

CONEXUS PHASES 2 & 3

TOWN OF MONUMENT, COLORADO

PRELIMINARY PUD PLAN

A PARCEL OF LAND LOCATED IN THE SOUTHEAST ¼ OF SECTION 26, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH/ P.M. IN THE TOWN OF MONUMENT, EL PASO COUNTY, COLORADO

Zoning Regulations:

- A. Adoption/Authorization. The Board of Trustees has adopted the Preliminary Planned Unit Development (PUD) Plan and zoning regulations for Conexus Phase 2 & 3 pursuant to Chapter 18 of the Monument Municipal Code after appropriate public notice and hearing.
- B. Applicability. The provisions of this Preliminary PUD Plan and zoning regulations shall run with the land and bind all landowners of record, their successors, heirs, or assigns of the land as approved by the Monument Board of Trustees.
- C. Maximum level of development. The maximum level of development within the established use areas is the maximum allowed for platting development. The actual floor area/number of units approved will be determined at the Final PUD Plan and Final Plat stage of review based upon environmental constraints, utility and street capacity, compatibility with surrounding land uses, and other relevant factors.
- D. Relationship to Town regulations. The provisions of this Preliminary PUD Plan and these zoning regulations shall prevail and govern this planned unit development provided, however, that where the provisions of this Preliminary PUD Plan and these zoning regulations do not address a particular subject, the relevant provisions of the Monument Municipal Code, as amended, or any other applicable resolutions or regulations of the Town of Monument, shall apply.
- E. Definitions. The standard definitions found in the Monument Municipal Code Chapter 18.07 shall apply to this planned development, except as modified or otherwise defined in No. 12 of the Development Guidelines herein.
- F. Overall Project Standards. The Conexus Phases 2 & 3 Planned Development (PD) Zoning and Sketch PD Plan approved in September 2020 for light industrial/commercial/multi-use/residential uses provides the zoning, land uses, and development parameters for this Preliminary PUD Plan. The Conexus Phase 2 & 3 Preliminary PUD Plan further refines and defines the zoning regulations, permitted land uses, and development standards for this property.
- G. Severability of Provisions. In the event that any provisions hereof shall be determined to be illegal or void by the final order of any court of competent jurisdiction, the remaining provisions shall remain in full force and effect.

Development Guidelines

- Project Description. Conexus Phases 2 & 3 is a planned mixed-use development with a variety of light industrial, commercial, civic, office, residential, and open space uses on 145.88 acres of land located west of I-25 and east of Old Denver Road in the Town of Monument.
- Permitted Uses. The permitted uses for the Conexus Phase 2 & 3 Preliminary PUD Plan shall be as follows. The use definitions in the Monument Municipal Code Chapter 18.07 shall apply, except as modified or otherwise defined in No. 12 of the Development Guidelines herein.
 - Commercial Uses:
 - Bank including drive through or up service
 - Bar/Tavern
 - Car wash
 - Check-cashing facility
 - Communication services
 - Convenience store
 - Equipment sales and service, light
 - Farmers or artisan's market
 - Fitness center
 - Funeral parlor or mortuary
 - General retail
 - High density residential (not to exceed 20.89 dwelling units per acre and not to exceed fifty percent (50%) of the total commercial lot):
 - Multifamily dwelling, including apartments, condominiums, townhomes and patio homes
 - Senior housing including assisted living, memory care, skilled nursing rehabilitation facility, and independent living uses
 - Hotel, motel or extended-stay lodging
 - Live/work unit
 - Mini warehouse/self-storage units
 - Microbrewery or distillery
 - Mixed-use (for this purpose a "unit" is defined as "a larger area of land made up of smaller units")
 - Personal service establishments
 - Pharmacy
 - Recreational/entertainment/sports facility, indoor or outdoor
 - Restaurants including drive-through or drive-up
 - Service station
 - Shopping center
 - Small animal clinic
 - Vehicle sales and rental
 - Vehicle service and repairs, light
 - Wholesale sales
 - Office Uses:
 - Call centers
 - Live/work unit
 - Industrial Uses:
 - Building material sales
 - Contractors shop and storage yard
 - Equipment sales and service, light or heavy
 - Light manufacturing
 - Microbrewery or distillery
 - Office showrooms
 - Outdoor storage/display/sales, as an accessory use only
 - Recreational/entertainment/sports facility, indoor or outdoor
 - Research and development facility
 - Vehicle service and repairs, light or heavy
 - Warehousing and distribution (Exclusions: Large sorting, warehousing, cross dock buildings, and distribution facilities intended to deliver goods, products and packages from/by others nationally or regionally. This exclusion does not include tenants/users who warehouse and distribute their own products or who deliver goods and services directly to the end consumer or to other area retail stores.)
 - Civic Uses:
 - Childcare centers, small and large
 - Club, lodge or service organization
 - Community facility or library, event center
 - Community recreational facility
 - Cultural facility
 - Data centers
 - Hospitals, medical clinics, and urgent care facilities
 - Library
 - Medical services
 - Assisted living facility, skilled nursing rehabilitation facilities, or nursing home
 - Public, private, proprietary schools, colleges or universities
 - Religious assembly
 - Residential Uses:
 - Accessory dwelling unit
 - Bed and breakfast inn
 - Family care home
 - Group homes, all categories
 - Home occupation
 - Live/work dwelling unit
 - Manufactured housing
 - High density residential (not to exceed 20.89 dwelling units per acre):
 - Multifamily dwelling, including apartments, condominiums, townhomes and patio homes
 - Senior housing including assisted living, memory care, skilled nursing rehabilitation facility, and independent living uses.
 - Medium density residential (not to exceed ten (10) dwelling units per acre):

