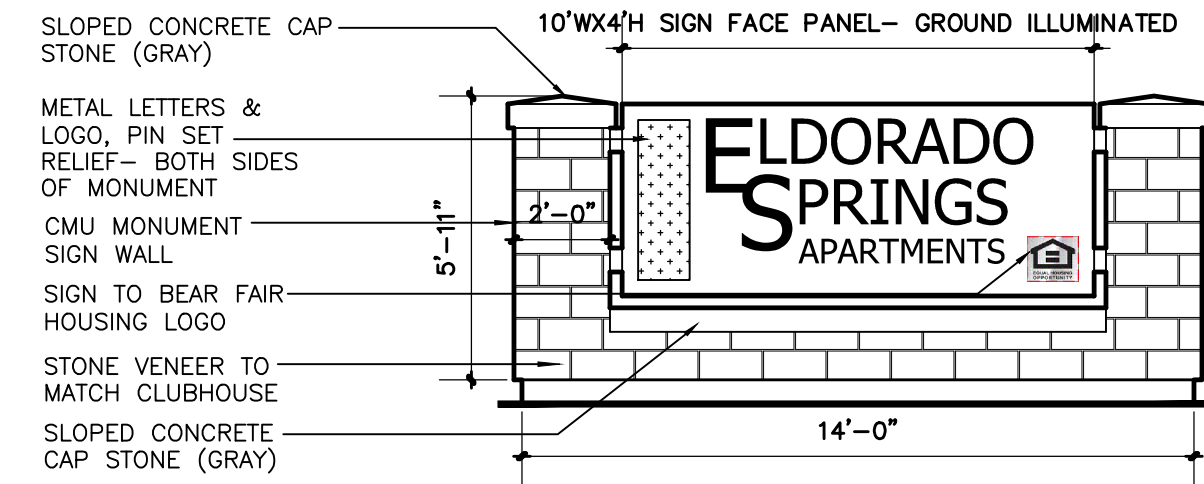


Eldorado Springs at Cheyenne Mountain Fil. No. 1

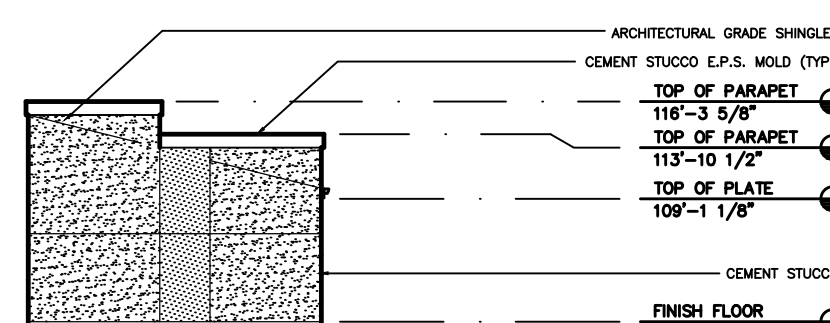
ADMINISTRATIVE SITE DEVELOPMENT PLAN - ELEVATIONS

