE	PREPARED FOR:	PREPARED UNDER MY DIRECT SUPERVISION FOR AND BEHALF OF:	DESIGNED BY:	DRAWN BY:
1	ADDRESS AGENCY COMMENTS	02/07/20	ESH DEVELOPMENT, LLC	WESTWORKS ENGINEERING.	MGP	MGP
2	ADDRESS AGENCY COMMENTS	05/05/20			SCALE: 1"=50'	DATE: 03/26/21
3	ADDRESS AGENCY COMMENTS	12/30/20			JOB NUMBER	SHEET
4	ADDRESS AGENCY COMMENTS	03/26/21			91807	ST6 OF 9

811

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SUITE #102
TUSCON, AZ 85704
(520) 742-2114

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CHAD D. KUZBEK, COLORADO PE #35751

DATE

WESTWORKS

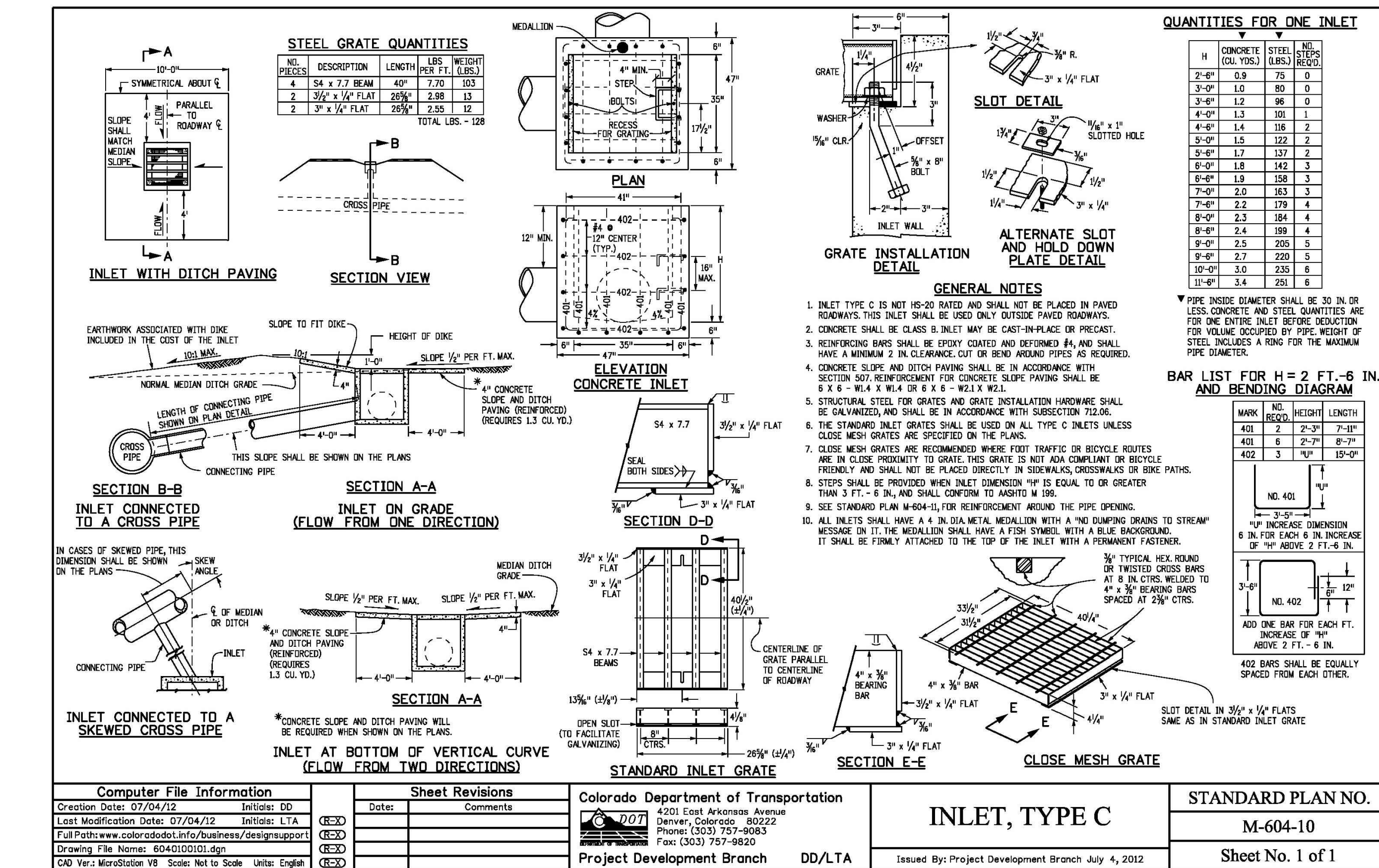