- Single-family dwelling (detached)
 - Single-family dwelling (attached and/or two-family dwelling)
 - Townhomes and patio homes.
- Other Uses
 - CMRS facility, all categories
 - Essential services
 - Open space
 - Solar energy system, accessory roof-top only
- Temporary Uses. Temporary uses shall be subject to the provisions of section 18.03.350 of the Town's Municipal Code, as amended.
 - Accessory Structures. Accessory Structures must comply with development standard in Item (6) of these guidelines and shall be subject to the provisions of section 18.03.340 of the Town's Municipal Code, as amended.
 - Signs. Signs shall be permitted in accordance with the sign standards in Chapter 18.06 of the Town's Municipal Code, as amended. The Planning Director may grant minor modifications of any sign standard of twenty (20) percent or less, subject to the approval criteria noted in Chapter 18.06.220 (8) of the Municipal Code, as amended. Preliminary entry sign locations are provided in this Preliminary PUD Plan, but these locations may change with Final PUD Site Plans. All signs require submittal of separate sign permit to the Planning Department for review and approval. The Conexus Metropolitan District will maintain all entry signs.
 - Development Standards.
 - Maximum Building Height (subject to the building height definition set out in this Preliminary PUD Plan):
 - Lot 1: High density residential - seventy-five (75) feet
 - Lot 2: Medium density residential - fifty (50) feet
 - Lot 3: Commercial/Civic/Office:
 - Hotel - seventy-five (75) feet
 - Office - seventy-five (75) feet
 - Retail - fifty (50) feet
 - High density residential - seventy-five (75) feet
 - Lot 4: Industrial - sixty (60) feet
 - Minimum Building Setbacks:
 - Interstate 25: Fifty (50) foot measured from edge of right-of-way
 - Old Denver Road: Twenty-five (25) foot measured from edge of right-of-way.
 - Internal Lot Lines: Zero (0) foot

