

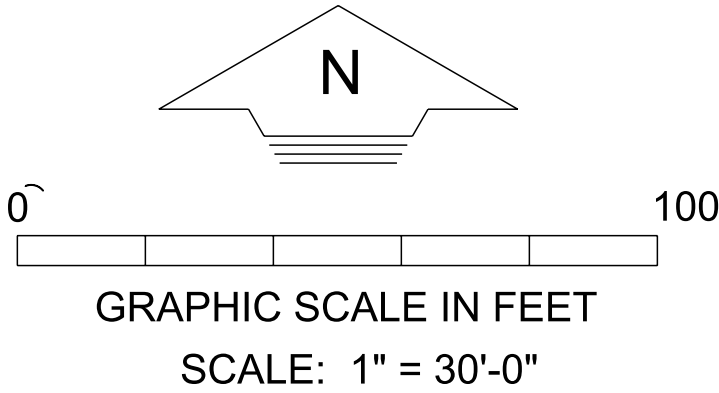
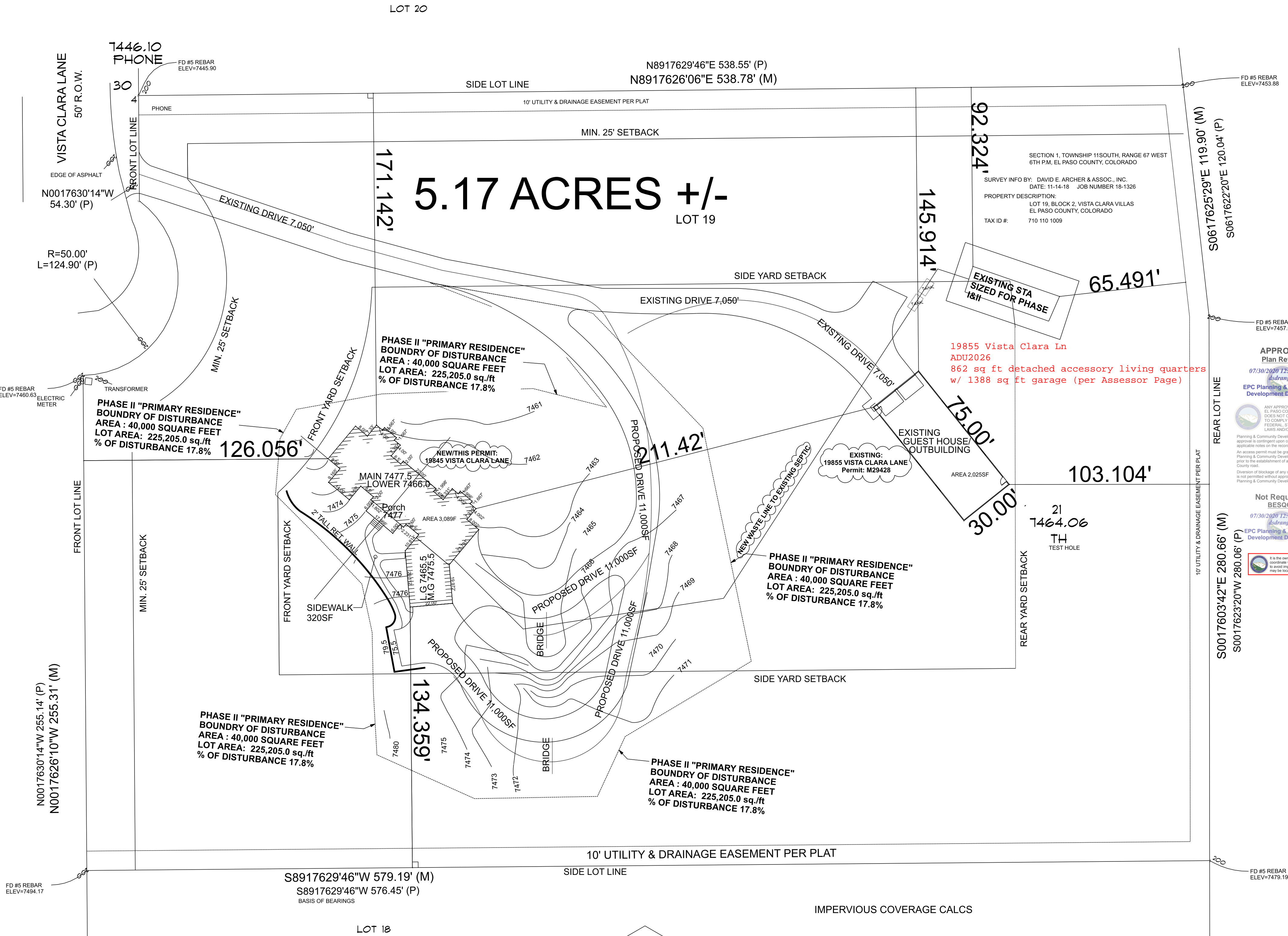
SFD20967  
PLAT 5245  
RR-5  
19845 VISTA CLARA LN

