
CONEXUS PHASES 2 & 3 PRELIMINARY PUD PLAN

PROJECT NARRATIVE

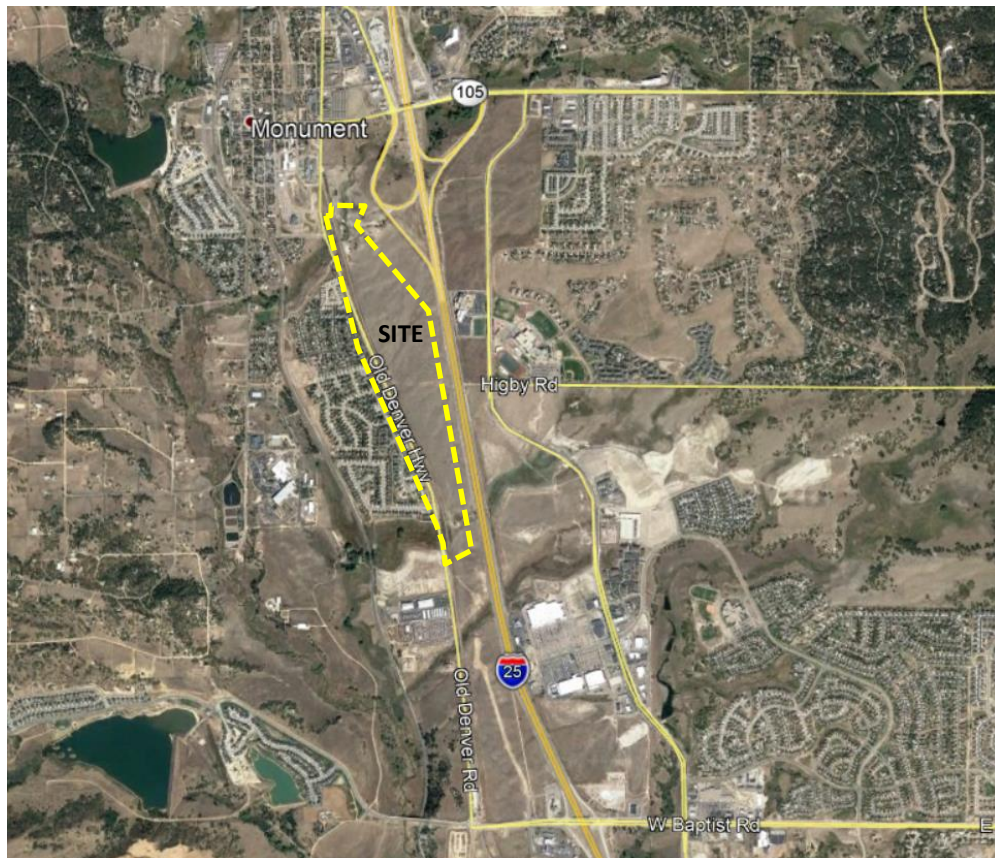
NOVEMBER 2021, REVISED JANUARY 2022

REQUEST

Conexus, LLC requests approval of a Preliminary PUD Plan for Conexus Phases 2 & 3, for a planned mixed-use development with a variety of light industrial, commercial, civic, office, residential, and open space uses on 145.88 acres of land located west of I-25 and east of Old Denver Road in the Town of Monument.

LOCATION

The property is situated south of downtown Monument and south of the intersection of Interstate 25 and Highway 105/2nd Street. The property lies between Old Denver Road and the Interstate, with the Trails End neighborhood situated to the west of Old Denver Road. The property is bordered to the south by Teachout Creek and to the north by Dirty Woman Creek. The regional Santa Fe Trail runs along the western boundary between the site and Old Denver Road.



ZONING

Conexus Phases 2 & 3 was rezoned from Regency Park PID (Planned Industrial Development) to Planned Development (PD) on September 8, 2020. The PD zoning and accompanying Sketch PD Plan approval for Conexus Phase 2 & 3 is memorialized in Town of Monument Ordinance 20-2020. Both PD zoning and Sketch PD Plan were approved in the context of the Town's 2017 Comprehensive Plan and were found to be consistent with this Plan.

