

STANDARD CONSTRUCTION NOTES:

- ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD LOCATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
- CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
 - EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
 - CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
 - COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
 - CDOT M & S STANDARDS
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT (PCD) - INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
- CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
- ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD.
- CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
- SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DPW AND MUTCD CRITERIA.
- CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DPW, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
- THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.

GRADING NOTES:

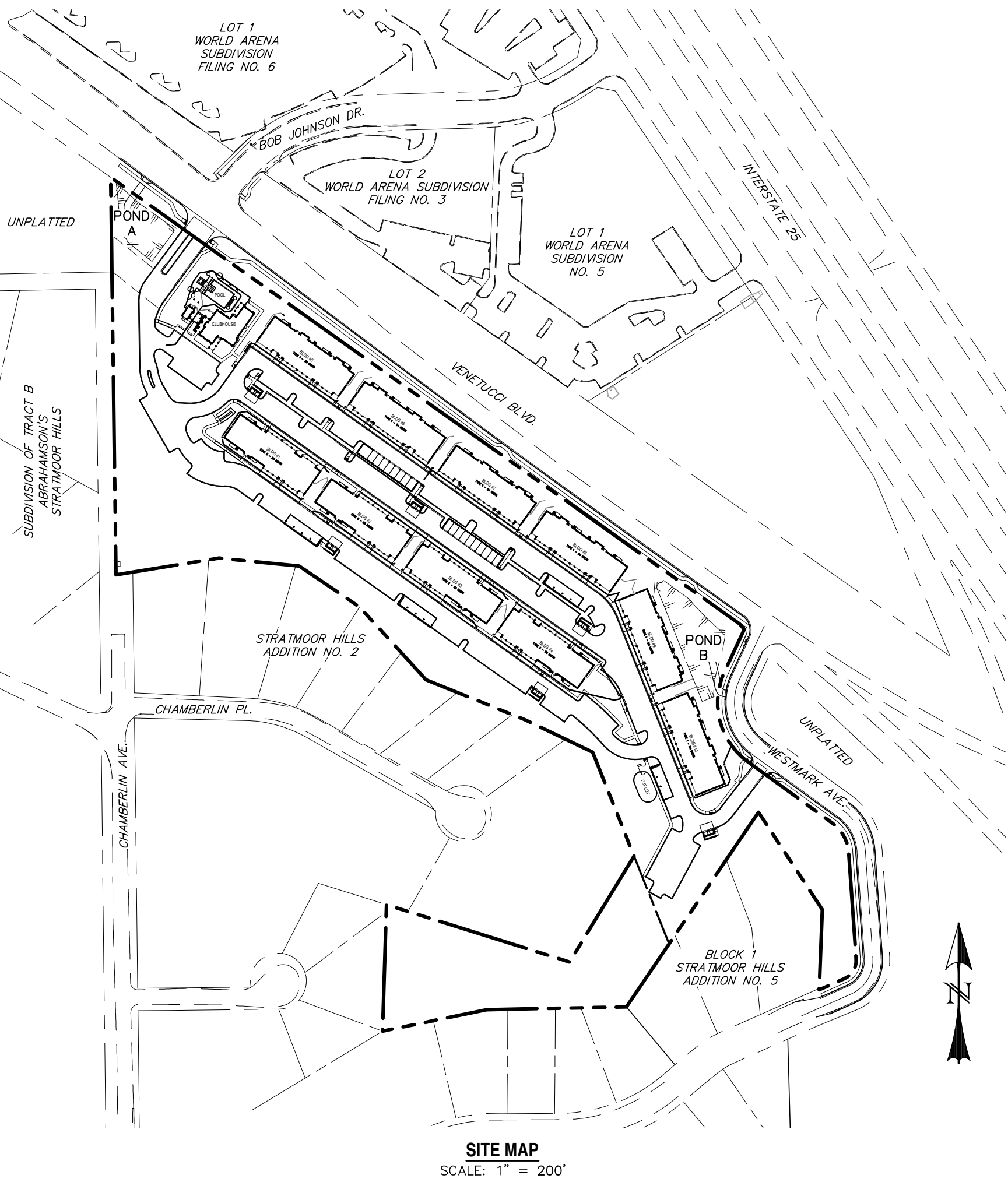
- STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFF-SITE WATERS, INCLUDING WETLANDS.
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.
- A SEPARATE STORMWATER MANAGEMENT PLAN (SWMP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. MANAGEMENT OF THE SWMP DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE DESIGNATED QUALIFIED STORMWATER MANAGER OR CERTIFIED EROSION CONTROL INSPECTOR. THE SWMP SHALL BE LOCATED ON SITE AT ALL TIMES DURING CONSTRUCTION AND SHALL BE KEPT UP TO DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.
- ONCE THE ESQCP IS APPROVED AND A "NOTICE TO PROCEED" HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL MEASURES AS INDICATED ON THE APPROVED GEC. A PRE-CONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY STAFF.
- CONTROL MEASURES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF ACTIVITIES THAT COULD CONTRIBUTE POLLUTANTS TO STORMWATER. CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, AND DISTURBED LAND AREAS SHALL BE INSTALLED IMMEDIATELY UPON COMPLETION OF THE DISTURBANCE.
- ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REMAIN IN EFFECTIVE OPERATING CONDITION UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND FINAL STABILIZATION IS ESTABLISHED. ALL PERSONS ENGAGED IN LAND DISTURBANCE ACTIVITIES SHALL ASSESS THE ADEQUACY OF CONTROL MEASURES AT THE SITE AND IDENTIFY IF CHANGES TO THOSE CONTROL MEASURES ARE NEEDED TO ENSURE THE CONTINUED EFFECTIVE PERFORMANCE OF THE CONTROL MEASURES. ALL CHANGES TO TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES MUST BE INCORPORATED INTO THE STORMWATER MANAGEMENT PLAN.
- TEMPORARY STABILIZATION SHALL BE IMPLEMENTED ON DISTURBED AREAS AND STOCKPILES WHERE GROUND DISTURBING CONSTRUCTION ACTIVITY HAS PERMANENTLY CEASED OR TEMPORARILY CEASED FOR LONGER THAN 14 DAYS.
- FINAL STABILIZATION MUST BE IMPLEMENTED AT ALL APPLICABLE CONSTRUCTION SITES. FINAL STABILIZATION IS ACHIEVED WHEN ALL GROUND DISTURBING ACTIVITIES ARE COMPLETE AND ALL DISTURBED AREAS EITHER HAVE A UNIFORM VEGETATIVE COVER WITH INDIVIDUAL PLANT DENSITY OF 70 PERCENT OF PRE-DISTURBANCE LEVELS ESTABLISHED OR EQUIVALENT PERMANENT ALTERNATIVE STABILIZATION METHOD IS IMPLEMENTED. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED UPON FINAL STABILIZATION AND BEFORE PERMIT CLOSURE.
- ALL PERMANENT STORMWATER MANAGEMENT STRUCTURES SHALL BE INSTALLED AS DESIGNED IN THE APPROVED PLANS. ANY PROPOSED CHANGES THAT EFFECT THE DESIGN OR FUNCTION OF PERMANENT STORMWATER MANAGEMENT STRUCTURES MUST BE APPROVED BY THE ECM ADMINISTRATOR PRIOR TO IMPLEMENTATION.
- EARTH DISTURBANCES SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY MINIMIZE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED SOIL IS PROTECTED FROM EROSION AND THE EXPOSED SOIL IS PROTECTED FROM EROSION. THE EXPOSED SOIL SHALL BE PROTECTED AND MAINTAINED WITHIN 50 HORIZONTAL FEET OF A WATERS OF THE STATE UNLESS SHOWN TO BE INFEASIBLE AND SPECIFICALLY REQUESTED AND APPROVED.
- COMPACTION OF SOIL MUST BE PREVENTED IN AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES OR WHERE FINAL STABILIZATION WILL BE ACHIEVED BY VEGETATIVE COVER. AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES SHALL ALSO BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED. IF COMPACTION PREVENTION IS NOT FEASIBLE DUE TO SITE CONSTRAINTS, ALL AREAS DESIGNATED FOR INFILTRATION AND VEGETATION CONTROL MEASURES MUST BE LOOSENED PRIOR TO INSTALLATION OF THE CONTROL MEASURE(S).
- ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE A STABILIZED CONVEYANCE DESIGNED TO MINIMIZE EROSION AND THE DISCHARGE OF SEDIMENT OFF SITE.
- CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO ENTER STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES. CONCRETE WASHOUTS SHALL NOT BE LOCATED IN AN AREA WHERE SHALLOW GROUNDWATER MAY BE PRESENT, OR WITHIN 50 FEET OF A SURFACE WATER BODY, CREEK OR STREAM.
- DURING DEWATERING OPERATIONS OF UNCONTAMINATED GROUND WATER MAY BE DISCHARGED ON SITE, BUT SHALL NOT LEAVE THE SITE IN THE FORM OF SURFACE RUNOFF UNLESS AN APPROVED STATE DEWATERING PERMIT IS IN PLACE.
- EROSION CONTROL BLANKETING OR OTHER PROTECTIVE COVERING SHALL BE USED ON SLOPES STEEPER THAN 3:1.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. CONTROL MEASURES MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.
- TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFF-SITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.
- THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, SOIL, AND SAND THAT MAY ACCUMULATE IN ROADS, STORM DRAINS AND OTHER DRAINAGE CONVEYANCE SYSTEMS AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
- THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.
- NO CHEMICAL(S) HAVING THE POTENTIAL TO BE RELEASED IN STORMWATER ARE TO BE STORED OR USED ONSITE UNLESS PERMISSION FOR THE USE OF SUCH CHEMICAL(S) IS GRANTED IN WRITING BY THE ECM ADMINISTRATOR. IN GRANTING APPROVAL FOR THE USE OF SUCH CHEMICAL(S), SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
- BULK STORAGE OF ALLOWED PETROLEUM PRODUCTS OR OTHER ALLOWED LIQUID CHEMICALS IN EXCESS OF 55 GALLONS SHALL REQUIRE ADEQUATE SECONDARY CONTAINMENT PROTECTION TO CONTAIN ALL SPILLS ONSITE AND TO PREVENT ANY SPILLED MATERIALS FROM ENTERING STATE WATERS, ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR OTHER FACILITIES.
- NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE CURB AND GUTTER OR DITCH EXCEPT WITH APPROVED SEDIMENT CONTROL MEASURES.
- OWNER/DEVELOPER AND THEIR AGENTS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS), AND THE "CLEAN WATER ACT" (33 USC 1344), IN ADDITION TO THE REQUIREMENTS OF THE LAND DEVELOPMENT CODE, DCM VOLUME 1 AND THE ECM APPENDIX 1. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (1041, NPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.). IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND OTHER LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, LOCAL, OR COUNTY AGENCIES, THE MOST RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE ONLY AT APPROVED CONSTRUCTION ACCESS POINTS.
- PRIOR TO CONSTRUCTION THE PERMITTEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.
- A WATER SOURCE SHALL BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND SHALL BE UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
- THE SOILS REPORT FOR THIS SITE HAS BEEN PREPARED BY **ENTECH ENGINEERING, INC.** AND SHALL BE CONSIDERED A PART OF THESE PLANS. **ENTECH ENGINEERING, INC.** WILL ALSO DESIGN THE PROPOSED RETAINING WALLS AND ANY SLOPE STABILIZATION.
- AT LEAST TEN (10) DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB ONE (1) ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:
COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT
WATER QUALITY CONTROL DIVISION
WOOD - PERMITS
4300 CHERRY CREEK DRIVE SOUTH
DENVER, CO 80246-1530
ATTN: PERMITS UNIT

