



1. ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD LOCATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
3. CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
  - a. EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
  - b. CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
  - c. COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
  - d. CDOT M & S STANDARDS
4. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER THE—FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
5. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
6. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT (PCD) – INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS—ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
8. CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
9. ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD.
10. CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
11. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
12. SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
13. SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DPW AND MUTCD CRITERIA.
14. CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DPW, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
15. THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.

1. ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
2. REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY A METHOD THAT DOES NOT MATERIALLY DAMAGE THE PAVEMENT. THE PAVEMENT MARKINGS SHALL BE REMOVED TO THE EXTENT THAT THEY WILL NOT BE VISIBLE UNDER DAY OR NIGHT CONDITIONS. AT NO TIME WILL IT BE ACCEPTABLE TO PAINT OVER EXISTING PAVEMENT MARKINGS.
3. ANY DEVIATION FROM THE STRIPING AND SIGNING PLAN SHALL BE APPROVED BY EL PASO COUNTY DEVELOPMENT SERVICES.
4. ALL SIGNS SHOWN ON THE SIGNING AND STRIPING PLAN SHALL BE NEW SIGNS. EXISTING SIGNS MAY REMAIN OR BE REUSED IF THEY MEET CURRENT EL PASO COUNTY AND MUTCD STANDARDS.
5. STREET NAME AND REGULATORY STOP SIGNS SHALL BE ON THE SAME POST AT INTERSECTIONS.
6. ALL REMOVED SIGNS SHALL BE DISPOSED OF IN A PROPER MANNER BY THE CONTRACTOR.
7. ALL STREET NAME SIGNS SHALL HAVE "D" SERIES LETTERS, WITH LOCAL ROADWAY SIGNS BEING 4" UPPER-LOWER CASE LETTERING ON 8" BLANK AND NON-LOCAL ROADWAY SIGNS BEING 6" LETTERING, UPPER-LOWER CASE ON 12" BLANK, WITH A WHITE BORDER THAT IS NOT RECESSED. MULTI-LANE ROADWAYS WITH SPEED LIMITS OF 40 MPH OR HIGHER SHALL HAVE 8" UPPER-LOWER CASE LETTERING ON 18" BLANK WITH A WHITE BORDER THAT IS NOT RECESSED. THE WIDTH OF THE NON-RECESSED WHITE BORDERS SHALL MATCH PAGE 255 OF THE 2012 MUTCD "STANDARD HIGHWAY SIGNS".
8. ALL TRAFFIC SIGNS SHALL HAVE A MINIMUM HIGH INTENSITY PRISMATIC GRADE SHEETING.
9. ALL LOCAL RESIDENTIAL STREET SIGNS SHALL BE MOUNTED ON A 1.75" x 1.75" SQUARE TUBE SIGN POST AND STUB POST BASE. FOR OTHER APPLICATIONS, REFER TO THE CDOT STANDARD S-614-B REGARDING USE OF THE P2 TUBULAR STEEL POST SLIPBASE DESIGN.
10. ALL SIGNS SHALL BE SINGLE SHEET ALUMINUM WITH 0.100" MINIMUM THICKNESS.
11. ALL LIMIT LINES/STOP LINES, CROSSWALK LINES, PAVEMENT LEGENDS, AND ARROWS SHALL BE A MINIMUM 125 MIL THICKNESS PREFORMED THERMOPLASTIC PAVEMENT MARKINGS WITH TAPERED LEADING EDGES PER CDOT STANDARD S-627-1. WORD AND SYMBOL MARKINGS SHALL BE THE NARROW TYPE. STOP BARS SHALL BE 24" IN WIDTH. CROSSWALKS LINES SHALL BE 12" WIDE AND 8" LONG PER CDOT S-627-1.
12. ALL LONGITUDINAL LINES SHALL BE A MINIMUM 15MIL THICKNESS EPOXY PAINT. ALL NON-LOCAL RESIDENTIAL ROADWAYS SHALL INCLUDE BOTH RIGHT AND LEFT EDGE LINE STRIPING AND ANY ADDITIONAL STRIPING AS REQUIRED BY CDOT S-627-1.
13. THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY DEVELOPMENT SERVICES (719) 520-6819 PRIOR TO AND UPON COMPLETION OF SIGNING AND STRIPING.
14. THE CONTRACTOR SHALL OBTAIN A WORK IN THE RIGHT OF WAY PERMIT FROM THE EL PASO COUNTY PUBLIC SERVICE DEPARTMENT (PSD) PRIOR TO ANY SIGNAGE OR STRIPING WORK WITHIN AN EXISTING EL PASO COUNTY ROADWAY.

1. ALL PAVING AND CURB & GUTTS SHALL BE CONSTRUCTED SO AS NOT TO OBSTRUCT THE DRAINAGE PATHS. GRADES SHALL BE MAINTAINED TO ALLOW FOR PROPER DRAINAGE TO DIRECT DRAINAGE PATHS. IF THIS CANNOT BE ACCOMPLISHED, THEN THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CORRECTION.
2. POSITIVE DRAINAGE AWAY FROM THE BUILDING SHALL BE MAINTAINED DURING AND AFTER SITE CONSTRUCTION. SWALES SHALL BE CONSTRUCTED AROUND BUILDINGS TO DIRECT DRAINAGE AWAY FROM STRUCTURES.
3. SITE CONSTRUCTION INCLUDING PAVING AND CURB & GUTTER INSTALLATION SHALL MAINTAIN POSITIVE DRAINAGE AS SHOWN ON THIS PLAN. STANDING WATER OR PONDING ANYWHERE ON THE SITE IS UNACCEPTABLE.
4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ENTIRE LENGTH OF THE WORK. THE OMISSION FROM THE PLANS OF ANY EXISTING UTILITIES LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NONEXISTENCE OF OR A DEFINITE LOCATION OF EXISTING UNDERGROUND UTILITIES.

1. THE MOST NORTHERLY CORNER OF THE SITE MONUMENTED BY A 1" YELLOW PLASTIC CAP STAMPED "23890."  
EL = 5865.58
2. THE MOST SOUTHERLY CORNER ALONG US HIGHWAY 85-87 BEING MONUMENTED BY A 1-1/2" ALUMINUM SURVEYORS CAP STAMPED "CCES  
LLC PLS 30118" LOCATED AT THE WESTERLY CORNER OF THE INTERSECTION OF WESTMARK AVENUE AND US HIGHWAY 85-87.  
EL = 5854.18

THE WEST LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M. BEING MONUMENTED AT THE NORTH END BY A 2-1/2" ALUMINUM SURVEYORS CAP WITH APPROPRIATE MARKINGS AND AT THE SOUTH END BY A 3-1/4" ALUMINUM SURVEYORS CAP WITH APPROPRIATE MARKINGS IS ASSUMED TO BEAR N00°44'35"W, A DISTANCE OF 1320.61 FEET.

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION, SAID DETAILED PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE CITY/COUNTY FOR DETAILED DRAINAGE PLANS AND SPECIFICATIONS, AND SAID DETAILED PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH THE MASTER PLAN OF THE DRAINAGE BASIN. SAID DETAILED PLANS AND SPECIFICATIONS MEET THE PURPOSES WHICH THE PARTICULAR DRAINAGE FACILITY(S) IS DESIGNED. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERROR OR OMISSIONS ON MY PART IN PREPARATION OF THE DETAILED PLANS AND SPECIFICATIONS.

ATE

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

ATE

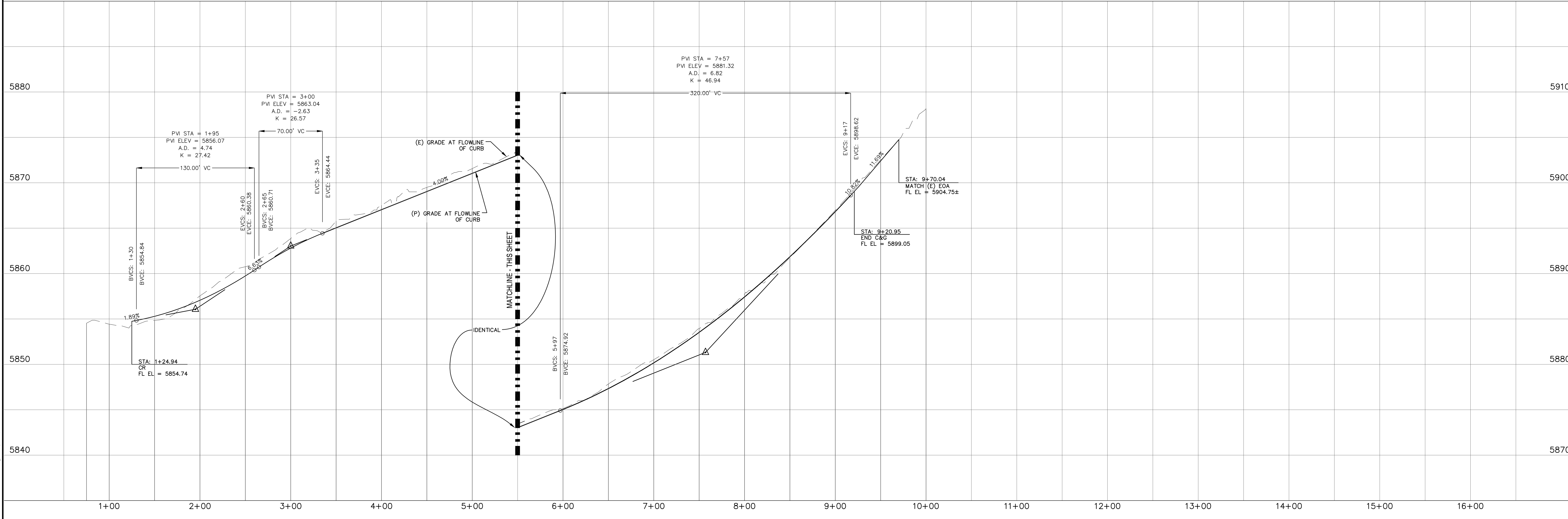
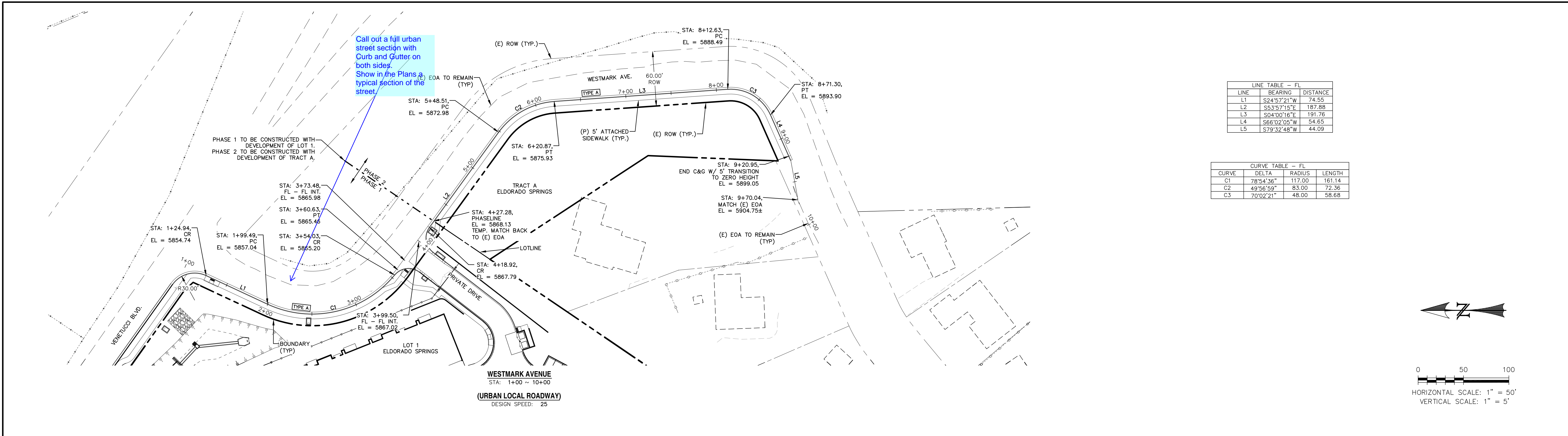
THE OWNER WILL COMPLY WITH THE REQUIREMENTS OF THE STREET IMPROVEMENT PLANS.

ATE

EXISTING	(E)	
PROPOSED	(P)	
FUTURE	(F)	
BEGIN TRANSITION	BT	
END TRANSITION	ET	
CURB RETURN	CR	
POINT ON CURVE	POC	
POINT ON CURB RETURN	POCR	
POINT OF REVERSE CURVATURE	PRC	
EDGE OF ASPHALT	EOA	
POINT OF CURVATURE	PC	
POINT OF TANGENCY	PT	
BOUNDARY		=====
RIGHT-OF-WAY		=====
LOT LINE		-----
EASEMENT		-----
(E) STORM SEWER		=====
(P) STORM SEWER, INLET, MH		=====

TITLE SHEET	S11	OF	5
STREET IMPROVEMENT PLAN - WESTMARK AVENUE	S12	OF	5
STREET IMPROVEMENT PLAN - VENETUCCI BOULEVARD	S13	OF	5
SIGNAGE & STRIPING PLAN - VENETUCCI BOULEVARD	S14	OF	5
SIGNAGE & STRIPING PLAN - WESTMARK AVENUE	S15	OF	5





REV.	DESCRIPTION	DATE



Know what's below.  
Call 72 hours before you dig.  
For more details visit:  
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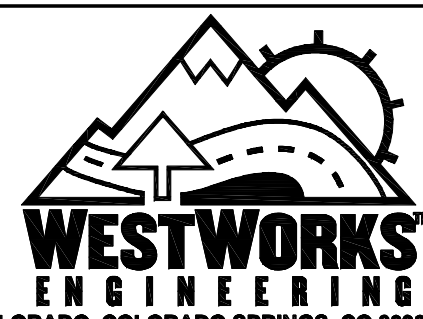
DESIGN DATA:

SIDEWALKS: WIDTH: LOCATION: ☐ Attached ☐ Detached  
DESIGN SPEED: ☐ 1 ☐ 2 ☐ 3 ☐ 4 ☐ 5  
CURB TYPE: ☐ FL-FL  
ROW WIDTH: ☐ FL-FL  
STREET TYPE: ☐ HMA ☐ BASE

PAVEMENT: TYPE: HMA ☐ BASE ☐  
THICKNESS: ☐ HMA ☐ BASE  
COMPOSITE SECTION: HMA ☐ BASE  
SUBGRADE STABILIZATION: CHEM. ☐ MECH. ☐  
TYPE ☐ THICKNESS