The setbacks for individual lots will be determined with the Final PUD Plan.
 - Maximum Lot Coverage (subject to the lot coverage definition set out in this Preliminary PUD Plan): Forty (40) percent of lot area for all non-residential and high-density residential uses. The lot coverage for medium density residential uses will be determined with the Final PUD Plan.
 - Maximum Building Size: Within Lot 4, the maximum size of any individual building shall be one hundred and seventy-five thousand (175,000) square feet.
 - Lot Size: The lot configuration on this Preliminary PUD Plan is illustrative only. The Final PUD Plans and Final Plats will establish the final lot configuration and lot sizes.
 - Streets: All streets within the Conexus development shall provide general vehicular circulation throughout the development. Public streets shall be dedicated to the Town of Monument and maintained by the Tri-View Metropolitan District. Other future streets may be privately owned or may be dedicated public roads, for which the design and construction will conform to the Town of Monument Roadway Design and Technical Criteria, subject to any waiver or variance that may be approved by the Town. All private roads will be asphalt or concrete.
 - Parking: The off-street parking standards set out in Table 5.1 of Section 18.05.215 of the Monument Municipal Code, as amended, and shall apply to this planned development. The Planning Director may consider variations to the minimum parking standards based upon the type of activity, intensity of use, number of employees, and other factors associated with a particular use. All parking spaces and handicapped spaces and aisles are to be striped to Town of Monument standards. The surface treatment of all parking areas will be asphalt or concrete.
 - Architectural and Design: The architecture and design of all buildings will require exterior treatment of the buildings as follows:
 - No metal buildings are allowed for principal structures. Accessory structures may be metal.
 - All principal buildings must include CMU block, concrete, brick, stone, stucco, wood, or cement siding detailing on all four (4) sides.
 - The color of materials will be in a "earth tone" palette. Accent colors will be allowed.
 - All outdoor storage areas, loading docks, and trash enclosures will be screened with an opaque structure or enhanced landscaping or berms.
 - Parking lot lighting shall have a maximum mounting height of thirty (30) feet.
 - All outdoor lighting will meet the requirements of Section 18.05.320 of the Town's Municipal Code and will be consistent with the approved fixtures in Section 18.05.330.
 - Flexibility will be applied to ensure that there is a variety in architectural and design between buildings, while maintaining the same general design character/theme.
 - Varied parapet height or design is required for flat roof buildings. There is no requirement for non-residential buildings to have pitched, gabled or mansard roof design.
 - All roof-top mechanical equipment, with the exception of solar energy devices, shall be screened from view by the use of compatible and appropriate materials. Roof top screening will only be required to screen equipment from views at the finished grade of the developed building site, or the equivalent grade on the adjacent portion on contiguous buildings sites. Where roof top mechanical equipment cannot be adequately screened because of elevation changes or higher buildings in the vicinity, then screening accompanied by compatible painting of equipment is permissible.
 - Definitions: The following definitions modify the standard definitions in Chapter 18.07 the Monument Municipal Code and shall apply to this planned development:
 - BUILDING HEIGHT:
 - For residential uses, building height shall be measured as the vertical distance above the average elevation of the finished grade adjoining the building measured to the highest point of a flat roof/parapet or deck line of a mansard roof or the midpoint of the highest gable of a pitched or hipped roof, and excludes any measurements for a drive-under garage or underground parking garage.
 - For non-residential uses, building height shall be measured from the finished floor elevation of the first floor to the highest point of a flat roof/parapet or deck line of a mansard roof or the midpoint of the highest gable of a pitched or hipped roof and excludes any measurements for an underground parking garage.
 - CALL CENTER: An establishment whose primary purpose is to provide individual workstations for employees engaged in calling persons that may provide technical or product support, solicit retail or service-related sales.
 - COMMUNICATION SERVICES: Establishments primarily engaged in the provision of broadcasting and other information relay services accomplished through the use of electronic mechanisms but excludes those classified as major utility services. Facilities that broadcast exclusively over the internet and have no live broadcasts are not included within this definition. Typical uses include television studios, radio stations, telecommunication service centers, cable television facilities, or film and sound recording facilities. This use does not include Commercial Mobile Radio Service (CMRS) facilities.

- DATA CENTER: A facility that houses large capacity data storage servers which may contain minimal office space necessary for employees to maintain and operate the facility.
- LOT COVERAGE: The percentage of the lot area that may be covered by all of the footprints of the buildings and structures on a lot including detached garages, carports, sheds, gazebos, covered patios and decks. Driveways, surface parking, uncovered patios and decks, and other impervious surfaces are not included.
- OFFICE SHOWROOM: a combination of office, storage, distribution, and showroom uses, where a minimum of twenty percent (20%) and a maximum of sixty five percent (65%) of the floor area is used for office/administrative space.
- Industrial uses.