SEPTEMBER, 2019

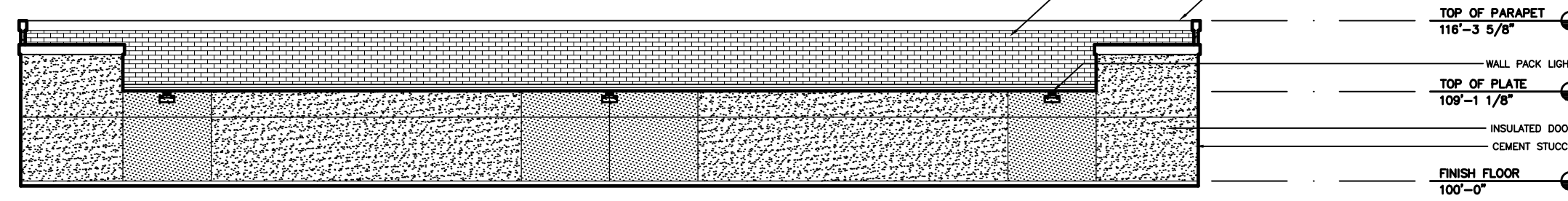
1. ENSURE DRAINAGE IS AWAY FROM BUILDING AT A SLOPE OF 1/4" PER FOOT MINIMUM. TO ALLEVIATE ANY TRAPPED WATER BETWEEN SIDEWALKS AND / OR BUILDINGS AND SIDEWALKS, PROVIDE SIDEWALK CUTS WITH GRATED METAL COVERS AND / OR AREA DRAINS WITH 4" DIA. CORRUGATED PLASTIC PIPING ROUTED TO AN OPEN DRAINABLE AREA.
2. ALL VENT/FLUE PENETRATIONS AT ROOFS SHALL BE PAINTED TO MATCH THE COLOR OF THE ROOF SHINGLES.
3. PROVIDE FLASHING OVER ALL DOORS AND WINDOWS AND AT ALL MATERIAL TRANSITIONS. PROVIDE FLASHING AND MOISTURE PROTECTION AT ALL ROOF AND WALL VERTICAL/HORIZONTAL TRANSITIONS.
4. ALL SHEET METAL (I.E. FLASHING, STUCCO SCREEDS, ETC.) TO BE GALVANIZED IRON. SHOP PRIME ALL SHEET METAL AND FIELD PAINT TO MATCH ADJACENT MATERIALS.
5. ANY EXPOSED FOUNDATION OVER 8" TO RECEIVE EXTERIOR COLOR COAT.
6. ROOF VENTS, DORMER VENTS OR OTHER SIMILAR VENTILATION OPENINGS SHALL BE LOUVERED AND COVERED WITH 1/4" NON-COMBUSTIBLE, CORROSION-RESISTANT METAL MESH OR OTHER APPROVED MATERIAL THAT OFFERS EQUIVALENT PROTECTION. PRIME AND PAINT TO MATCH ADJACENT MATERIALS.
7. ALL WEATHER EXPOSED SURFACES SHALL HAVE A WEATHER RESISTIVE BARRIER TO PROTECT THE INTERIOR WALL COVERING AND EXTERIOR OPENINGS SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WATERPROOF.
8. BUILDING ADDRESS SIGNAGE WITH CONTRASTING COLORS TO BE CLEARLY LEGIBLE FROM THE STREET. THE FOLLOWING SHALL BE VERIFIED PRIOR TO INSTALLATION:
 - VERIFY LOCATION WITH THE FIRE DEPARTMENT
 - LEGAL ADDRESS TO BE ASSIGNED BY THE CITY
 - OWNER AND CONTRACTOR TO VERIFY THE U.S. POSTAL SERVICE ADDRESS REQUIREMENTS
9. GENERAL CONTRACTOR TO COORDINATE WITH MECHANICAL INSTALLER TO ENSURE THAT ALL EXTERIOR EXHAUST TERMINATION POINTS ARE 3' MINIMUM AWAY FROM OPERABLE PARTS OF OPENINGS (TYPICAL)



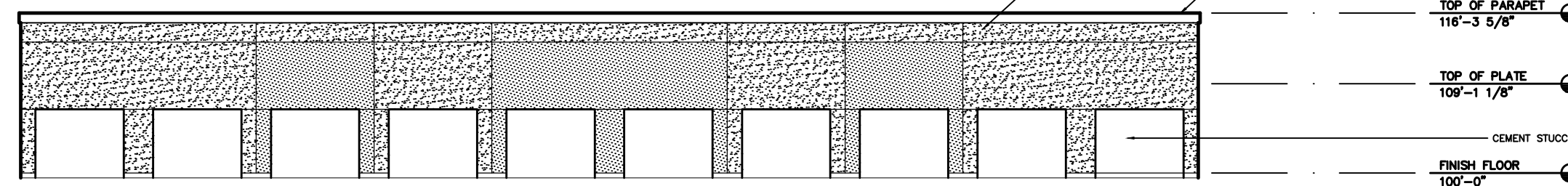
5 MONUMENT SIGN ELEVATION
SCALE: 1/4"=1'-0"