ELDORADO SPRINGS

GRADING & EROSION CONTROL PLAN

EL PASO COUNTY, COLORADO

Provide all grading and erosion control and Stormwater Ponds and details as part of the GEC



EPC STORMWATER REVIEW COMMENTS
IN ORANGE BOXES WITH BLACK TEXT

AGENCIES:

DEVELOPER:

ESH DEVELOPMENT, LLC
5671 NORTH ORACLE ROAD, SUITE 1102
TUSCON, AZ 85704
EMERY CHUKLY (520) 742-2114

ENGINEER:

WESTWORKS ENGINEERING
1023 W. COLORADO AVENUE
COLORADO SPRINGS, CO 80904
CHAD D. KUZBEK, P.E. (719) 685-1670

EL PASO COUNTY:

PLANNING AND COMMUNITY DEVELOPMENT
2880 INTERNATIONAL CIRCLE, SUITE 110
COLORADO SPRINGS, CO 80910
(719) 520-7959

UTILITIES:

(WATER & SANITARY)

STRATMOOR HILLS WATER & SANITATION DISTRICT
1811 B STREET
COLORADO SPRINGS, CO 80906
KIRK MEDINA (719) 576-0311

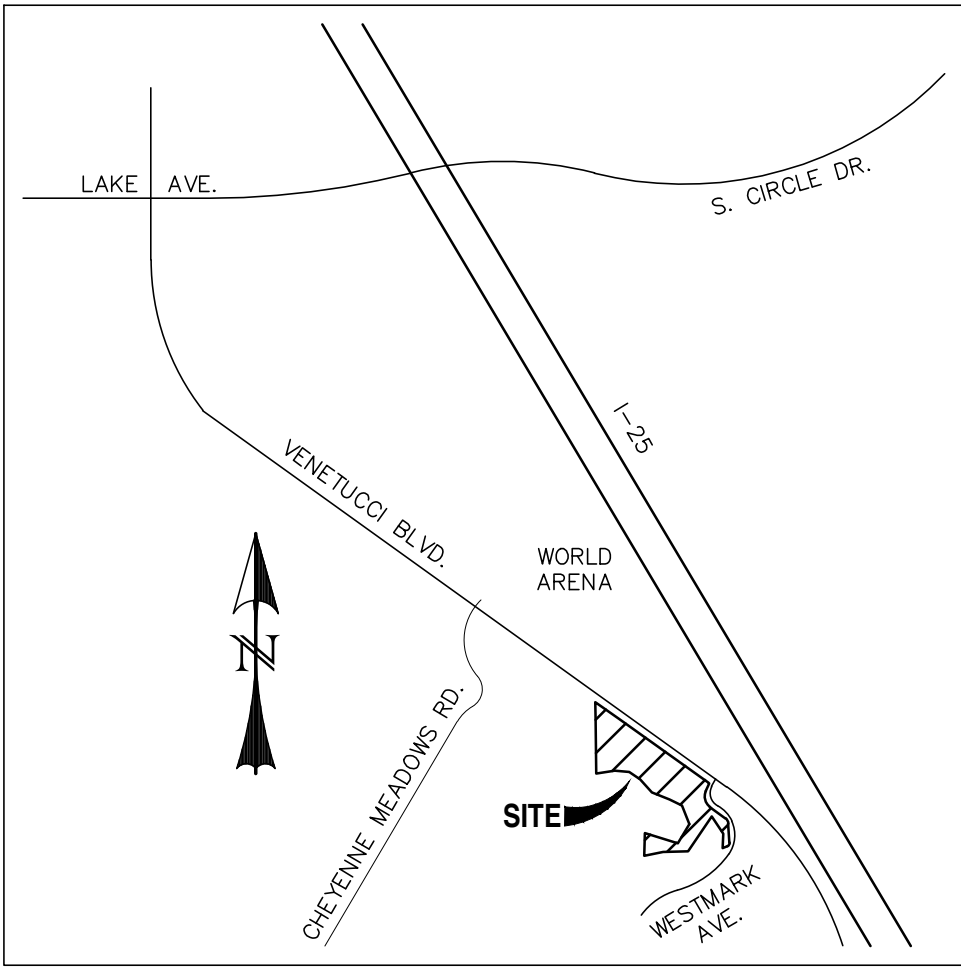
UTILITIES:

(GAS)

COLORADO SPRINGS UTILITIES
111 S. CASCADE AVENUE
COLORADO SPRINGS, CO 80903
(719) 448-4800

FIRE:

STRATMOOR HILLS FIRE PROTECTION DISTRICT
2160 B STREET
COLORADO SPRINGS, CO 80906
DOTTIE BARRETT (719) 576-1200



VICINITY MAP
SCALE: N.T.S.

ENGINEER'S STATEMENT:

THIS GRADING AND EROSION CONTROL PLAN WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. SAID PLAN HAS BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR GRADING AND EROSION CONTROL PLANS. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARING THIS PLAN.

CHAD D. KUZBEK, COLORADO PE #35751

DATE

OWNER'S STATEMENT:

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN.

OWNER SIGNATURE

DATE

EL PASO COUNTY:

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR'S DISCRETION.

JENNIFER IRVINE, P.E.

COUNTY ENGINEER/ECM ADMINISTRATOR

DATE

RETAINING WALL NOTES:

- CALL-OUTS ONLY SHOW EXPOSED FACE AT TOP AND BOTTOM OF WALL(S) AND DOES NOT CONSTITUTE A STRUCTURAL DESIGN.
- THIS PLAN IS INTENDED TO SHOW ONLY THE HEIGHT AND EXTENT OF LANDSCAPE & RETAINING WALLS TO ACCOMMODATE THE GRADING AS SHOWN. THE MATERIALS, SPECIFICATIONS, AND CONSTRUCTION TECHNIQUES AND METHODS SHALL BE UP TO THE OWNER AND CONTRACTOR.
- STRUCTURAL DESIGN BY A LICENSED ENGINEER SHALL BE PROVIDED, AS REQUIRED, FOR THE RETAINING WALL(S).

SHEET INDEX:

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GRADING & EROSION CONTROL PLAN
GRADING & EROSION CONTROL PLAN
GRADING & EROSION CONTROL PLAN DETAILS
GRADING & EROSION CONTROL PLAN DETAILS
DETAILED GRADING PLAN
DETAILED GRADING PLAN

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GR2 OF 8
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REV.	DESCRIPTION	DATE
1	ADDRESS AGENCY COMMENTS	01/22/20
2	ADDRESS AGENCY COMMENTS	05/05/20
3	ADDRESS AGENCY COMMENTS	08/18/20



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PREPARED FOR:
ESH DEVELOPMENT, LLC

5671 NORTH ORACLE ROAD
SUITE #1102
TUSCON, AZ 85704
(520) 742-2114

WEST



CHAD



1023 W. COLORADO COLORADO SPRINGS, CO 80904 (719) 685-1670

ELDORADO SPRINGS

GRADING & EROSION CONTROL PLAN
TITLE SHEET

DESIGNED BY:

MGP

SCALE:

1"=200'

JOB NUMBER

91807

DRAWN BY:

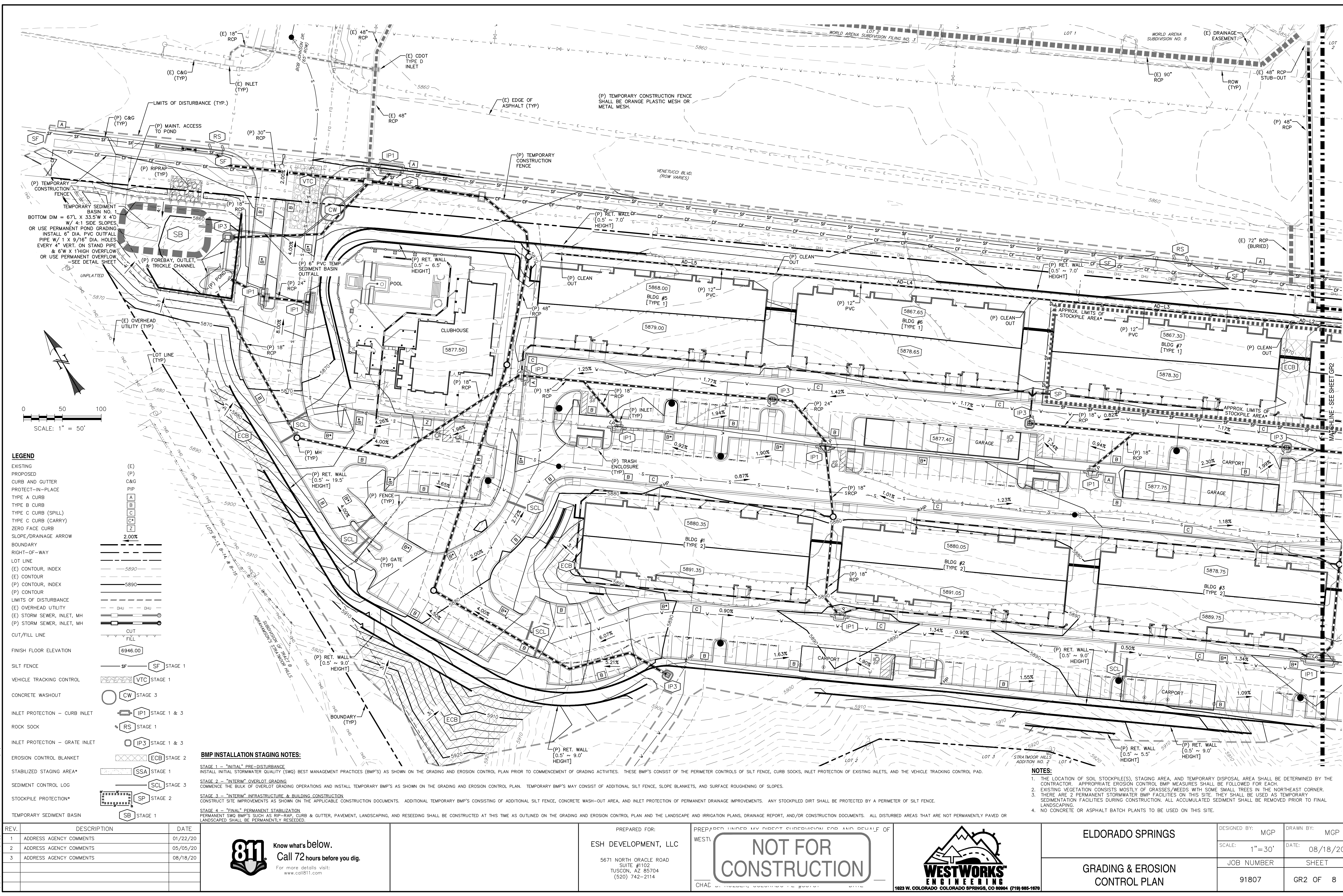
MGP

DATE:

08/18/20

SHEET

GR1 OF 8



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SUITE #1102
TUSCON, AZ 85704
(520) 742-2114

PREPARED UNDER MY DIRECT SUPERVISION FOR AND BEHALF OF
WEST

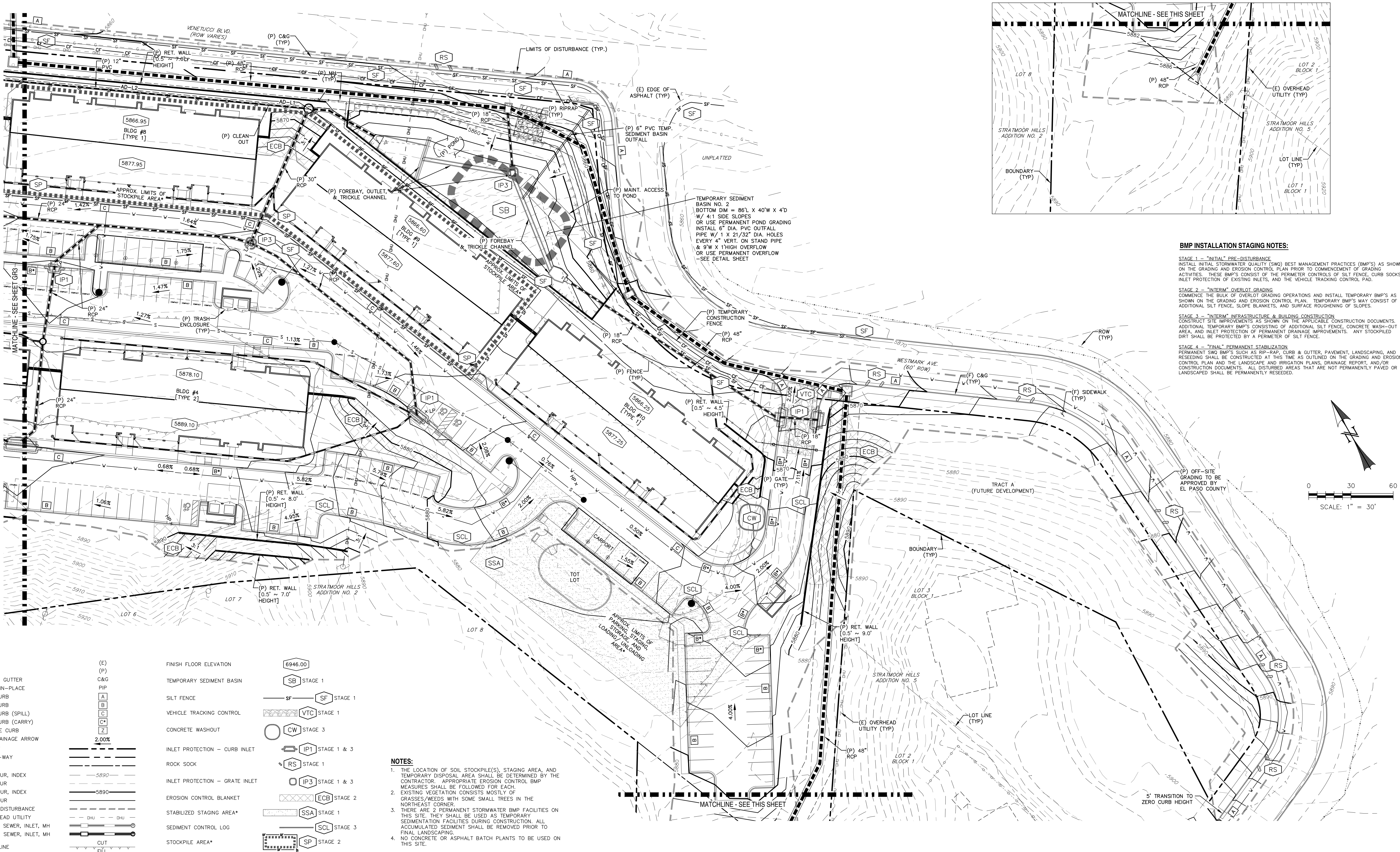
NOT FOR
CONSTRUCTION

CHAL



WESTWORKS
ENGINEERING
1023 W. COLORADO COLORADO SPRINGS, CO 80904 (719) 685-1670

ELDORADO SPRINGS	DESIGNED BY: MGP	DRAWN BY: MGP
GRADING & EROSION CONTROL PLAN	SCALE: 1" = 30'	DATE: 08/18/20
	JOB NUMBER	SHEET
	91807	GR2 OF 8



BMP INSTALLATION STAGING NOTES:

- STAGE 1 – "INITIAL" PRE-DISTURBANCE**
INSTALL INITIAL STORMWATER QUALITY (SWQ) BEST MANAGEMENT PRACTICES (BMP'S) AS SHOWN ON THE GRADING AND EROSION CONTROL PLAN PRIOR TO COMMENCEMENT OF GRADING ACTIVITIES. THESE BMP'S CONSIST OF THE PERIMETER CONTROLS OF SILT FENCE, CURB SOCKS, INLET PROTECTION OF EXISTING INLETS, AND THE VEHICLE TRACKING CONTROL PAD.
- STAGE 2 – "INTERIM" OVERLOT GRADING**
COMMENCE THE BULK OF OVERLOT GRADING OPERATIONS AND INSTALL TEMPORARY BMP'S AS SHOWN ON THE GRADING AND EROSION CONTROL PLAN. TEMPORARY BMP'S MAY CONSIST OF ADDITIONAL SILT FENCE, SLOPE BLANKETS, AND SURFACE ROUGHENING OF SLOPES.
- STAGE 3 – "INTERIM" INFRASTRUCTURE & BUILDING CONSTRUCTION**
CONSTRUCT SITE IMPROVEMENTS AS SHOWN ON THE APPLICABLE CONSTRUCTION DOCUMENTS. ADDITIONAL TEMPORARY BMP'S CONSISTING OF ADDITIONAL SILT FENCE, CONCRETE WASH-OUT AREA, AND INLET PROTECTION OF PERMANENT DRAINAGE IMPROVEMENTS. ANY STOCKPILED DIRT SHALL BE PROTECTED BY A PERIMETER OF SILT FENCE.
- STAGE 4 – "FINAL" PERMANENT STABILIZATION**
PERMANENT SWQ BMP'S SUCH AS RIP-RAP, CURB & GUTTER, PAVEMENT, LANDSCAPING, AND RESEEDING SHALL BE CONSTRUCTED AT THIS TIME AS OUTLINED ON THE GRADING AND EROSION CONTROL PLAN AND THE LANDSCAPE AND IRRIGATION PLANS, DRAINAGE REPORT, AND/OR CONSTRUCTION DOCUMENTS. ALL DISTURBED AREAS THAT ARE NOT PERMANENTLY PAVED OR LANDSCAPED SHALL BE PERMANENTLY RESEEDING.

LEGEND

- EXISTING
PROPOSED
CURB AND GUTTER
PROTECT-IN-PLACE
TYPE A CURB
TYPE B CURB
TYPE C CURB (SPILL)
TYPE C CURB (CARRY)
ZERO FACE CURB
SLOPE/DRAINAGE ARROW
BOUNDARY
RIGHT-OF-WAY
LOT LINE
(E) CONTOUR, INDEX
(E) CONTOUR
(P) CONTOUR, INDEX
(P) CONTOUR
LIMITS OF DISTURBANCE
(E) OVERHEAD UTILITY
(E) STORM SEWER, INLET, MH
(P) STORM SEWER, INLET, MH
CUT/FILL LINE
- (E)
(P)
C&G
PIP
A
B
C
C*
Z
2.00%
- FINISH FLOOR ELEVATION
TEMPORARY SEDIMENT BASIN
SILT FENCE
VEHICLE TRACKING CONTROL
CONCRETE WASHOUT
INLET PROTECTION – CURB INLET
ROCK SOCK
INLET PROTECTION – GRATE INLET
EROSION CONTROL BLANKET
STABILIZED STAGING AREA*
SEDIMENT CONTROL LOG
STOCKPILE AREA*
- 6946.00
SB STAGE 1
SF STAGE 1
VTC STAGE 1
CW STAGE 3
IP1 STAGE 1 & 3
RS STAGE 1
IP3 STAGE 1 & 3
ECB STAGE 2
SSA STAGE 1
SCL STAGE 3
SP STAGE 2
- NOTES:
1. THE LOCATION OF SOIL STOCKPILE(S), STAGING AREA, AND TEMPORARY DISPOSAL AREA SHALL BE DETERMINED BY THE CONTRACTOR. APPROPRIATE EROSION CONTROL BMP MEASURES SHALL BE FOLLOWED FOR EACH.
2. EXISTING VEGETATION CONSISTS MOSTLY OF GRASSES/WEEDS WITH SOME SMALL TREES IN THE NORTHEAST CORNER.
3. THERE ARE 2 PERMANENT STORMWATER BMP FACILITIES ON THIS SITE. THEY SHALL BE USED AS TEMPORARY SEDIMENTATION FACILITIES DURING CONSTRUCTION. ALL ACCUMULATED SEDIMENT SHALL BE REMOVED PRIOR TO FINAL LANDSCAPING.
4. NO CONCRETE OR ASPHALT BATCH PLANTS TO BE USED ON THIS SITE.