The following standards modify and supersede the Industrial Uses standards in Chapter 18.04.160 of the Monument Municipal Code, as amended, and shall govern this planned unit development:

 - Buffers:
 - Any structure containing an industrial use shall be located a minimum of five hundred (500) feet from the boundary of any residential zone district in existence prior to the approval of the Preliminary PUD Plan. The five hundred (500) foot buffer zone from the residential zone district to the west of Old Denver Road is depicted on this Preliminary PUD Plan. No industrial structure is permitted in this zone. This five hundred (500) foot buffer does not apply internally to the Conexus Phase 2 & 3 PUD zone between the proposed residential and industrial uses.
 - The fifty (50) foot wide landscape buffer between industrial and less intense uses or zone districts required by Section 18.04.150.A.4 of the Town's Municipal Code is addressed and modified for this PUD under Development Landscape Standards No.3.
 - Screening. A minimum six (6) foot fence, wall, hedge, landscaping, earth berm, natural buffer area, or any combination thereof, shall be provided to reasonably screen the following structures and activities within the non-residential use areas on this Preliminary PUD Plan from immediately adjacent property or public right-of-way:
 - Dumpster or trash-handling areas;
 - Service entrances, loading docks/spaces; and
 - Outdoor storage, material stocks, and equipment.
 - Enclosure. Every industrial use, unless expressly exempted by the Board of Trustees, shall be operated in its entirety within a completely enclosed structure, except associated truck/vehicle loading & parking.
 - Outdoor storage. Outdoor storage shall be behind any building setback line, screened from view from adjacent properties and abutting streets.
 - Semi-trucks. Semi-trucks are permitted for industrial land uses that require goods, merchandise or equipment to be routinely delivered to or shipped from that land use.
 - Loading Requirements: These loading requirements shall apply to industrial land uses that require goods, merchandise or equipment to be routinely delivered to or shipped from that land use:
 - Cross Docks. No "cross-dock" buildings are permitted. Only buildings with truck loading on a single side of the building are permitted.
 - Elevated Truck Loading Docks/Berths. Each building may contain a maximum of one (1) elevated truck loading dock/berth per ten thousand (10,000) square feet of indoor building space.
 - Ground-Level Garage Loading Doors. Each building may contain a maximum of one (1) ground-level garage loading door per five thousand (5,000) square feet of indoor building space. Ground level is defined as plus or minus two (2) feet height from finished grade.
 - Truck/Trailer Parking. Truck/Trailer parking is only permitted in designated areas, to be further detailed on the Final PUD Plans.
 - External Effects.
 - Noise generated on the property shall not exceed eighty (80) dB between 6:00 a.m. and 6:00 p.m. and seventy-five (75) dB between 6:00 p.m. and 6:00 a.m. Noise generated on the property shall not exceed the above levels at the perimeter of the property.
 - The industrial use shall comply with all applicable federal, state and local regulations concerning the vibration, material handling and waste disposal, radioactive material, water pollution, air pollution, and other emissions.

Development Landscape Standards:

- All Final PUD Plan submittals within Conexus Phases 2 & 3 shall include a landscape plan and irrigation plan that conforms to the minimum specifications in Article 4 of Chapter 18.05 of the Monument Municipal Code, as amended.
- Landscape Setbacks:
 - Interstate 25: Twenty-five (25) foot measured from edge of right-of-way
 - Old Denver Road: Twenty (20) foot measured from edge of right-of-way
 - Internal Lot Lines: Zero (0) foot
- Landscape Buffers:
 - A minimum fifty (50) foot wide building to building setback, to include a minimum fifteen (15) foot wide landscape buffer shall be provided between abutting residential and industrial land uses within the Conexus Phase 2 & 3 PUD zone district. The fifteen (15) foot landscape buffer and associated planting can be located on either the industrial or residential lot or staggered between the two. A fifteen (15) foot buffer is also required between abutting residential and commercial/office/civic uses. Buffers are not required between the high density residential and medium density residential uses within the Conexus Phase 2 & 3 Preliminary PUD Plan.
 - Where a landscape buffer is required, one evergreen tree shall be planted and maintained for every twenty-five (25) linear feet of the buffer length.



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903

Tel. 719.471.0073
Fax 719.471.0267

www.nescolorado.com

© 2012. All Rights Reserved.