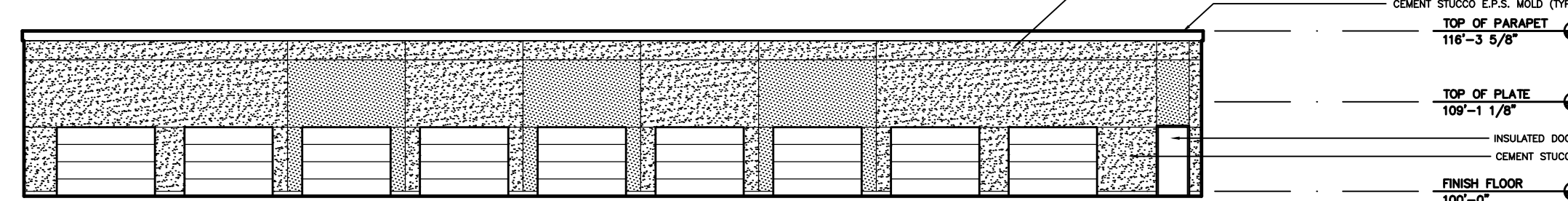
6 GARAGE SIDE ELEVATION
SCALE: 3/32"=1'-0"



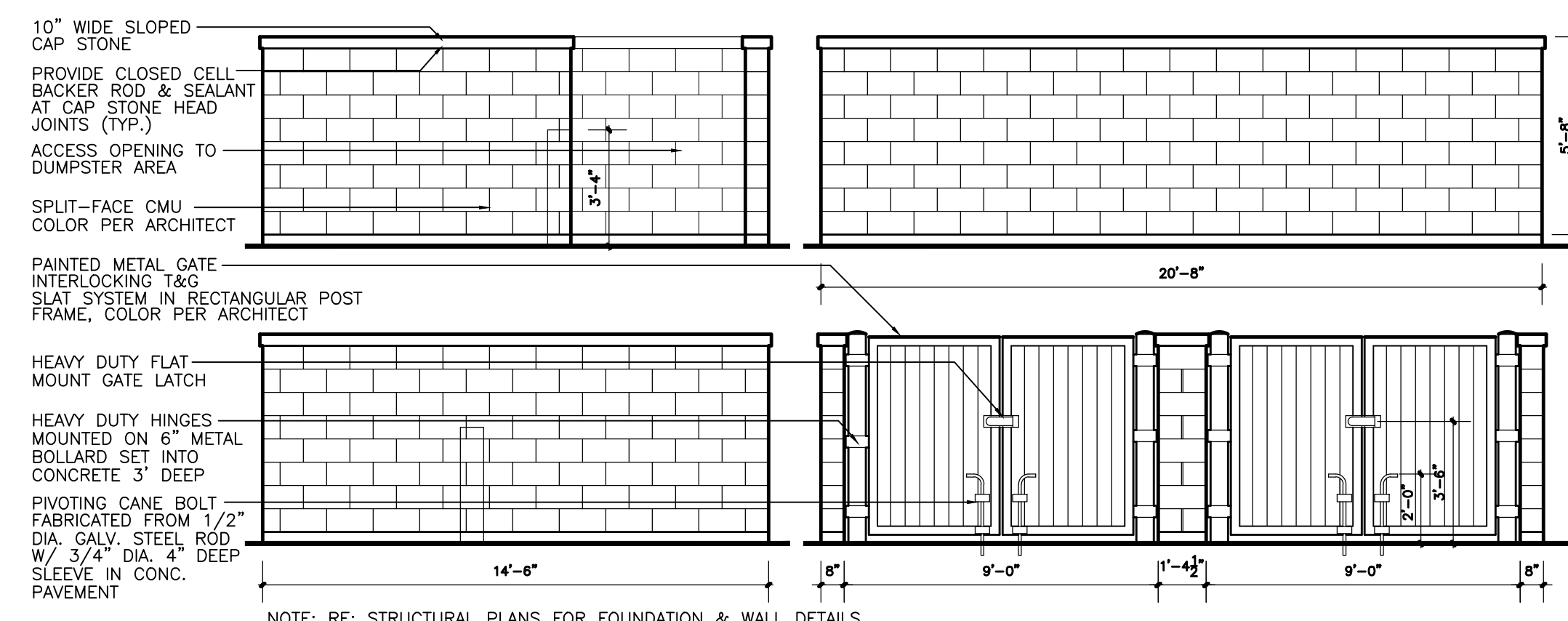
7 GARAGE REAR ELEVATION
SCALE: 3/32"=1'-0"