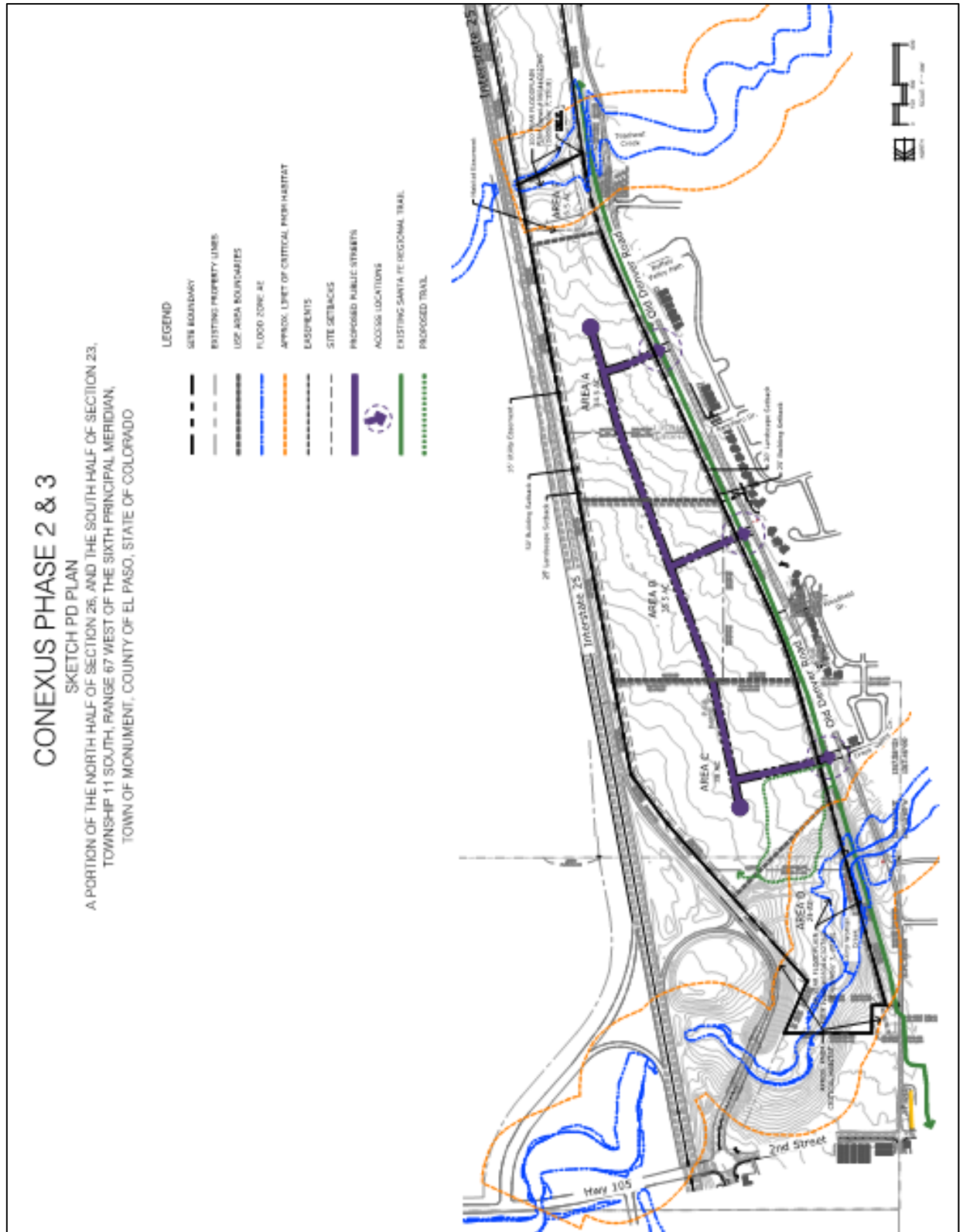
The Conexus Phases 2 & 3 Sketch PD Plan covered the same 145.88 site as the currently submitted Preliminary PUD Plan. The Sketch PD Plan identified three land use areas as well as areas for detention, open space, parks and trails. The three land use areas specified a range of permitted uses for the property, including commercial, office, civic, light industrial, multi-use, and residential. These land use categories were generally defined on the Sketch PD Plan as follows:

1. Commercial Use Types: Uses including the sale, rental, service, and distribution of goods; and the provision of services. Includes commercial recreation/entertainment, hotels/motels, conference centers, mini-storage.
2. Civic Use Types: Includes the performance of educational, recreational, cultural, medical, protective, utility, governmental, and other uses which are strongly vested with public social importance.
3. Light Industrial Use Types: Includes the manufacture or processing of finished products from previously prepared materials (not form raw materials) and the storage and distribution of products. Include buildings used primarily for warehousing and distribution and research & development facilities. Screened outdoor storage is allowed as a principal use.
4. Multi-use Use Type: commercial, office, or light industrial and/or residential combined in the same building or lot.
5. Office Use Types: Uses providing for administrative services, professional services, and accessory activities. Includes call centers.
6. Residential Use Types: Uses providing wholly or primarily permanent living accommodations (includes retirement and assisted living facilities).
 - a. Residential use is limited to 25% of each land use area.
 - b. Medium-Density Residential: 6-12 du/ac
 - c. High-Density Residential: 12-20 du/ac

The Sketch PD Plan identified a maximum square footage for non-residential use of 1,000,000 sq.ft. and a maximum number of residential units of 465 units.

