

# WIDEFIELD WATER AND SANITATION DISTRICT

## ROLLING HILLS BOOSTER PUMP STATION

CIP NO. 2021.821.2037  
EL PASO COUNTY, COLORADO

### CODE STATEMENT

- APPLICABLE CODES INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:
- |  |  |
|--|--|
| <p>A. PIKES PEAK REGIONAL BUILDING CODE (2017)</p> <p>B. INTERNATIONAL BUILDING CODE (2015)</p> <p>C. INTERNATIONAL EXISTING BUILDING CODE (2015)</p> <p>D. INTERNATIONAL ENERGY CONSERVATION CODE (2015)</p> <p>E. INTERNATIONAL MECHANICAL CODE (2015)</p> <p>F. INTERNATIONAL FUEL GAS CODE (2015)</p> <p>G. INTERNATIONAL PLUMBING CODE (2018)</p> <p>H. NATIONAL ELECTRICAL CODE (2020)</p> <p>I. ICC/ANSI A117.1 ACCESSIBILITY STANDARD (2009)</p> | <p>II. CODE ABSTRACT (CONT.)</p> <p><b>GENERAL PROPERTY INFORMATION</b></p> <p>-LOCATION: GRAYLING DR, COLORADO SPRINGS, CO 80925 EL PASO COUNTY, SEC 13-15-65</p> <p>-EPC PARCEL SCHED #: 5500000440</p> <p>-ACREAGE: 11.96</p> <p>-ZONING: PUD</p> <p>-LAND USE: VACANT LOT</p> <p>-OWNER: LORSON LLC NOMINEE FOR MURRAY FOUNTAIN LLC</p> <p>-TAX STATUS: TAXABLE</p> <p><b>BUILDING CONSTRUCTION</b></p> <p>-TOTAL BUILDING AREA: 1,696 SF</p> <p>-BUILDING HEIGHT: 19 FT 5 INCHES</p> <p>-# OF LEVELS: 3</p> <p><b>BUILDING CODE ANALYSIS</b></p> <p>-CONSTRUCTION TYPE: II-B</p> <p>-O.C. CLASSIFICATION: U</p> <p>-USE: MUNICIPAL PUMP STATION</p> <p>-ALLOWABLE AREA: 5,500 SF</p> <p>-ALLOWABLE HEIGHT: 40 FT</p> <p><b>EGRESS REQUIREMENTS:</b></p> <p>-OC. LOAD CALCULATION</p> <p>TOTAL BUILDING: 1696 SF x 1/100=16.96</p> <p>-TOTAL EXITS PROVIDED: 2</p> <p>-EXITS REQUIRED: 2</p> |
|--|--|

Include Parking computations (required, provided, etc.)

### LEGEND

- |  |                                   |
|--|-----------------------------------|
|  | EX EASEMENT/FUT PROPERTY          |
|  | EX RIGHT-OF-WAY                   |
|  | EX UTILITY EASEMENT               |
|  | EX CHAIN LINK FENCE               |
|  | EX FIRE HYDRANT                   |
|  | EX VALVE                          |
|  | TEST HOLE LOCATION ±              |
|  | EX UG ELECTRIC LINE               |
|  | EX/FUT STORM SEWER LINE           |
|  | EX WATER LINE                     |
|  | EX/FUT SANITARY SEWER LINE        |
|  | EX/PP BY DEVELOPER CONTOURS-MAJOR |
|  | EX/PP BY DEVELOPER CONTOURS-MINOR |
|  | PP FENCE                          |
|  | PP WATER LINE                     |
|  | PP SANITARY SEWER LINE            |
|  | PP CONTOURS-MAJOR                 |
|  | PP CONTOURS-MINOR                 |

NOTE:  
SEE GRADING AND EROSION CONTROL SHEETS FOR GEC LEGEND AND LANDSCAPING SHEETS FOR LANDSCAPING LEGEND.

# FOR REVIEW



VICINITY MAP  
N.T.S.



<p style="text-align: center;">PRE-EXCAVATION CHECKLIST</p> <ul style="list-style-type: none"> <li><input type="checkbox"/> Gas and Other Utility Lines Shown on Construction Plans</li> <li><input type="checkbox"/> Utility Notification Center of Colorado (UNCC)-Call at Least Two (2) Business Days Ahead-1-800-922-1987</li> <li><input type="checkbox"/> Utilities Located &amp; Marked on the Ground</li> <li><input type="checkbox"/> Employees Briefed on Marking and Color Codes*</li> <li><input type="checkbox"/> Employees Trained on Excavation and Safety Procedures for Natural Gas Lines</li> <li><input type="checkbox"/> When Excavation Approaches Gas Lines, Employees Must Expose Lines by Careful Probing and Hand-Digging</li> </ul>	<p style="text-align: center;">COLOR CODE FOR MARKING UNDERGROUND UTILITY LINES</p> <table border="0" style="width: 100%;"> <tr> <td style="width: 20px;"></td> <td>PROPOSED EXCAVATION</td> </tr> <tr> <td></td> <td>TEMPORARY SURVEY MARKERS</td> </tr> <tr> <td></td> <td>ELECTRIC</td> </tr> <tr> <td></td> <td>GAS, OIL, STEAM</td> </tr> <tr> <td></td> <td>COMMUNICATION, CAV</td> </tr> <tr> <td></td> <td>POTABLE WATER</td> </tr> <tr> <td></td> <td>IRRIGATION, REGULATED WATER, SALINITY LINES</td> </tr> <tr> <td></td> <td>SEWER</td> </tr> </table> <p style="text-align: center;"> Always Call Before You Dig 811 or (800) 922-1987</p>		PROPOSED EXCAVATION		TEMPORARY SURVEY MARKERS		ELECTRIC		GAS, OIL, STEAM		COMMUNICATION, CAV		POTABLE WATER		IRRIGATION, REGULATED WATER, SALINITY LINES		SEWER
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	POTABLE WATER																
	IRRIGATION, REGULATED WATER, SALINITY LINES																
	SEWER																

### SHEET INDEX

SHEET NUMBER	DESCRIPTION	SHEET NUMBER	DESCRIPTION
	COVER SHEET		
<b>GENERAL</b>			
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G4	FEMA FLOODPLAIN MAP		
<b>CIVIL</b>			
C1	OVERALL SITE PLAN/VICINITY MAP		
C2	EXISTING SITE PLAN		
C3	SITE DEVELOPMENT PLAN		
C4	UTILITY PLAN		
C8	CIVIL DETAILS		
C9	CIVIL DETAILS		
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C22	ALTERNATE LANDSCAPE PLAN NOTES	<b>ELECTRICAL</b>	
C23	ALTERNATE LANDSCAPE PLAN		
C24	ALTERNATE LANDSCAPE PLAN DETAILS	E2	ELECTRICAL LIGHTING AND POWER PLAN
<b>ARCHITECTURAL</b>			
A3	ARCHITECTURAL ELEVATIONS: SOUTH AND EAST		
A4	ARCHITECTURAL ELEVATIONS: NORTH AND WEST		

Add PCD File #PPR-21-75 all sheets

### PARTICIPANTS

**OWNER**  
WIDEFIELD WATER AND SANITATION DISTRICT  
8495 FONTAINE BLVD  
COLORADO SPRINGS, CO 80925  
CONTACT: ROBERT BANNISTER, PE  
PHONE: (719) 955-6118

**CONSULTING/DESIGN ENGINEER**  
JDS-HYDRO CONSULTANTS, A DIVISION OF RESPEC  
5540 TECH CENTER DR, STE 100  
COLORADO SPRINGS, CO 80903  
CONTACT: GWEN DALL, PE  
PHONE: (719) 227-0072

a Division of RESPEC  
5540 TECH CENTER DR., SUITE 100  
COLORADO SPRINGS, COLORADO 80919  
(719) 227-0072

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATION AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE WIDEFIELD WATER AND SANITATION DISTRICT DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

**SIGNATURE BLOCKS**

**CONSTRUCTION DRAWINGS  
DESIGN ENGINEER'S STATEMENT:**

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.

*Gwen J. Dall* 12/01/2021  
 GWEN J. DALL, PE #51810 DATE  
 JDS-HYDRO CONSULTANTS, INC.

**OWNER/DEVELOPER'S STATEMENT:**

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

*Robert Bannister* 12/9/2021  
 ROB BANNISTER PE, DISTRICT ENGINEER DATE  
 WIDEFIELD WATER AND SANITATION DISTRICT  
 8495 FONTAINE BLVD, COLORADO SPRINGS, CO 80925

**EL PASO COUNTY:**

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR'S DISCRETION.