8 GARAGE 2 FRONT ELEVATION
SCALE: 3/32"=1'-0"



9 GARAGE 1 FRONT ELEVATION
SCALE: 3/32"=1'-0"



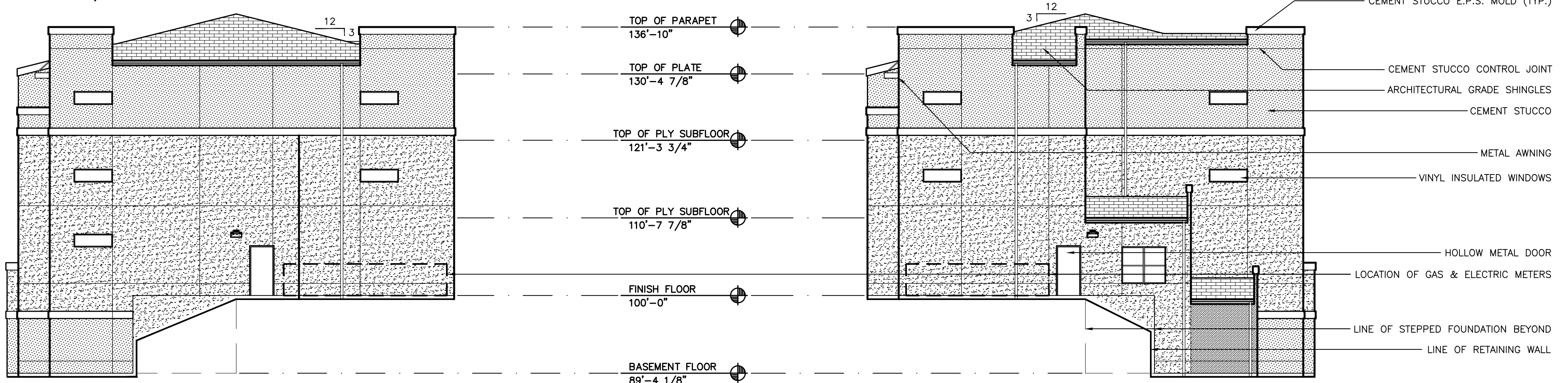
10 TRASH ENCLOSURE ELEVATIONS
SCALE: 1/4"=1'-0"



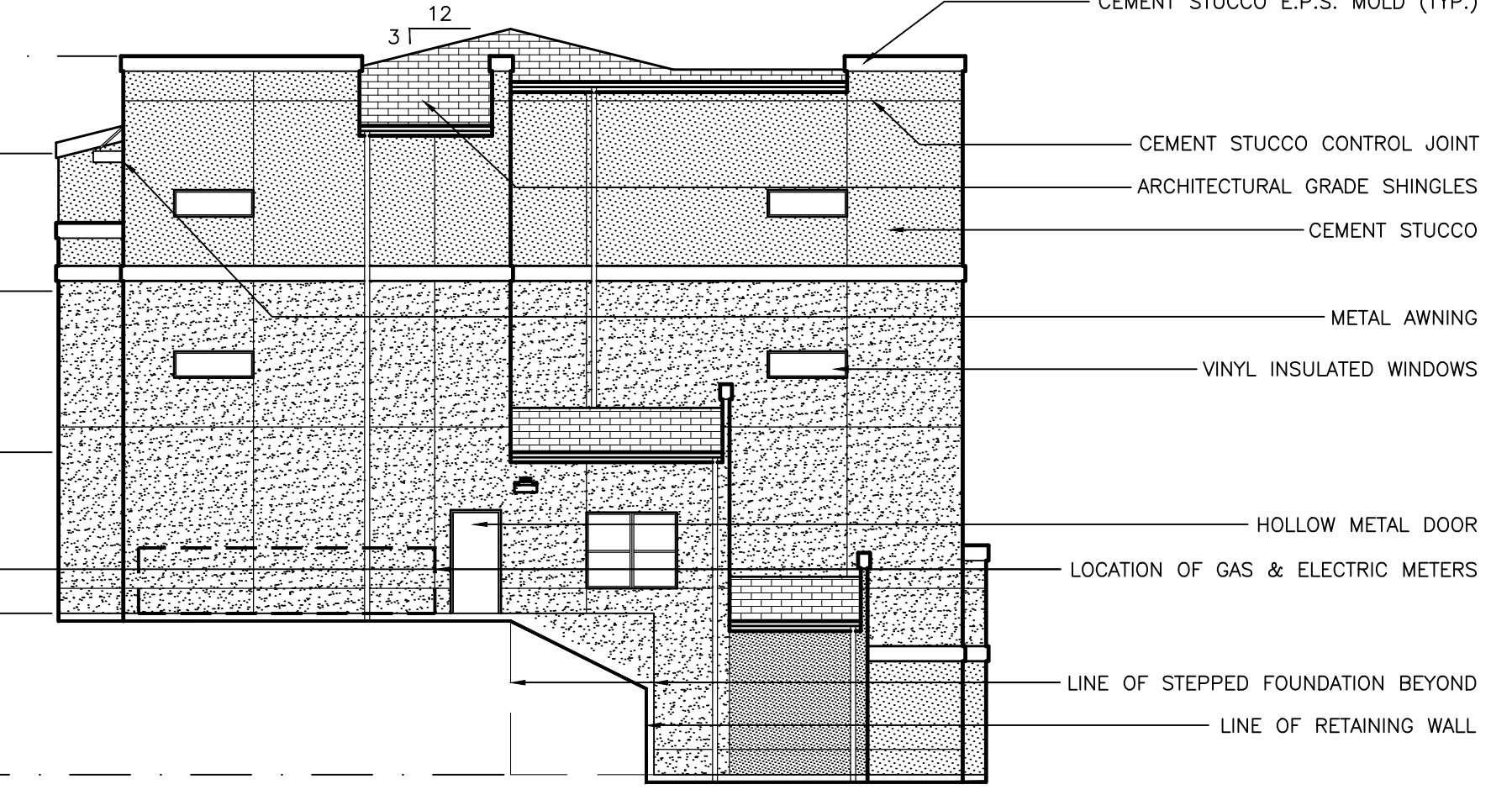
1 BUILDING TYPE 1 - FRONT ELEVATION
SCALE: 3/32"=1'-0"