PLANNER / LANDSCAPE ARCHITECT

IN ASSOCIATION WITH

CoNexus Phases 2 & 3

Preliminary PUD Plan

Old Denver Road

PROJECT INFO

DATE: 11.19.2021
PROJECT MGR: A. BARLOW
PREPARED BY: B. ITEN

STAMP

ISSUE INFO

DATE: 01.14.2022 BY: B.I. DESCRIPTION: PER TOWN COMMENTS

ISSUE / REVISION

Zoning Regulations & Development Guidelines

SHEET TITLE

2

SHEET NUMBER

2 OF 5

PLAN FILE #








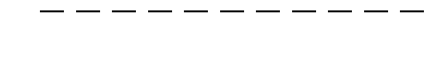
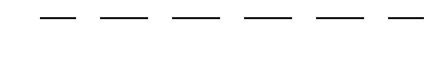
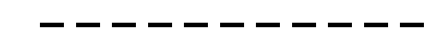



CONEXUS PHASES 2 & 3

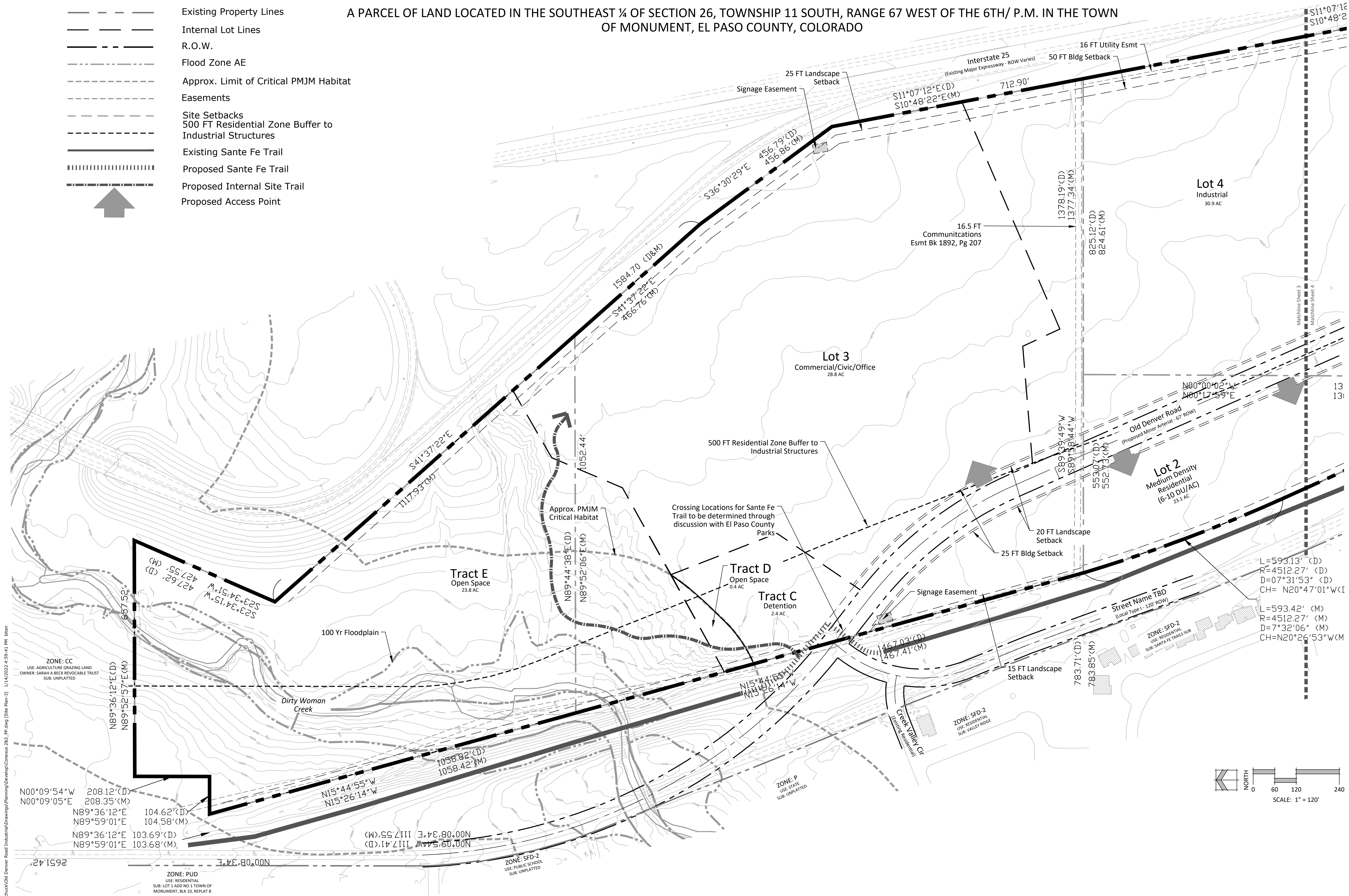
TOWN OF MONUMENT, COLORADO

PRELIMINARY PUD PLAN

A PARCEL OF LAND LOCATED IN THE SOUTHEAST ¼ OF SECTION 26, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH/ P.M. IN THE TOWN OF MONUMENT, EL PASO COUNTY, COLORADO