This plan set should include the PCD Director signature block instead of the ECM Administrator. GEC Plan and any engineering construction drawings will be signed by ECM Administrator.

Please remove these signature blocks from the site development plan or label construction drawings that are within this site development plan. FYI construction plans are not approved in the site development plan and instead are approved as a separate document.

FYI these notes do not apply to the site development plan. Please stamp "for reference" on construction sheets.

**GENERAL NOTES**

1. ALL UTILITY CONSTRUCTION TO BE CONDUCTED IN CONFORMANCE WITH THE CURRENT WIDEFIELD WATER AND SANITATION DISTRICT SPECIFICATIONS. COMPACTION REQUIREMENTS SHALL BE 95% STANDARD PROCTOR AS DETERMINED BY ASTM D698, UNLESS OTHERWISE APPROVED BY THE WIDEFIELD WATER AND SANITATION DISTRICT OR A HIGHER STANDARD IS IMPOSED BY ANOTHER AGENCY HAVING RIGHT-OF-WAY JURISDICTION. CONTRACTOR IS ALSO REQUIRED TO COMPLY WITH THE REQUIREMENTS OF THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
2. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE WIDEFIELD WATER AND SANITATION DISTRICT. THE WIDEFIELD WATER AND SANITATION DISTRICT RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
3. THE DEVELOPER OR HIS ENGINEER HAS LOCATED ALL FIRE HYDRANTS AND FUTURE SERVICE STUBS. ANY REQUIRED REALIGNMENT, EITHER HORIZONTAL OR VERTICAL, SHALL BE AT THE EXPENSE OF THE DEVELOPER.
4. ALL DUCTILE IRON PIPE, TO INCLUDE FITTINGS, VALVES AND FIRE HYDRANTS WILL BE WRAPPED WITH POLYETHYLENE TUBING, BONDED AT EACH JOINT AND ELECTRICALLY ISOLATED.
5. ALL DUCTILE IRON PIPE AND FITTINGS SHALL HAVE CATHODIC PROTECTION USING NO. 6 WIRE WITH 17 LB. MAGNESIUM ANODES EVERY 400 FEET AND 1 LB. MAGNESIUM ANODES AT EVERY FITTING.
6. PVC MAIN LINES SHALL BE INSTALLED WITH COATED NO. 12 TRACER WIRE.
7. THE CONTRACTOR IS REQUIRED TO NOTIFY THE WIDEFIELD WATER AND SANITATION DISTRICT (390-7111) A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO NOTIFY AFFECTED UTILITY COMPANIES 48 HOURS PRIOR TO CONSTRUCTION ADJACENT TO THE KNOWN UTILITY LINES.
8. THE LOCATION OF ALL UTILITIES AS SHOWN ON THESE DRAWINGS ARE APPROXIMATE ONLY. THE LOCATION OF ALL UTILITIES SHALL BE VERIFIED PRIOR TO CONSTRUCTION BY THE CONTRACTOR.
9. THE CONTRACTOR SHALL FIELD EXCAVATE AND VERIFY THE VERTICAL AND HORIZONTAL LOCATION OF ALL TIE-INS. CONTRACTOR SHALL NOTIFY THE WIDEFIELD WATER AND SANITATION DISTRICT AND THE ENGINEER OF THE FIELD VERIFIED INFORMATION PRIOR TO CONSTRUCTION.
10. ALL BENDS SHALL BE FIELD STAKED PRIOR TO CONSTRUCTION.
11. ANY WATER UTILITY MATERIAL REMOVED AND NOT REUSED SHALL BE RETURNED TO THE WIDEFIELD WATER AND SANITATION DISTRICT IF THE DISTRICT SO REQUESTS.
12. THE CONTRACTOR SHALL AT HIS EXPENSE SUPPORT AND PROTECT ALL UTILITY MAINS SO THAT THEY WILL FUNCTION CONTINUOUSLY DURING CONSTRUCTION. SHOULD A UTILITY MAIN FAIL AS A RESULT OF THE CONTRACTOR'S OPERATION, IT WILL BE REPLACED IMMEDIATELY BY EITHER THE CONTRACTOR OR THE WIDEFIELD WATER AND SANITATION DISTRICT AT FULL COST OF LABOR AND MATERIALS TO THE CONTRACTOR.
13. ANY PUMPING OR BYPASS OPERATIONS MUST BE REVIEWED AND APPROVED PRIOR TO EXECUTION BY BOTH THE WIDEFIELD WATER AND SANITATION DISTRICT AND THE ENGINEER.
14. CONTRACTOR MUST REPLACE OR REPAIR ANY DAMAGE TO ALL SURFACE IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO FENCES, CURB AND GUTTER AND/OR ASPHALT THAT MAY BE CAUSED DURING CONSTRUCTION.
15. ALL WATER LINES 6" AND LARGER, AND ALL SEWER LINES 8" AND LARGER, SHALL HAVE AS "AS-BUILT" PLANS PREPARED AND APPROVED PRIOR TO FINAL ACCEPTANCE BY THE WIDEFIELD WATER AND SANITATION DISTRICT.
16. PRIOR TO CONSTRUCTION, A PRE-CONSTRUCTION CONFERENCE IS REQUIRED A MINIMUM OF 72 HOURS IN ADVANCE OF COMMENCEMENT OF WORK.
17. EL PASO COUNTY STORMWATER AND/OR EROSION CONTROL PERMITS AND CDPHE STORMWATER CONSTRUCTION ACTIVITY AND DEWATERING PERMITS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN PRIOR TO CONSTRUCTION.
18. WHERE EXISTING SANITARY SEWER OR WATER FACILITIES ARE SHOWN ON THE DRAWINGS TO BE ABANDONED, OR WHERE EXISTING ABANDONED FACILITIES ARE DISCOVERED DURING CONSTRUCTION, CONTRACTOR SHALL ABANDON THESE FACILITIES AS FOLLOWS:
  - A. SEAL PIPE ENDS WITH A MINIMUM 2'-FOOT-THICK GROUT PLUG.
  - B. REMOVE EXISTING MANHOLES TO AT LEAST 2 FEET BELOW FINISHED GRADE. PROVIDE A MINIMUM 6-INCH HOLE IN THE BOTTOM OF THE STRUCTURE AND FILL THE REMAINING PORTION WITH 3/4" CRUSHED ROCK.
  - C. SALVAGE ALL CASTINGS, HYDRANTS, AND OTHER MATERIAL AND DELIVER THEM TO A LOCATION DETERMINED BY WWSO. MATERIAL NOT REQUESTED BY THE DISTRICT SHALL BE DISPOSED OF BY THE CONTRACTOR.
19. WATER MAIN INSTALLATION:  
 THE UNIT PRICE SHALL INCLUDE ALL PIPE, PIPE INSTALLATION, TRENCHING, STABILIZATION, AND BEDDING AS SHOWN ON THE TYPICAL DETAIL, DEWATERING, BACKFILL, FITTINGS, TRACER WIRE, CORROSION CONTROL, COMPACTION, THRUST RESTRAINTS, ASPHALT PATCHING, FLUSHING, TESTING, GRADING, RELOCATION OF ANY EXISTING UTILITIES, AND ALL WORK INCIDENTAL THERETO TO COMPLETE THE WORK AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN. THESE ITEMS WILL BE MEASURED THROUGH CROSSINGS, CASINGS, TIE-INS, ETC.
20. SANITARY SEWER INSTALLATION:  
 THE UNIT PRICE SHALL INCLUDE ALL PIPE, PIPE INSTALLATION, TRENCHING, STABILIZATION, AND BEDDING AS SHOWN ON THE TYPICAL DETAIL, DEWATERING, BACKFILL, TRACER WIRE, COMPACTION, CLEAN-UP, REVEGETATION, ASPHALT PATCHING, FLUSHING, TESTING, GRADING, RELOCATION OF ANY EXISTING UTILITIES, AND ALL WORK INCIDENTAL THERETO TO COMPLETE THE WORK AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN. THESE ITEMS WILL BE MEASURED THROUGH CROSSINGS, CASINGS, TIE-INS, ETC.
21. FOR TYPICAL REVERSE ANCHOR DETAIL, SEE WWSO STANDARD SPECIFICATION DETAIL W-15.
22. FOR TYPICAL PIPE TOPPING DETAIL OF AC PIPE, SEE WWSO STANDARD SPECIFICATION DETAIL W-21.
23. CONTRACTOR IS TO COORDINATE WITH ALL ADJACENT PROPERTY OWNERS SO ACCESS IS TO PROPERTY IS MAINTAINED.
24. IN ACCORDANCE WITH THE EPC ECM, ALL ASPHALT REMOVED AS PART OF CONSTRUCTION WILL NEED TO BE REPLACED WITH FIVE INCHES OF FULL DEPTH ASPHALT OR A COMPOSITE SECTION OF THREE INCHES OF ASPHALT OVER EIGHT INCHES OF CLASS SIX BASE. IF THE EXISTING PAVEMENT EXCEEDS THE AFOREMENTIONED THICKNESS, REPLACED ASPHALT SHALL MATCH INSTEAD.
25. AERIAL BASEMAP IMAGERY, IF DEPICTED HEREIN, IS NOT TO SCALE AND IS SHOWN FOR CONCEPTUAL REFERENCE ONLY.
26. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO WATER SERVICE LINES BY REPLACING THE SERVICE FROM THE CORP STOP TO THE CURB STOP.
27. SEE WIDEFIELD WATER AND WASTEWATER SYSTEM STANDARD SPECIFICATIONS FOR ALL GENERAL AND DESIGN STANDARDS/CIVIL DRAWING DETAILS.