PREPARED FOR:  
ESH DEVELOPMENT, LLC  
5671 NORTH ORACLE ROAD  
SUITE #1102  
TUSCON, AZ 85704  
(520) 742-2114

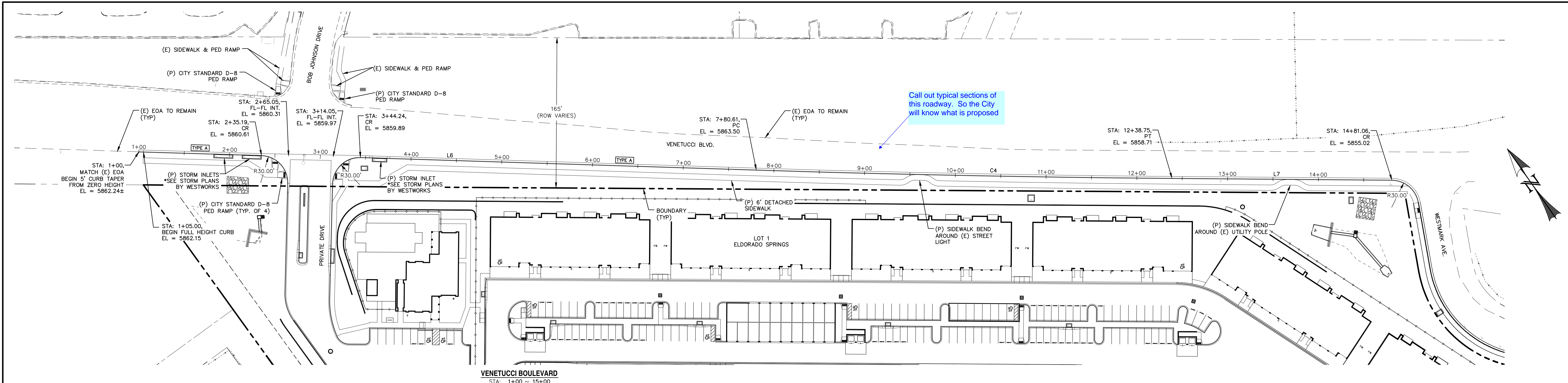
PREPARED UNDER MY DIRECT SUPERVISION FOR AND BEHALF OF  
WEST  
**NOT FOR CONSTRUCTION**  
CHAL



1023 W. COLORADO COLORADO SPRINGS, CO 80904 (719) 685-1670

ELDORADO SPRINGS	DESIGNED BY: MGP	DRAWN BY: CDK
STREET IMPROVEMENT PLANS WESTMARK AVENUE	SCALE: 1"=50'	DATE: 06/27/19
	JOB NUMBER: 91807	SHEET: SI2 OF 5





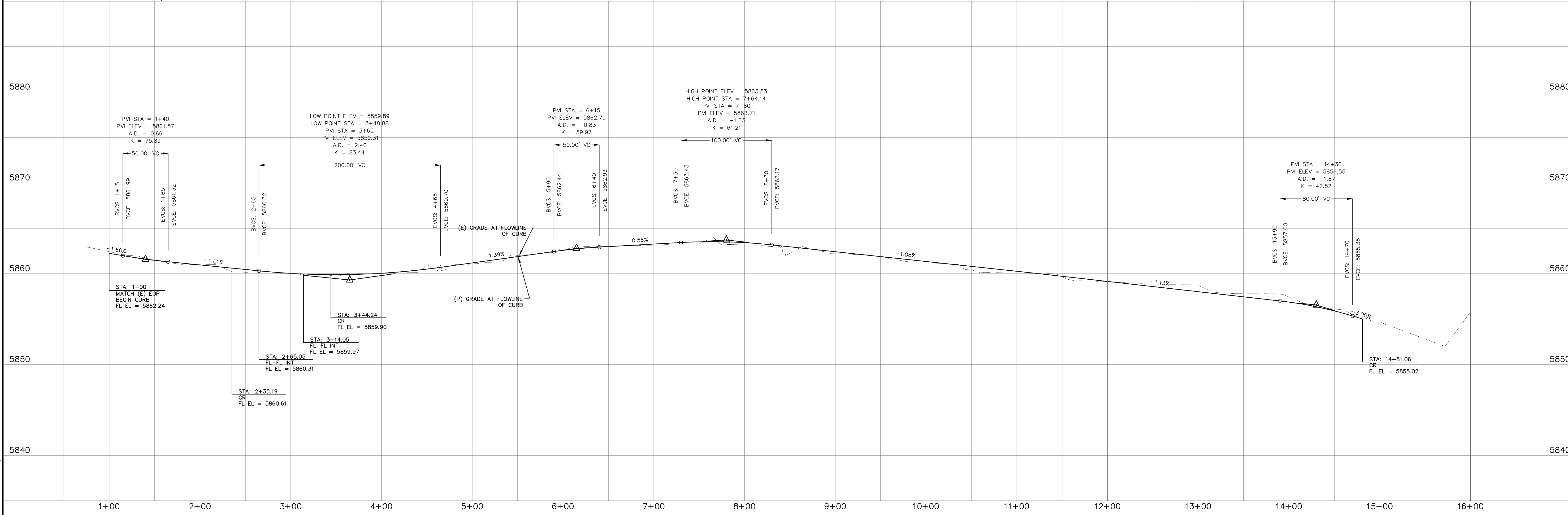


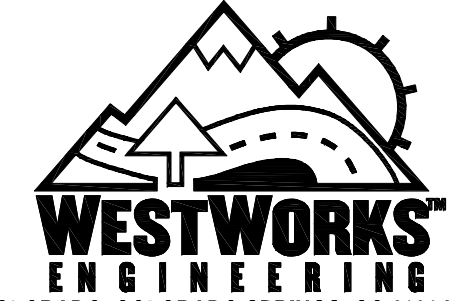
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LINE TABLE - FL			CURVE TABLE - FL			
LINE	BEARING	DISTANCE	CURVE	DELTA	RADIUS	LENGTH
L6	S53°18'36"E	680.61	C4	1°05'26"	24069.82	458.14
L7	S54°31'34"E	242.31				

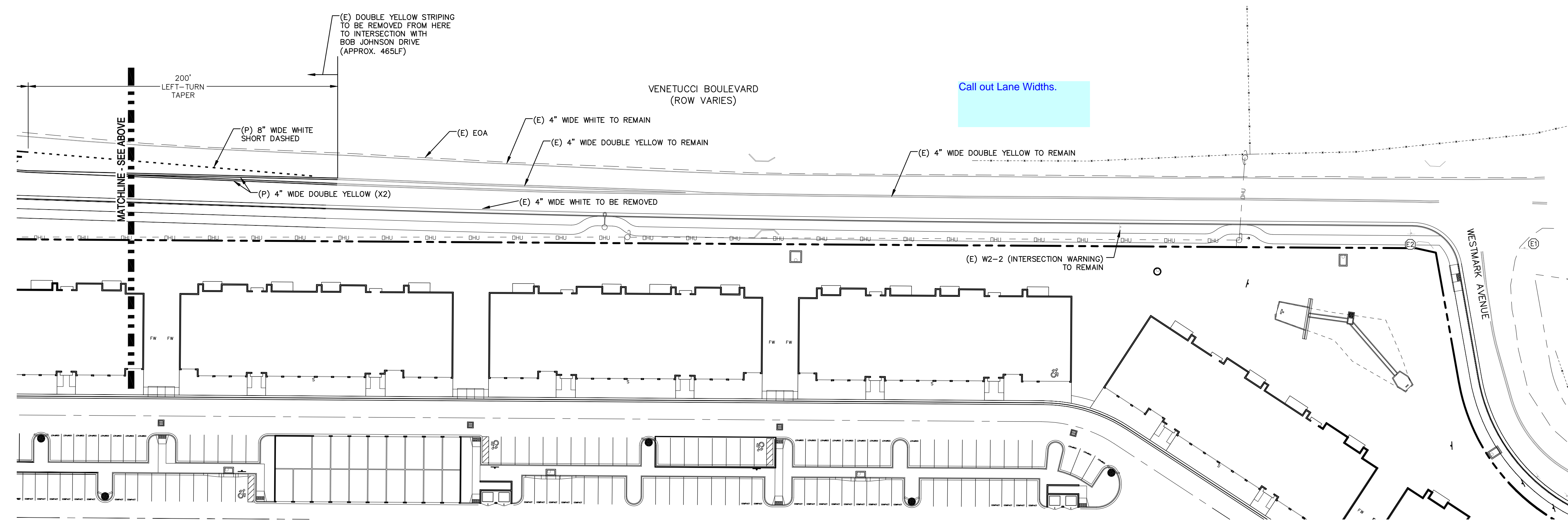
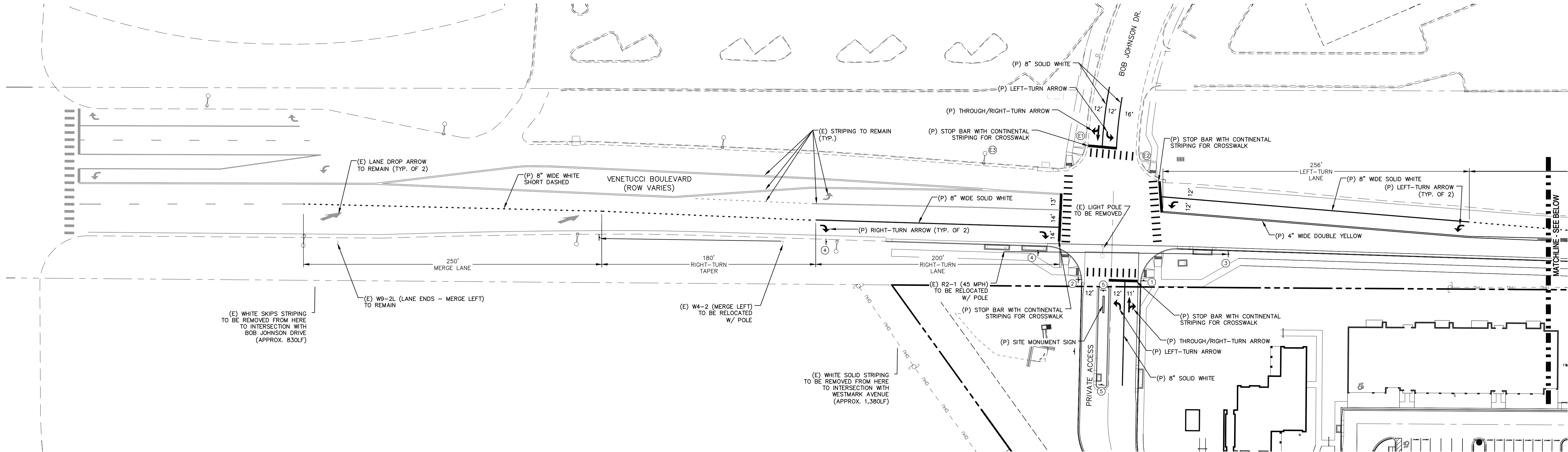


HORIZONTAL SCALE: 1" = 50'  
VERTICAL SCALE: 1" = 5'

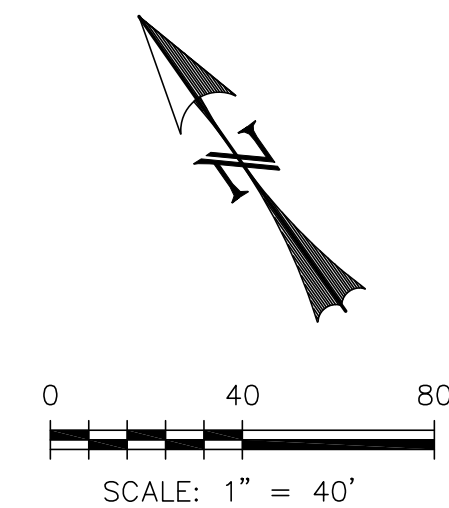


REV.	DESCRIPTION	DATE	REVIEW:	DESIGN DATA:	PAVEMENT:	PREPARED UNDER MY DIRECT SUPERVISION FOR AND BEHALF OF:	 <div>1023 W. COLORADO COLORADO SPRINGS, CO 80904 (719) 685-1670</div>	ELDORADO SPRINGS	DESIGNED BY: MGP	DRAWN BY: CDK
			STREET DESIGN FOR CITY ENGINEERING	SIDEWALKS: WIDTH: LOCATION: TYPE: THICKNESS:	TYPE: HMA <input type="checkbox"/> BASE <input type="checkbox"/>	WEST		SCALE: 1"=50'	DATE: 06/27/19	
			UTILITY GRADE REVIEW	DESIGN SPEED	COMPOSITE SECTION:	CHAC		JOB NUMBER	SHEET	
			CURB & GUTTER REVIEW	CURB TYPE: FL-FL	SUBGRADE STABILIZATION:			91807	SI3 OF 5	



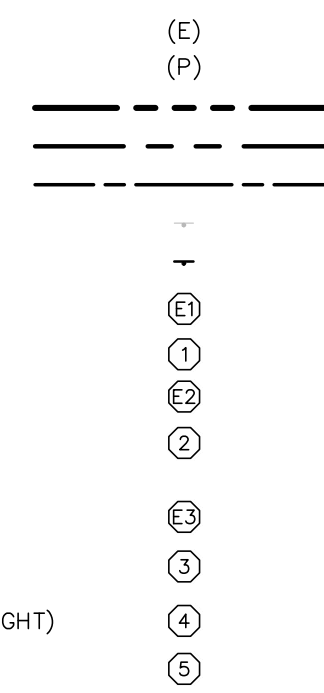


Call out Lane Widths.