LINETYPE LEGEND

-  Site Boundary
-  Existing Property Lines
-  Internal Lot Lines
-  R.O.W.
-  Flood Zone AE
-  Approx. Limit of Critical PMJM Habitat
-  Easements
-  Site Setbacks
-  500 FT Residential Zone Buffer to Industrial Structures
-  Existing Sante Fe Trail
-  Proposed Sante Fe Trail
-  Proposed Internal Site Trail
-  Proposed Access Point



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903
Tel. 719.471.0073
Fax 719.471.0267
www.nescolorado.com
© 2012. All Rights Reserved.

CoNexus Phases 2 & 3

Preliminary PUD Plan

Old Denver Road

DATE: 11.19.2021
PROJECT MGR: A. BARLOW
PREPARED BY: B. ITEN

Stamp area with fields for DATE, BY, DESCRIPTION, and other project details.

Preliminary PUD Plan

3

3 OF 5

P:\Sketch\Old Denver Road Industrial\Drawings\Planning\Drawings\Conexus 2&3_PP.dwg [Site Plan-3] 1/14/2022 4:59:41 PM biten

ZONE: CC
USE: AGRICULTURE GRAZING LAND
OWNER: SARAH A. BELK REVOCABLE TRUST
SUB: UNPLATTED

N00°09'54"W 208.12'(D)
N00°09'05"E 208.35'(M)
N89°36'12"E 104.62'(D)
N89°59'01"E 104.58'(M)
N89°26'14"W 103.69'(D)
N89°36'12"E 103.93'(M)
N00°09'54"W 1117.41'(D)
N00°08'34"E 1117.55'(M)
N00°08'34"E 2651.42'