**JDS-HYDRO** a Division of **RESPEC**  
 5540 TECH CENTER DR., SUITE 100  
 COLORADO SPRINGS, COLORADO 80919  
 (719) 227-0072

RESPEC AND JDS-HYDRO SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THESE DRAWINGS. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR VERIFYING THE INFORMATION AND FOR OBTAINING NECESSARY PERMITS. RESPEC AND JDS-HYDRO ASSUMES NO LIABILITY FOR UNAUTHORIZED CHANGES AND/OR REVISIONS MADE TO THESE DRAWINGS.

**WIDEFIELD WATER AND SANITATION DISTRICT**  
 ROLLING HILLS BOOSTER PUMP STATION  
 SIGNATURE BLOCKS AND GENERAL NOTES

NO.	DESCRIPTION	BY	APP.	DATE
1				
2				
3				
4				
5				
6				
7				

**FOR REVIEW**



Project No.: 102.125  
 Date: 12/01/21  
 Design: GJD  
 Drawn: ACH  
 Check: GJD

**G1**  
 SHEET ---- OF

2021/12/02 10:52 AM By: Andrew Hood J:\JDS-Hydro\Project Files\102 Widefield Water And San\102.125 Rolling Hills Pump Station\Drawings\Working\02-Civil\102.125\_Femo.dwg

JOINS PANEL 0957

EL PASO COUNTY  
UNINCORPORATED AREAS  
080059

ROLLING HILLS BOOSTER  
PUMP STATION SITE  
APPROXIMATE LOCATION

24

PEACEFUL VALLEY RD

RAINTREE DR

GRASSLAND RD

Williams Creek

LEGEND

**SPECIAL FLOOD HAZARD AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD.**

The 1% annual chance flood (100-year flood), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. The Special Flood Hazard Area is the area subject to flooding by the 1% annual chance flood. Areas of Special Flood Hazard include Zones A, AE, AR, AD, AR, A99, V and VE. The Base Flood Elevation is the water-surface elevation of the 1% annual chance flood.

- ZONE A No Base Flood Elevations determined.
- ZONE AE Base Flood Elevations determined.
- ZONE AH Flood depths of 1 to 3 feet (usually areas of ponding); Base Flood Elevations determined.
- ZONE AD Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined. For areas of alluvial fan flooding, velocities also determined.
- ZONE AR Special Flood Hazard Area Formerly protected from the 1% annual chance flood by a flood control system that was subsequently decertified. Zone AR indicates that the former flood control system is being restored to provide protection from the 1% annual chance or greater flood.
- ZONE A99 Area to be protected from 1% annual chance flood by a Federal flood protection system under construction; no Base Flood Elevations determined.
- ZONE V Coastal flood zone with velocity hazard (wave action); no Base Flood Elevations determined.
- ZONE VE Coastal flood zone with velocity hazard (wave action); Base Flood Elevations determined.

**FLOODWAY AREAS IN ZONE AE**  
The floodway is the channel of a stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without substantial increases in flood heights.

**OTHER FLOOD AREAS**  
ZONE X Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.

**OTHER AREAS**  
ZONE X Areas determined to be outside the 0.2% annual chance floodplain.  
ZONE D Areas in which flood hazards are undetermined, but possible.

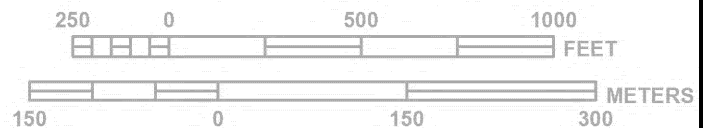
**COASTAL BARRIER RESOURCES SYSTEM (CBRS) AREAS**  
**OTHERWISE PROTECTED AREAS (OPAs)**

**MAP REPOSITORIES**  
Refer to Map Repositories list on Map Index.  
**EFFECTIVE DATE OF COUNTYWIDE FLOOD INSURANCE RATE MAP**  
MARCH 17, 1997  
**EFFECTIVE DATE(S) OF REVISION(S) TO THIS PANEL**  
DECEMBER 7, 2016 - to update corporate limits, to change Base Flood Elevations and Special Flood Hazard Areas, to update map format, to add roads and road names, and to incorporate previously issued Letters of Map Revision.

For community map revision history prior to countywide mapping, refer to the Community Map History Table located in the Flood Insurance Study report for this jurisdiction.  
To determine if flood insurance is available in this community, contact your insurance agent or call the National Flood Insurance Program at 1-800-638-6620.



MAP SCALE 1" = 500'



**NIP** PANEL 0976G

**FIRM**  
FLOOD INSURANCE RATE MAP  
EL PASO COUNTY,  
COLORADO  
AND INCORPORATED AREAS

PANEL 976 OF 1300  
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
COLORADO SPRINGS, CITY OF	08000	0878	G
EL PASO COUNTY	08009	0879	G

Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.

**MAP NUMBER**  
08041C0976G

**MAP REVISED**  
DECEMBER 7, 2018

Federal Emergency Management Agency

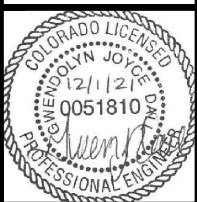
**JDS-HYDRO** CONSULTANTS, INC.  
5540 TECH CENTER DR., SUITE 100  
COLORADO SPRINGS, COLORADO 80919  
(719) 227-0072

DISCLAIMER: THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO JDS-HYDRO CONSULTANTS, INC. JDS-HYDRO ASSUMES NO LIABILITY FOR UNAUTHORIZED CHANGES AND/OR REVISIONS MADE TO PLANS.

WIDEFIELD WATER AND SANITATION DISTRICT  
ROLLING HILLS BOOSTER PUMP STATION  
FEMA FLOODPLAIN MAP

NO.	DESCRIPTION	BY	APP.	DATE
1				
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7				