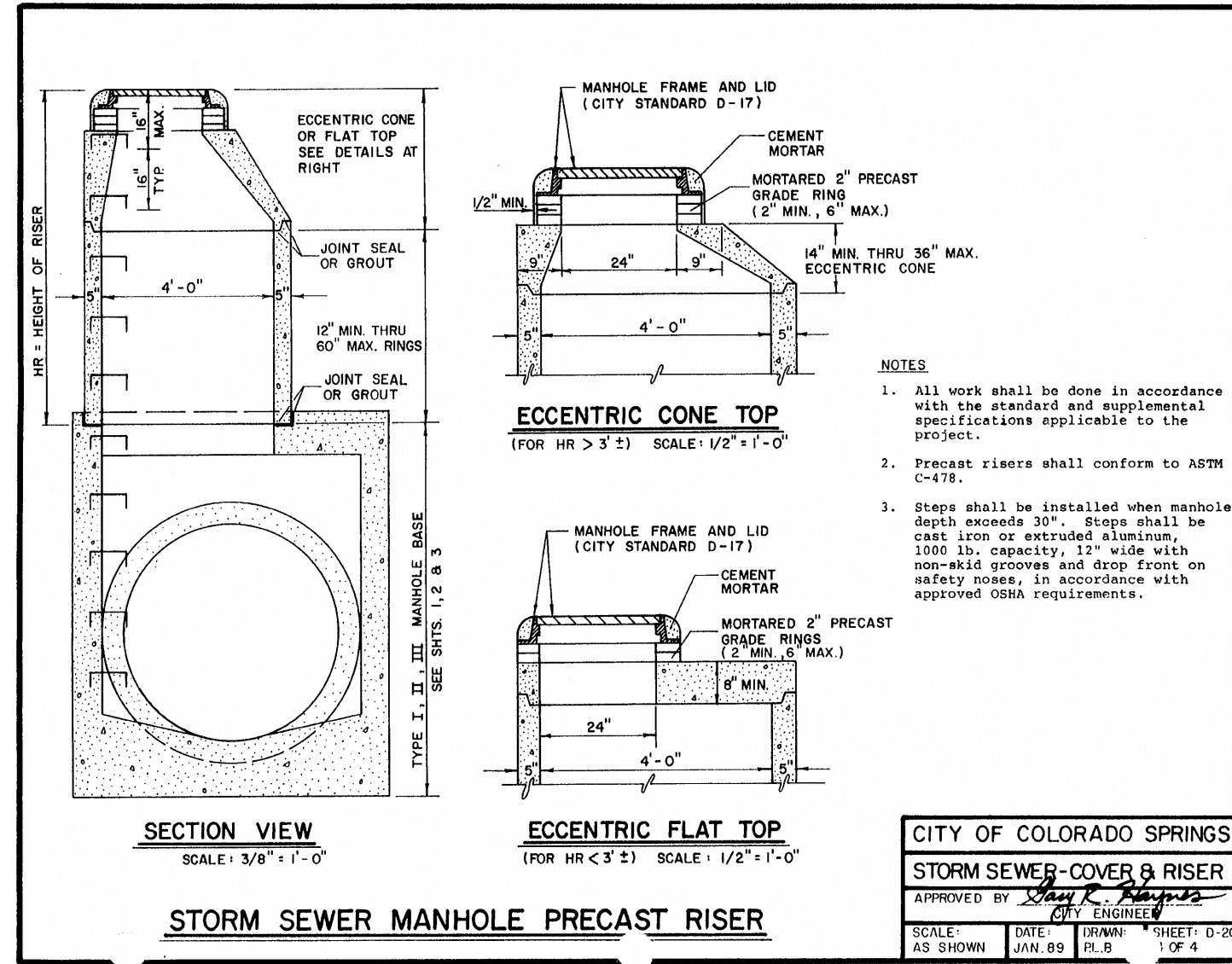
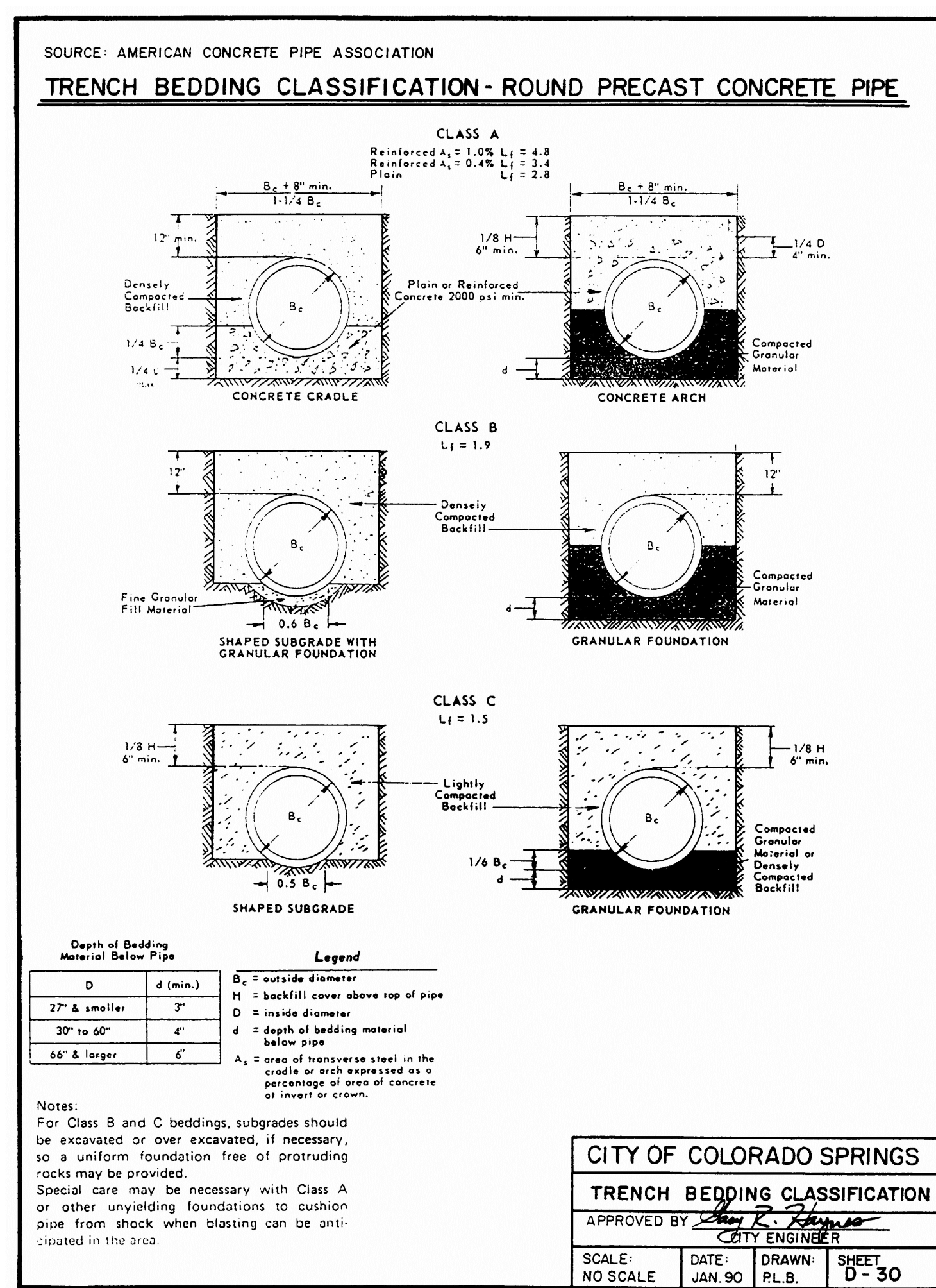
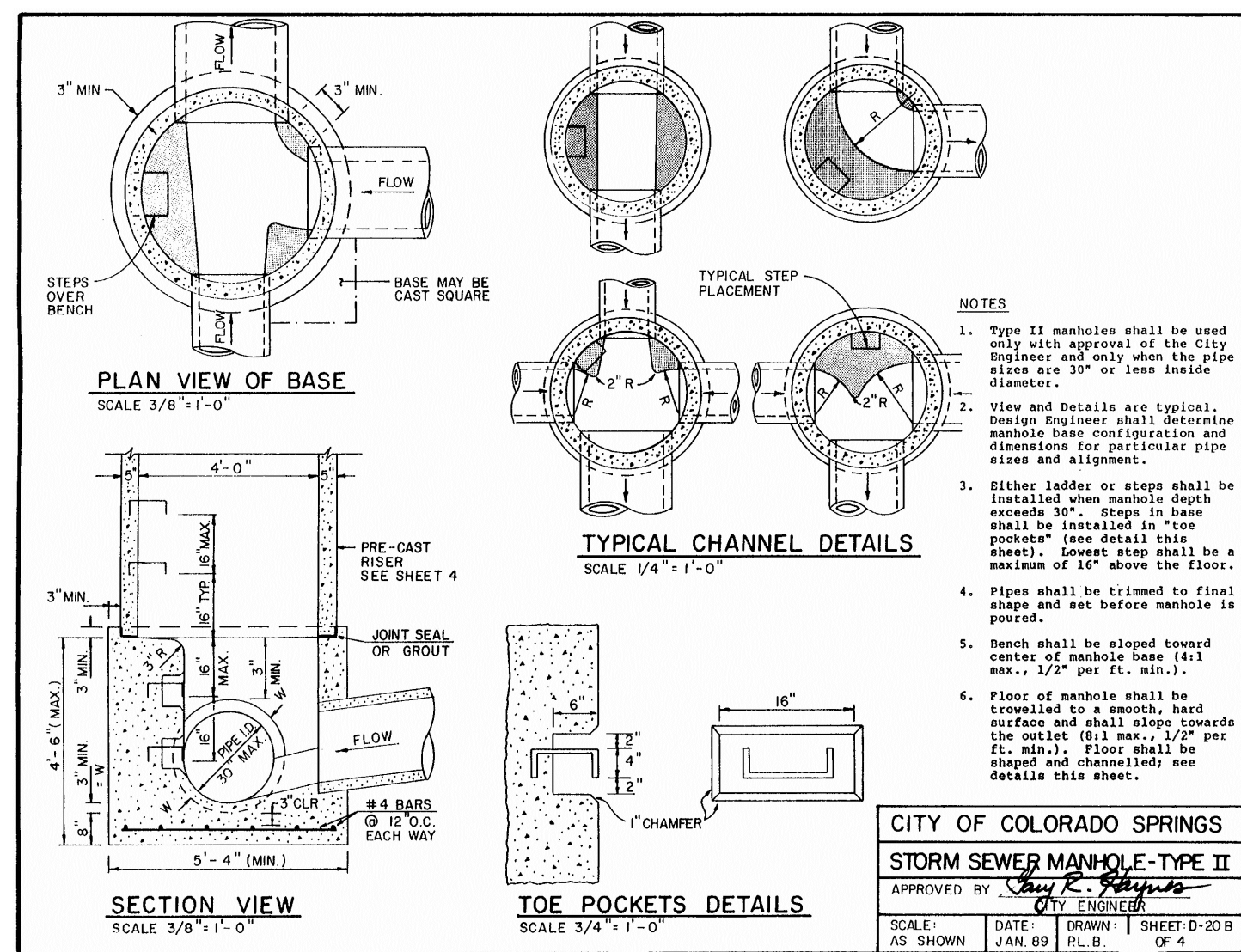