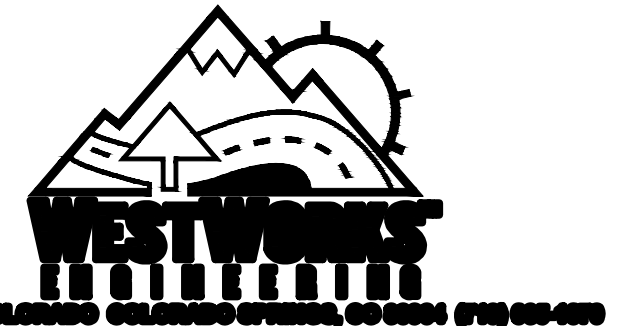
2 BUILDING TYPE 1 - REAR ELEVATION
SCALE: 3/32"=1'-0"



3 BUILDING TYPE 1 - SIDE ELEVATION
SCALE: 3/32"=1'-0"



4 BUILDING TYPE 1 - SIDE ELEVATION
SCALE: 3/32"=1'-0"



Eldorado Springs
ADMINISTRATIVE SITE DEVELOPMENT PLAN
SOUTH VENETUCCI BOULEVARD
EL PASO COUNTY, STATE OF COLORADO

DATE: 10.25.2019
DRAWN BY: DFJ/S
CHECKED BY: GW
REVISION: NO. DATE BY

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ARCHITECTURAL
ELEVATIONS
SDP14
SHEET 14 OF 16
ALC PROJECT # 19-020

Eldorado Springs at Cheyenne Mountain Fil. No. 1

ADMINISTRATIVE SITE DEVELOPMENT PLAN - ELEVATIONS

SEPTEMBER, 2019

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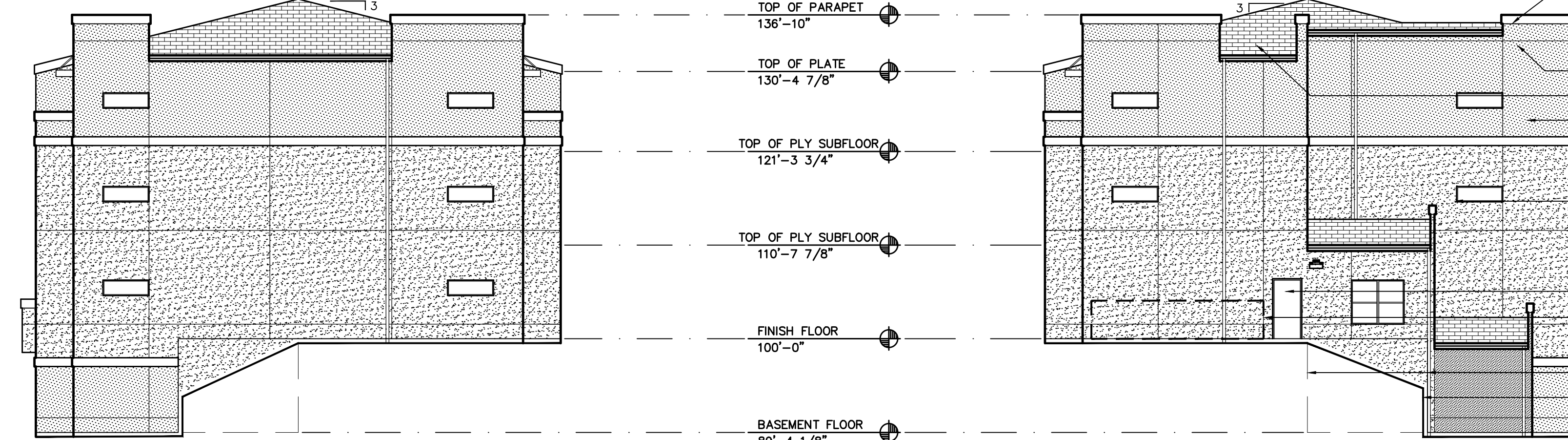
BUILDING TYPE 2- FRONT ELEVATION