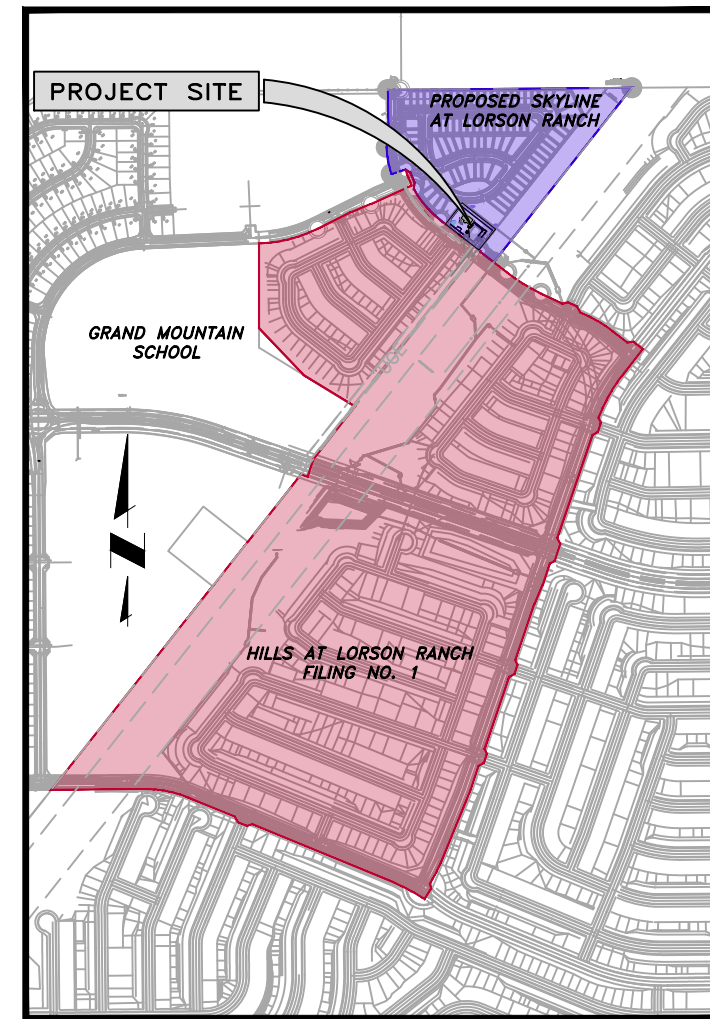
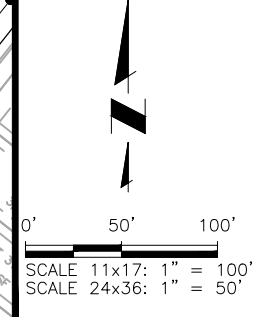
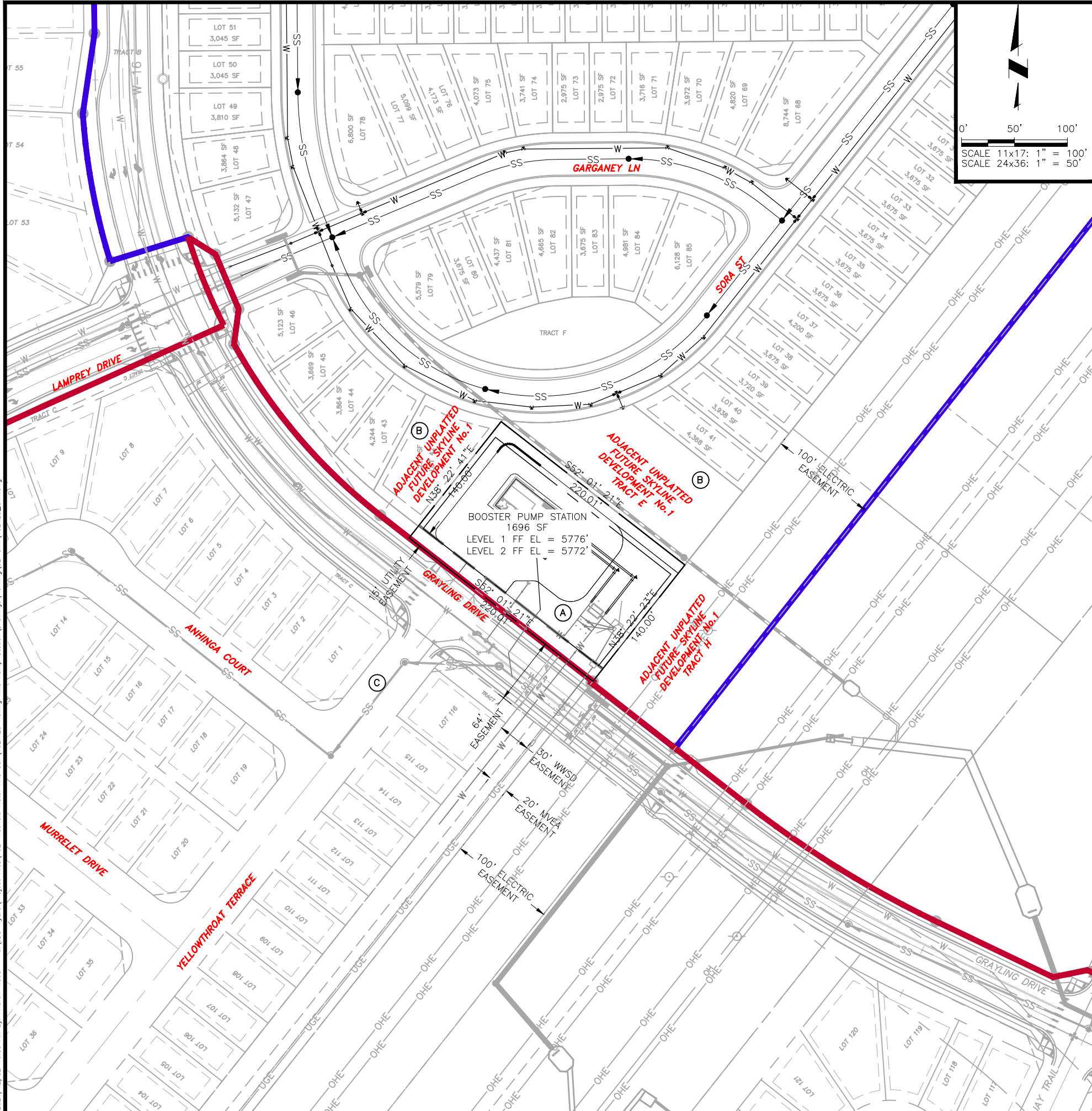
FOR REVIEW



Project No.: 102.125  
Date: 12/02/21  
Design: GJD  
Drawn: ACH  
Check: GJD

G4  
SHEET --- OF

J:\JDS-Hydro\Project Files\102 Widefield Water And San\102.125 Rolling Hills Pump Station Drawings\02-Civil\102125\_Civil.dwg 2021/12/02 10:53 AM By: Andrew Hood



VICINITY MAP  
SCALE: 1"=1000'

LEGEND:

- PROPOSED SKYLINE AT LORSON RANCH
- HILLS AT LORSON RANCH FILING NO. 1
- EX WATER LINE
- PROPOSED WATER LINE

- (A)** PROJECT LOCATION  
PERMANENT EASEMENT/FUTURE TRACT D OF PARCEL SCHED. #: 5500000440  
(SEE EASEMENT AGREEMENT REC. NO. 218025813)  
OWNER: WIDEFIELD WATER AND SANITATION DISTRICT  
PLAT #: UNPLATTED  
AC: 0.707 (30,800 SF)  
TAX STATUS: EXEMPT  
ZONING: PUD
- (B)** ADJACENT PROPERTY  
SCHEDULE #: 5500000440  
OWNER: LORSON LLC NOMINEE FOR MURRAY FOUNTAIN LLC  
PLAT #: UNPLATTED  
LAND USE: VACANT LAND  
AC: 11.96  
TAX STATUS: TAXABLE  
ZONING: PUD
- (C)** ADJACENT PROPERTY  
SCHEDULE #: 5513300004  
OWNER: SAINT AUBYN HOMES LLC  
MAILING ADDRESS: 212 N WAHSATCH AVE  
STE 301, COLO SPRINGS, CO 80903  
PLAT #: UNPLATTED  
LAND USE: VACANT LAND  
AC: 15.85  
TAX STATUS: TAXABLE  
ZONING: PUD

PCD FILE #  
PPR-21-75

PCD File No. PPR-21-

EPC PLANNING TO PROVIDE

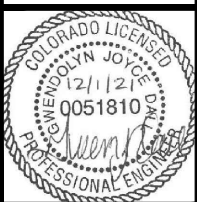
**JDS-HYDRO** CONSULTANTS, INC.  
5540 TECH CENTER DR. SUITE 100  
COLORADO SPRINGS, COLORADO 80919  
(719) 227-0072

DISCLAIMER: THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO JDS-HYDRO CONSULTANTS, INC. JDS-HYDRO ASSUMES NO LIABILITY FOR UNAUTHORIZED CHANGES AND/OR REVISIONS MADE TO PLANS.