**LEGEND**

- EXISTING
- PROPOSED
- BOUNDARY
- RIGHT-OF-WAY
- LOT LINE
- (E) SIGN
- (P) SIGN
- (E) R1-1 (STOP SIGN - 30"x30")
- (P) R1-1 (STOP SIGN - 30"x30")
- (E) D-3 (STREET NAME)
- (P) D-3 (STREET NAME)
- [6" HEIGHT; 4" LETTERING]
- (E) SPEED LIMIT SIGN (40 MPH)
- (P) SPEED LIMIT SIGN (45 MPH)
- (P) R3-7R (RIGHT LANE MUST TURN RIGHT)
- (P) R4-7R (KEEP RIGHT - MEDIAN)



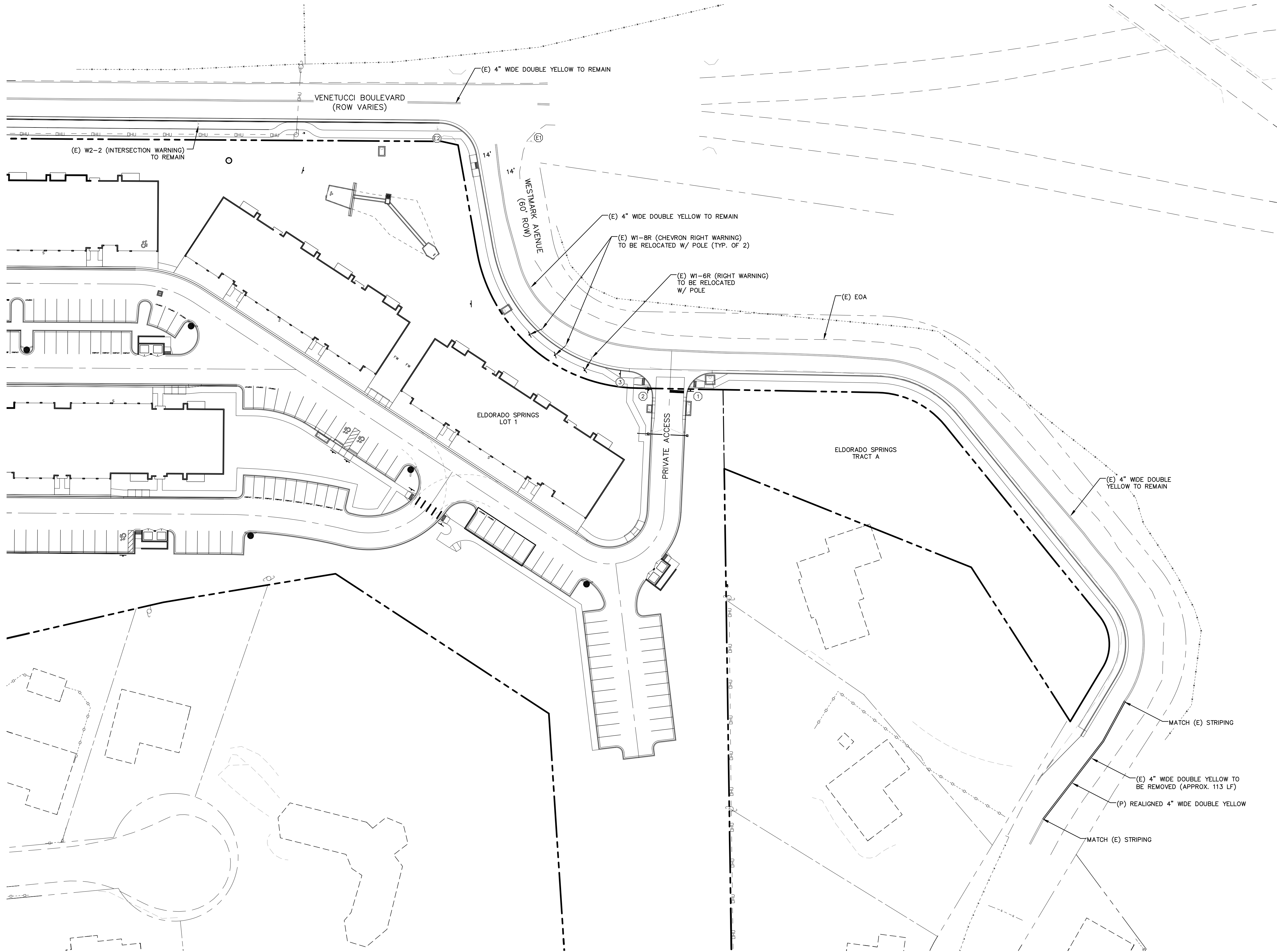
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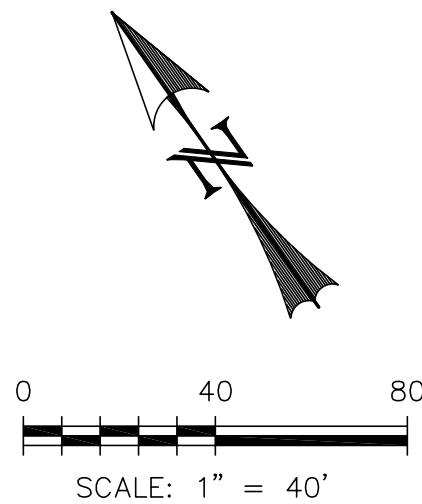
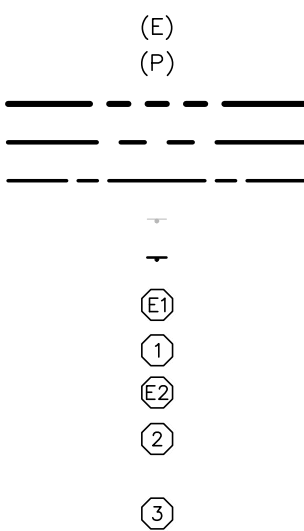


ELDERADO SPRINGS		DESIGNED BY: CDK	DRAWN BY: CDK
SIGNAGE & STRIPING PLAN VENETUCCI BOULEVARD		SCALE: 1" = 40'	DATE: 06/27/19
		JOB NUMBER	SHEET
		91807	SI4 OF 5



LEGEND

- EXISTING
- PROPOSED
- BOUNDARY
- RIGHT-OF-WAY
- LOT LINE
- (E) SIGN
- (P) SIGN
- (E) R1-1 (STOP SIGN - 30"x30")
- (P) R1-1 (STOP SIGN - 30"x30")
- (E) D-3 (STREET NAME)
- (P) D-3 (STREET NAME)
- [6" HEIGHT; 4" LETTERING]
- (P) SPEED LIMIT SIGN (25 MPH)



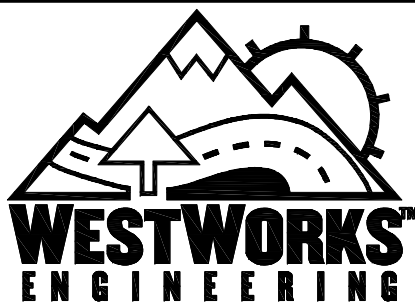
REV.	DESCRIPTION	DATE



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PREPARED UNDER MY DIRECT SUPERVISION FOR AND BEHALF OF  
WEST  
**NOT FOR CONSTRUCTION**  
CHAC



1023 W. COLORADO COLORADO SPRINGS, CO 80904 (719) 685-1670

ELDORADO SPRINGS		DESIGNED BY: CDK	DRAWN BY: CDK
SIGNAGE & STRIPING PLAN WESTMARK AVENUE		SCALE: 1" = 40'	DATE: 06/27/19
		JOB NUMBER 91807	SHEET S15 OF 5



The map illustrates the layout of Block 1, Strathmoor Hills Addition No. 5. Key features include:

- Lots and Subdivisions:** Lot 1 World Arena Subdivision No. 5, Lot 2 World Arena Subdivision Filing No. 3, and Lot 3 World Arena Subdivision Filing No. 6.
- Streets:** Chamberlin Pl., Venetucci Bl. No. 10, Westmark Ave., and Bob Johnson Dr.
- Ponds:** POND A and POND B.
- Other Labels:** UNPLATTED, SUBDIVISION OF TRACT B ABRAHAMSON'S STRATHMOOR HILLS, LOT 1 WORLD ARENA SUBDIVISION NO. 5, LOT 2 WORLD ARENA SUBDIVISION FILING NO. 3, LOT 3 WORLD ARENA SUBDIVISION FILING NO. 6, CHAMBERLIN PL., VENETUCCI BL. NO. 10, WESTMARK AVE., and BLOCK 1 STRATHMOOR HILLS ADDITION NO. 5.

A north arrow is located at the bottom right, pointing towards the top of the page. A scale bar at the bottom left indicates distances from 0 to 100 feet.

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- CONSTRUCTION MAY NOT COMMENCE UNTIL A CONSTRUCTION PERMIT IS OBTAINED FROM DEVELOPMENT SERVICES AND A PRECONSTRUCTION CONFERENCE IS HELD WITH DEVELOPMENT SERVICES INSPECTIONS.
2. STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFF SITE WATERS, INCLUDING WETLANDS.
3. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.
4. A SEPARATE STORMWATER MANAGEMENT PLAN (SWMP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. DURING CONSTRUCTION THE SWMP IS THE RESPONSIBILITY OF THE DESIGNATED STORMWATER MANAGER. SHALL BE LOCATED ON SITE AT ALL TIMES AND SHALL BE KEPT UP TO DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.
5. ONCE THE ESQCP HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL BMPs AS INDICATED ON THE GEC. A PRECONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY DSD INSPECTIONS STAFF.
6. SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 21 CALENDAR DAYS AFTER FINAL GRADING, OR FINAL GRADING HAS BEEN COMPLETED. ANY DISTURBED AREAS AND STORED MATERIALS WHICH ARE NOT AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN 30 DAYS SHALL ALSO BE MULCHED WITHIN 21 DAYS AFTER INTERIM GRADING. AN AREA THAT IS GOING TO REMAIN IN AN INTERIM STATE FOR MORE THAN 60 DAYS SHALL ALSO BE SEEDDED. ALL TEMPORARY SOIL EROSION CONTROL MEASURES AND BMPs SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND ESTABLISHED.
7. TEMPORARY SOIL EROSION CONTROL FACILITIES SHALL BE REMOVED AND EARTH DISTURBANCE AREAS GRADED AND STABILIZED WITH PERMANENT SOIL EROSION CONTROL MEASURES PURSUANT TO SUBDIVISION REGULATIONS, THE DRAINAGE CRITERIA MANUAL, THE DCM VOLUME II AND THE ENGINEERING CRITERIA MANUAL.
8. ALL PERSONS ENGAGED IN EARTH DISTURBANCE SHALL IMPLEMENT AND MAINTAIN ACCEPTABLE SOIL EROSION AND SEDIMENT CONTROL MEASURES INCLUDING BMPs IN CONFORMANCE WITH THE EROSION CONTROL TECHNICAL STANDARDS OF THE DRAINAGE CRITERIA MANUAL (DCM) VOLUME II AND IN ACCORDANCE WITH THE STORMWATER MANAGEMENT PLAN (SWMP).
9. ALL TEMPORARY EROSION CONTROL FACILITIES INCLUDING BMPs AND ALL PERMANENT FACILITIES INTENDED TO CONTROL EROSION OF ANY EARTH DISTURBANCE OPERATIONS, SHALL BE INSTALLED AS DEFINED IN THE APPROVED PLANS, THE SWMP AND THE DCM VOLUME II AND MAINTAINED THROUGHOUT THE DURATION OF THE EARTH DISTURBANCE OPERATION.
10. ANY EARTH DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY REDUCE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME.
11. ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE DESIGNED TO LIMIT THE DISCHARGE TO A NON-EROSIVE VELOCITY.
12. CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO RUNOFF TO STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
13. EROSION CONTROL BLANKETING SHALL BE USED ON SLOPES STEEPER THAN 3:1.
14. BUILDING, CONSTRUCTION, EXCAVATION, OR OTHER WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. BMPs MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.
15. VEHICLE TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFFSIDE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL. IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
17. THE OWNER, SITE DEVELOPER, CONTRACTOR, AND/OR THEIR AUTHORIZED AGENTS SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, AND GRAVEL THAT MAY ACCUMULATE IN THE STORM DRAINAGE OR OTHER DRAINAGE CONVEYANCE SYSTEM AND STORMWATER APPOINTMENTS AS A RESULT OF SITE DEVELOPMENT.
18. THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.
19. NO CHEMICALS ARE TO BE USED BY THE CONTRACTOR, WHICH HAVE THE POTENTIAL TO BE RELEASED IN STORMWATER UNLESS PERMISSION FOR THE USE OF A SPECIFIC CHEMICAL IS GRANTED IN WRITING BY THE ECM ADMINISTRATOR. IN GRANTING THE USE OF SUCH CHEMICALS, SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
20. BULK STORAGE STRUCTURES FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE ADEQUATE PROTECTION SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
21. NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE FLOW LINE OF THE CURB AND GUTTER OR IN THE DITCHLINE.
22. INDIVIDUALS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS), AND THE "CLEAN WATER ACT" (33 USC 1344), IN ADDITION TO THE REQUIREMENTS INCLUDED IN THE DCM VOLUME II AND THE ECM APPENDIX I. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (MPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.). IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, OR COUNTY AGENCIES, THE MORE RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
23. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
24. PRIOR TO ACTUAL CONSTRUCTION THE PERMITTEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.
25. A WATER SOURCE SHALL BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
26. THE SOILS REPORT FOR THIS SITE HAS BEEN PREPARED BY ENTECH ENGINEERING AND SHALL BE CONSIDERED A PART OF THESE PLANS.

1. ALL PAVING AND CURBS & GUTTS SHALL BE CONSTRUCTED SO AS NOT TO OBSTRUCT THE DRAINAGE PATHS. GRADES SHALL BE MAINTAINED AS SHOWN IN THESE PLANS FOR THE DRAINAGE PATHS. IF THIS CANNOT BE ACCOMPLISHED, THEN THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CORRECTION.
2. POSITIVE DRAINAGE AWAY FROM THE BUILDING SHALL BE MAINTAINED DURING AND AFTER SITE CONSTRUCTION. SWALES SHALL BE CONSTRUCTED AROUND BUILDINGS TO DIRECT DRAINAGE AWAY FROM STRUCTURES.
3. SITE CONSTRUCTION INCLUDING PAVING AND CURB & GUTTER INSTALLATION SHALL MAINTAIN POSITIVE DRAINAGE AS SHOWN ON THIS PLAN. STANDING WATER OR PONDING ANYWHERE ON THE SITE IS UNACCEPTABLE.
4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WORK. THE OMISSION FROM OR THE INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE EXISTENCE OR NON-EXISTENCE OF SUCH UTILITIES IN THE SUBGRADE OR BELOW.

1. THE MOST NORTHERLY CORNER OF THE SITE MONUMENTED BY A 1" YELLOW PLASTIC CAP STAMPED "23890."  
EL = 5865.58
2. THE MOST SOUTHERLY CORNER ALONG US HIGHWAY 85-87 BEING MONUMENTED BY A 1-1/2" ALUMINUM SURVEYORS CAP STAMPED "CCES LLC PLS 30118" LOCATED AT THE WESTERLY CORNER OF THE INTERSECTION OF WESTMARK AVENUE AND US HIGHWAY 85-87.  
EL = 5854.18

THE WEST LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M. BEING MONUMENTED AT THE NORTH END BY A 2-1/2" ALUMINUM SURVEYORS CAP WITH APPROPRIATE MARKINGS AND AT THE SOUTH END BY A 3-1/4" ALUMINUM SURVEYORS CAP WITH APPROPRIATE MARKINGS IS ASSUMED TO BEAR N00°44'35"W, A DISTANCE OF 1320.61 FEET.