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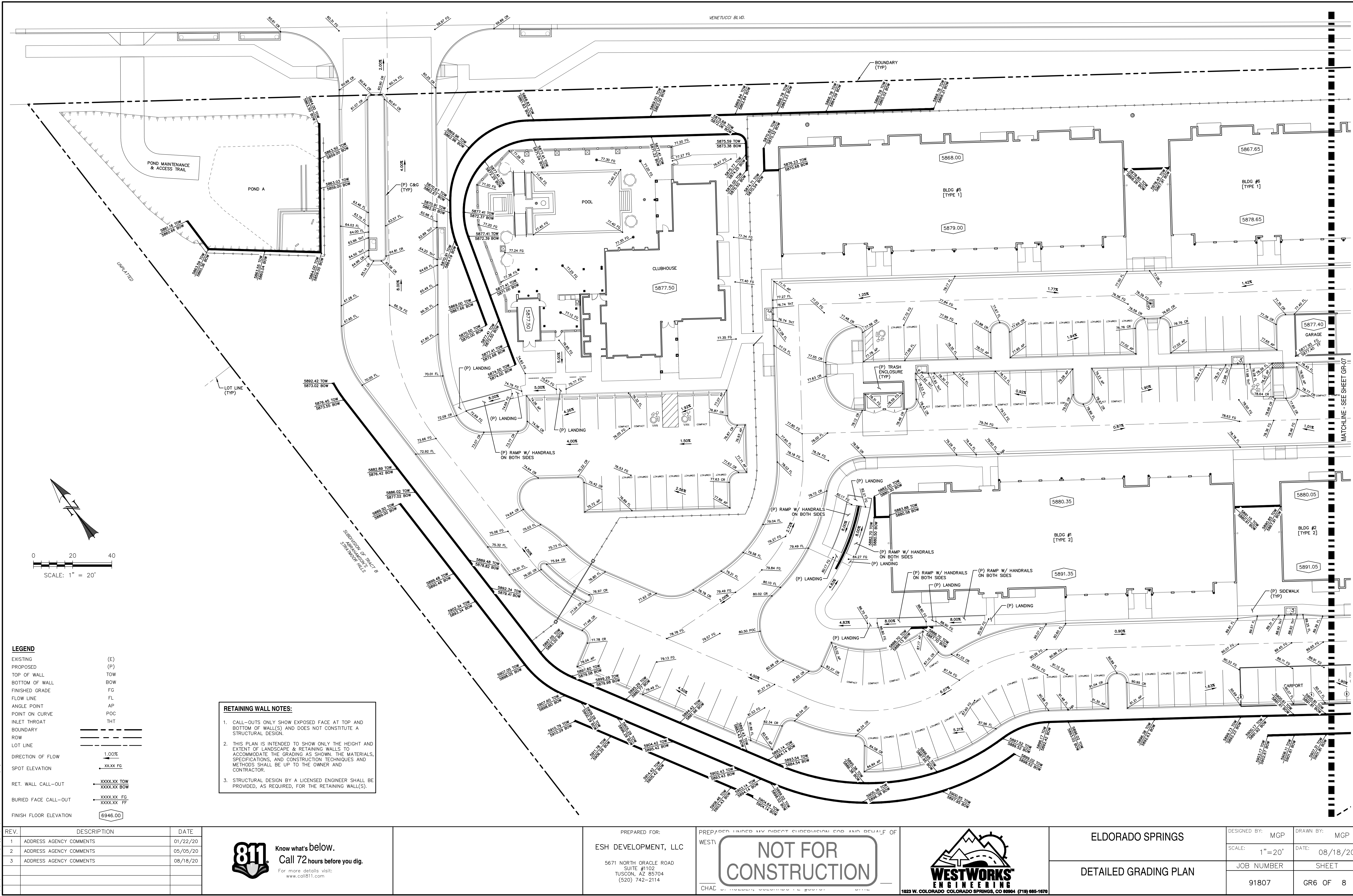
PREPARED UNDER MY DIRECT SUPERVISION FOR AND BEHALF OF
WEST
NOT FOR CONSTRUCTION
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ELDORADO SPRINGS

GRADING & EROSION
CONTROL PLAN

DESIGNED BY:	MGP	DRAWN BY:	MGP
SCALE:	1" = 30'	DATE:	08/18/20
JOB NUMBER	91807	SHEET	GR3 OF 8



REV.	DESCRIPTION	DATE
1	ADDRESS AGENCY COMMENTS	01/22/20
2	ADDRESS AGENCY COMMENTS	05/05/20
3	ADDRESS AGENCY COMMENTS	08/18/20



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ESH DEVELOPMENT, LLC

5671 NORTH ORACLE ROAD
SUITE #1102
TUSCON, AZ 85704
(520) 742-2114

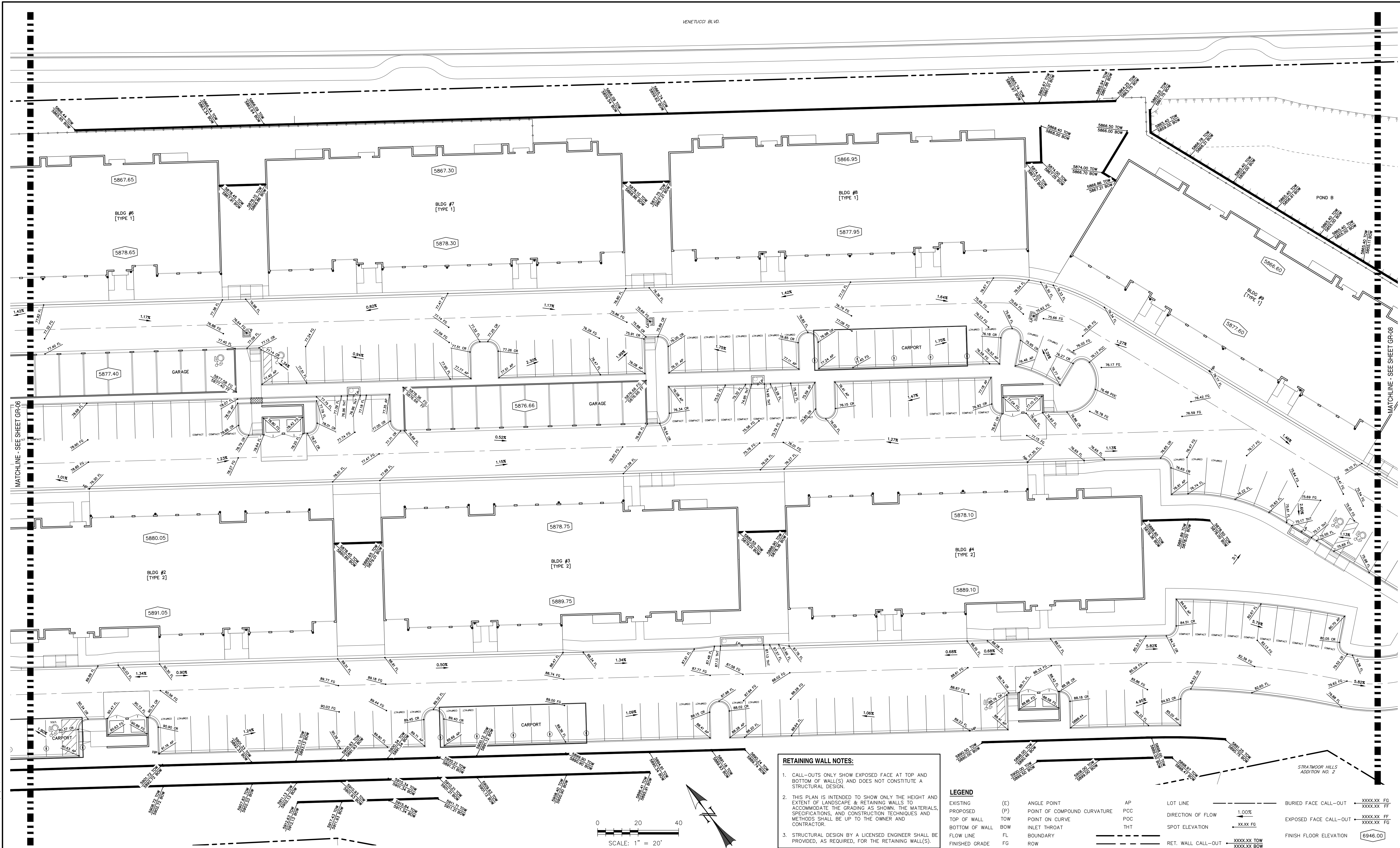
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1023 W. COLORADO COLORADO SPRINGS, CO 80904 (719) 685-1670

ELDORADO SPRINGS	DESIGNED BY: MGP	DRAWN BY: MGP
DETAILED GRADING PLAN	SCALE: 1"=20'	DATE: 08/18/20
	JOB NUMBER	SHEET
	91807	GR6 OF 8



RETAINING WALL NOTES:

- CALL-OUTS ONLY SHOW EXPOSED FACE AT TOP AND BOTTOM OF WALL(S) AND DOES NOT CONSTITUTE A STRUCTURAL DESIGN.
- THIS PLAN IS INTENDED TO SHOW ONLY THE HEIGHT AND EXTENT OF LANDSCAPE & RETAINING WALLS TO ACCOMMODATE THE GRADING AS SHOWN. THE MATERIALS, SPECIFICATIONS, AND CONSTRUCTION TECHNIQUES AND METHODS SHALL BE UP TO THE OWNER AND CONTRACTOR.
- STRUCTURAL DESIGN BY A LICENSED ENGINEER SHALL BE PROVIDED, AS REQUIRED, FOR THE RETAINING WALL(S).