1 SCALE: 3/32"=1'-0"



BUILDING TYPE 2- REAR ELEVATION

2 SCALE: 3/32"=1'-0"

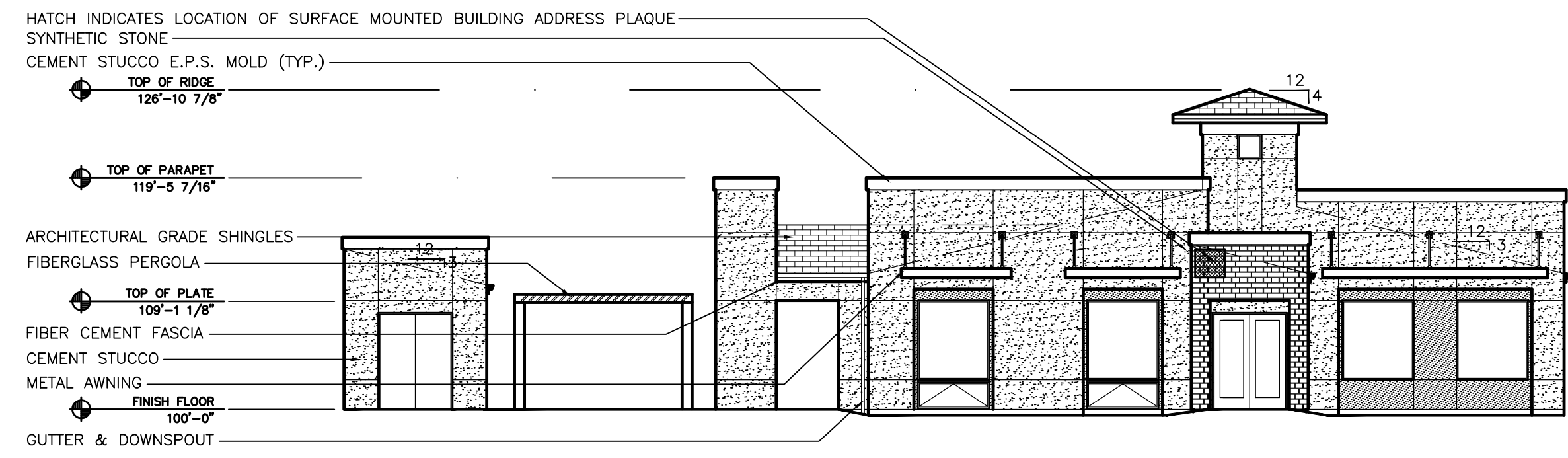


BUILDING TYPE 2- SIDE ELEVATION

3 SCALE: 3/32"=1'-0"

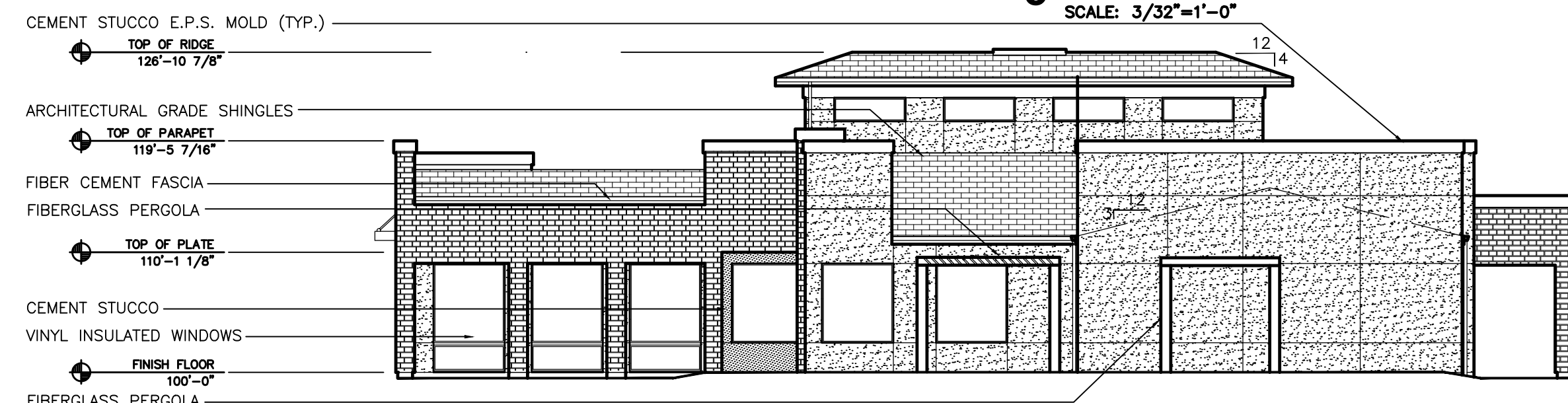