STRATMOOR HILLS FIRE PROTECTION DISTRICT  
2160 B STREET  
COLORADO SPRINGS, CO 80906  
DOTTIE BARRETT (719) 576-1200



## OWNER NAME:

EXISTING	(E)
PROPOSED	(P)
CURB AND GUTTER	C&G
EASEMENT	ESMT
BUILDING	BLDG
DRAINAGE	DR
PUBLIC	PUB
PRIVATE	PVT
UNDERGROUND	UG
UTILITY	UT
SANITARY	SAN
SEWER	SWR
WATER	WTR
BOUNDARY	---
RIGHT-OF-WAY	---
LOT LINE	---
EASEMENT	---
SETBACK	---
(E) SANITARY MAIN, MH	--- S --- S --- S ---
(E) WATER MAIN, VALVE, FH	--- W --- W --- W ---
(E) UG ELECTRIC	--- E --- E --- E ---
(E) FIBER OPTIC	--- FO --- FO --- FO ---
(E) GAS MAIN	--- G --- G --- G ---
(E) OVERHEAD UTILITY	--- OHU --- OHU --- OHU ---
(E) UG TELEPHONE	--- T --- T --- T ---
(E) STORM SEWER	--- S --- S --- S ---
(P) SANITARY MAIN, MH	--- S --- S --- S ---
(P) WATER MAIN, VALVE, FH	--- W --- W --- W ---
(P) FIRE SERVICE, VALVE	--- F --- F --- F ---
(P) STORM SEWER, MH	--- S --- S --- S ---

TITLE SHEET	S71 OF 9
STORM SEWER PLAN & PROFILES [PRIVATE]	S72 OF 9
STM-01, STM-02, STM-03, & STM-03A	S73 OF 9
STM-04, STM-05, & STM-06	S74 OF 9
STM-06, STM-06A, & STM-06B	S75 OF 9
STORM SEWER PLAN & PROFILES [PUBLIC]	
STM-01	S75 OF 9
STM-02	S76 OF 9
PERMANENT BMP POND A PLAN	S77 OF 9
PERMANENT BMP POND B PLAN	S78 OF 9
DETAIL SHEET	S79 OF 9



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(520) 742-2114

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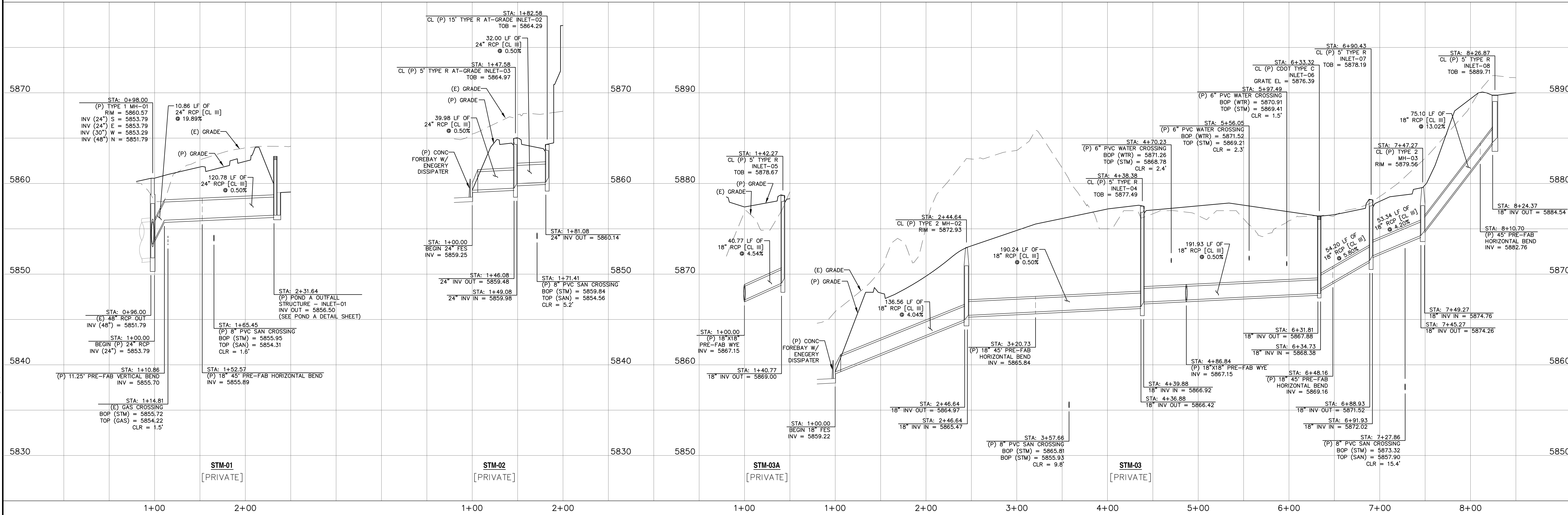
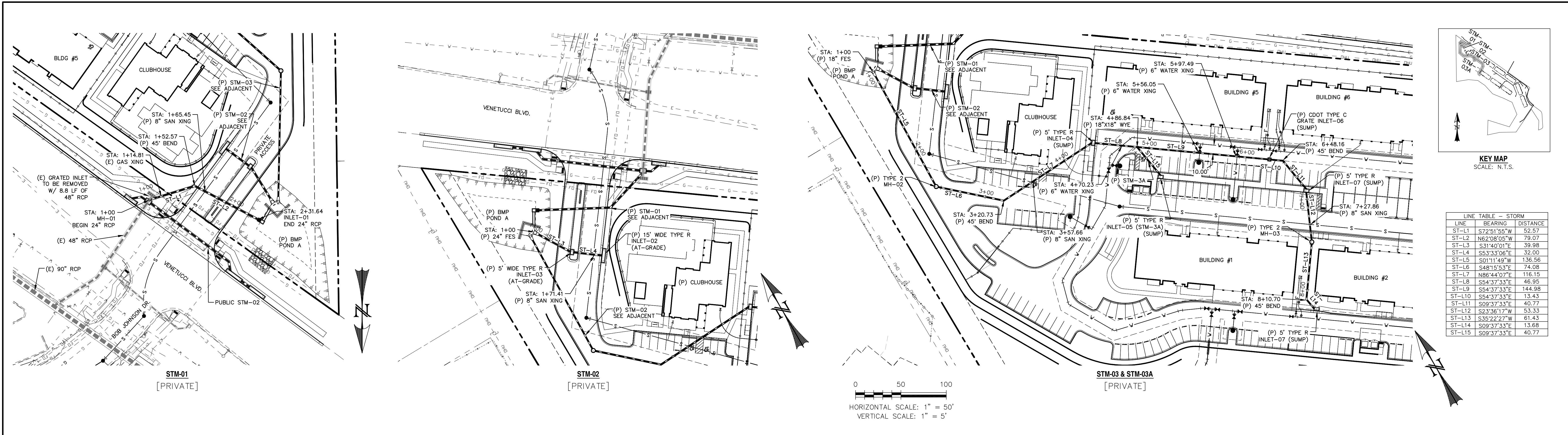
ELDORADO SPRINGS

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STORM SEWER PLAN & PROFILES  
TITLE SHEET

DESIGNED BY: MGP	DRAWN BY: MGP
SCALE: 1"=200'	DATE: 06/27/19
JOB NUMBER	SHEET
91807	ST1 OF 9





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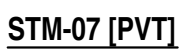
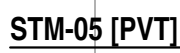
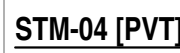
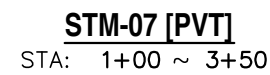
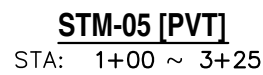
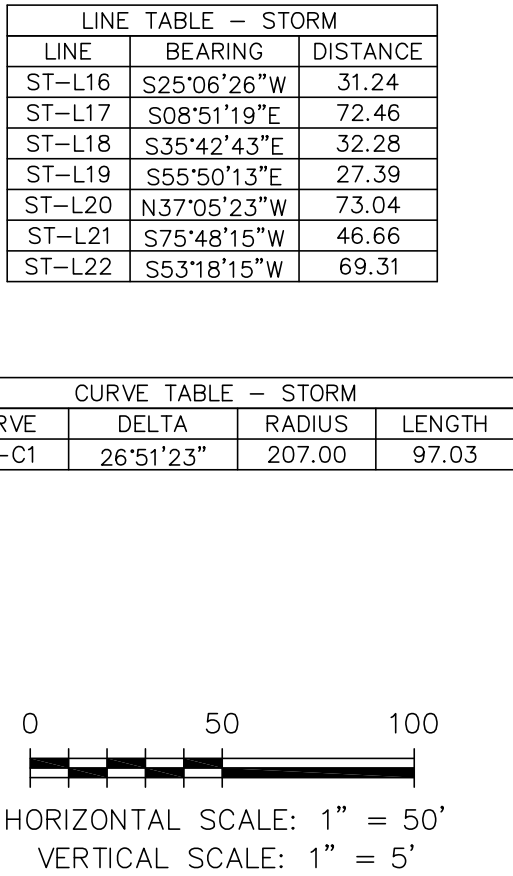
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STORM SEWER PLAN & PROFILES  
STM-01, STM-02, STM-03, & STM-03A

DESIGNED BY:	MGP	DRAWN BY:	CDK
SCALE:	1"=50'	DATE:	06/27/19
JOB NUMBER	91807	SHEET	ST2 OF 9

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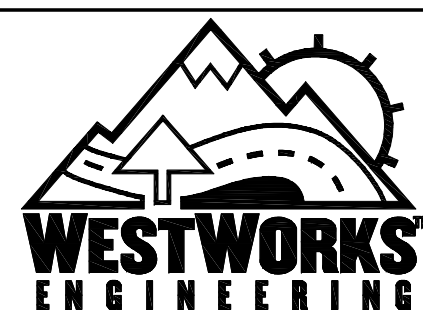
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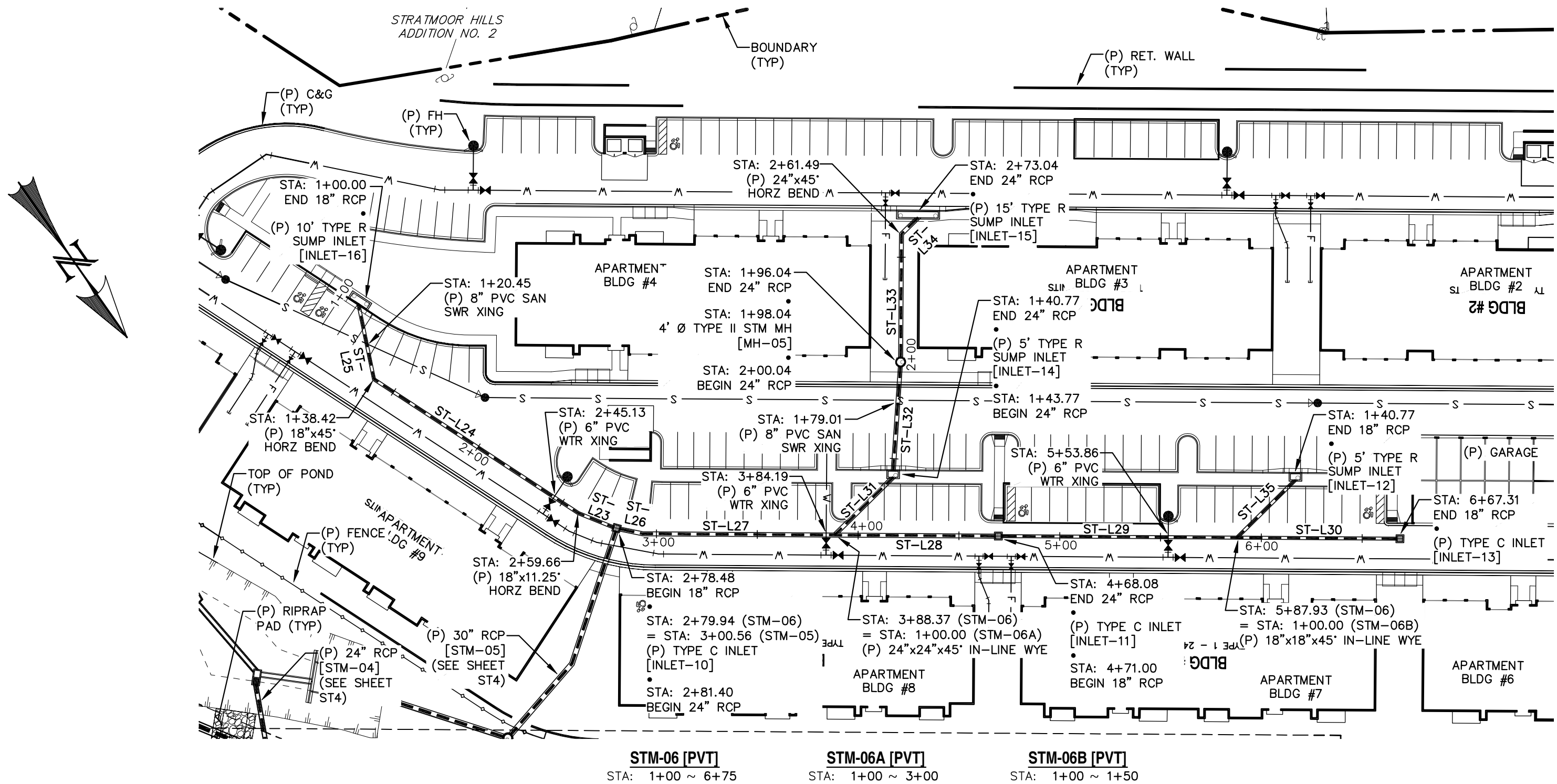
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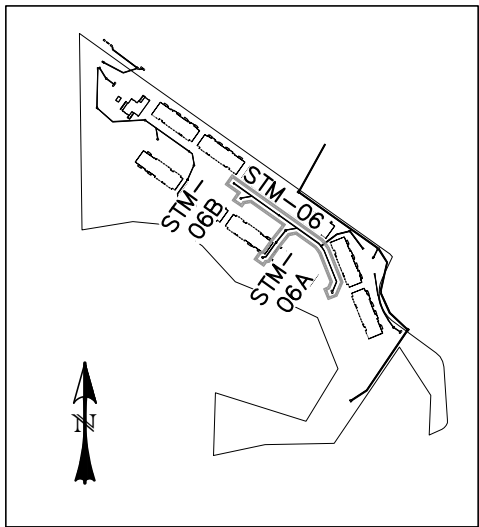
STORM SEWER PLAN & PROFILES  
STM-04, STM-05, & STM-07

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JOB NUMBER	SHEET
91807	ST3 OF 9