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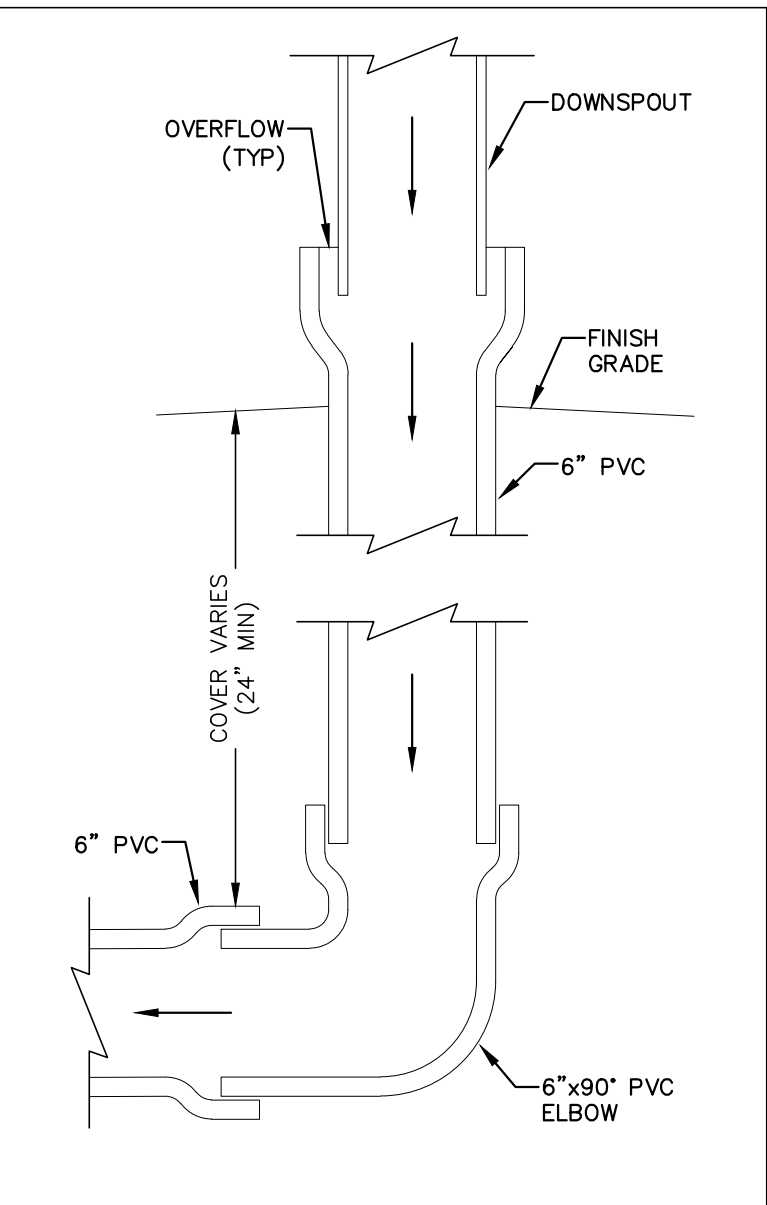
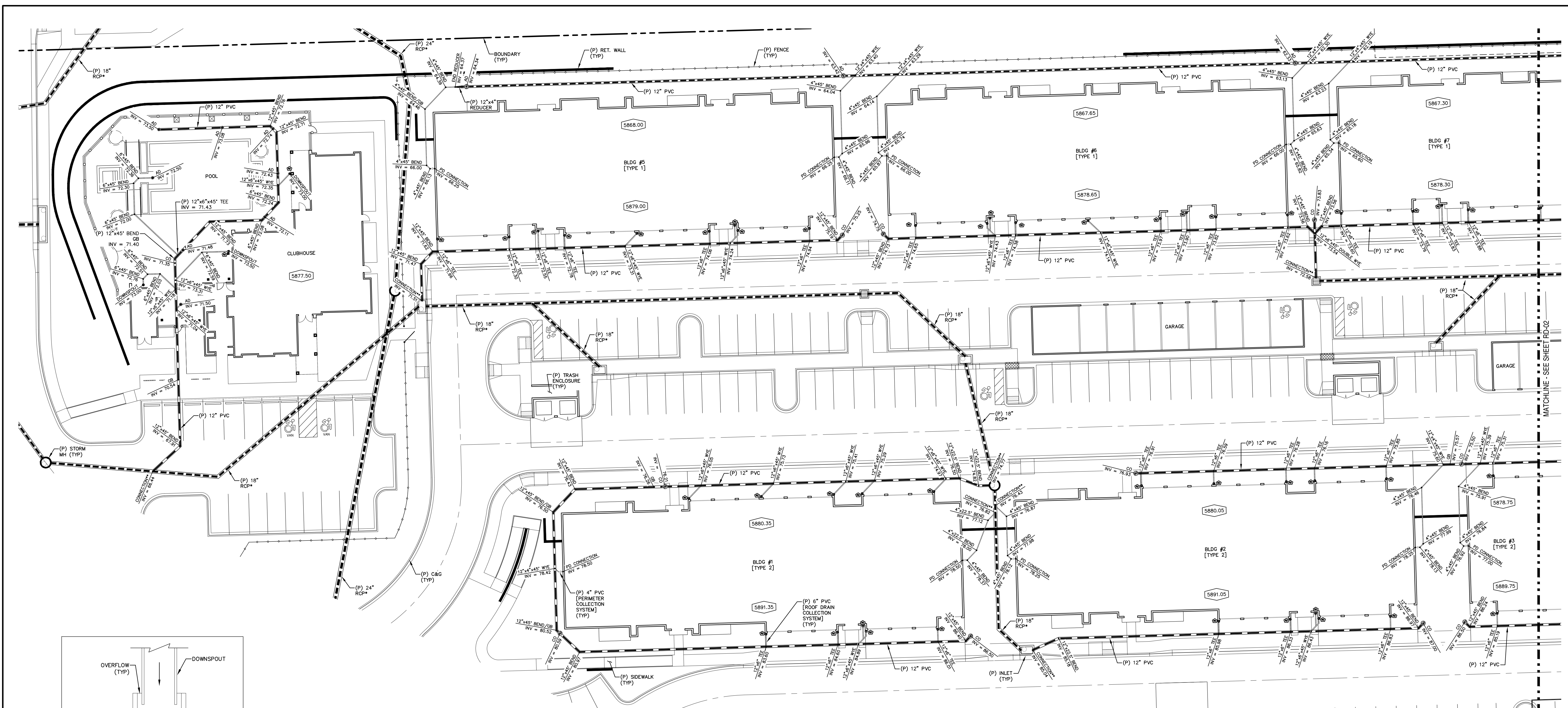
ELDERADO SPRINGS