ZONE: PUD
USE: RESIDENTIAL
SUB: LOT 1 ADD NO. 1 TOWN OF MONUMENT, BLK 10, REPLAT B

ZONE: SFD-2
USE: PUBLIC SCHOOL
SUB: UNPLATTED

ZONE: SFD-2
USE: RESIDENTIAL
SUB: VALLEY RIDGE

ZONE: SFD-2
USE: RESIDENTIAL
SUB: SANTA FE TRAILS SUB














CONEXUS PHASES 2 & 3

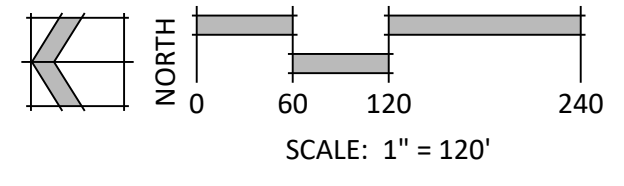
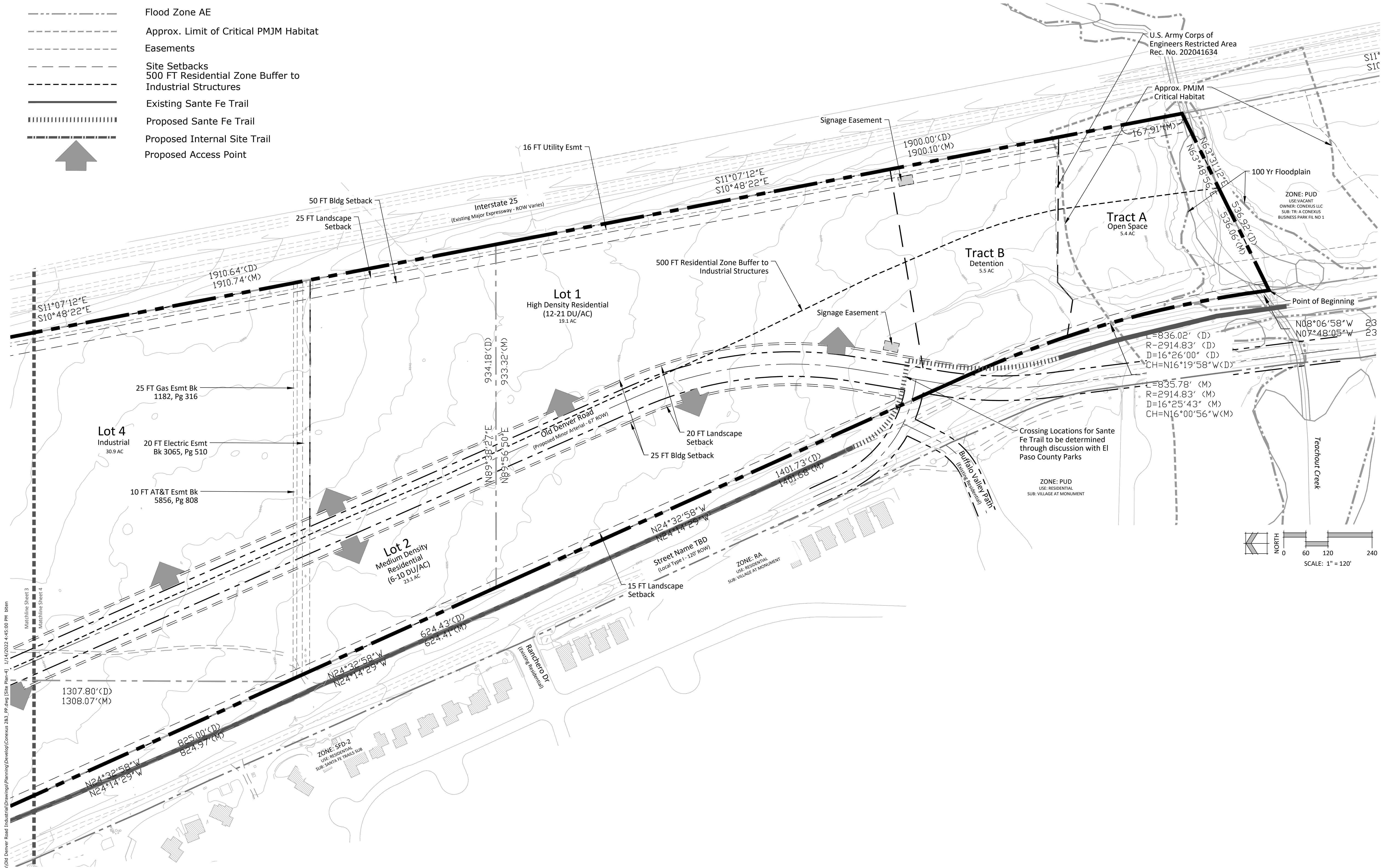
TOWN OF MONUMENT, COLORADO

PRELIMINARY PUD PLAN

A PARCEL OF LAND LOCATED IN THE SOUTHEAST ¼ OF SECTION 26, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH/ P.M. IN THE TOWN OF MONUMENT, EL PASO COUNTY, COLORADO

LINETYPE LEGEND

-  Site Boundary
-  Existing Property Lines
-  Internal Lot Lines
-  R.O.W.
-  Flood Zone AE
-  Approx. Limit of Critical PMJM Habitat
-  Easements
-  Site Setbacks
-  500 FT Residential Zone Buffer to Industrial Structures
-  Existing Sante Fe Trail
-  Proposed Sante Fe Trail
-  Proposed Internal Site Trail
-  Proposed Access Point



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903
Tel. 719.471.0073
Fax 719.471.0267
www.nescolorado.com
© 2012. All Rights Reserved.