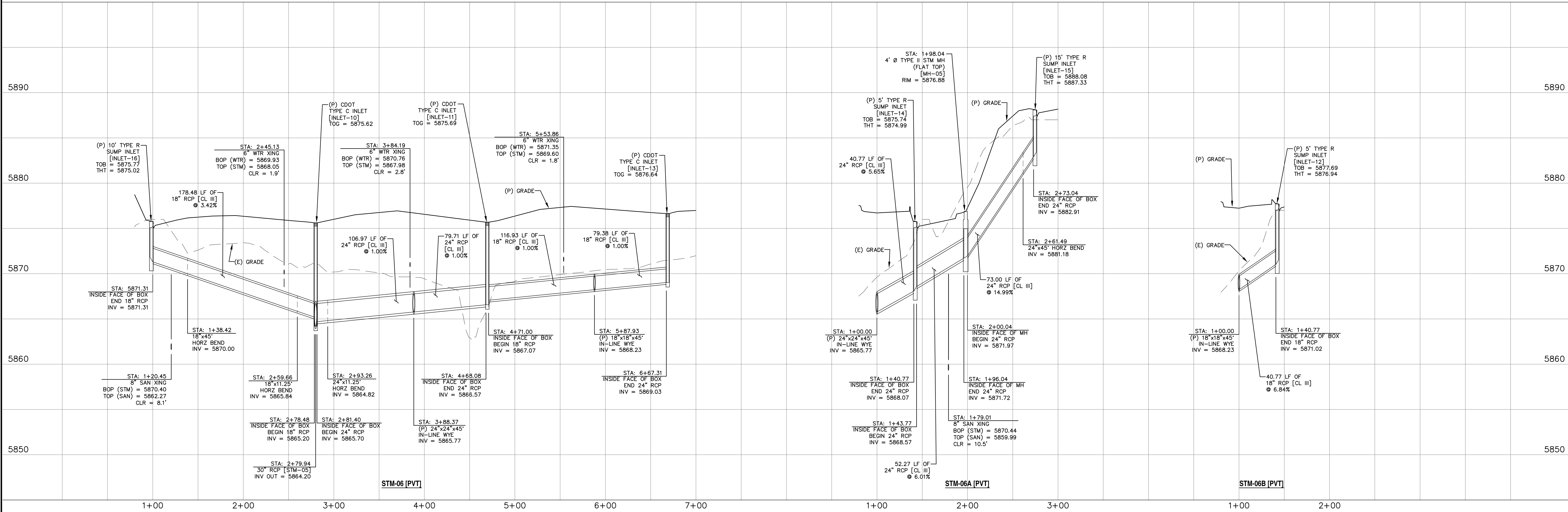


LINE TABLE - STORM		
LINE	BEARING	DISTANCE
ST-L23	S33°01'15"E	18.82
ST-L24	S21°46'15"E	121.24
ST-L25	S23°13'45"W	38.42
ST-L26	N43°22'33"W	11.86
ST-L27	N54°37'33"W	95.11
ST-L28	N54°37'33"W	79.71
ST-L29	N54°37'33"W	116.93
ST-L30	N54°37'33"W	79.38
ST-L31	S80°22'27"W	40.77
ST-L32	S38°53'49"W	52.27
ST-L33	S35°22'27"W	61.44
ST-L34	S80°22'27"W	11.55
ST-L35	S80°22'27"W	40.77



KEY MAP  
SCALE: N.T.S.

0 50 100  
HORIZONTAL SCALE: 1" = 50'  
VERTICAL SCALE: 1" = 5'



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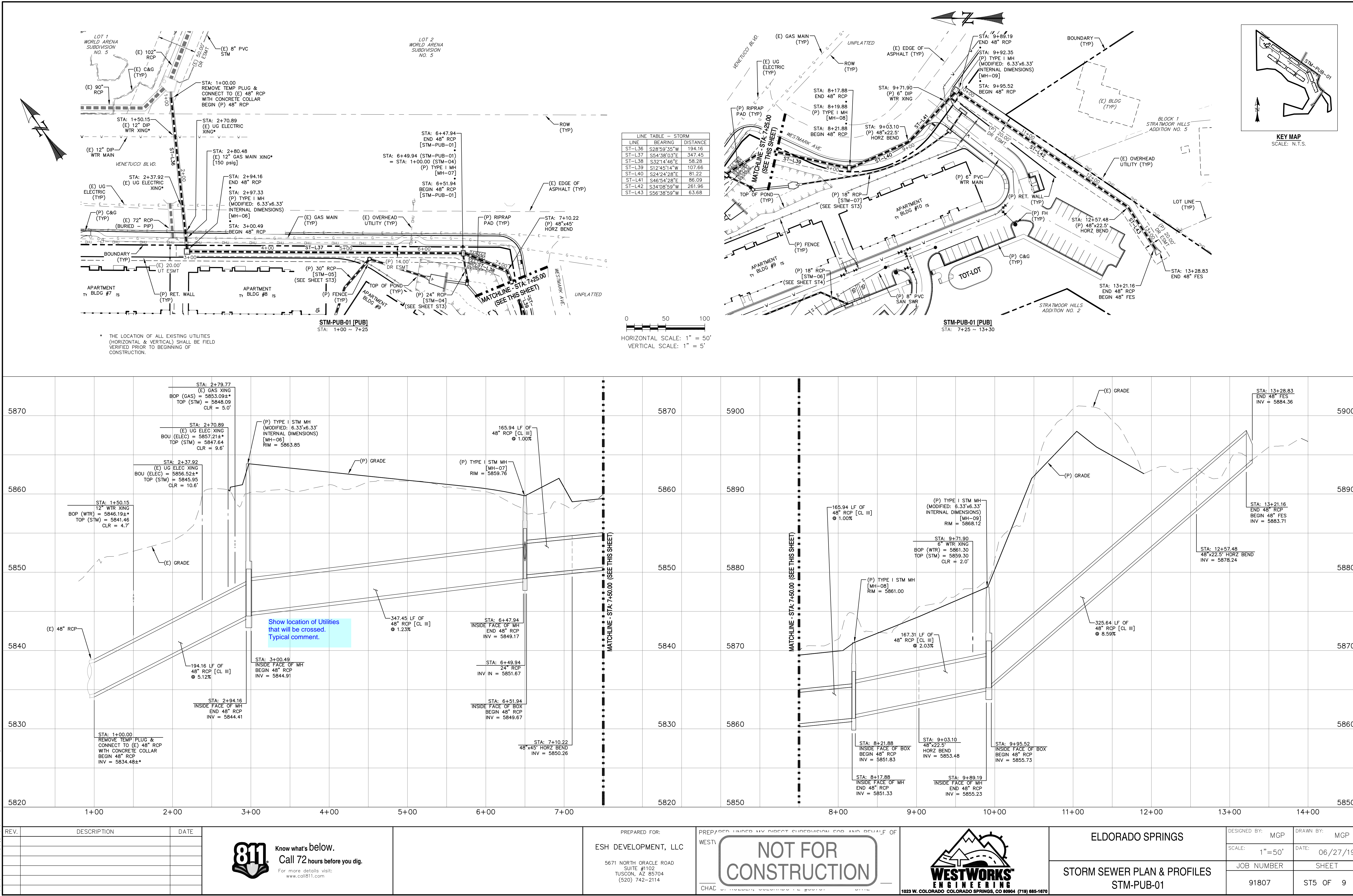
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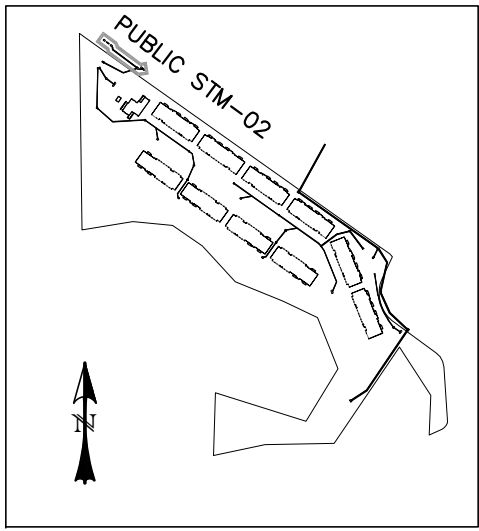
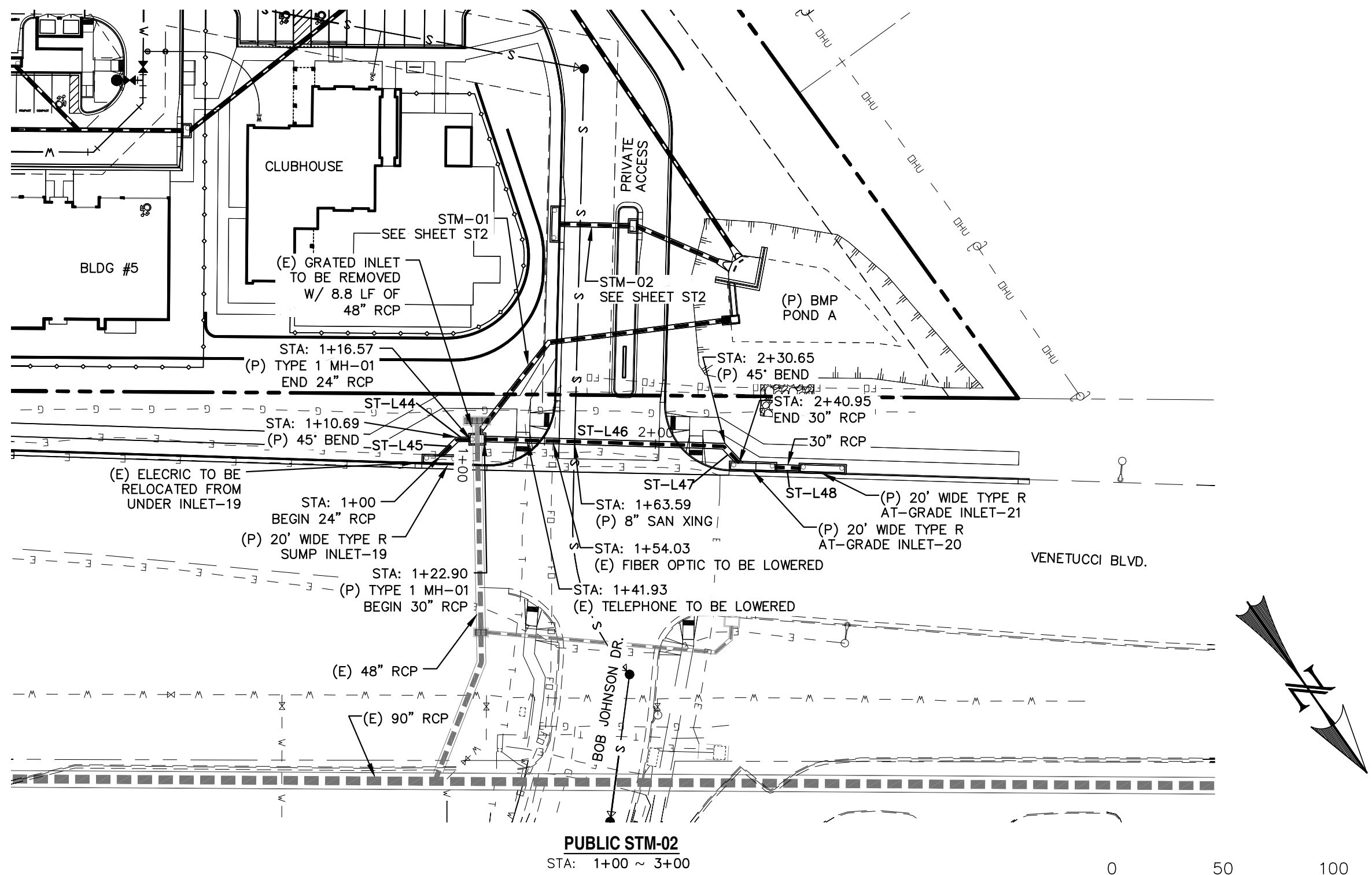
ELDORADO SPRINGS  
STORM SEWER PLAN & PROFILES  
STM-06, STM-06A, & STM-06B

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SCALE: 1"=50'	DATE: 06/27/19
JOB NUMBER: 91807	SHEET: ST4 OF 9









KEY MAP  
SCALE: N.T.S.

LINE TABLE - STORM		
LINE	BEARING	DISTANCE
ST-L44	S56°06'50"E	5.87
ST-L45	N80°32'59"E	10.69
ST-L46	N53°16'45"W	107.76
ST-L47	N08°16'45"W	10.30
ST-L48	N53°16'45"W	11.34

0 50 100  
HORIZONTAL SCALE: 1" = 50'  
VERTICAL SCALE: 1" = 5'



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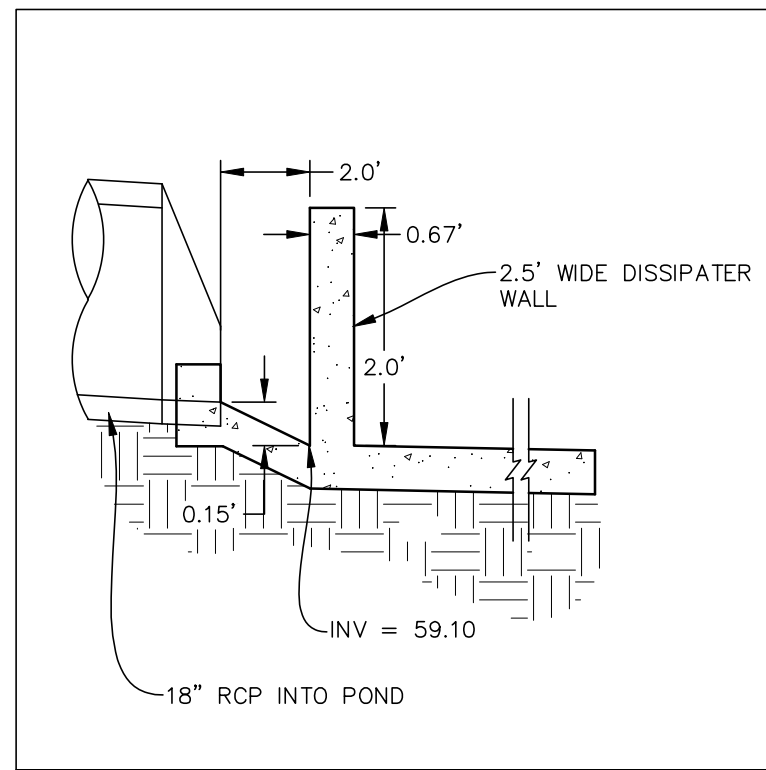