WIDEFIELD WATER AND SANITATION DISTRICT  
ROLLING HILLS BOOSTER PUMP STATION  
OVERALL SITE PLAN/VICINITY MAP

NO.	DESCRIPTION	BY	APP.	DATE
1				
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FOR REVIEW



Project No.: 102.125  
Date: 12/02/21  
Design: GGM  
Drawn: ACH  
Check: GJD

**C1**

SHEET ---OF---

2021/12/03 12:13 PM By: Gina Mangino J:\JDS-Hydro\Project Files\102 Widefield Water And San\102.125 Rolling Hills Pump Station\Drawings\Working\02-Civil\102125\_Civil.dwg

ADJACENT PROPERTY (OVERALL PARCEL)  
SCHED. #: 5500000440  
OWNER: LORSON LLC NOMINEE FOR MURRAY FOUNTAIN LLC  
MAILING ADDRESS: 212 N WAHSATCH AVE STE 301, COLO SPRINGS, CO 80903  
TAX STATUS: TAXABLE  
ZONING: PUD  
PLAT #: UNPLATTED  
LAND USE: VACANT LAND  
ACRES: 11.96  
-FUTURE SUBDIVISION AS SHOWN-

POINT# 104  
N=24747.9635'  
E=29421.8274'  
EL=5778.632'

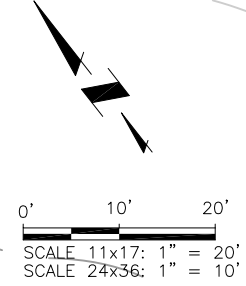
POINT# 103  
N=24612.6005'  
E=29595.2444'  
EL=5776.026'

PROJECT LOCATION  
PERMANENT EASEMENT/FUTURE TRACT D OF PARCEL SCHED. #: 5500000440 (SEE EASEMENT AGREEMENT REC. NO. 218025813 AND 218049451)  
OWNER: WIDEFIELD WATER AND SANITATION DISTRICT  
MAILING ADDRESS: 8495 FONTAINE BLVD COLORADO SPRINGS, CO 80903  
TAX STATUS: EXEMPT  
ZONING: PUD  
PLAT #: UNPLATTED  
AREA: 30,800± SF (0.707 AC)

**OVERALL LEGEND**

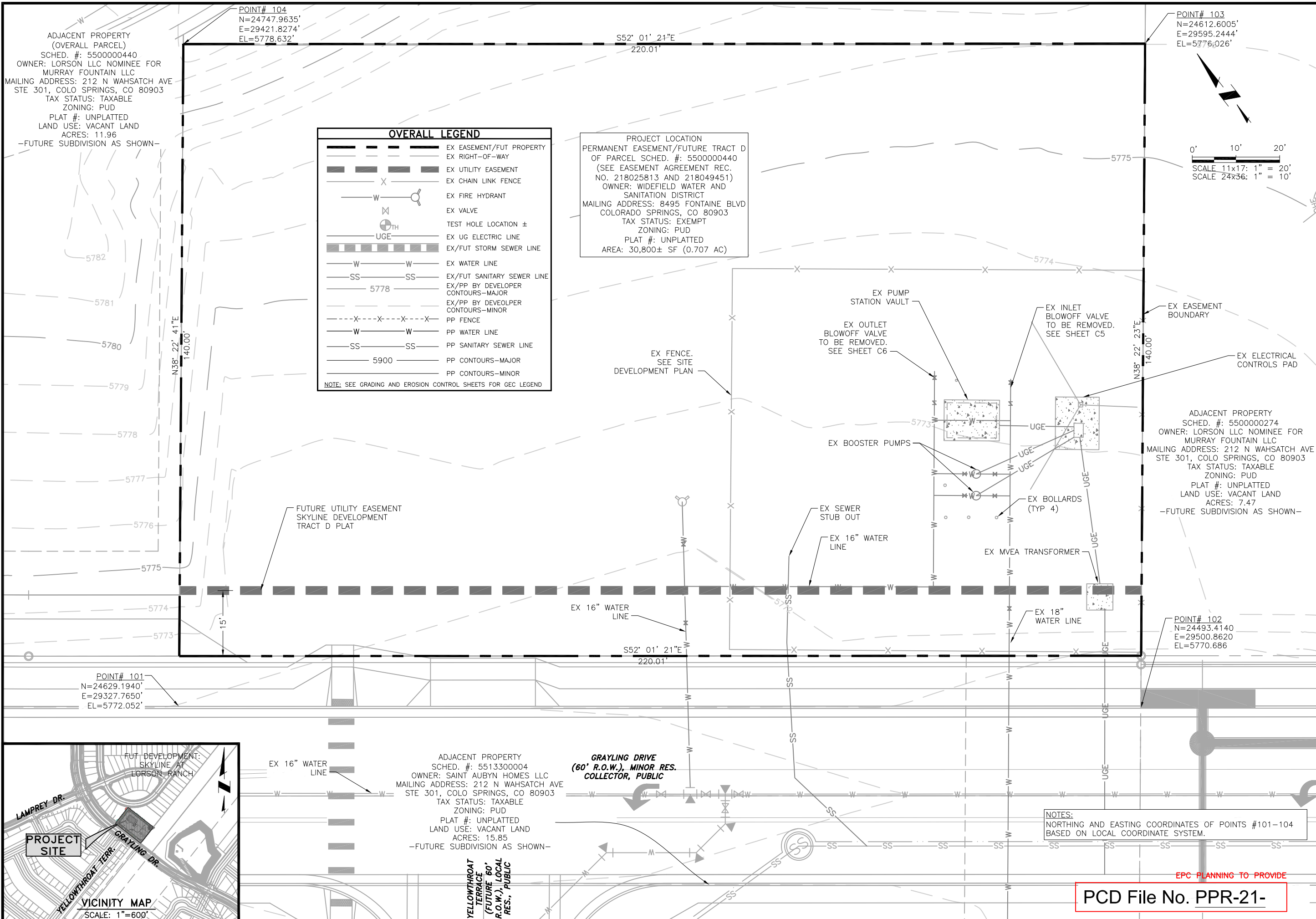
	EX EASEMENT/FUT PROPERTY
	EX RIGHT-OF-WAY
	EX UTILITY EASEMENT
	EX CHAIN LINK FENCE
	EX FIRE HYDRANT
	EX VALVE
	TEST HOLE LOCATION ±
	EX UG ELECTRIC LINE
	EX/FUT STORM SEWER LINE
	EX WATER LINE
	EX/FUT SANITARY SEWER LINE
	EX/PP BY DEVELOPER CONTOURS-MAJOR
	EX/PP BY DEVELOPER CONTOURS-MINOR
	PP FENCE
	PP WATER LINE
	PP SANITARY SEWER LINE
	PP CONTOURS-MAJOR
	PP CONTOURS-MINOR

NOTE: SEE GRADING AND EROSION CONTROL SHEETS FOR GEC LEGEND



**JDS-HYDRO** CONSULTANTS, INC.  
5640 TECH CENTER DR., SUITE 100  
COLORADO SPRINGS, COLORADO 80919  
(719) 227-0072  
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**WIDEFIELD WATER AND SANITATION DISTRICT**  
ROLLING HILLS BOOSTER PUMP STATION  
EXISTING SITE PLAN



ADJACENT PROPERTY  
SCHED. #: 5500000274  
OWNER: LORSON LLC NOMINEE FOR MURRAY FOUNTAIN LLC  
MAILING ADDRESS: 212 N WAHSATCH AVE STE 301, COLO SPRINGS, CO 80903  
TAX STATUS: TAXABLE  
ZONING: PUD  
PLAT #: UNPLATTED  
LAND USE: VACANT LAND  
ACRES: 7.47  
-FUTURE SUBDIVISION AS SHOWN-

POINT# 101  
N=24629.1940'  
E=29327.7650'  
EL=5772.052'

POINT# 102  
N=24493.4140'  
E=29500.8620'  
EL=5770.686'

ADJACENT PROPERTY  
SCHED. #: 5513300004  
OWNER: SAINT AUBYN HOMES LLC  
MAILING ADDRESS: 212 N WAHSATCH AVE STE 301, COLO SPRINGS, CO 80903  
TAX STATUS: TAXABLE  
ZONING: PUD  
PLAT #: UNPLATTED  
LAND USE: VACANT LAND  
ACRES: 15.85  
-FUTURE SUBDIVISION AS SHOWN-

**GRAYLING DRIVE**  
(60' R.O.W.), MINOR RES. COLLECTOR, PUBLIC

**YELLOWTHROAT TERRACE**  
(FUTURE 60' R.O.W.), LOCAL RES., PUBLIC

NOTES:  
NORTHING AND EASTING COORDINATES OF POINTS #101-104 BASED ON LOCAL COORDINATE SYSTEM.