BUILDING TYPE 2- SIDE ELEVATION

4 SCALE: 3/32"=1'-0"



5 SOUTH CLUBHOUSE & EQUIPMENT BUILDING ELEVATIONS

SCALE: 3/32"=1'-0"



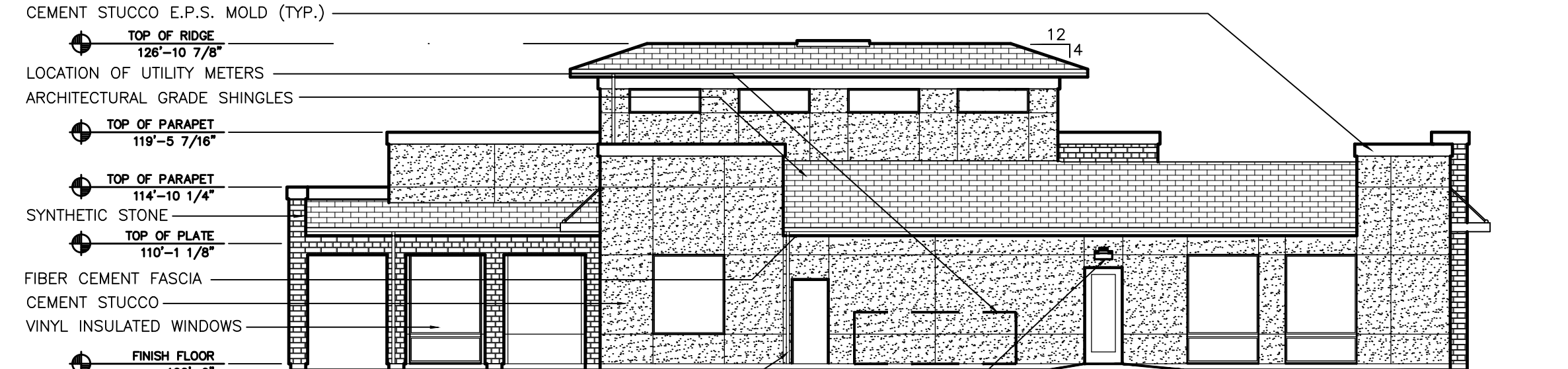
6 WEST CLUBHOUSE ELEVATION

SCALE: 3/32"=1'-0"