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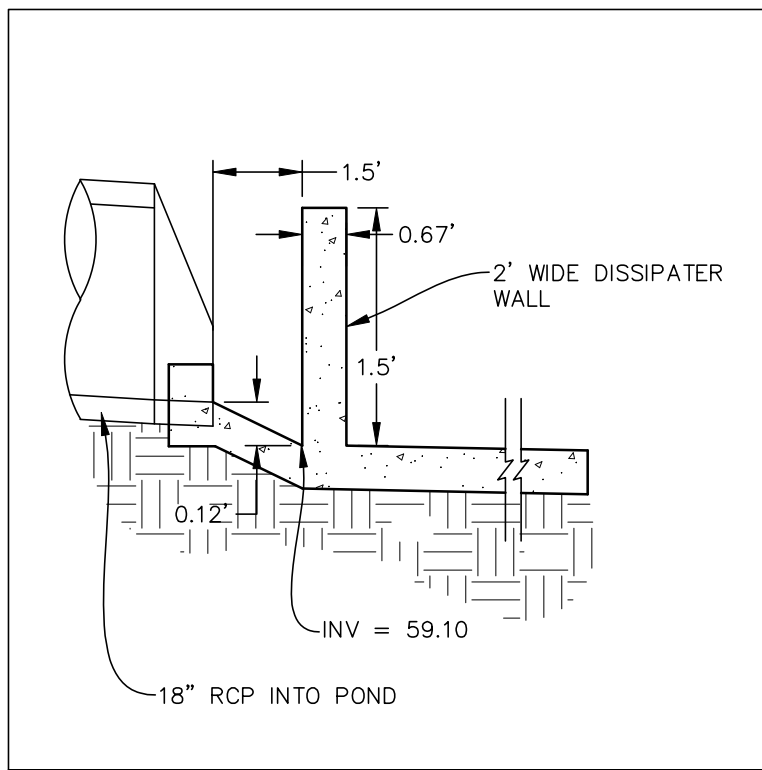
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STORM SEWER PLAN & PROFILES  
PUBLIC STM-02

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JOB NUMBER: 91807	SHEET: ST6 OF 9

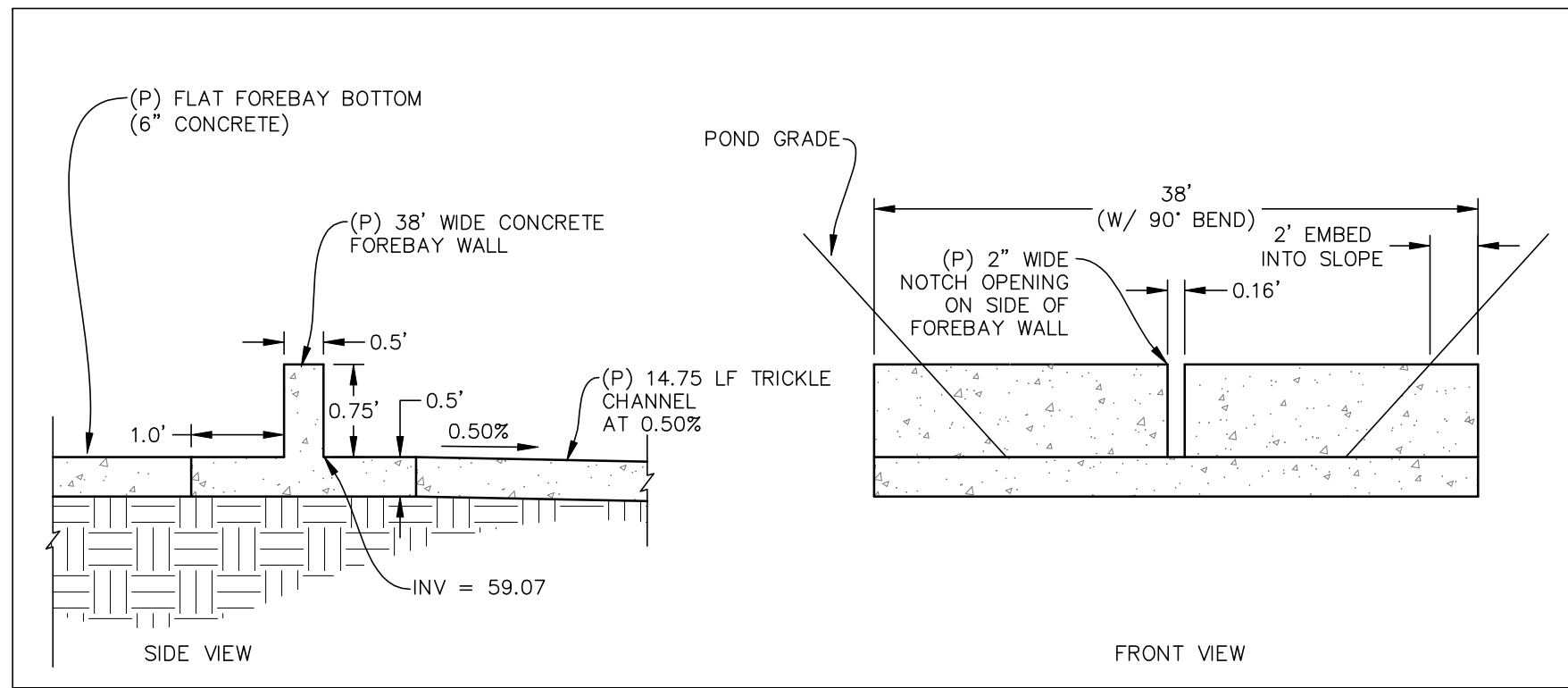




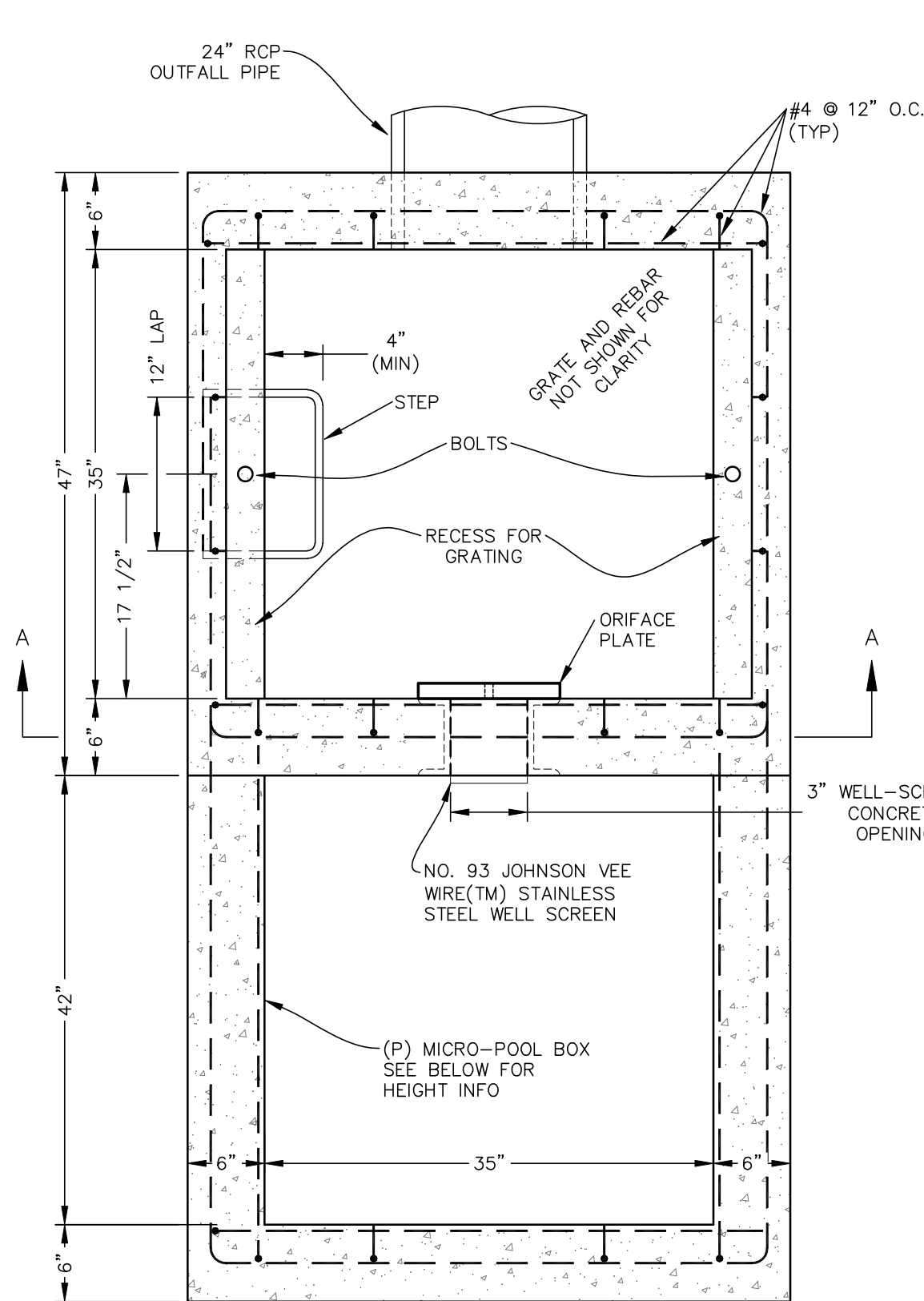
FOREBAY DISSIPATER STM-02  
SCALE: N.T.S.



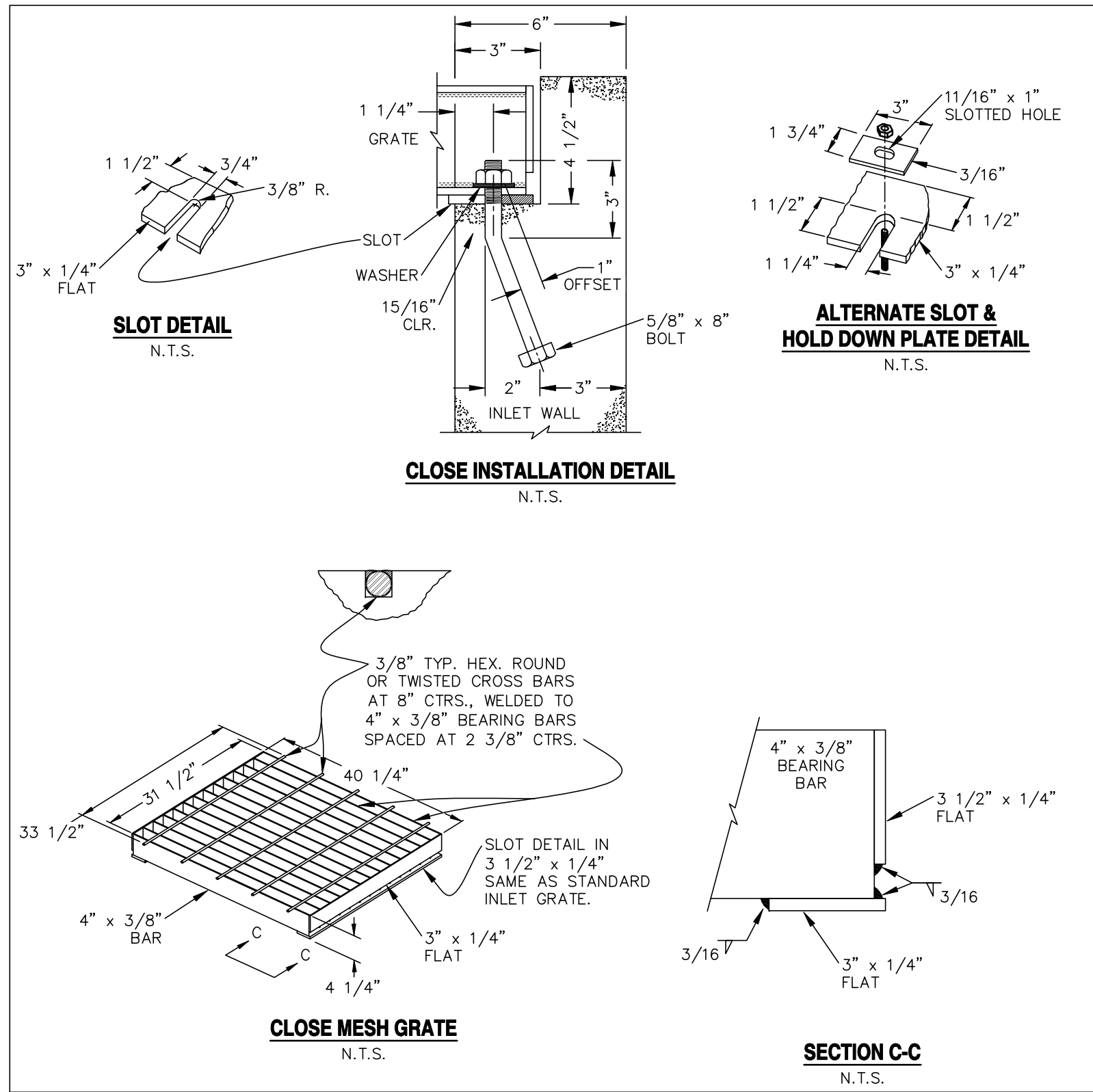
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SCALE: N.T.S.



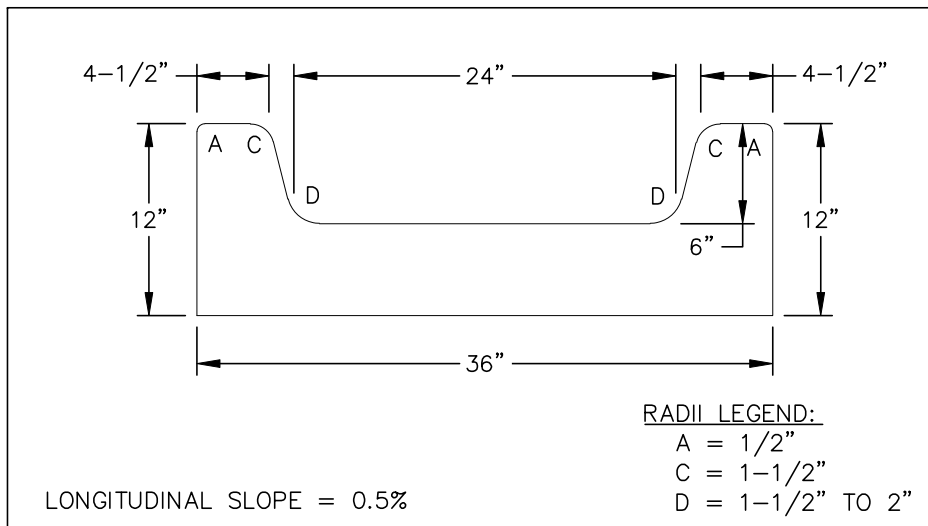
FOREBAY WALL DETAILS  
SCALE: N.T.S.