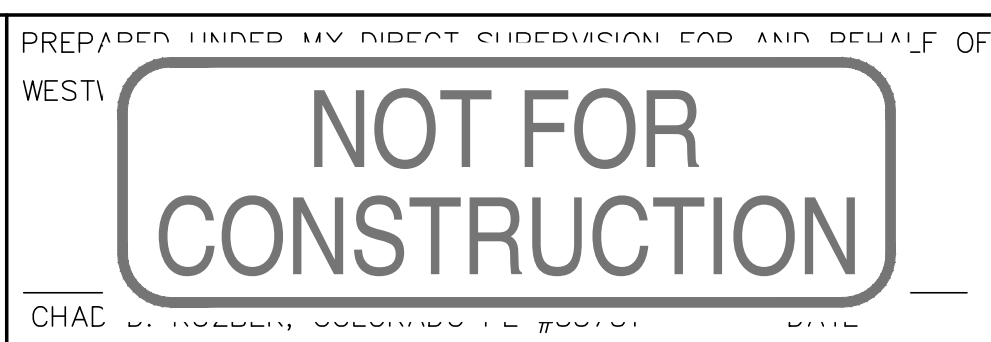
LEGEND

EXISTING	(E)	ANGLE POINT	AP	LOT LINE	BURIED FACE CALL-OUT	XXXXXX FG
PROPOSED	(P)	POINT OF COMPOUND CURVATURE	PCC	DIRECTION OF FLOW	EXPOSED FACE CALL-OUT	XXXXXX FF
TOP OF WALL	TOW	POINT ON CURVE	POC	SPOT ELEVATION	FINISH FLOOR ELEVATION	6946.00
BOTTOM OF WALL	BOW	INLET THROAT	THT	RET. WALL CALL-OUT		
FLOW LINE	FL	BOUNDARY				
FINISHED GRADE	FG	ROW				

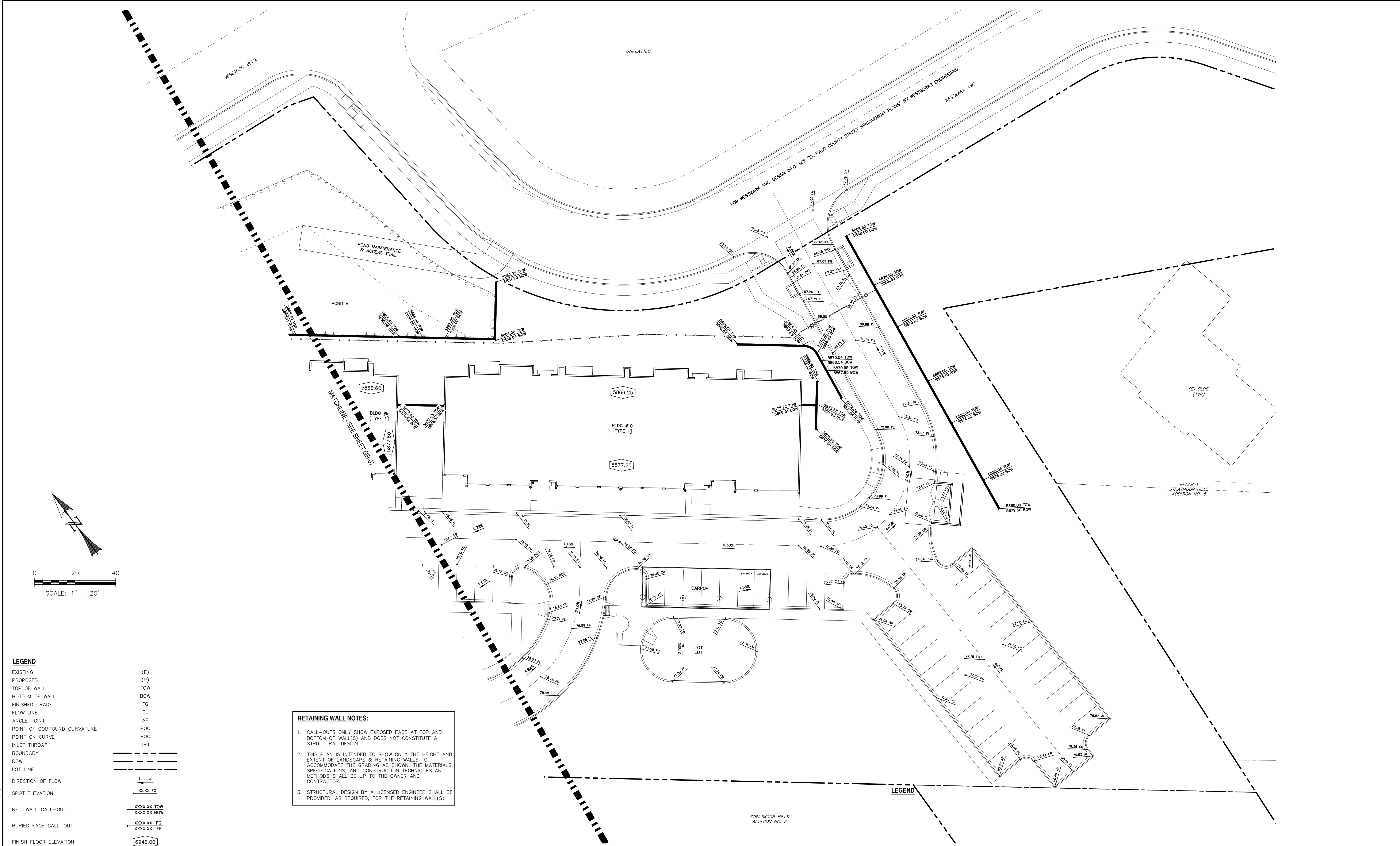
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ESH DEVELOPMENT, LLC
5671 NORTH ORACLE ROAD
SUITE #102
TUSCON, AZ 85704
(520) 742-2114



ELDORADO SPRINGS	DESIGNED BY: MGP	DRAWN BY: MGP
DETAILED GRADING PLAN	SCALE: 1"=20'	DATE: 08/18/20
	JOB NUMBER: 91807	SHEET: GR7 OF 8



REV.	DESCRIPTION	DATE
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3	ADDRESS AGENCY COMMENTS	08/18/20

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1023 W. COLORADO COLORADO SPRINGS, CO 80904 (719) 885-1670

ELDERADO SPRINGS	DESIGNED BY: MGP	DRAWN BY: MGP
	SCALE: 1"=20'	DATE: 08/18/20
	JOB NUMBER	SHEET
DETAILED GRADING PLAN	91807	GR8 OF 8

1. ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD LOCATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
3. CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
 - a. EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
 - b. CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
 - c. COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
 - d. CDOT M & S STANDARDS
4. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
5. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
6. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT (PCD) - INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
8. CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
9. ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD.
10. CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
11. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
12. SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
13. SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DPW AND MUTCD CRITERIA.
14. CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DPW, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
15. THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.

1. STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFF-SITE WATERS, INCLUDING WETLANDS.
2. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL, VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.
3. A SEPARATE STORMWATER MANAGEMENT PLAN (SWMP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESCOP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. MANAGEMENT OF THE SWMP DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE DESIGNATED QUALIFIED STORMWATER MANAGER OR CERTIFIED EROSION CONTROL INSPECTOR. THE SWMP SHALL BE LOCATED ON SITE AT ALL TIMES DURING CONSTRUCTION AND SHALL BE KEPT UP TO DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.
4. ONCE THE ESCOP IS APPROVED AND A "NOTICE TO PROCEED" HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL MEASURES AS INDICATED ON THE APPROVED ECC. A PRECONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY STAFF.
5. CONTROL MEASURES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF ACTIVITIES THAT COULD CONTRIBUTE POLLUTANTS TO STORMWATER. CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, AND DISTURBED LAND AREAS SHALL BE INSTALLED IMMEDIATELY UPON COMPLETION OF THE DISTURBANCE.
6. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REMAIN IN EFFECTIVE OPERATING CONDITION UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND FINAL STABILIZATION IS ESTABLISHED. ALL PERSONS ENGAGED IN LAND DISTURBANCE ACTIVITIES SHALL ASSESS THE ADEQUACY OF CONTROL MEASURES AT THE SITE AND IDENTIFY IF CHANGES TO THOSE CONTROL MEASURES ARE NEEDED TO ENSURE THE CONTINUED EFFECTIVE PERFORMANCE OF THE CONTROL MEASURES. ALL CHANGES TO TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES MUST BE INCORPORATED INTO THE STORMWATER MANAGEMENT PLAN.
7. TEMPORARY STABILIZATION SHALL BE IMPLEMENTED ON DISTURBED AREAS AND STOCKPILES WHERE GROUND DISTURBING CONSTRUCTION ACTIVITY HAS PERMANENTLY CEASED OR TEMPORARILY CEASED FOR LONGER THAN 14 DAYS.
8. FINAL STABILIZATION MUST BE IMPLEMENTED AT ALL APPLICABLE CONSTRUCTION SITES. FINAL STABILIZATION IS ACHIEVED WHEN ALL GROUND DISTURBING ACTIVITIES ARE COMPLETE AND ALL DISTURBED AREAS ARE COVERED WITH VEGETATIVE COVER WITH INDIVIDUAL PLANT DENSITY OF 10 PERCENT OF PRE-DISTURBANCE LEVELS ESTABLISHED OR EQUIVALENT PERMANENT ALTERNATIVE STABILIZATION METHOD IS IMPLEMENTED. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED UPON FINAL STABILIZATION AND BEFORE PERMIT CLOSURE.
9. ALL PERMANENT STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AS DESIGNED IN THE APPROVED PLANS. ANY PROPOSED CHANGES THAT EFFECT THE DESIGN OR FUNCTION OF PERMANENT STORMWATER MANAGEMENT STRUCTURES MUST BE APPROVED BY THE EGM ADMINISTRATOR PRIOR TO IMPLEMENTATION.
10. EARTH DISTURBANCES SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY MINIMIZE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME. PRE-EXISTING VEGETATION SHALL BE PROTECTED AND MAINTAINED WITHIN 50 HORIZONTAL FEET OF A WATERS OF THE STATE UNLESS SHOWN TO BE INFEASIBLE AND SPECIFICALLY REQUESTED AND APPROVED.
11. COMPACTION OF SOIL MUST BE PREVENTED IN AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES OR WHERE FINAL STABILIZATION WILL BE ACHIEVED BY VEGETATIVE COVER. AREAS DESIGNATED FOR INFILTRATION SHALL BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED. IF COMPACTION PREVENTION IS NOT FEASIBLE DUE TO SITE CONSTRAINTS, ALL AREAS DESIGNATED FOR INFILTRATION AND VEGETATION CONTROL MEASURES MUST BE LOOSENED PRIOR TO INSTALLATION OF THE CONTROL MEASURE(S).
12. ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE A STABILIZED CONVEYANCE DESIGNED TO MINIMIZE EROSION AND THE DISCHARGE OF SEDIMENT OFF SITE.
13. CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO ENTER STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES. CONCRETE WASHOUTS SHALL NOT BE LOCATED IN AN AREA WHERE SHALLOW GROUNDWATER MAY BE PRESENT, OR WITHIN 50 FEET OF A SURFACE WATER BODY, CREEK OR STREAM.
14. DURING DEWATERING OPERATIONS OF UNCONTAMINATED GROUND WATER MAY BE DISCHARGED ON SITE, BUT SHALL NOT LEAVE THE SITE IN THE FORM OF SURFACE RUNOFF UNLESS AN APPROVED STATE DEWATERING PERMIT IS IN PLACE.
15. EROSION CONTROL, BLANKETING OR OTHER PROTECTIVE COVERING SHALL BE USED ON SLOPES STEEPER THAN 3:1.

COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT
WATER QUALITY CONTROL DIVISION
WQCD - PERMITS
4300 CHERRY CREEK DRIVE SOUTH
DENVER, CO 80246-1530
ATTN: PERMITS UNIT

LOT 1
WORLD ARENA
SUBDIVISION
FILING NO. 5

LOT 2
WORLD ARENA SUBDIVISION
FILING NO. 3

VENETUCCI BLVD.

CHAMBERLIN PL.

WESTMARK AVE.

POND A

POND B

UNPLATTED

INTERSTATE 75

BOB JOHNSON DR.

SUBDIVISION OF TRACT B
ABRAHAMSON'S
STRATHMOOR HILLS

STRATHMOOR HILLS
ADDITION NO. 2

BLOCK 1
STRATHMOOR HILLS
ADDITION NO. 5

SITE MAP
SCALE: 1" = 200'

1. ALL PAVING AND CURB & GUTTER SHALL BE CONSTRUCTED SO AS NOT TO OBSTRUCT THE DRAINAGE PATHS. GRADES SHALL BE MAINTAINED TO PREVENT ANY WATER FROM ENTERING THE DRAINAGE PATHS. IF THIS CANNOT BE ACCOMPLISHED, THEN THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CORRECTION.
2. POSITIVE DRAINAGE AWAY FROM THE BUILDING SHALL BE MAINTAINED DURING AND AFTER SITE CONSTRUCTION. SWALES SHALL BE CONSTRUCTED AROUND BUILDINGS TO DIRECT DRAINAGE AWAY FROM STRUCTURES.
3. SITE CONSTRUCTION INCLUDING PAVING AND CURB & GUTTER INSTALLATION SHALL MAINTAIN POSITIVE DRAINAGE AS SHOWN ON THIS PLAN. STANDING WATER OR PONDING ANYWHERE ON THE SITE IS UNACCEPTABLE.
4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WALKWAY. THE OMISSION OF OR INADEQUATE LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NONEXISTENCE OF OR A DEFINITE LOCATION OF EXISTING UNDERGROUND UTILITIES.

1. THE MOST NORTHERLY CORNER OF THE SITE MONUMENTED BY A 1" YELLOW PLASTIC CAP STAMPED "23890."
EL = 5865.58
2. THE MOST SOUTHERLY CORNER ALONG US HIGHWAY 85-87 BEING MONUMENTED BY A 1-1/2" ALUMINUM SURVEYORS CAP STAMPED "CCES
LLC PLS 30118" LOCATED AT THE WESTERLY CORNER OF THE INTERSECTION OF WESTMARK AVENUE AND US HIGHWAY 85-87.
EL = 5854.18

THE WEST LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M. BEING MONUMENTED AT THE NORTH END BY A 2-1/2" ALUMINUM SURVEYORS CAP WITH APPROPRIATE MARKINGS AND AT THE SOUTH END BY A 3-1/4" ALUMINUM SURVEYORS CAP WITH APPROPRIATE MARKINGS IS ASSUMED TO BEAR N00°44'35"W, A DISTANCE OF 1320.61 FEET.

VICINITY MAP
SCALE: N.T.S.

THIS GRADING AND EROSION CONTROL PLAN WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. SAID PLAN HAS BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR GRADING AND EROSION CONTROL PLANS. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARING THIS PLAN.

DATE _____

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN.

DATE _____

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

JENNIFER IRVINE, P.E.
COUNTY ENGINEER/ECM ADMINISTRATOR

DATE _____

1. CALL-OUTS ONLY SHOW EXPOSED FACE AT TOP AND BOTTOM OF WALL(S) AND DOES NOT CONSTITUTE A STRUCTURAL DESIGN.
2. THIS PLAN IS INTENDED TO SHOW ONLY THE HEIGHT AND EXTENT OF LANDSCAPE & RETAINING WALLS TO ACCOMMODATE THE GRADING AS SHOWN. THE MATERIALS, SPECIFICATIONS, AND CONSTRUCTION TECHNIQUES AND METHODS SHALL BE UP TO THE OWNER AND CONTRACTOR.

TITLE SHEET
GRADING & EROSION CONTROL PLAN
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GRADING & EROSION CONTROL PLAN DETAILS
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DETAILED GRADING PLAN
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GR1	OF	8
GR2	OF	8
GR3	OF	8
GR4	OF	8
GR5	OF	8
GR6	OF	8
GR7	OF	8
GR8	OF	8

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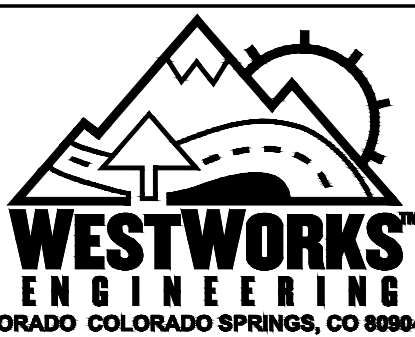
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CHAD S. ROBERT, COUNTY CLERK



ELDORADO SPRINGS

DESIGNED BY: MGP

MGP

SCALE: 1"=200'

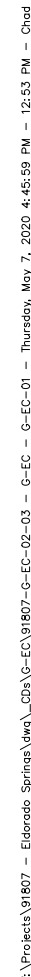
05/20

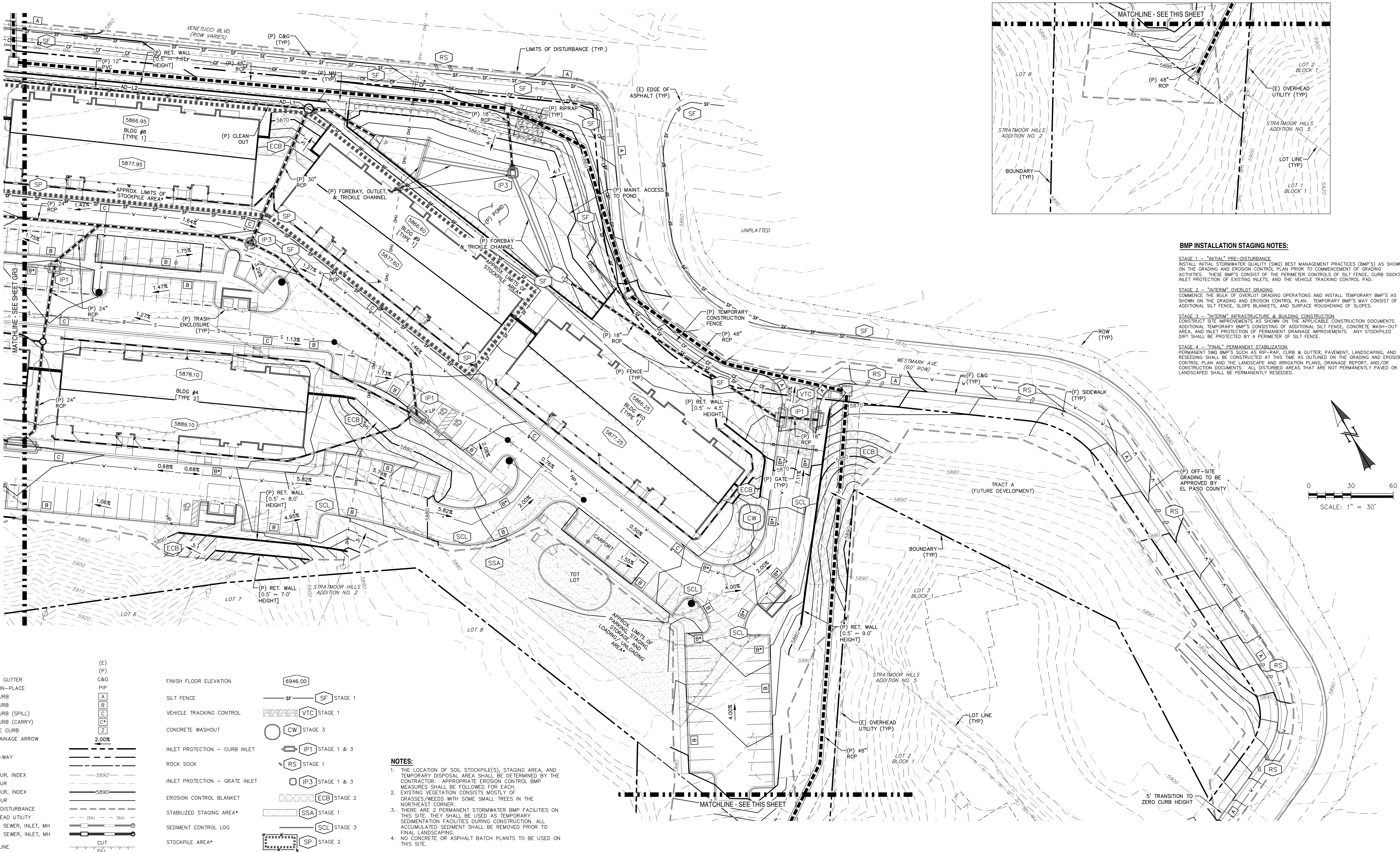
STORM SEWER PLAN & PROFILES

TITLE SHEET

JOB NUMBER

SHEET





BMP INSTALLATION STAGING NOTES:

STAGE 1 - "INITIAL" PRE-DISTURBANCE
INSTALL INITIAL STORMWATER QUALITY (SWQ) BEST MANAGEMENT PRACTICES (BMP'S) AS SHOWN ON THE GRADING AND EROSION CONTROL PLAN PRIOR TO COMMENCEMENT OF GRADING ACTIVITIES. THESE BMP'S CONSIST OF THE PERIMETER CONTROLS OF SILT FENCE, CURB SOCKS, INLET PROTECTION OF EXISTING INLETS, AND THE VEHICLE TRACKING CONTROL PAD.