EPC PLANNING TO PROVIDE

PCD File No. PPR-21-

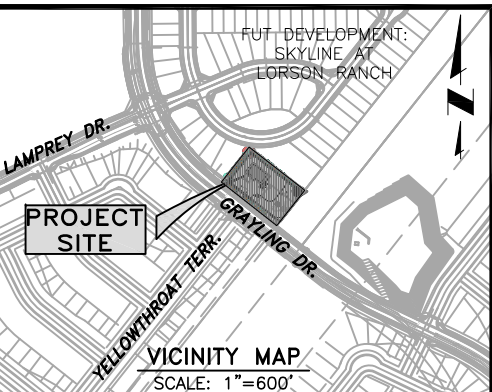
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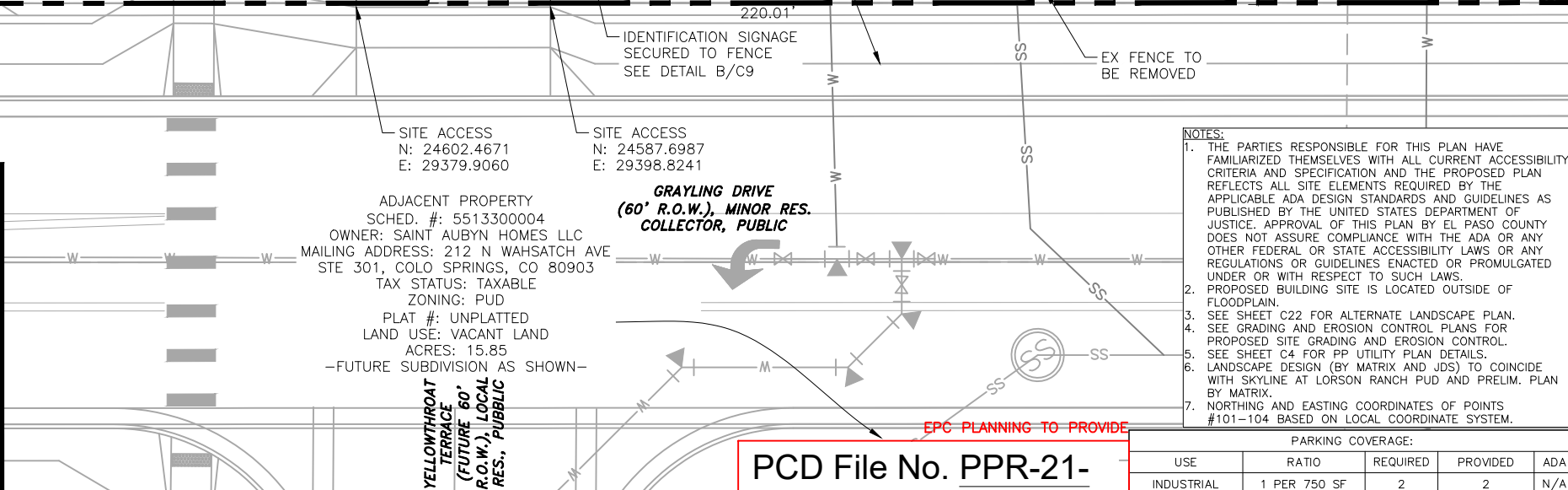
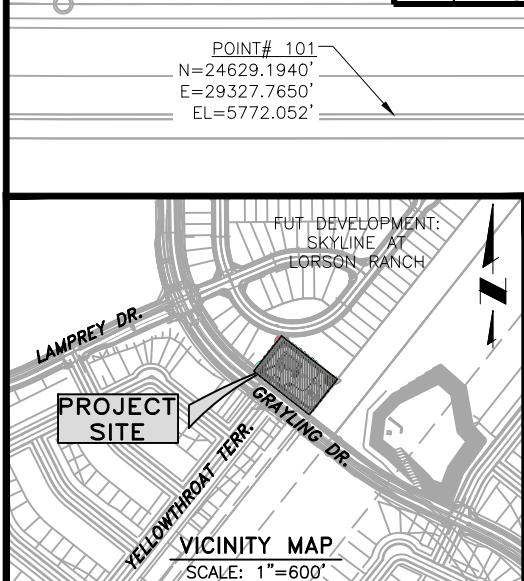
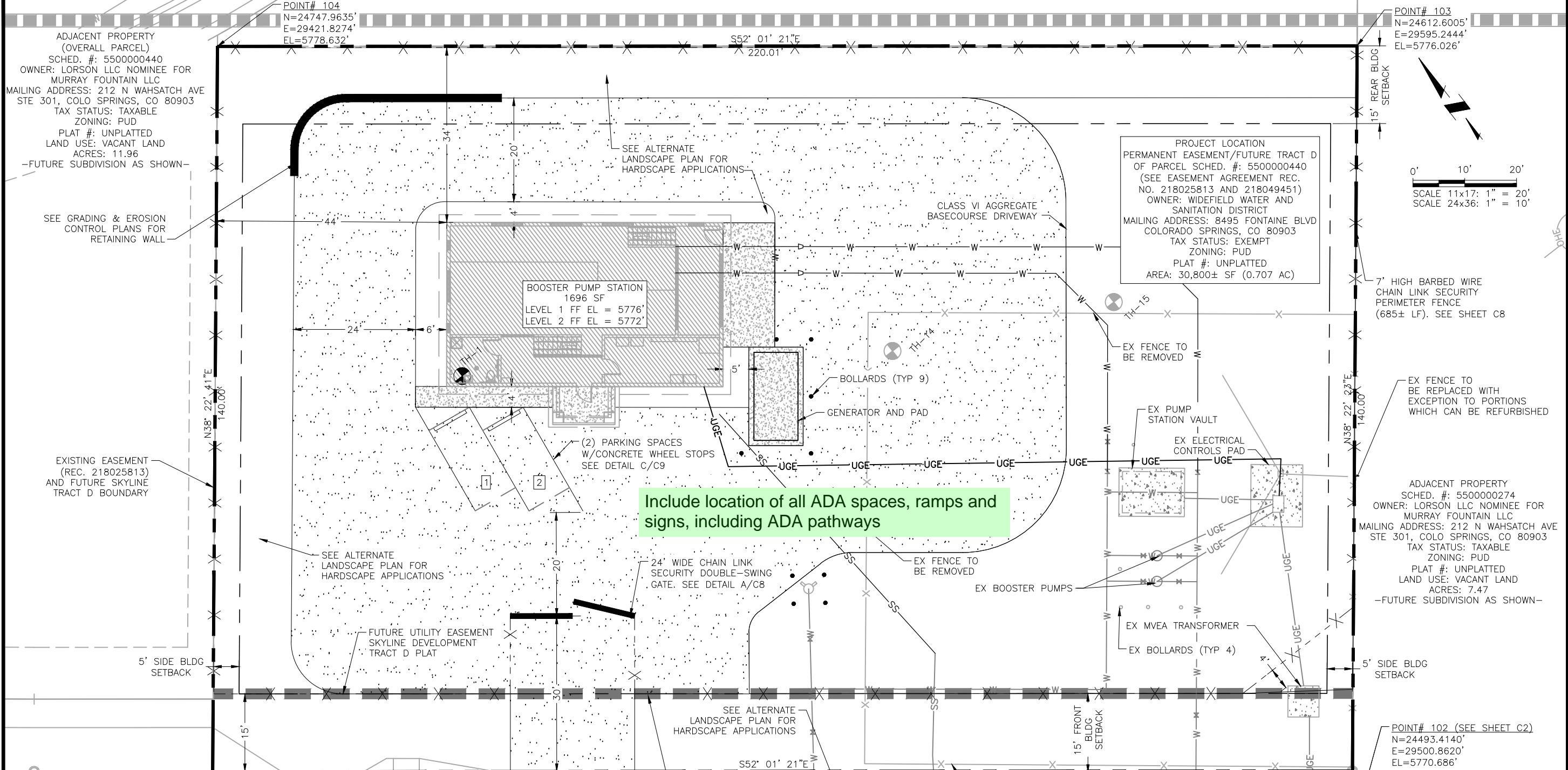
FOR REVIEW



Project No.: 102.125  
Date: 12/02/21  
Design: JTH  
Drawn: ACH  
Check: GJD

C2  
SHEET ---OF





**OVERALL LEGEND**

	EX EASEMENT/FUT PROPERTY
	EX RIGHT-OF-WAY
	EX UTILITY EASEMENT
	EX CHAIN LINK FENCE
	EX FIRE HYDRANT
	EX VALVE
	EX UG ELECTRIC LINE
	EX/FUT STORM SEWER LINE
	EX WATER LINE
	EX/FUT SANITARY SEWER LINE
	EX/PP BY DEVELOPER CONTOURS-MAJOR
	EX/PP BY DEVELOPER CONTOURS-MINOR
	PP FENCE
	PP WATER LINE
	PP SANITARY SEWER LINE
	PP CONTOURS-MAJOR
	PP CONTOURS-MINOR

NOTE: SEE GRADING AND EROSION CONTROL SHEETS FOR GEC LEGEND

**NOTES:**

- THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATION AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.
- PROPOSED BUILDING SITE IS LOCATED OUTSIDE OF FLOODPLAIN.
- SEE SHEET C22 FOR ALTERNATE LANDSCAPE PLAN.
- SEE GRADING AND EROSION CONTROL PLANS FOR PROPOSED SITE GRADING AND EROSION CONTROL.
- SEE SHEET C4 FOR PP UTILITY PLAN DETAILS.
- LANDSCAPE DESIGN (BY MATRIX AND JDS) TO COINCIDE WITH SKYLINE AT LORSON RANCH PUD AND PRELIM. PLAN BY MATRIX.
- NORTHING AND EASTING COORDINATES OF POINTS #101-104 BASED ON LOCAL COORDINATE SYSTEM.