CoNexus Phases 2 & 3

Preliminary PUD Plan

Old Denver Road

DATE: 11.19.2021
PROJECT MGR: A. BARLOW
PREPARED BY: B. ITEN

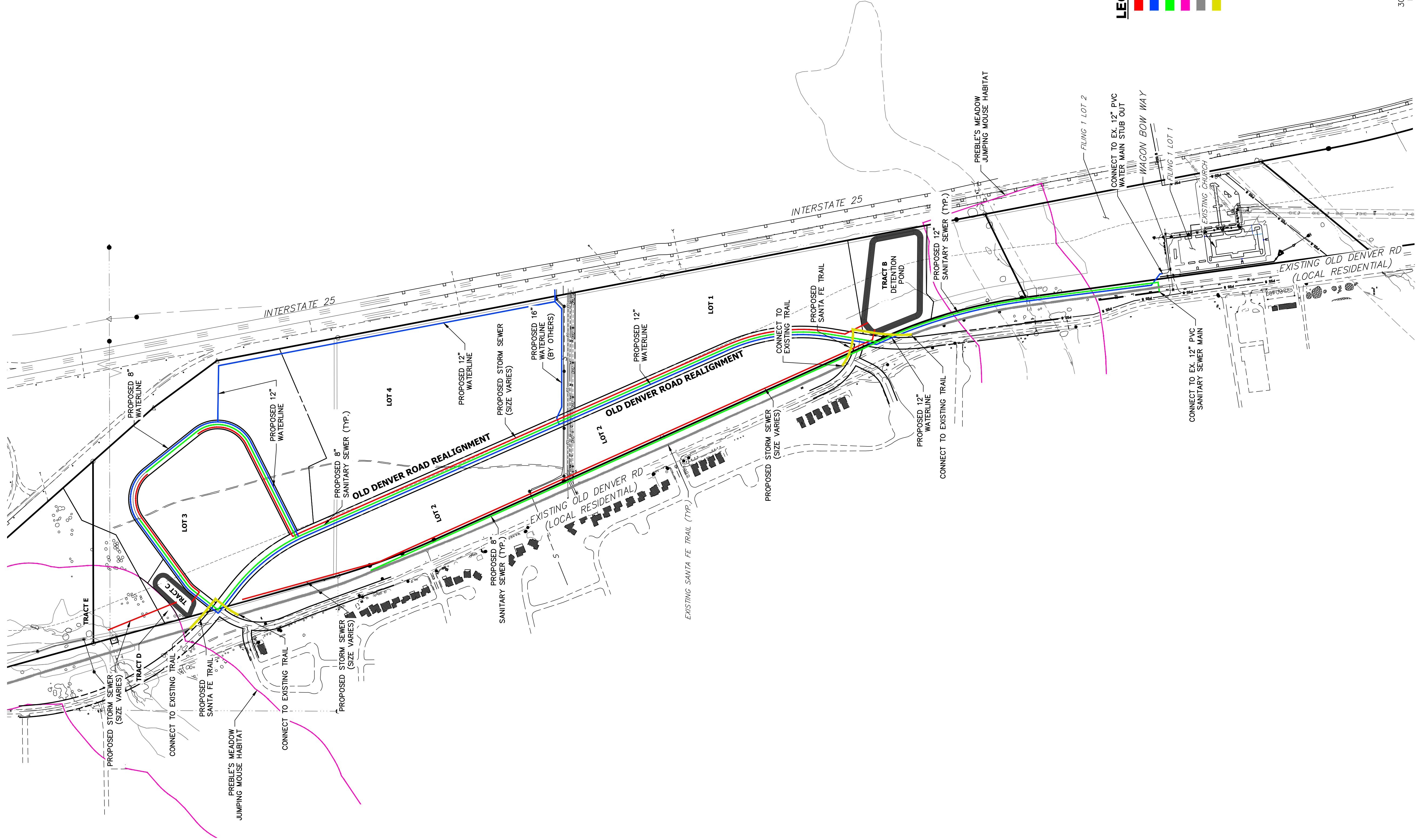
Preliminary PUD Plan

4

3 OF 5

P:\Sketch\Old Denver Road Industrial\Drawings\Planning\Develop\Conexus 2&3_PP.dwg [Site Plan-4] 1/14/2022 4:46:00 PM biten

CONEXUS PHASE 2 & 3 MASTER FACILITY PLAN



LEGEND

- PROPOSED STORM SEWER
- PROPOSED WATERLINE
- PROPOSED SANITARY SEWER
- PREBLE'S JUMPING MOUSE HABITAT
- EXISTING TRAIL
- PROPOSED TRAIL



MASTER FACILITY PLAN
CONEXUS PHASE 2 & 3
JOB NO. 2-5247.00
01/13/22
SHEET 1 OF 1

J.R. ENGINEERING
A Westman Company

Central 303-740-5885 • Colorado Springs 719-585-2883
Fort Collins 970-491-9888 • www.jrengineering.com