The Sketch PD Plan included three points of access off Old Denver Road, to be refined with the more detailed Preliminary/Final PD Site Plans to ensure acceptable intersection spacing, internal circulation, and site visibility.

Approved Conexus Phase 2 & 3 Sketch PD Plan



PROJECT DESCRIPTION

Conexus Phases 2 & 3 Preliminary PUD Plan will create a mixed-use development with a variety of light industrial, commercial, civic, office, residential, and open space uses. The proposed uses are consistent with the permitted land use categories of the approved PD zoning and the Preliminary PUD Plan is consistent with the overall parameters identified on the approved Sketch PD Plan. The one exception is the inclusion of additional residential areas and the increase in the maximum number of residential units from 465 unit to 631 units, an increase of 166 units. This change is in response to feedback from neighbors who expressed a preference for more residential use within the overall development. The additional residential areas have been located along the frontage of Old Denver Road to provide a transition and buffer to the permitted non-residential uses within Conexus Phases 2 & 3. The Preliminary PUD Plan also proposes a corresponding reduction in the amount of allowed non-residential floorspace is proposed, from 1,000,000 sq.ft. to 830,000 sq.ft., a reduction of 170,000 sq.f.t.

Development Configuration: The Preliminary PUD Plan comprises seven areas for development, which are identified as lots but it is likely that these lots will ultimately be subdivided into smaller lots for specific uses. Each lot has a specific land use classification that is consistent with the land uses permitted with the PD Zoning and Sketch PD Plan. The plan includes three open space tracts: a 5.4 acres tract to the south adjacent to Teachout Creek, and two tracts totaling 24.2 acres on the north side encompassing Dirty Woman Creek, with associated Preble’s Meadow Jumping Mouse (PMJM) Habitat. In addition, two tracts are included for on-site regional detention for the entire development.

Proposed Land Uses Distribution for Conexus Phases 2 & 3 Preliminary PUD Plan

	ACREAGE	PRIMARY LAND USE TYPE/CATEGORY ¹	RESIDENTIAL UNITS	NON-RESIDENTIAL SQ.FT.	MAXIMUM HEIGHT ⁴
Lot 1	19.1	High Density Residential (12-20.89 du/ac)	399		75'
Lot 2	23.1	Medium Density Residential (6-10 du/ac)	232		50'
Lot 3	28.8	Commercial/Civic/Office ²		435,000	
		Hotel			75'
		Office			75'
		Retail			50'
Lot 4	30.9	Industrial ³		395,000	60'
Tract A	5.4	Open Space/Trails			
Tract B	5.5	Drainage/Detention			
Tract C	2.4	Drainage/Detention			
Tract D	0.4	Open Space/Park/Trails			
Tract E	23.8	Open Space/Park/Trails			
Right-of-Way	6.6	Right-of-Way			
TOTAL	146.0		631	830,000	

Uses: The Development Guidelines for Conexus Phases 2 & 3 Preliminary PUD Plan includes a list of permitted uses that are consistent with the definitions of the land uses categories included on the Sketch PD Plan referenced above. Unless otherwise noted on the plan, all land uses comply with the use definitions in Chapter 18.07 of the Town’s Municipal Code. Specific definitions are included for uses that are not defined in the Code, to include call centers, data centers and office showroom.

Industrial Uses: The Preliminary PUD Plan includes standards for the industrial uses that are permitted under the approved PD zoning and Sketch PD Plan. These standards modify and supersede the Industrial Uses standards in Chapter 18.04.150 of the Monument Municipal Code and shall govern the Conexus Phases 2 & 3 planned development. The standards include provision for a 500-foot buffer to adjacent pre-existing residential land uses and zoning, semi-truck traffic circulation, buffer/screening, enclosure of uses, outdoor storage and controls on external effects. Lot 4 is the only lot where industrial use is allowed. Lot 4 is located more than 500 feet from any existing residential zone. Lot 4 is limited to 395,000 sq.ft. and the maximum size of any individual building shall be 175,000 sq.ft..

Phasing: Conexus Phases 2 & 3 are expected and intended to be a phased development, with project improvements and development of parcels occurring over time. Appropriate levels of improvements shall be completed to serve each phase of the project (as determined by the Town of Monument staff.).