STAGE 2 - "INTERIM" OVERLOT GRADING
COMMENCE THE BULK OF OVERLOT GRADING OPERATIONS AND INSTALL TEMPORARY BMP'S AS SHOWN ON THE GRADING AND EROSION CONTROL PLAN. TEMPORARY BMP'S MAY CONSIST OF ADDITIONAL SILT FENCE, SLOPE BLANKETS, AND SURFACE ROUGHENING OF SLOPES.

STAGE 3 - "INTERIM" INFRASTRUCTURE & BUILDING CONSTRUCTION
CONSTRUCT SITE IMPROVEMENTS AS SHOWN ON THE APPLICABLE CONSTRUCTION DOCUMENTS. ADDITIONAL TEMPORARY BMP'S CONSISTING OF ADDITIONAL SILT FENCE, CONCRETE WASH-OUT AREA, AND INLET PROTECTION OF PERMANENT DRAINAGE IMPROVEMENTS. ANY STOCKPILED DIRT SHALL BE PROTECTED BY A PERIMETER OF SILT FENCE.

STAGE 4 - "FINAL" PERMANENT STABILIZATION
PERMANENT SWQ BMP'S SUCH AS RIP-RAP, CURB & GUTTER, PAVEMENT, LANDSCAPING, AND RESEEDING SHALL BE CONSTRUCTED AT THIS TIME AS OUTLINED ON THE GRADING AND EROSION CONTROL PLAN AND THE LANDSCAPE AND IRRIGATION PLANS, DRAINAGE REPORT, AND/OR CONSTRUCTION DOCUMENTS. ALL DISTURBED AREAS THAT ARE NOT PERMANENTLY PAVED OR LANDSCAPED SHALL BE PERMANENTLY RESEEDING.

LEGEND

EXISTING
PROPOSED
CURB AND GUTTER
PROTECT-IN-PLACE
TYPE A CURB
TYPE B CURB
TYPE C CURB (SPILL)
TYPE C CURB (CARRY)
ZERO FACE CURB
SLOPE/DRAINAGE ARROW
BOUNDARY
RIGHT-OF-WAY
LOT LINE
(E) CONTOUR, INDEX
(E) CONTOUR
(P) CONTOUR, INDEX
(P) CONTOUR
LIMITS OF DISTURBANCE
(E) OVERHEAD UTILITY
(E) STORM SEWER, INLET, MH
(P) STORM SEWER, INLET, MH
CUT/FILL LINE

(E)
(P)
C&G
PIP
A
B
C
C*
Z
2.00%
— 5890 —
— 5890 —
— DHJ — DHJ
— CUT —
— FILL —

FINISH FLOOR ELEVATION
SILT FENCE
VEHICLE TRACKING CONTROL
CONCRETE WASHOUT
INLET PROTECTION - CURB INLET
ROCK SOCK
INLET PROTECTION - GRATE INLET
EROSION CONTROL BLANKET
STABILIZED STAGING AREA*
SEDIMENT CONTROL LOG
STOCKPILE AREA*

6946.00
SF STAGE 1
VTC STAGE 1
CW STAGE 3
IP1 STAGE 1 & 3
RS STAGE 1
IP3 STAGE 1 & 3
ECB STAGE 2
SSA STAGE 1
SCL STAGE 3
SP STAGE 2

NOTES:

- THE LOCATION OF SOIL STOCKPILE(S), STAGING AREA, AND TEMPORARY DISPOSAL AREA SHALL BE DETERMINED BY THE CONTRACTOR. APPROPRIATE EROSION CONTROL BMP MEASURES SHALL BE FOLLOWED FOR EACH.
- EXISTING VEGETATION CONSISTS MOSTLY OF GRASSES/WEEDS WITH SOME SMALL TREES IN THE NORTHEAST CORNER.
- THERE ARE 2 PERMANENT STORMWATER BMP FACILITIES ON THIS SITE. THEY SHALL BE USED AS TEMPORARY SEDIMENTATION FACILITIES DURING CONSTRUCTION. ALL ACCUMULATED SEDIMENT SHALL BE REMOVED PRIOR TO FINAL LANDSCAPING.
- NO CONCRETE OR ASPHALT BATCH PLANTS TO BE USED ON THIS SITE.

REV.	DESCRIPTION	DATE
1	ADDRESS AGENCY COMMENTS	01/22/20
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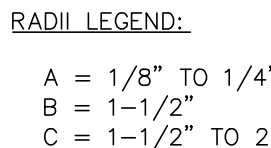
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WESTWORKS ENGINEERING
1023 W. COLORADO COLORADO SPRINGS, CO 80904 (719) 685-1670

ELDERADO SPRINGS	DESIGNED BY: MGP	DRAWN BY: MGP
GRADING & EROSION CONTROL PLAN	SCALE: 1" = 30'	DATE: 05/05/20
	JOB NUMBER: 91807	SHEET: GR3 OF 8



Know what's below.
Call 72 hours before you dig.
For more details visit:
www.call811.com

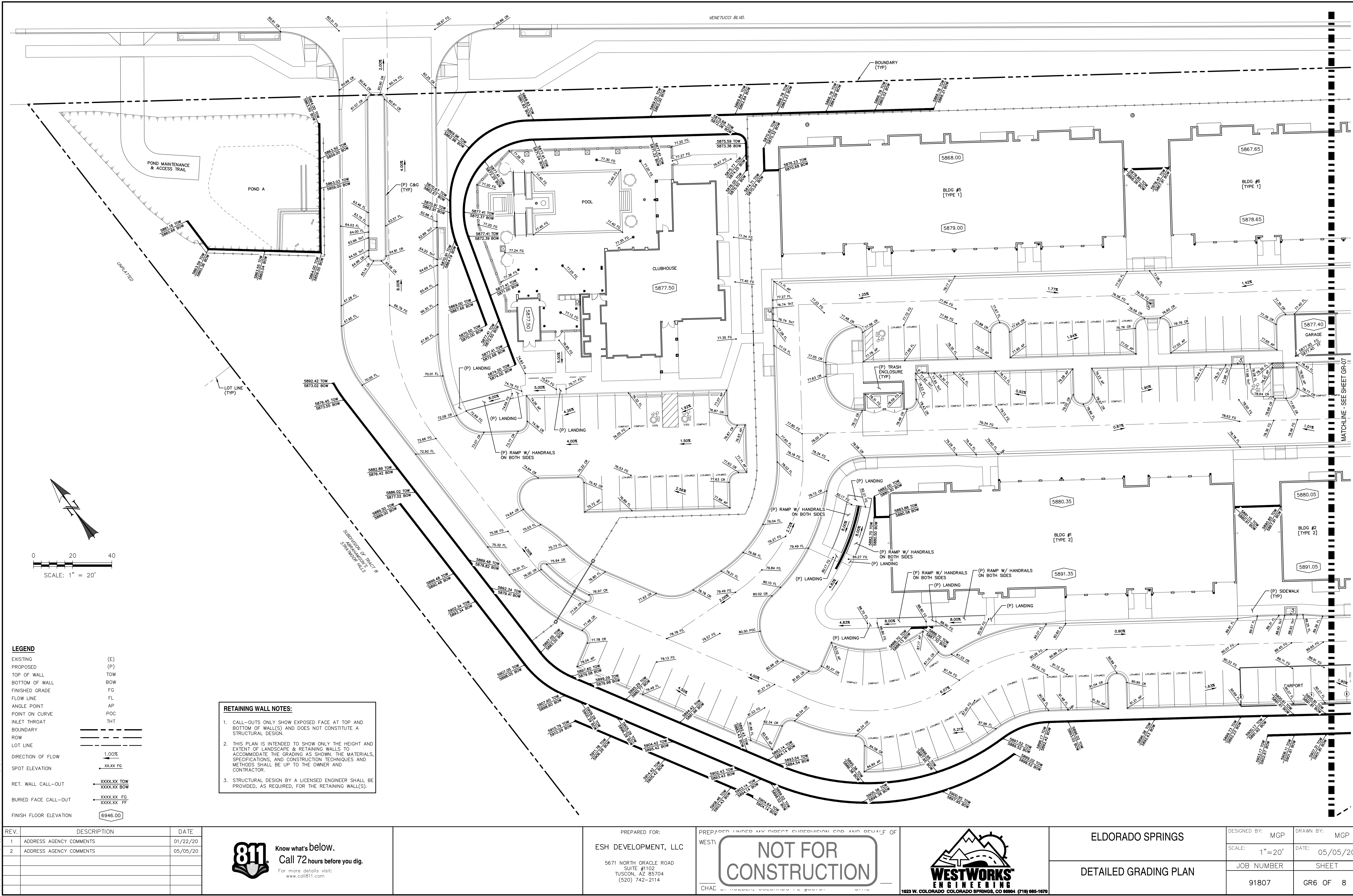
PREPARED UNDER MY DIRECT SUPERVISION FOR AND BEHALF OF
WESTV

**NOT FOR
CONSTRUCTION**

CHAD S. REEDER, COUNTY CLERK #00000000 DATE



ELDORADO SPRINGS	DESIGNED BY: MGP	DRAWN BY: MGP
	SCALE: N/A	DATE: 05/05/20
GRADING & EROSION CONTROL DETAILS	JOB NUMBER	SHEET
	91807	GR4 OF 8



REV.	DESCRIPTION	DATE
1	ADDRESS AGENCY COMMENTS	01/22/20
2	ADDRESS AGENCY COMMENTS	05/05/20



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PREPARED FOR:
ESH DEVELOPMENT, LLC