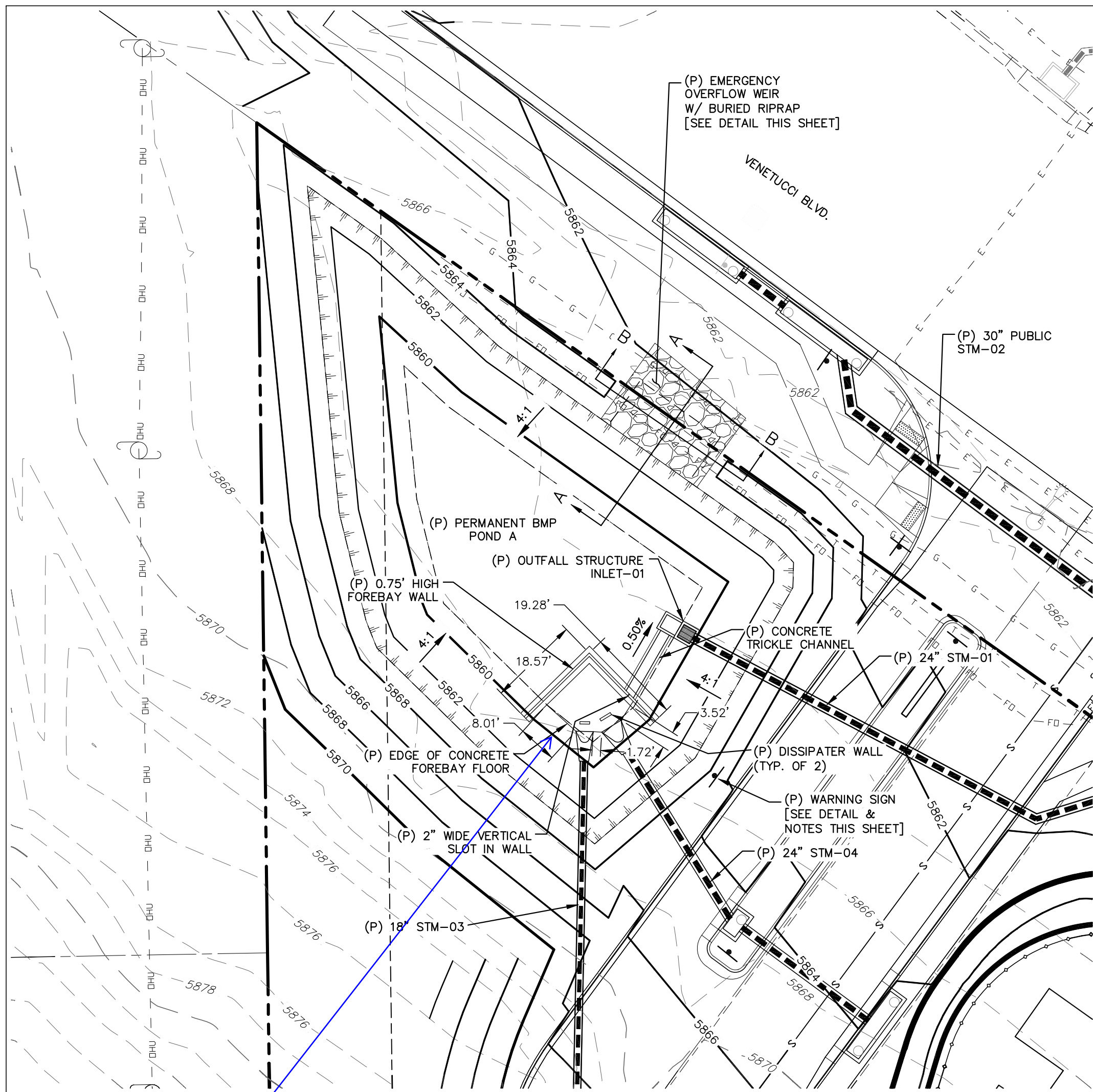
PLAN VIEW  
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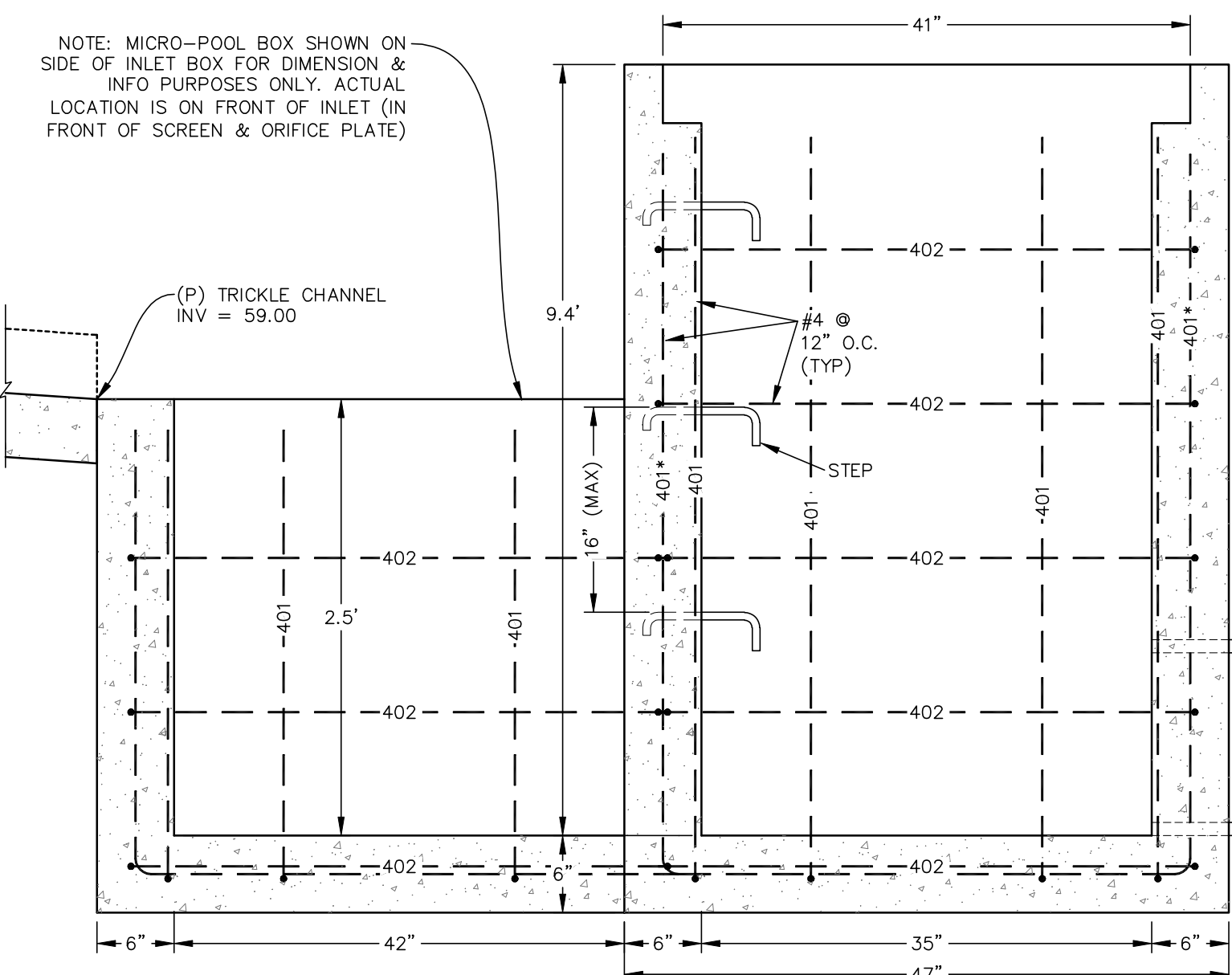
CDOT MESH GRATE DETAILS  
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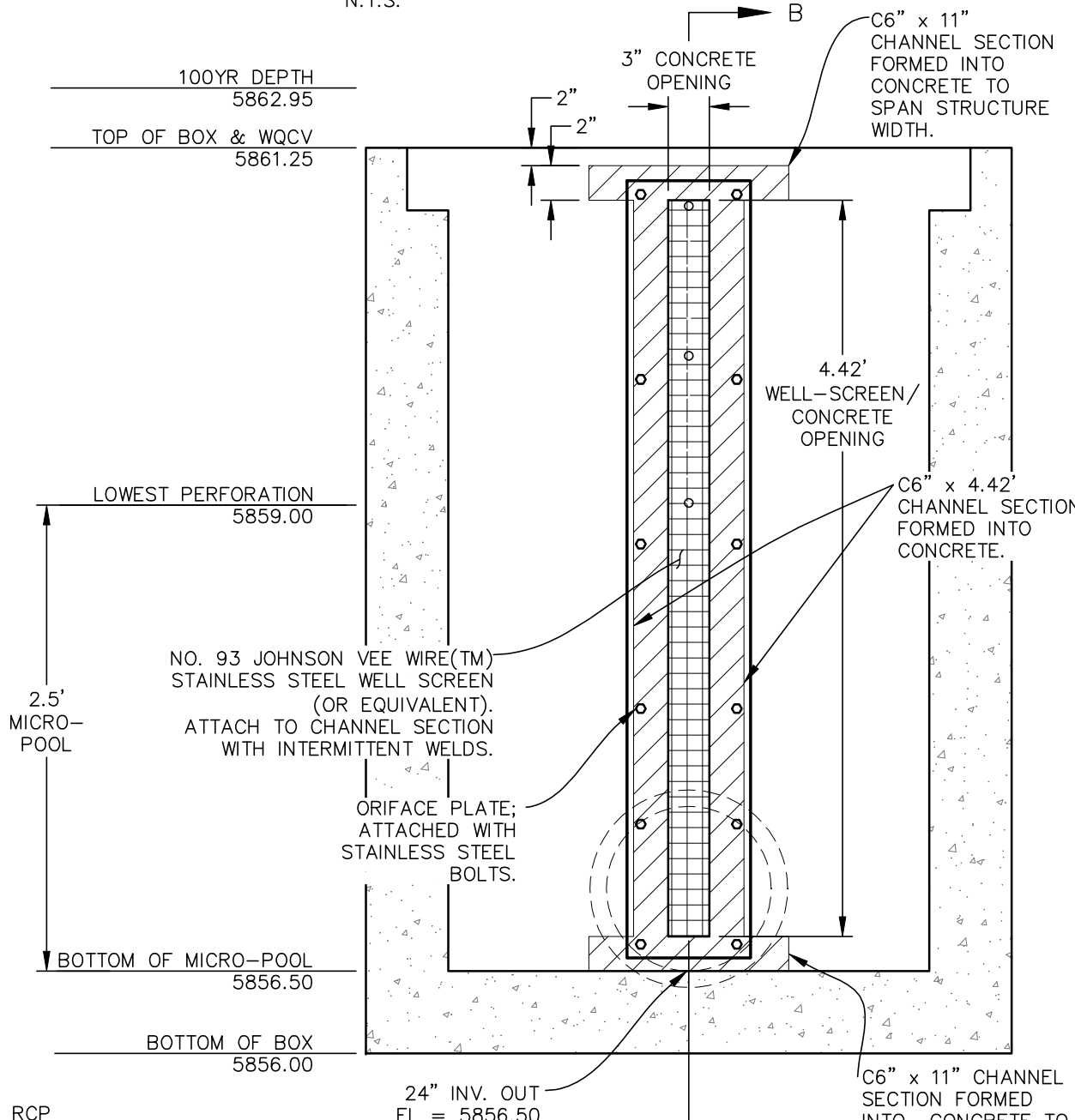
CONCRETE TRICKLE CHANNEL  
SCALE: N.T.S.



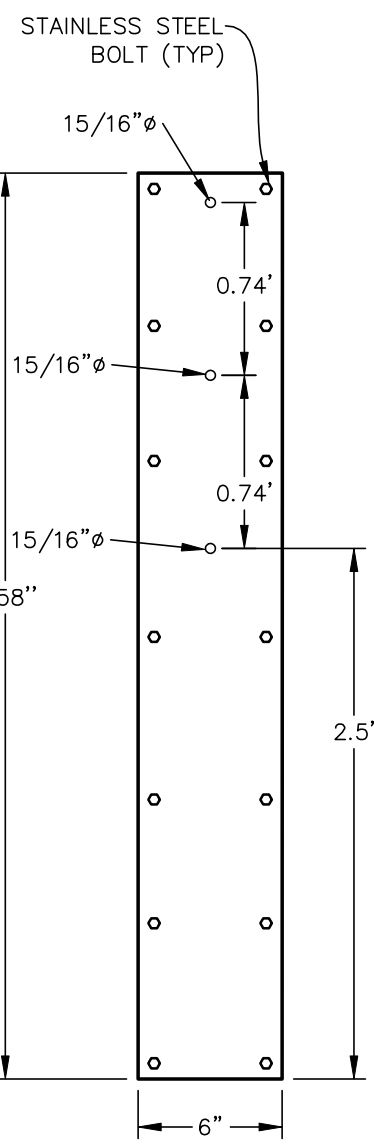
POND A  
SCALE: 1" = 20'



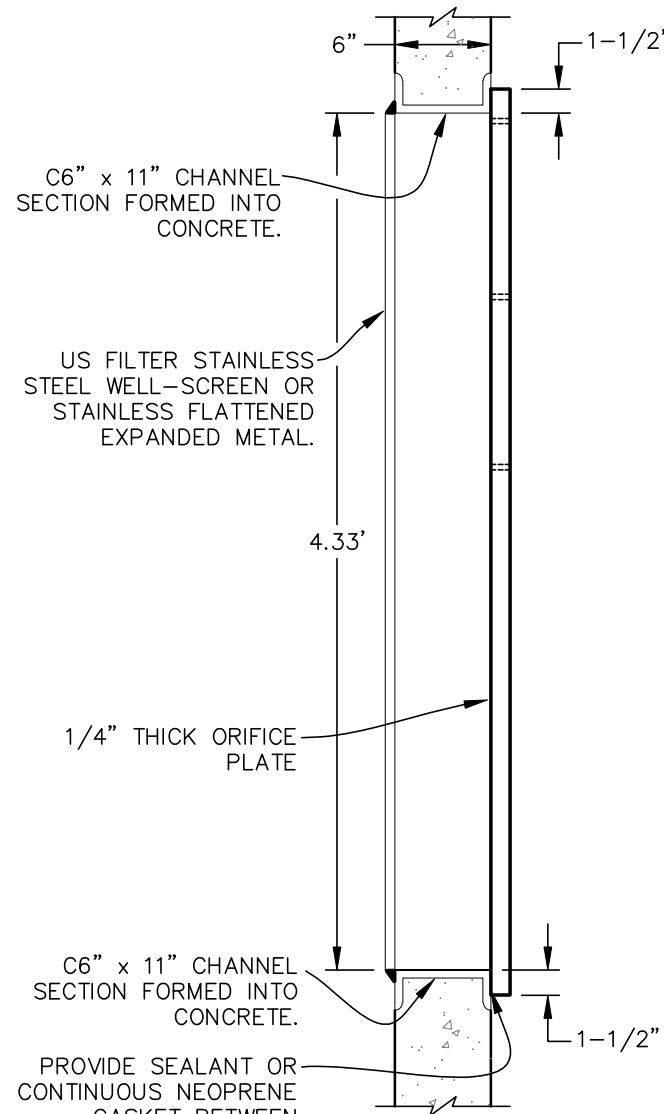
ELEVATION  
N.T.S.