Development Standards: Specific development standards are identified on the Preliminary PUD Plan. These are all consistent with the approved Sketch PD Plan but provide more specific standards and include standards not addressed in the Sketch PD Plan. The standards of the Preliminary PUD Plan govern the Conexus Phases 2 & 3 planned development and supersede any applicable standards in the Town's Municipal Code.

Building Height: The maximum building height approved under the Sketch PD Plan is 90 feet for the entire development. The maximum building height for this Preliminary PUD Plan is:

- Lot 1: High Density Residential – 75 feet
- Lot 2: Medium Density Residential – 50 feet
- Lot 3: Commercial/Civic/Office:
 - Hotel – 75 feet
 - Office – 75 feet
 - Retail – 50 feet
- Lot 4: Industrial – 60 feet

The building height is to be measured using the building height definition set out in this Preliminary PUD Plan.

Building Setbacks: The minimum building setbacks are consistent with the Sketch PD Plan:

- Interstate 25: Fifty (50) foot
- Old Denver Road: Twenty-five (25) foot measured from the Conexus Phases 2 & 3 western property line.
- Internal Spine Road: Ten (10) foot
- Internal Lot Lines: Zero (0) foot

Landscape setbacks and buffers: A 25-foot landscape setback is proposed along I-25 and a 20-foot landscape setback is proposed along Old Denver Road, as required by the Sketch PD Plan. Additionally, the Preliminary PUD Plan requires a minimum 50-foot-wide setback (measured from building to building, not from the property line), to include a minimum 15-foot wide landscape buffer between the abutting residential and industrial development within the Conexus Phase 2 & 3 PUD zone district.

Buffers are not required between multifamily and single-family residential uses within the Preliminary PUD Plan.

Architecture and Design: The architecture and design of all buildings will require exterior treatment of the buildings as follows:

- No metal buildings are allowed for principal structures. Accessory structures may be metal.
- All principal structures must include CMU block, concrete, brick, stone, stucco, wood, or cement siding detailing on all four (4) sides.
- The color of materials will be in an “earth tone” palette. Accent colors will be allowed.
- All outdoor storage areas, loading docks, and trash enclosures will be screened with an opaque structure or enhanced landscaping or berms.
- Parking lot lighting shall have a maximum mounting height of thirty (30) feet.
- All outdoor lighting will meet the requirements of Section 18.05.320 of the Town’s Municipal Code and will be consistent with the approved fixtures in Section 18.05.330.
- Flexibility will be applied to ensure that there is a variety in architectural and design between buildings, while maintaining the same general design character/theme.
- Varied parapet height or design is required for flat roof buildings.

The standards aim to ensure that the architecture and design of the proposed buildings include varied architectural treatment and materials to create interest and relief to the building elevations. The architecture of the proposed buildings will be controlled by design guidelines that will include specific requirements relating to the exterior treatment of the buildings. It is anticipated the Design Guidelines will be administered by the Conexus Metropolitan District or an Owners Association. Rooftop mechanical equipment, loading areas, trash enclosures and any outdoor storage will be screened.

Access: The development proposes to realign Old Denver Road to run through the development at the suggestion of Triview Metropolitan District’s traffic consultant. This will direct all existing and future traffic through the Conexus property and away from the existing neighborhood. This will reduce traffic, noise and potential cut through traffic away from neighborhood streets. The Conexus development will be served by individual access driveways or streets off the new Old Denver Road alignment. Appropriate turn lanes will be provided if needed per the recommendations of the accompanying traffic report. The remaining portion of the existing Old Denver Road will become a local street serving only the residential area to the west.

Semi-truck traffic is allowed in this development as it is an integral function of several of the uses permitted under the PD zoning and Sketch PD Plan (e.g. warehousing, distribution and manufacturing uses). However, the proposed realignment of Old Denver Road will ensure that such semi-truck traffic will not impact the existing neighborhood to the west.

There is a recorded Memorandum of Understanding between El Paso County and the landowners that permits up to six accesses across the Santa Fe Trail for their entire land ownership north of Baptist Road. Conexus Phase 1 utilized one of these crossings for its site access. The Santa Fe Park project proposes

two additional access points off Old Denver Road that cross the trail. With the proposed realignment of Old Denver Road, the Santa Fe Trail will be crossed in only two locations by the Conexus Phases 2 & 3 development. The trail crossing design will include a pedestrian refuge in a center median to facilitate the safe crossing of the trail across the new Old Denver Road alignment. The crossing design will be subject to review and approval by El Paso County Park Department.