5671 NORTH ORACLE ROAD
SUITE #1102
TUSCON, AZ 85704
(520) 742-2114

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WEST

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CHAL

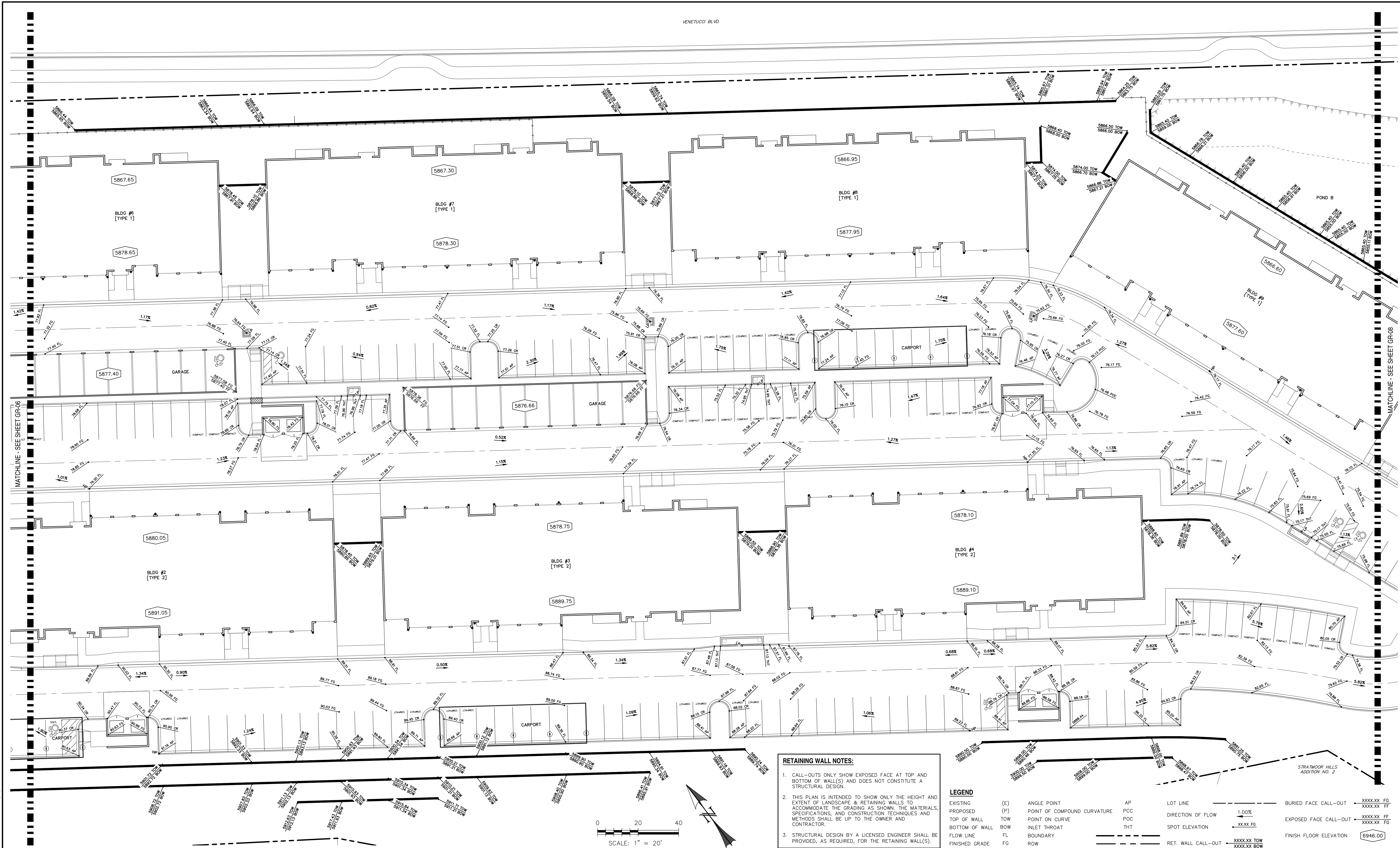


WESTWORKS
ENGINEERING
1023 W. COLORADO COLORADO SPRINGS, CO 80904 (719) 685-1670

ELDORADO SPRINGS

DETAILED GRADING PLAN

DESIGNED BY: MGP	DRAWN BY: MGP
SCALE: 1"=20'	DATE: 05/05/20
JOB NUMBER 91807	SHEET GR6 OF 8

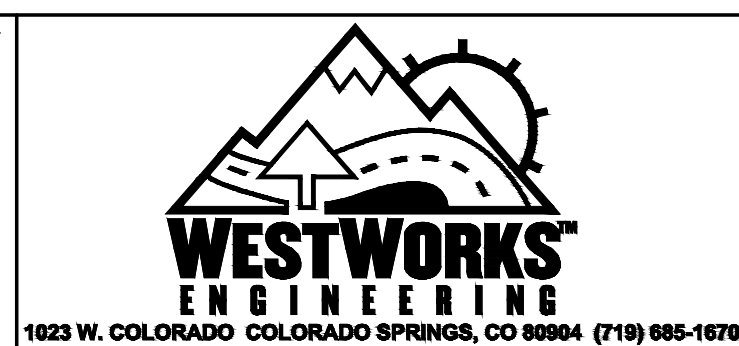


REV.	DESCRIPTION	DATE
1	ADDRESS AGENCY COMMENTS	01/22/20
2	ADDRESS AGENCY COMMENTS	05/05/20

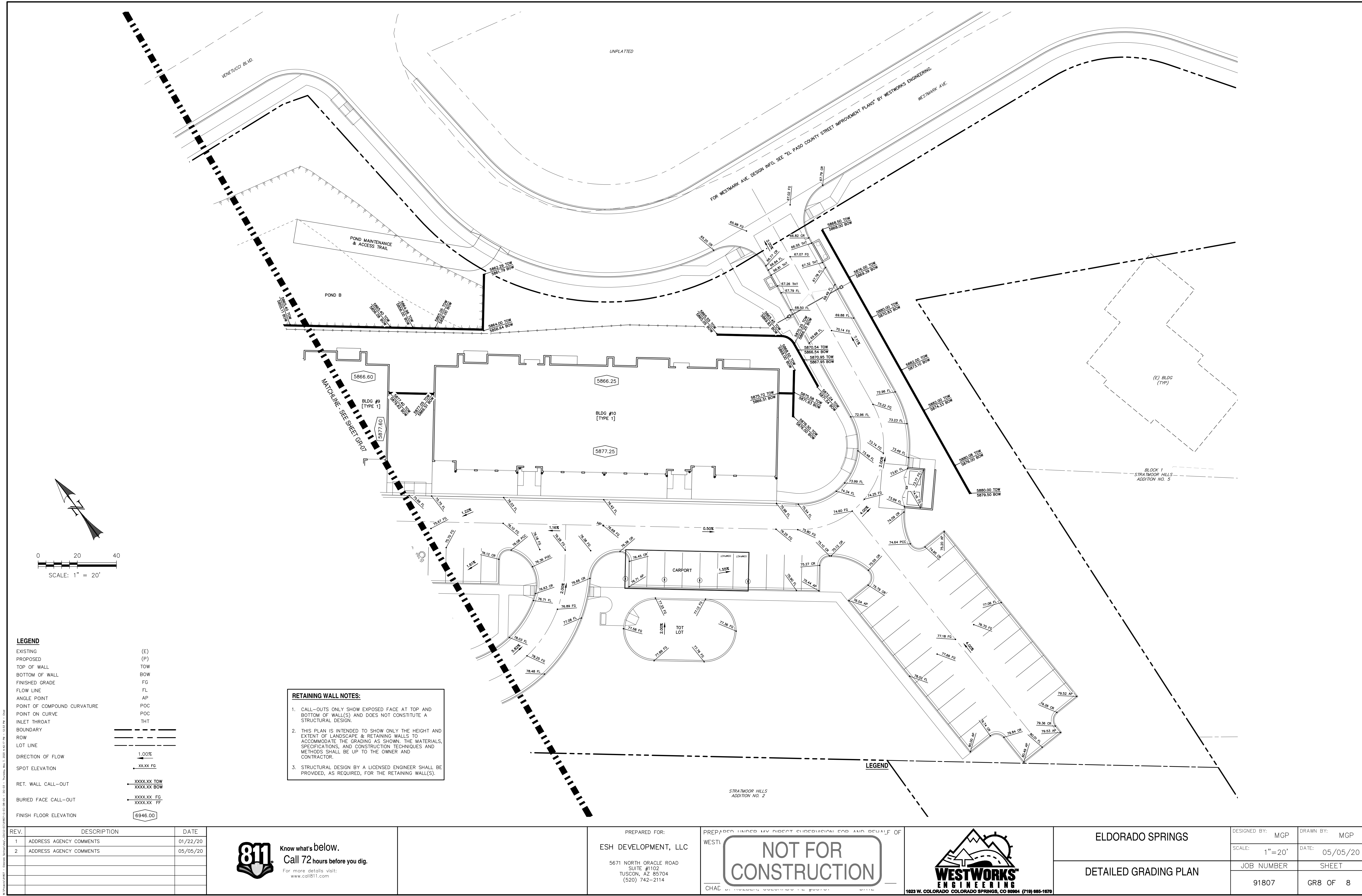


PREPARED FOR:
ESH DEVELOPMENT, LLC
5671 NORTH ORACLE ROAD
SUITE #102
TUSCON, AZ 85704
(520) 742-2114

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CHAL



ELDORADO SPRINGS	DESIGNED BY: MGP	DRAWN BY: MGP
DETAILED GRADING PLAN	SCALE: 1"=20'	DATE: 05/05/20
	JOB NUMBER: 91807	SHEET: GR7 OF 8



LEGEND

- EXISTING (E)
PROPOSED (P)
TOP OF WALL TOW
BOTTOM OF WALL BOW
FINISHED GRADE FG
FLOW LINE FL
ANGLE POINT AP
POINT OF COMPOUND CURVATURE POC
POINT ON CURVE POC
INLET THROAT THT
BOUNDARY
ROW
LOT LINE
- DIRECTION OF FLOW
SPOT ELEVATION
RET. WALL CALL-OUT
BURIED FACE CALL-OUT
FINISH FLOOR ELEVATION
- 1.00%
XXXX.XX FG
XXXX.XX TOW
XXXX.XX BOW
XXXX.XX FG
XXXX.XX FF
6946.00

RETAINING WALL NOTES:

- CALL-OUTS ONLY SHOW EXPOSED FACE AT TOP AND BOTTOM OF WALL(S) AND DOES NOT CONSTITUTE A STRUCTURAL DESIGN.
- THIS PLAN IS INTENDED TO SHOW ONLY THE HEIGHT AND EXTENT OF LANDSCAPE & RETAINING WALLS TO ACCOMMODATE THE GRADING AS SHOWN. THE MATERIALS, SPECIFICATIONS, AND CONSTRUCTION TECHNIQUES AND METHODS SHALL BE UP TO THE OWNER AND CONTRACTOR.
- STRUCTURAL DESIGN BY A LICENSED ENGINEER SHALL BE PROVIDED, AS REQUIRED, FOR THE RETAINING WALL(S).

REV.	DESCRIPTION	DATE
1	ADDRESS AGENCY COMMENTS	01/22/20
2	ADDRESS AGENCY COMMENTS	05/05/20



PREPARED FOR:
ESH DEVELOPMENT, LLC
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SUITE #1102
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ELDORADO SPRINGS		DESIGNED BY: MGP	DRAWN BY: MGP
DETAILED GRADING PLAN		SCALE: 1"=20'	DATE: 05/05/20
		JOB NUMBER	SHEET
		91807	GR8 OF 8