APPROVED  
Plan Review  
07/30/2020 12:48:00 PM  
[Signature]  
EPC Planning & Community  
Development Department

ANY APPROVAL GIVEN BY  
EL PASO COUNTY  
DOES NOT CREATE THE NEED  
TO COMPLY WITH APPLICABLE  
FEDERAL, STATE, OR LOCAL  
LAWS AND/OR REGULATION  
Planning & Community Development Department  
approval is contingent upon compliance with all  
applicable laws on the recorded plat.  
An access permit must be granted by the  
Planning & Community Development Department  
prior to the establishment of any driveway onto a  
county road.  
Division of discharge of any drainage way  
is not permitted without approval of the  
Planning & Community Development Department.

APPROVED  
BESQCP  
07/30/2020 12:48:10 PM  
[Signature]  
EPC Planning & Community  
Development Department

It is the owner's responsibility to  
coordinate with easement holders  
to avoid impact to utilities that  
may be located in the easements.



IMPERVIOUS COVERAGE CALCCS	
PHASE I&II STRUCTURES:	5,114 SQ.FT
DRIVEWAY, PATIO AND SIDEWALK:	17,050 SQ.FT
TOTAL IMPERVIOUS AREA:	22,164 SQ.FT
LOT AREA: 225,205.0 sq./ft	
% OF IMPERVIOUS COVERAGE= 22,164/225,205.0 sf x 100 = 9.8%	

Released for Permit  
07/27/2020 2:53:23 PM  
REGIONAL  
Building Department  
amy  
ENUMERATION

APPROVED  
Plan Review  
07/30/2020 12:58:23 PM  
[Signature]  
EPC Planning & Community  
Development Department

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Not Required  
BESQCP  
07/30/2020 12:58:39 PM  
[Signature]  
EPC Planning & Community  
Development Department

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HOMES MICHAEL HALL

Michael Hall: General Contractor  
719-491-9444

LAMBERTON RESIDENCE  
19845 VISTA CLARA LANE  
COLORADO SPRINGS, CO

LOT 19, BLOCK 2, VISTA CLARA VILLAS  
EL PASO COUNTY, COLORADO  
SCHEDULE NUMBER: 710 110 1009

JULY 08, 2020

PAGE P1

REVISION DATE

# RESIDENTIAL



2017 PPRBC

<sup>4</sup>  
Address: 198~~55~~ VISTA CLARA LN, MONUMENT

Parcel: 7101101009  
Map #: 065G

Plan Track #: 130881

Received: 09-Jul-2020 (BECKYA)

## Description:

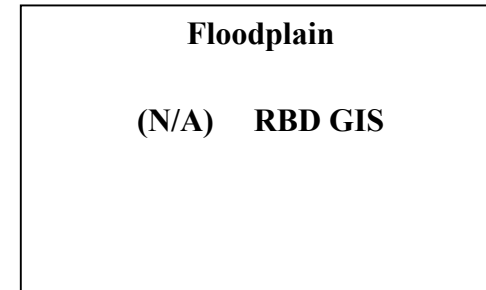
### RESIDENCE

Contractor:

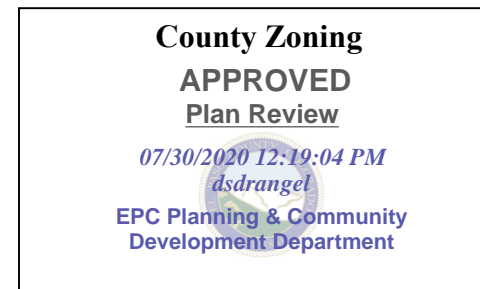
Type of Unit:

Garage	1114	
Lower Level 2	2300	
Main Level	2346	
	5760	Total Square Feet

## Required PPRBD Departments (4)



## Required Outside Departments (1)



Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations.  
This plan set must be present on the job site for every inspection.