7 NORTH CLUBHOUSE & EQUIPMENT BUILDING ELEVATIONS

SCALE: 3/32"=1'-0"



8 EAST CLUBHOUSE ELEVATION

SCALE: 3/32"=1'-0"

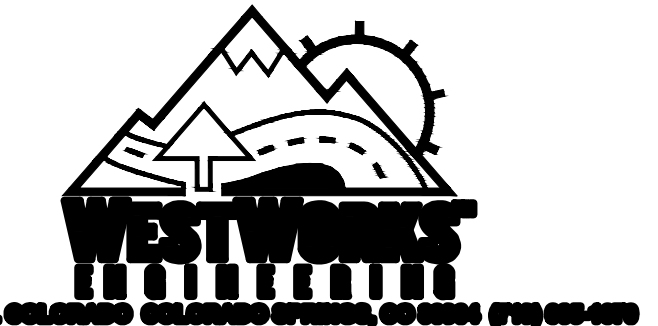
- TOP OF PARAPET 136'-10"
- TOP OF PLATE 130'-4 7/8"
- TOP OF PLY SUBFLOOR 121'-3 3/4"
- TOP OF PLY SUBFLOOR 110'-7 7/8"
- FINISH FLOOR 100'-0"
- BASEMENT FLOOR 89'-4 1/8"

- HATCH INDICATES LOCATION OF SURFACE MOUNTED BUILDING ADDRESS PLAQUE
- SYNTHETIC STONE
- CEMENT STUCCO E.P.S. MOLD (TYP.)
- TOP OF RIDGE 128'-10 7/8"
- TOP OF PARAPET 119'-5 7/16"
- ARCHITECTURAL GRADE SHINGLES
- FIBERGLASS PERGOLA
- TOP OF PLATE 109'-1 1/8"
- FIBER CEMENT FASCIA
- CEMENT STUCCO
- METAL AWNING
- FINISH FLOOR 100'-0"
- GUTTER & DOWNSPOUT

- CEMENT STUCCO E.P.S. MOLD (TYP.)
- TOP OF RIDGE 128'-10 7/8"
- ARCHITECTURAL GRADE SHINGLES
- TOP OF PARAPET 119'-5 7/16"
- FIBER CEMENT FASCIA
- FIBERGLASS PERGOLA
- TOP OF PLATE 110'-1 1/8"
- CEMENT STUCCO
- VINYL INSULATED WINDOWS
- FINISH FLOOR 100'-0"
- FIBERGLASS PERGOLA

- ARCHITECTURAL GRADE SHINGLES
- CEMENT STUCCO E.P.S. MOLD (TYP.)
- TOP OF RIDGE 128'-10 7/8"
- ICC/UL LISTED SEE THROUGH INDOOR/OUTDOOR FIREPLACE
- TOP OF PARAPET 120'-5 7/16"
- TOP OF PARAPET 119'-5 7/16"
- SYNTHETIC STONE
- CEMENT STUCCO
- VINYL INSULATED WINDOWS
- TOP OF PLATE 110'-1 1/8"
- METAL AWNING
- FIBERGLASS PERGOLA
- FINISH FLOOR 100'-0"
- OUTDOOR SHOWER

- CEMENT STUCCO E.P.S. MOLD (TYP.)
- TOP OF RIDGE 128'-10 7/8"
- LOCATION OF UTILITY METERS
- ARCHITECTURAL GRADE SHINGLES
- TOP OF PARAPET 119'-5 7/16"
- TOP OF PARAPET 114'-10 1/4"
- SYNTHETIC STONE
- TOP OF PLATE 110'-1 1/8"
- FIBER CEMENT FASCIA
- CEMENT STUCCO
- VINYL INSULATED WINDOWS
- FINISH FLOOR 100'-0"
- GUTTER & DOWNSPOUT
- WALL-MOUNT LIGHT FIXTURE



Eldorado Springs
 ADMINISTRATIVE SITE DEVELOPMENT PLAN
 SOUTH VENETUCCI BOULEVARD
 EL PASO COUNTY, STATE OF COLORADO

DATE: 09.16.2019
 DRAWN BY: DFJ/S
 CHECKED BY: GW
 REVISION: NO. DATE BY

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ARCHITECTURAL ELEVATIONS
SDP15
 SHEET 15 OF 16
 ALC PROJECT # 19-020