PCD File No. PPR-21-

PARKING COVERAGE:

USE	RATIO	REQUIRED	PROVIDED	ADA
INDUSTRIAL	1 PER 750 SF	2	2	N/A

ADJACENT PROPERTY (OVERALL PARCEL)  
 SCHED. #: 5500000440  
 OWNER: LORSON LLC NOMINEE FOR MURRAY FOUNTAIN LLC  
 MAILING ADDRESS: 212 N WAHSATCH AVE STE 301, COLO SPRINGS, CO 80903  
 TAX STATUS: TAXABLE  
 ZONING: PUD  
 PLAT #: UNPLATTED  
 LAND USE: VACANT LAND  
 ACRES: 11.96  
 -FUTURE SUBDIVISION AS SHOWN-

POINT# 104  
 N=24747.9635'  
 E=29421.8274'  
 EL=5778.632'

POINT# 103  
 N=24612.6005'  
 E=29595.2444'  
 EL=5776.026'

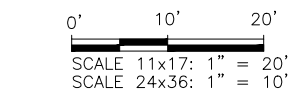
POINT# 101  
 N=24629.1940'  
 E=29327.7650'  
 EL=5772.052'

ADJACENT PROPERTY  
 SCHED. #: 5513300004  
 OWNER: SAINT AUBYN HOMES LLC  
 MAILING ADDRESS: 212 N WAHSATCH AVE STE 301, COLO SPRINGS, CO 80903  
 TAX STATUS: TAXABLE  
 ZONING: PUD  
 PLAT #: UNPLATTED  
 LAND USE: VACANT LAND  
 ACRES: 15.85  
 -FUTURE SUBDIVISION AS SHOWN-

**GRAYLING DRIVE  
 (60' R.O.W.), MINOR RES.  
 COLLECTOR, PUBLIC**

**YELLOWTHROAT TERRACE  
 (FUTURE 60' R.O.W.), LOCAL RES., PUBLIC**

**PROJECT LOCATION**  
 PERMANENT EASEMENT/FUTURE TRACT D OF PARCEL SCHED. #: 5500000440 (SEE EASEMENT AGREEMENT REC. NO. 218025813 AND 218049451)  
 OWNER: WIDEFIELD WATER AND SANITATION DISTRICT  
 MAILING ADDRESS: 8495 FONTAINE BLVD COLORADO SPRINGS, CO 80903  
 TAX STATUS: EXEMPT  
 ZONING: PUD  
 PLAT #: UNPLATTED  
 AREA: 30,800± SF (0.707 AC)

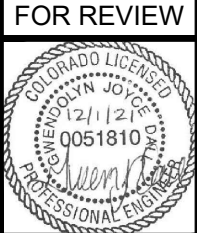


**JDS-HYDRO CONSULTANTS, INC.**  
 5640 TECH CENTER DR., SUITE 100  
 COLORADO SPRINGS, COLORADO 80919  
 (719) 227-0072

**WIDEFIELD WATER AND SANITATION DISTRICT**  
 ROLLING HILLS BOOSTER PUMP STATION  
 SITE DEVELOPMENT PLAN

REVISIONS

NO.	DESCRIPTION	BY	DATE
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Project No.: 102.125  
 Date: 12/02/21  
 Design: GGM  
 Drawn: GGM/ACH  
 Check: GJD  
**C3**  
 SHEET ---OF---

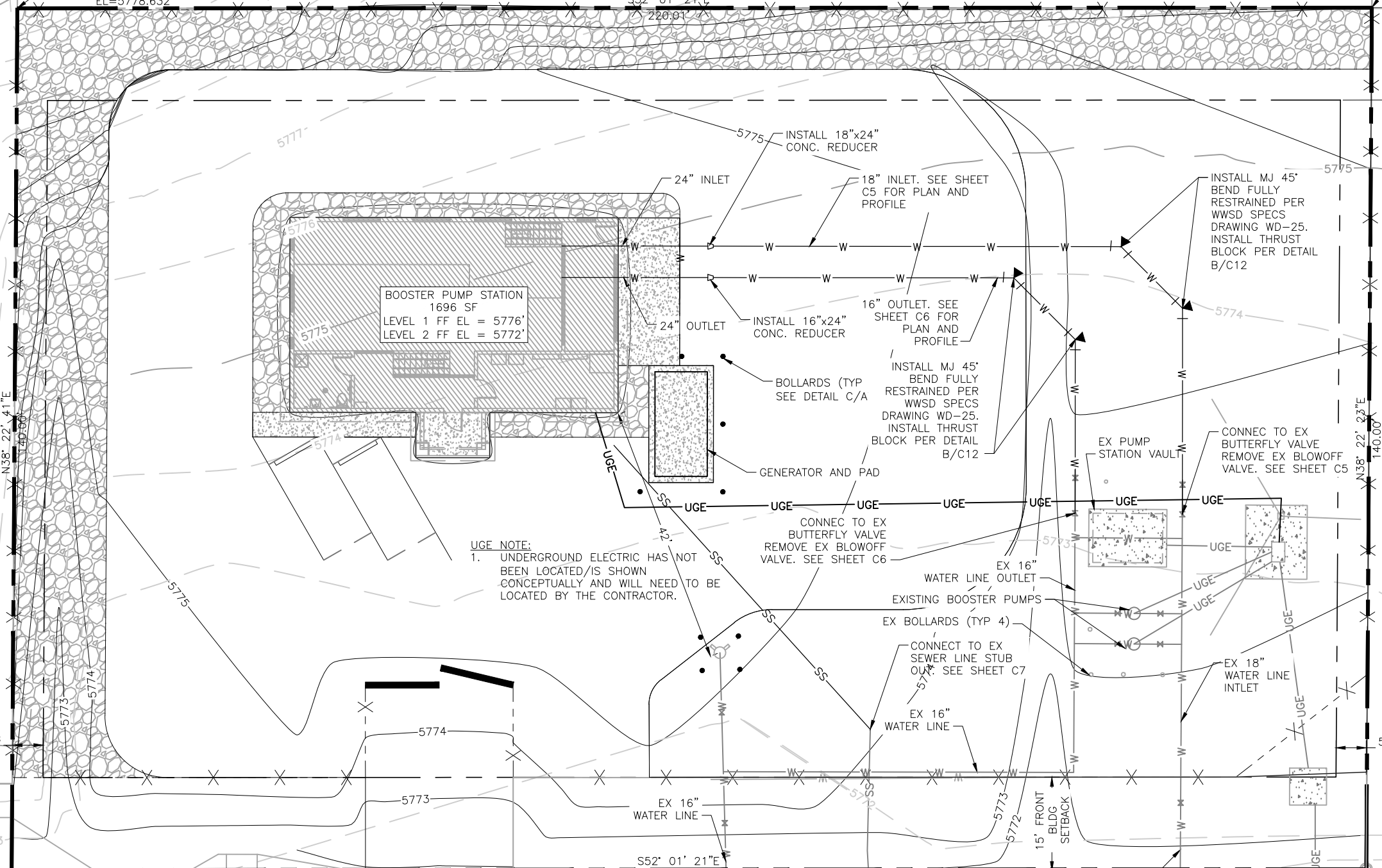
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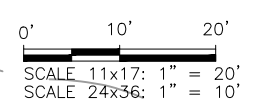
POINT# 104  
N=24747.9635'  
E=29421.8274'  
EL=5778.632'

POINT# 103  
N=24612.6005'  
E=29595.2444'  
EL=5776.026'

5782  
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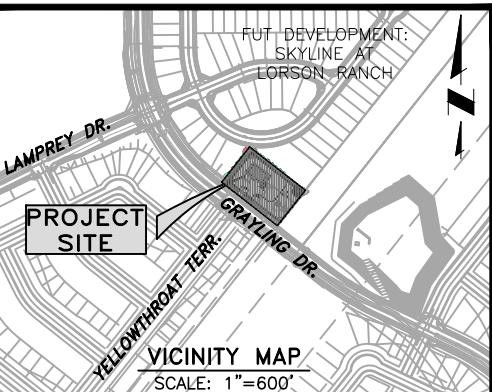


UGE NOTE:  
1. UNDERGROUND ELECTRIC HAS NOT BEEN LOCATED/IS SHOWN CONCEPTUALLY AND WILL NEED TO BE LOCATED BY THE CONTRACTOR.