Drainage: The property naturally drains from northeast to southwest and generally drains toward Old Denver Road and then south to Teachout Creek. Run-off from the Conexus Phase 2 & 3 development will be collected on site and conveyed to two full-spectrum detention ponds, which will include water quality treatment. These ponds will serve as regional facilities for the entire development. An Master Development Drainage Plan (MDDP) prepared by JR Engineering is submitted with this Preliminary PUD Plan.

Open Space/Environment: The existing Teachout Creek drainage channel to the south of the property and the Dirty Woman Creek drainage channel to the north of the property will be preserved for drainage and open space. These areas also includes Preble’s Meadow Jumping Mouse (PMJM) habitat and wetlands, which will be entirely preserved within the open space areas. Impacts to wildlife and wetlands and the control of noxious weeds have been studied in the accompanying reports by Core Consultants. The Conexus Phase 2 & 3 Preliminary PUD Plan is in conformance with Section 18.05.140 of the Town’s Municipal Code relating to open space provision.

Utilities: Water and Wastewater Services will be provided by Triview Metropolitan District. Gas service will be provided by Black Hills Energy and electric service will be provided by Mountain View Electric Association.

Ownership & Maintenance: The new alignment of Old Denver Road will be owned by the Town of Monument and maintained by Triview Metropolitan District. Triview Metropolitan District will own and maintain the on-site drainage systems and detention ponds, along with the sewer and water systems. The open space tract to the north and south will be owned and maintained by the Town of Monument. The landscape buffers, berms, internal landscaping, building exteriors and interiors, internal driveways and parking areas will be owned and maintained by the individual building owners, as each building will be on individually platted lots to allow for separate ownerships. The following table lists these tracts and rights-of-way, and associated ownership and maintenance responsibilities:

TRACT TABLE				
	Acreage	Use	Ownership	Maintenance
Tract A	5.4	Open Space/Trails	Town of Monument	Town of Monument
Tract B	5.6	Drainage/Detention	Triview Metropolitan District	Triview Metropolitan District
Tract C	2.3	Drainage/Detention	Triview Metropolitan District	Triview Metropolitan District
Tract D	0.4	Open Space	Town of Monument	Town of Monument
Tract E	23.8	Open Space/Park/Trails	Town of Monument	Town of Monument
Right-of-Way	6.7	Right-of-Way	Town of Monument	Triview Metropolitan District

PROJECT JUSTIFICATION

A. Consistency with the Monument Comprehensive Plan

The Future Land Use Map in the 2017 Comprehensive Plan identifies the site as BC (Business Campus), with PR (Parks and Recreation, Open Space, Open Lands, Trails) along the drainageways to the north and south. The preserved open spaces with parks and trails within lots A, D and E are consistent with the PR designation on the Future Land Use Map.

The Business Campus areas are located adjacent to the I-25 corridor and with easy access to the interstate or other transportation modes. These areas are intended to accommodate mixed use business parks that allows for office, research and development, and educational facilities to locate in one development area with adequate open areas and parking areas. It also indicates that manufacturing, assembly, and fabrication should be allowed if all activities are contained within a structure and screened from the street and from the I-25 corridor. Commercial accommodations (e.g. hotels) are also identified as an appropriate use in these locations.

The stated objective of the BC designation is to provide tax base and jobs while reducing traffic and commuting distances. It is also intended to provide an alternative to the I-25 Planned Industrial (PID) lands that is a 'more attractive' type of clustered development of mixed businesses that thrive in a 'campus' like atmosphere.

The Comprehensive Plan acknowledges that residential-attached use is an important component of the overall land use mix for the Town, as it provides housing options to serve the growing area workforce and a more affordable housing alternative for new homeowners or those transitioning out of single-family detached residences. The Comprehensive Plan also encourages residential-attached to locate adjacent to existing attached housing and adjacent to large scale non-residential development, as a transition between non-residential uses and single-family neighborhoods.

The Preliminary PUD Plan is consistent with these Comprehensive Plan objectives. The development guidelines require that all industrial uses be contained within a structure and require appropriate screening, which is consistent with the Business Campus objectives. The proposed commercial uses are consistent with the Business Campus objective of providing a tax base and jobs. The proposed residential land uses will provide needed workforce housing and will provide a transition to the existing residential to the west.



Source: Town of Monument Comprehensive Plan 2017

The proposed mix of light industrial, office, civic, commercial, residential, and open space uses proposed by the Preliminary PUD Plan for Conexus Phases 2 & 3 will also meet the following policies and objectives of the 2017 Comprehensive Plan:

Policy LU-3: Allow for a wider array of land use types to meet changing community needs.