STORM SEWER PLAN & PROFILES

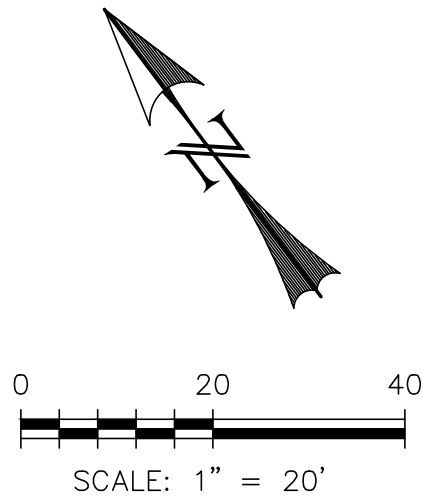
STM-PUB-01



ELDORADO SPRINGS	DESIGNED BY: CDK	DRAWN BY: CDK
	SCALE: AS SHOWN	DATE: 03/26/21
STORM SEWER PLANS DETAIL SHEET	JOB NUMBER	SHEET
	91807	ST7 OF 9



DOWNSPOUT-ROOF DRAIN CONNECTION DETAIL
SCALE: N.T.S.



LEGEND

- EXISTING (E)
- PROPOSED (P)
- CLEAN-OUT CO
- FINISHED FLOOR FF
- FINISHED GRADE FG
- GRADE BREAK GB
- INVERT INV
- AREA DRAIN AD
- PERIMETER DRAIN PD
- BOUNDARY
- ROW
- LOT LINE
- (E) STORM SEWER, INLET
- (P) STORM SEWER, INLET
- PIPE INVERT CALL-OUT
DESC INV = XX.XX'
- FINISH FLOOR ELEVATION
6946.00

RD - ROOF DRAIN
DOWNSPOUT INTO 6" PVC ROOF DRAIN
COLLECTION PIPE TO BE ROUTED TO STORM
DRAIN AS SHOWN ON PLAN. USE FITTING TO
CONNECT TO PVC STORM DRAIN.

NOTE:

- SEE STORM SEWER PLAN & PROFILES.

** STORM DRAIN CONNECTION NOTE:

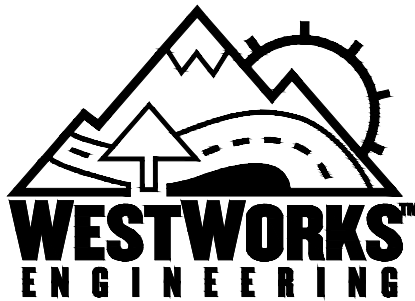
- CUT HOLE IN STORM DRAIN STRUCTURE.
- INSERT CONNECTING PIPE.
- CUT CONNECTING PIPE TO BE FLUSH WITH INSIDE WALL OF STORM DRAIN STRUCTURE.
- GROUT SEAL AROUND CONNECTING PIPE.

REV.	DESCRIPTION	DATE
1	ADDRESS AGENCY COMMENTS	02/07/20
2	ADDRESS AGENCY COMMENTS	05/05/20
3	ADDRESS AGENCY COMMENTS	12/30/20
4	ADDRESS AGENCY COMMENTS	03/26/21

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TUSCON, AZ 85704
(520) 742-2114