SECTION A-A  
N.T.S.



ORIFICE PLATE  
N.T.S.



SECTION B-B  
N.T.S.

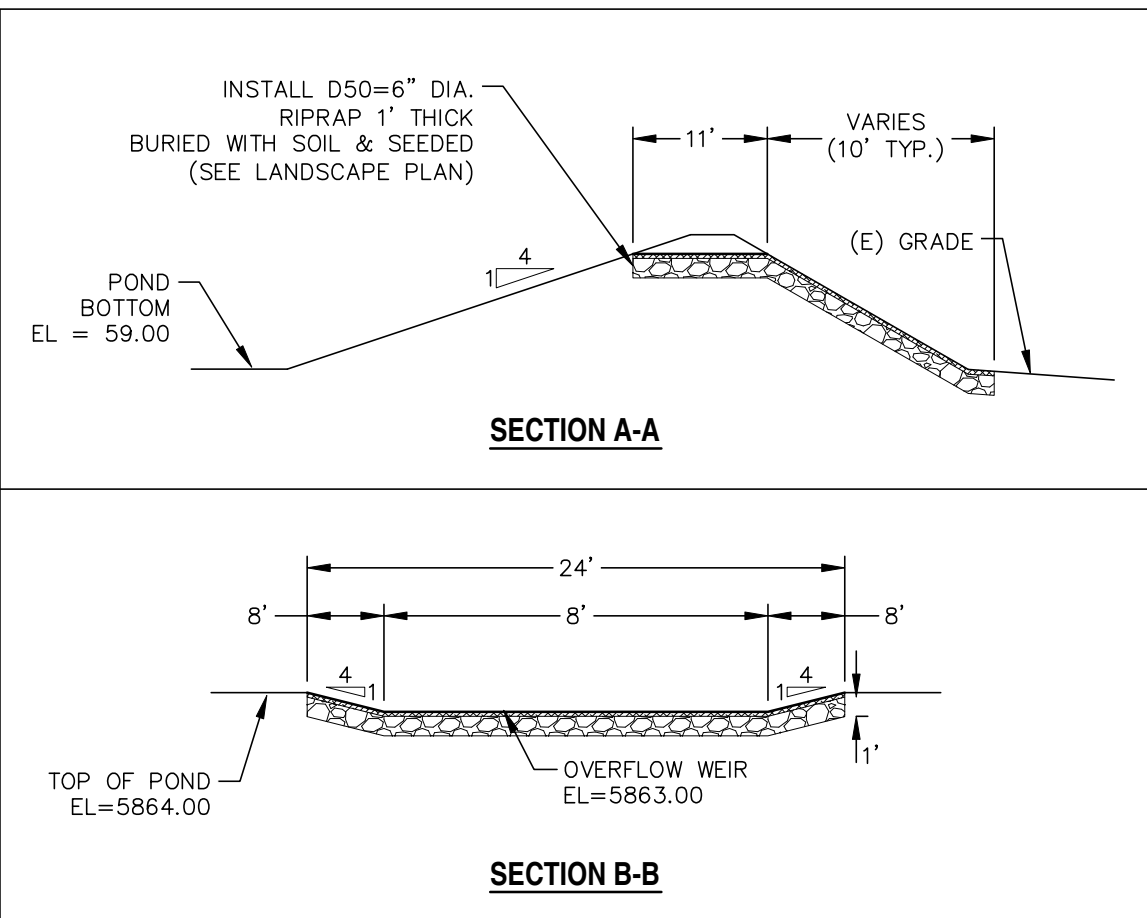
CDOT GENERAL NOTES:

1. CONCRETE SHALL BE CLASS B. INLET MAY BE CAST-IN-PLACE OR PRECAST.
  2. REINFORCING BARS SHALL HAVE A MINIMUM 2 IN. CLEARANCE.
  3. CONCRETE SLOPE AND DITCH PAVING SHALL CONFORM TO SECTION 507. REINFORCEMENT FOR CONCRETE SLOPE PAVING SHALL BE 6 X 6 - W14 X W14 OR 6 X 6 - W21 X W21.
  4. STRUCTURAL STEEL FOR GRATES AND GRATE INSTALLATION HARDWARE SHALL BE GALVANIZED AND SHALL BE IN ACCORDANCE WITH 712.06.
  5. THE STANDARD INLET GRATES SHALL BE USED ON ALL TYPE C INLETS UNLESS CLOSE MESH GRATES ARE SPECIFIED ON THE PLANS.
  6. STEPS SHALL BE PROVIDED WHEN INLET DIMENSION "H" EXCEEDS 3 FT.-6 IN. AND SHALL BE IN ACCORDANCE WITH AASHTO M 199.
  7. SEE SHEET M-604-11, INLET, TYPE D, FOR REINFORCEMENT AROUND THE PIPE OPENING.
- CONCRETE SLOPE AND DITCH PAVING WILL BE REQUIRED WHEN SHOWN ON PLANS.

WARNING  
THIS AREA IS A STORMWATER FACILITY  
AND IS SUBJECT TO PERIODIC FLOODING

WARNING SIGN DETAIL  
SCALE: N.T.S.

NOTES:  
-SIGN SHALL BE A MINIMUM OF 3 SQ.FT.  
-SIGN SHALL BE FABRICATED OF DURABLE MATERIALS SUCH AS METAL OR PLASTIC.  
-SIGN SHALL HAVE RED LETTERING ON A WHITE BACKGROUND.



OVERFLOW WEIR DETAILS  
SCALE: N.T.S.

REV.	DESCRIPTION	DATE

**811** Know what's below.  
Call 72 hours before you dig.  
For more details visit:  
www.call811.com

PREPARED FOR:  
ESH DEVELOPMENT, LLC  
5671 NORTH ORACLE ROAD  
SUITE #1102  
TUSCON, AZ 85704  
(520) 742-2114

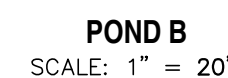
PREPARED UNDER MY DIRECT SUPERVISION FOR AND BEHALF OF  
WEST  
**NOT FOR CONSTRUCTION**  
CHAL

**WESTWORKS**  
ENGINEERING  
1023 W. COLORADO COLORADO SPRINGS, CO 80904 (719) 685-1670

ELDORADO SPRINGS  
PERMANENT BMP PLANS & DETAILS  
POND A

DESIGNED BY: CDK  
SCALE: AS SHOWN  
JOB NUMBER: 91807  
DRAWN BY: CDK  
DATE: 06/27/19  
SHEET: ST7 OF 9





1. CONCRETE SHALL BE CLASS B. INLET MAY BE CAST-IN-PLACE OR PRECAST.
2. REINFORCING BARS SHALL HAVE A MINIMUM 2 IN. CLEARANCE.
3. CONCRETE SLOPE AND DITCH PAVING SHALL CONFORM TO SECTION 507. REINFORCEMENT FOR CONCRETE SLOPE PAVING SHALL BE #4 @ W1.4 X W1.4 OR 6 X 6 W-2.1 X W2.1.
4. STRUCTURAL STEEL FOR GRATES AND GRATE INSTALLATION HARDWARE SHALL BE GALVANIZED AND SHALL BE IN ACCORDANCE WITH 712.06.
5. THE STANDARD INLET GRATE SHALL BE USED ON ALL TYPE C INLETS UNLESS CLOSE MESH GRATES ARE SPECIFIED ON THE PLANS.
6. STEPS SHALL BE PROVIDED WHEN INLET DIMENSION "H" EXCEEDS 3 FT.-6 IN. AND SHALL BE IN ACCORDANCE WITH AASHTO M 199.
7. SEE SHEET M-604-11, INLET, TYPE C FOR REINFORCEMENT AROUND THE PIPE OPENING.
- CONCRETE SLOPE AND DITCH PAVING SHALL BE REQUIRED WHEN SHOWN ON PLANS.

NOTES:  
-SIGN SHALL BE A MINIMUM OF 3 SQ.FT.  
-SIGN SHALL BE FABRICATED OF  
DURABLE MATERIALS SUCH AS METAL  
OR PLASTIC.  
-SIGN SHALL HAVE RED LETTERING ON A  
WHITE BACKGROUND.

[illegible]

Know what's below.  
Call 72 hours before you dig.  
For more details visit:  
[www.call811.com](http://www.call811.com)

PREPARED FOR:

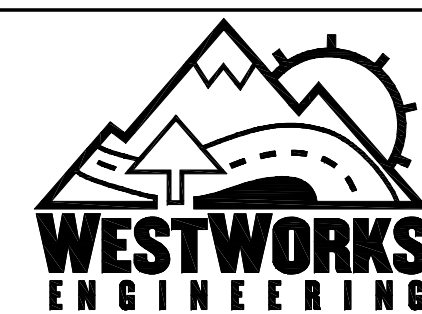
ESH DEVELOPMENT, LLC

5671 NORTH ORACLE ROAD  
SUITE #1102  
TUSCON, AZ 85704  
(520) 742-2114

PREPARED UNDER MY DIRECT SUPERVISION FOR AND BEHALF OF  
WEST.

**NOT FOR  
CONSTRUCTION**

CHAC



1023 W. COLORADO COLORADO SPRINGS, CO 80904 (719) 685-1670

ELDORADO SPRINGS
PERMANENT BMP PLANS & DETAILS POND B

DESIGNED BY: CDK	DRAWN BY: CDK
SCALE: AS SHOWN	DATE: 06/27/19
JOB NUMBER	SHEET
91807	ST8 OF 9







# Markup Summary

## Steve Kuehster (17)

28111 NORTH LINCOLN AVENUE, SUITE 1102  
TUCSON, AZ 85705  
DARYL CHURCH (520) 742-2114

WESTWORKS ENGINEERING  
10221 W. US 89TH AVENUE  
COLORADO SPRINGS, CO 80904  
CHAD D. KUEHSTER, P.E. (719) 650-1670

7. DEVELOPMENT SERVICES DEPARTMENT  
3800 INTERNATIONAL DRIVE, SUITE 110  
COLORADO SPRINGS, CO 80909  
(719) 520-7999

7A(1) STRAINBORO HILLS WATER & SANITATION DISTRICT  
1811 B STREET  
COLORADO SPRINGS, CO 80906  
KIM MEDINA (719) 578-0311

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**Author:** Steve Kuehster  
**Date:** 8/13/2019 2:38:11 PM  
**Color:** ■

ENR DEVELOPMENT, LLC  
3810 WEST CHERRY ROAD, SUITE 102  
TUCSON, AZ 85705  
DARYL CHURCH (520) 742-2114

WESTWORKS ENGINEERING  
10221 W. US 89TH AVENUE  
COLORADO SPRINGS, CO 80904  
CHAD D. KUEHSTER, P.E. (719) 650-1670

7. DEVELOPMENT SERVICES DEPARTMENT  
3800 INTERNATIONAL DRIVE, SUITE 110  
COLORADO SPRINGS, CO 80909  
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1811 B STREET  
COLORADO SPRINGS, CO 80906  
KIM MEDINA (719) 578-0311

719 (719) 520-7999

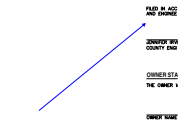
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Planning and Community Development



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In accordance with ECM Section 1.12, these construction documents will be valid for construction for a period of 2 years from the date signed by the El Paso County Engineer. If construction has not started within those 2 years, the plans will need to be resubmitted for approval, including payment of review fees at the Planning and Community Development Directors discretion



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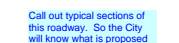
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**Date:** 8/13/2019 2:38:15 PM  
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Clarify in this construction package what is a City facility, a County facility and a Private facility. Include all items in this CD set. The City and County will need to agree on who owns and maintains facilities.



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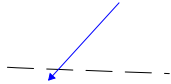
Call out a full urban street section with Curb and Gutter on both sides. Show in the Plans a typical section of the street.



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**Date:** 8/13/2019 2:38:20 PM  
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Call out typical sections of this roadway. So the City will know what is proposed





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**Page Label:** 3  
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**Date:** 8/13/2019 2:38:21 PM  
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Call out Lane Widths.

4" WIDE DOUBLE YELLOW TO REMAIN

**Subject:** text box  
**Page Label:** 4  
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**Author:** Steve Kuehster  
**Date:** 8/13/2019 2:38:22 PM  
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Call out Lane Widths.

5671 NORTH ORACLE ROAD, SUITE 1102  
TUCSON, AZ 85714  
WESTWORKS ENGINEERING  
1023 W. COLORADO AVENUE  
COLORADO SPRINGS, CO 80904  
CHAD D. KUEHSTER, P.E. (719) 485-1870  
4040 UNIVERSITY DRIVE, SUITE 110  
COLORADO SPRINGS, CO 80909  
(719) 550-7658  
STRATFORD HILLS WATER & SANITATION DISTRICT  
1511 S STREET  
COLORADO SPRINGS, CO 80906  
KIM MEDINA (719) 576-0311

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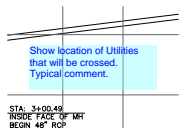
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In accordance with ECM Section 1.12, these construction documents will be valid for construction for a period of 2 years from the date signed by the El Paso County Engineer. If construction has not started within those 2 years, the plans will need to be resubmitted for approval, including payment of review fees at the Planning and Community Development Directors discretion

SECTION SHALL REMAIN WITHIN THE PROPERTY  
LIMITS, WHERE REQUIRED, FROM ADJOINING PRO-  
JECTS.  
Update notes to the latest  
version (updated 7/2019  
see PDC Engineering  
website.  
COMMENCE UNTIL A CONSTRUCTION PERMIT IS OBTAIN-  
ED.  
FROM CONSTRUCTION SITES SHALL NOT CAUSE OR  
CONTRIBUTE TO POLLUTION OF A

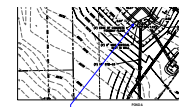
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Update notes to the latest version (updated 7/2019 see PDC Engineering website.



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**Date:** 8/13/2019 2:38:25 PM  
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Show location of Utilities that will be crossed.  
Typical comment.



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**Page Label:** 12  
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**Date:** 8/13/2019 2:38:26 PM  
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Call out access road



**Subject:** Arrow  
**Page Label:** 13  
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**Date:** 8/13/2019 2:38:27 PM  
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**Subject:** arrow & box  
**Page Label:** 13  
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**Date:** 8/13/2019 2:38:27 PM  
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Call out an access road to these items.



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