The diverse mix of light industrial, commercial, office, civic, and residential land uses proposed for Conexus Phases 2 & 3 will provide a wider array of development options to meet the changing needs of the community.

Opportunity LU-A: With 2,389 gross acres of land available for development, the Future Land Use Plan provides an opportunity to move from single-use developments to a mix of complementary land uses. These uses can be developed into various activity nodes, thereby ensuring an appropriate balance of live, work, and play environments.

The Preliminary PUD Plan identifies a mix of complementary land uses consistent generally with the overall objectives of the Business Campus designation on the Future Land Use Map. The commercial and industrial land uses are compatible with the site's location close to downtown Monument and major I-25 intersections and will provide significant employment opportunities for the Town. The

residential uses are compatible with the site's location adjacent to an existing residential neighborhood and provide opportunities for workforce housing. The proposed open space areas are also consistent with the Comprehensive Plans designation of PR (Parks and Recreation, Open Space, Open Lands, Trails) for the drainageways to the north and south of the property. The overall mix of uses on the site provides the opportunity for the desired balance of live, work, and play environments.

Opportunity LU-E. Capitalize on the three I-25 interchanges for destination sales tax producing land uses.

The proposed commercial uses in the Preliminary PUD Plan for Conexus Phases 2 & 3 provide the opportunity for destination sales tax producing land uses, which will capitalize on the site's location close to the I-25 and Highway 105 interchange.

Opportunity POS-A. Planned developments provide more amenities than traditional zoning in return for greater flexibility. This is typically in the form of parks, open space, and trails. When approving Planned Developments, look at ways to locate dedicated land and trails to connect with existing parks trails and useable open space.

The Conexus Phases 2 & 3 Planned Development incorporates approximately 24 acres of open space around the Dirty Woman Creek drainage and provides internal trail connection to the Santa Fe Trail. An additional 5.4 acres of open space is preserved on the south side of the site adjacent to the Teachout Creek drainage.

Opportunity ED-C. Continue to promote Monument as the business, shopping, service, employment, and activity hub for the Tri-Lakes region.

The diverse mix of light industrial, office, civic, commercial and multifamily residential land uses proposed on the Preliminary PUD Plan will further the objective of promoting Monument as the activity hub for the Tri-Lakes region.

B. Consistency with Code Review Criteria

Section 18.03.450.D of the Town of Monument Municipal Code states that the Preliminary PUD Plan must adequately address the following criteria in a manner consistent with the general public interest, health, safety and welfare:

- 1. Quality and functionality of open space and parks are appropriate to the site in terms of recreation, views, public access and optimum preservation of natural features including trees, shrubs, wildlife habitat, scenic areas, and riparian and drainage areas in conformance with the Comprehensive Plan and Parks, Trails, and Open Space Master Plan;**

The Conexus Phases 2 & 3 Preliminary PUD Plan proposes open space around the existing Dirty Woman Creek and Teachout Creek drainage areas and protects the PMJM habitats in those areas.

These are the only natural features on the property. Recreation opportunities are included via proposed trails within the northern open space area.

2. Parks and open space dedications, or fees in lieu of dedication, are consistent with the requirements of Article 3 of Chapter 18.02 (Subdivision);

This Preliminary PUD Plan identifies 29.6 acres of open space to serve the overall development, which is 20% of the total 145.98-acre PUD area. Future Final PUD Plans for residential development should include adequate amenity areas to serve future residents but are not required to provide additional open space or public parks. Town staff will determine whether land or fees in lieu of park land dedication will be required when the Final PUD Plans are submitted.

3. School land dedications, or fees in lieu of dedication, are consistent with the requirements of Article 3 of Chapter 18.02 (Subdivision);

School fees will be payable for any residential use in lieu of land dedication, per the request of the Lewis-Palmer School District.

4. The trail system provides adequate internal circulation and makes appropriate external connections to schools, parks, employment centers, and transit; and trails conform to the Comprehensive Plan and Parks, Trails, and Open Space Master Plan;

The regional Santa Fe Trail runs along the western boundary of the property. Tract E will include a trail to connect the development to Santa Fe Trail and internal sidewalks will also link to the trail. There is a recorded Memorandum of Understanding between El Paso County and the landowners that permits up to six accesses across the Santa Fe Trail for their entire land ownership north of Baptist Road. Conexus Phase 1 utilized one of these crossings for its site access. The Santa Fe Park project proposes two additional access points off Old Denver Road that cross the trail. With the proposed realignment of Old Denver Road, the Santa Fe Trail will be crossed in only two locations by the Conexus Phases 2 & 3 development. The trail crossing design will include a pedestrian refuge in a center median to facilitate the safe crossing of the trail across the new Old Denver Road alignment. The crossing design will be subject to review and approval by El Paso County Park Department.