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WESTWORKS ENGINEERING.
CHAD D. KUZBEK, COLORADO PE #35751
DATE



1023 W. COLORADO COLORADO SPRINGS, CO 80904 (719) 585-1670


ELDORADO SPRINGS

ROOF DRAIN &
PERIMETER DRAIN TIES

DESIGNED BY: MGP	DRAWN BY: MGP
SCALE: 1"=20'	DATE: 03/26/21
JOB NUMBER: 91807	SHEET: ST8 OF 9

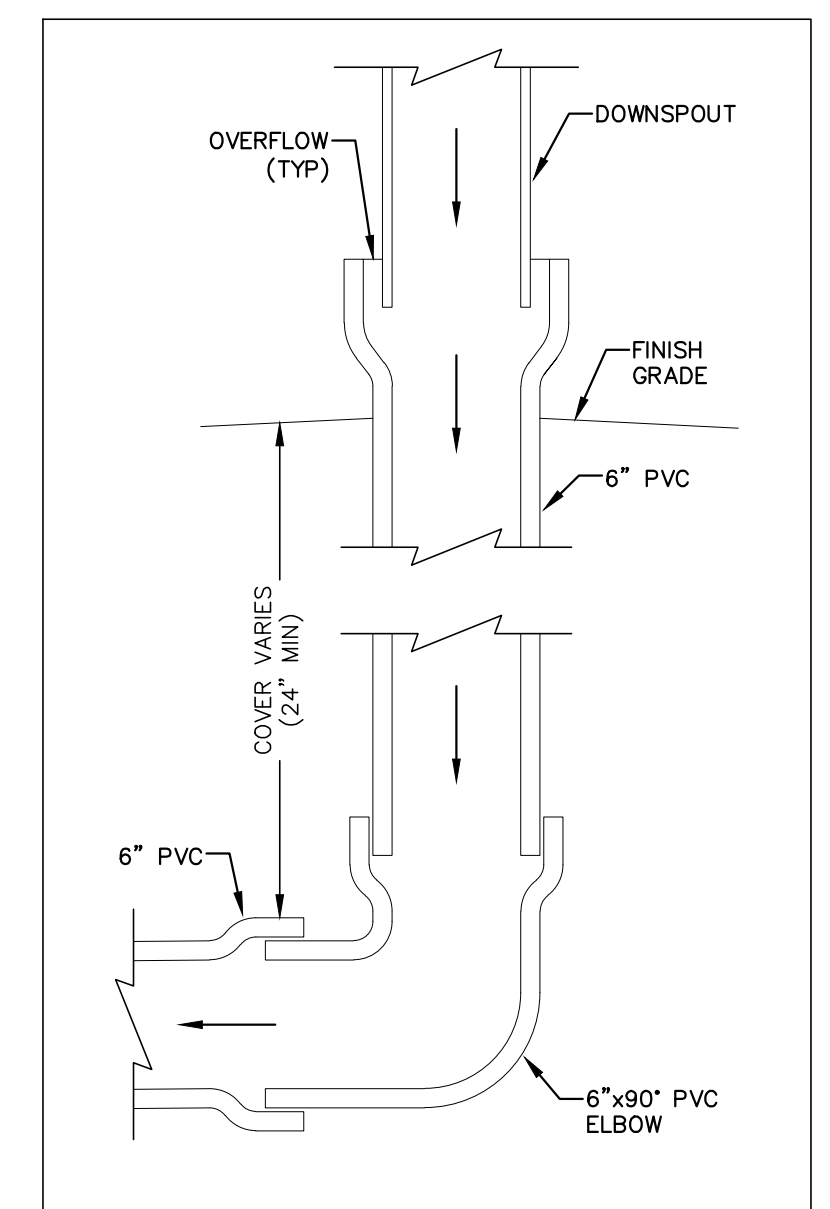
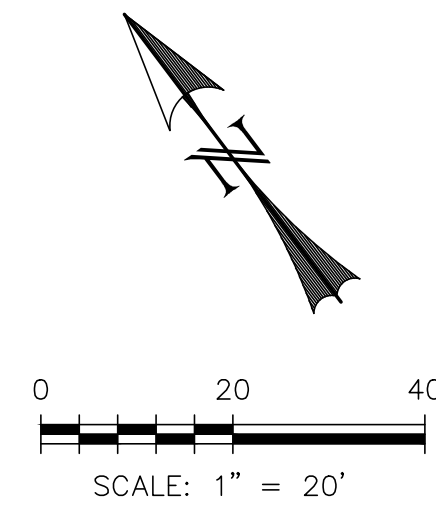
EXISTING	(E)
PROPOSED	(P)
CLEAN-OUT	CO
FINISHED FLOOR	FF
FINISHED GRADE	FG
GRADE BREAK	GB
INVERT	INV
AREA DRAIN	AD
PERIMETER DRAIN	PD
BOUNDARY	_____
ROW	_____
LOT LINE	_____
(E) STORM SEWER, INLET	
(P) STORM SEWER, INLET	

FINISH FLOOR ELEVATION

 — ROOF DRAIN
DOWNSPOUT INTO 6" PVC ROOF DRAIN
COLLECTION PIPE TO BE ROUTED TO STORM
DRAIN AS SHOWN ON PLAN. USE FITTING TO
CONNECT TO PVC STORM DRAIN.

* SEE STORM SEWER PLAN & PROFILES.

1. CUT HOLE IN STORM DRAIN STRUCTURE.
2. INSERT CONNECTING PIPE.
3. CUT CONNECTING PIPE TO BE FLUSH WITH INSIDE WALL OF STORM DRAIN STRUCTURE.
4. GROUT SEAL AROUND CONNECTING PIPE.



DOWNSPOUT-ROOF DRAIN CONNECTION DETAIL
SCALE: N.T.S.