5. The project provides a benefit to the Town such as increasing the variety of development to fill a need and/or provide amenities for the benefit of the Town residents;

The variety of uses proposed by the Conexus Phases 2 & 3 Preliminary PUD Plan include commercial and industrial uses that will provide employment opportunities and increase the tax base of the town. Residential areas are proposed that will provide a range of housing type and density to address the workforce housing needs in the Town. Civic uses are permitted that could provide services and amenities for the Town and open space areas and trails will provide recreational benefits for residents.

6. A variety of development and housing types, styles and densities, are proposed;

The Preliminary PUD Plan includes areas for higher density multifamily development and medium density single family, single-family attached or townhome development.

7. An appropriate relationship exists between use areas, both internal and surrounding, with adequate buffer areas provided if warranted;

The entirety of the property was previously zoned for general industrial use since the 1980's. The recent PD rezoning has changed this zone to a more mixed-use environment of lighter industrial, office, commercial, civic and residential uses.

The proposed to realignment Old Denver Road through the development will direct all existing and future traffic through the Conexus property and away from the existing neighborhood, thereby reducing the impacts of existing and traffic, and any associated noise and cut through traffic away from neighborhood streets. The remaining portion of the existing Old Denver Road will become a local street serving only the residential area to the west. This will significantly improve the residential environment for this neighborhood.

The different use zones shown on the Preliminary PUD Plan have been thoughtfully located in accordance with the approved Sketch PD Plan with consideration to providing an appropriate transition through the site and to surrounding land uses. The inclusion of medium-density residential use between the existing and proposed Old Denver Road is intended to provide a transition and buffer to the existing single-family neighborhood to the west. The location of the industrial, commercial, and higher density residential to the north of the new Old Denver Road alignment will separate these more intense uses from the existing residential neighborhood and provide a clear separation of use.

A 50-foot building setback and a 25-foot landscape buffer is proposed adjacent to I-25. A 25-foot building setback and a 20-foot landscape buffer is included along Old Denver Road. A 500-foot buffer zone/setback from the existing residential zone district to the west of Old Denver Road is depicted on this Preliminary PUD Plan. Any structure containing an industrial use cannot be located within the 500- foot buffer.

Landscaping setbacks will be provided along internal streets and landscape buffers will be required between non-residential and residential uses within the planned development area. A minimum 50-foot-wide building to building setback, to include a minimum 15-foot wide landscape buffer, shall be provided between the abutting residential and industrial development within the Conexus Phase 2 & 3 PUD zone district. Buffers are not required between multifamily and single-family residential uses within the Preliminary PUD Plan.

8. The circulation system provides adequate capacity, connectivity, and accessibility;

The development proposes to realign Old Denver Road to run through the development at the suggestion of Triview Metropolitan District's traffic consultant. This will direct all existing and future traffic through the Conexus property and away from the existing neighborhood. This will reduce

traffic, noise and potential cut through traffic away from neighborhood streets. The Conexus development will be served by individual access driveways or streets off the new Old Denver Road alignment. Appropriate turn lanes will be provided if needed per the recommendations of the accompanying traffic report. The remaining portion of the existing Old Denver Road will become a local street serving only the residential area to the west.

Semi-truck traffic is allowed in this development as it is an integral function of several of the uses permitted under the PD zoning and Sketch PD Plan (e.g. warehousing, distribution and manufacturing uses). However, by aligning Old Denver Road as proposed, this semi-truck traffic will not impact the existing neighborhood to the west.

9. The phasing plan, if any, is appropriate, minimizes unnecessary or premature grading or removal of vegetation, provides access to collector roads, for utility extensions, and adequately addresses other fiscal concerns of the Town;

Conexus Phases 2 & 3 are expected and intended to be a phased development, with project improvements and development of parcels occurring over time. Appropriate levels of improvements shall be completed to serve each phase of the project (as determined by the Town of Monument staff).

10. Water and sewer utility service is physically feasible and economically capable of being connected to the Town system, unless such connection requirement is specifically waived by the Town and there is adequate capacity to serve the development, including that the water supply meets Town standards;

Water and Wastewater Services will be provided by Triview Metropolitan District, which has already delivered sewer and water service to the subject development and is the process of constructing an additional 16" water main across I-25 to complete system-wide water main looping, appropriate water pressure and services for the area.

11. Other required utilities are available, as demonstrated by willing-to-serve letters from all relevant utility providers;

Gas service will be provided by Black Hills Energy and Electric service will be provided by Mountain View Electric Association. All utilities are currently located adjacent to the proposed development.

12. The plan design and density are sensitive to the site's major environmental characteristics including topography, geology, flood plains, view sheds, scenic features, wildlife habitat and vegetation; and

The Environmental Assessment Map and Slope Analysis included with the Sketch PD Plan for Conexus Phases 2 & 3 identifies the physical and natural features of the site. Wildlife, Wetlands and Noxious Weeds Assessments prepared by CORE are also submitted with this Preliminary PUD Plan.

Topography: The site has gently undulating topography that slopes generally from the northeast to the southwest, with some steeper sloping areas adjacent to the two drainageways on the site.

Vegetation: Vegetation on the site is characterized by native grasses with a few mature trees, consisting primarily of mature Cottonwoods, mature Peachleaf Willow and Ponderosa Trees within the Dirty Woman Creek and Teachout Creek drainages. These drainageways are the foremost natural features on the site and are to be preserved as open space. These areas have been heavily grazed and have limited shrub cover or plant species. The extensive open space tracts will also preserve a view shed across the site to the front range.

Aquatic Resources: Aquatic resources are present on the site in the form of the Dirty Woman Creek and Teachout Creek drainages and adjacent ponded wetland areas. The Preliminary PUD Plan will retain these resources within open space tracts and, therefore will not impact Waters of the United States (WOTUS) and, therefore, will not require permitting under Section 404 of the Clean Water Act.

Noxious Weeds: A Noxious Weed Management Plan is included with the submittal, which details recommendations for identifying and controlling the spread of noxious weeds prior to, during, and/or post-construction.

Wildlife: The development is not expected to impact general wildlife as occurrences are limited due to the site's location adjacent to I-25 and existing industrial and residential development. Species that occur in wetland and riparian habitat are expected to benefit from open space protection along and adjacent to Dirty Woman Creek and Teachout Creek. Once cattle are removed from these areas, some species will likely see additional benefits as grasses and woody vegetation improve. Implementation of a stormwater management plan will also assist in protecting water quality in the adjacent creeks, which will provide additional benefits to aquatic species.

Federally Listed Threatened & Endangered Species: Potential Preble's Meadow Jumping Mouse (PMJM) is identified within the designated Critical Habitat areas along Dirty Woman Creek and Teachout Creek. On site surveys indicate that PMJM habitat is unlikely in the reach of Dirty Woman Creek within the property due to limited shrub cover, heavy grazing and low plant species. Since development is not planned in and around the creeks and these areas will be retained as open space, PMJM habitat is not expected to be adversely affected by site development. Black-tailed prairie dog colonies were observed in the upland areas along Dirty Woman Creek. While these are not threatened or endangered species, they create potential habitat for nesting or migrant Burrowing Owls, which are a State Threatened Species. No Burrowing Owls were observed on the site but the Wildlife Assessment recommends further surveys prior to construction.

A Geologic Hazard Study prepared by CTL Thompson is included with this Preliminary PUD Plan submittal. This indicates that there are no geologic hazards that would preclude development of the site as proposed. Conditions identified that may pose some constraints are commonplace in the region and each can be mitigated with engineering design and standard construction methods for this area.

13. The plan is consistent with Town's Comprehensive Plan.

In the recent approval of the PD Zoning and Sketch PD Plan in September 2020, the Town concluded that the proposed planned development is consistent with policies and objectives and Future Land Use Map of the Town's Comprehensive Plan. The Preliminary PUD Plan compliance with the land uses and general parameters and configuration of the Sketch PD Plan and is, therefore, similarly consistent with the Town's Comprehensive Plan.

SUMMARY

The PD zoning and Sketch PD Plan for Conexus Phases 2 & 3 were approved in the context of the Town's 2017 Comprehensive Plan and were found to be substantially consistent with this Plan. The proposed Conexus Phases 2 & 3 Preliminary PUD Plan, comprising a planned mixed-use development with a variety of light industrial, commercial, civic, office, residential, and open space uses, complies with the PD zoning and Sketch PD Plan and, therefore, is also substantially consistent with the Comprehensive Plan. The Preliminary PUD Plan meets all the criteria in Section 18.03.450.D of the Municipal Code in a manner consistent with the general public interest, health, safety and welfare of the Town's existing future residents.

The development will further the Comprehensive Plan goals of promoting Monument as the business, shopping, service, employment, and activity hub for the Tri-Lakes region; locating major traffic-generating land uses along designated arterials, develop multi-use employment centers that can serve the growing Front Range population and provided needed workforce housing to see the growing Monument community.