POINT# 101  
N=24629.1940'  
E=29327.7650'  
EL=5772.052'

POINT# 102 (SEE SHEET C2)  
N=24493.4140'  
E=29500.8620'  
EL=5770.686'



YELLOWTHROAT TERRACE (FUTURE 60' R.O.W.), LOCAL RES., PUBLIC

GRAYLING DRIVE (60' R.O.W.), MINOR RES. COLLECTOR, PUBLIC

PCD File No. PPR-21-

- NOTES:
- THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATION AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.
  - PROPOSED BUILDING SITE IS LOCATED OUTSIDE OF FLOODPLAIN.
  - SEE SHEET C22 FOR ALTERNATE LANDSCAPE PLAN.
  - SEE GRADING AND EROSION CONTROL PLANS FOR PROPOSED SITE GRADING AND EROSION CONTROL.
  - LANDSCAPE DESIGN (BY MATRIX AND JDS) TO COINCIDE WITH SKYLINE AT LORSON RANCH PUD AND PRELIM. PLAN BY MATRIX.
  - FIRST FITTING ON WATER/SEWER CONNECTION LINES TO BUILDING TO BE LOCATED A MINIMUM OF 5 FEET FROM FOUNDATION WALL.
  - NORTHING AND EASTING COORDINATES OF POINTS #101-104 BASED ON LOCAL COORDINATE SYSTEM.

**OVERALL LEGEND**

	EX EASEMENT/FUT PROPERTY
	EX RIGHT-OF-WAY
	EX UTILITY EASEMENT
	EX CHAIN LINK FENCE
	EX FIRE HYDRANT
	EX VALVE
	TEST HOLE LOCATION ±
	EX UG ELECTRIC LINE
	EX/FUT STORM SEWER LINE
	EX WATER LINE
	EX/FUT SANITARY SEWER LINE
	EX/PP BY DEVELOPER CONTOURS-MAJOR
	EX/PP BY DEVELOPER CONTOURS-MINOR
	PP FENCE
	PP WATER LINE
	PP SANITARY SEWER LINE
	PP CONTOURS-MAJOR
	PP CONTOURS-MINOR

NOTE: SEE GRADING AND EROSION CONTROL SHEETS FOR GEC LEGEND

REVISIONS

NO.	DESCRIPTION	BY	DATE
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**FOR REVIEW**

Project No.: 102.125  
Date: 12/02/21  
Design: GJD  
Drawn: ACH  
Check: GJD

**C4**

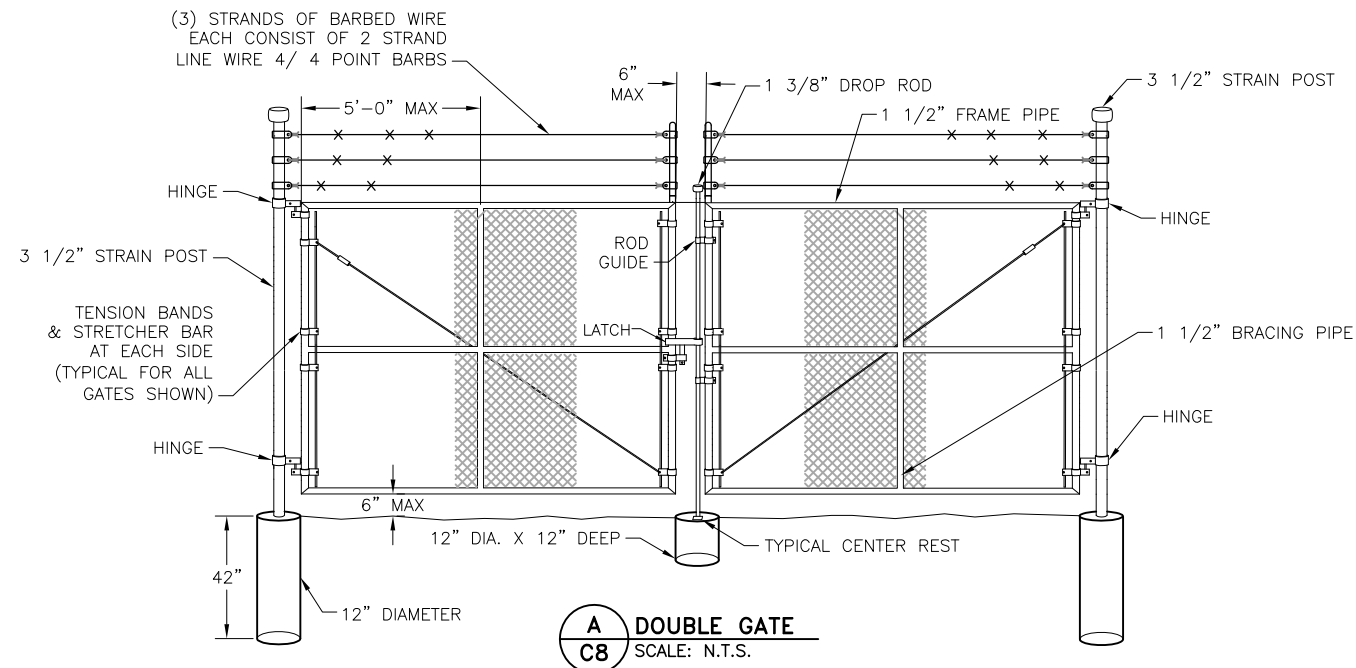
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**JDS-HYDRO** CONSULTANTS, INC.  
5640 TECH CENTER DR., SUITE 100  
COLORADO SPRINGS, COLORADO 80919  
(719) 227-0072

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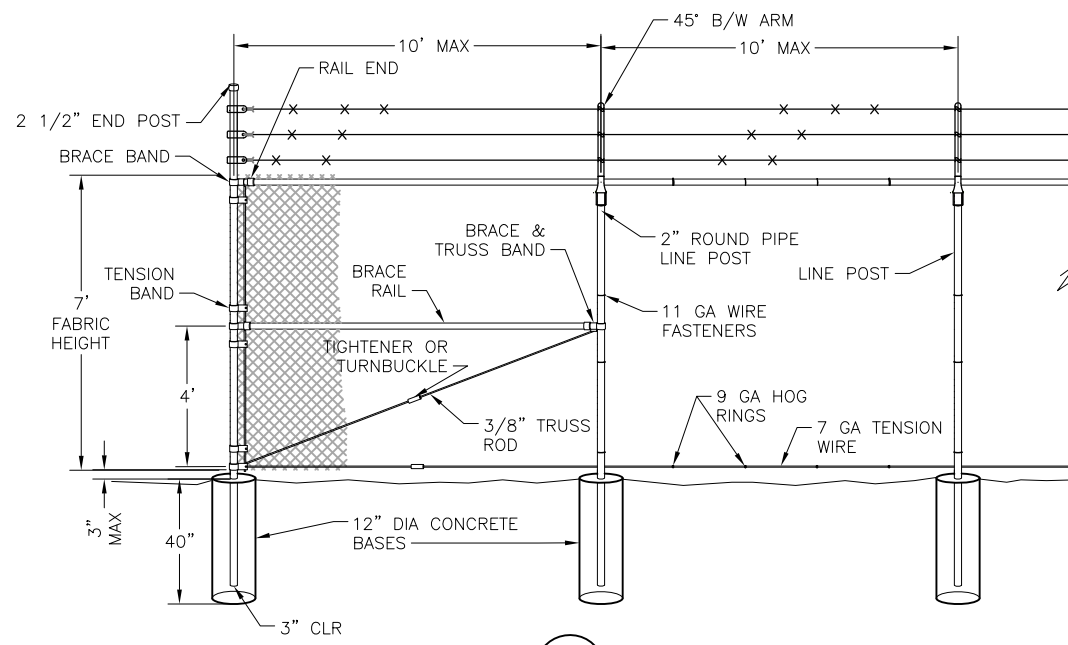
**WIDEFIELD WATER AND SANITATION DISTRICT**  
ROLLING HILLS BOOSTER PUMP STATION  
UTILITY PLAN

2021/12/03 12:15 PM By: Gina Mangino J:\JDS-Hydro\Project Files\102 Widefield Water And San\102.125 Rolling Hills Pump Station\Drawings\02-Civil\102.125\_Site Improvement\_Details.dwg

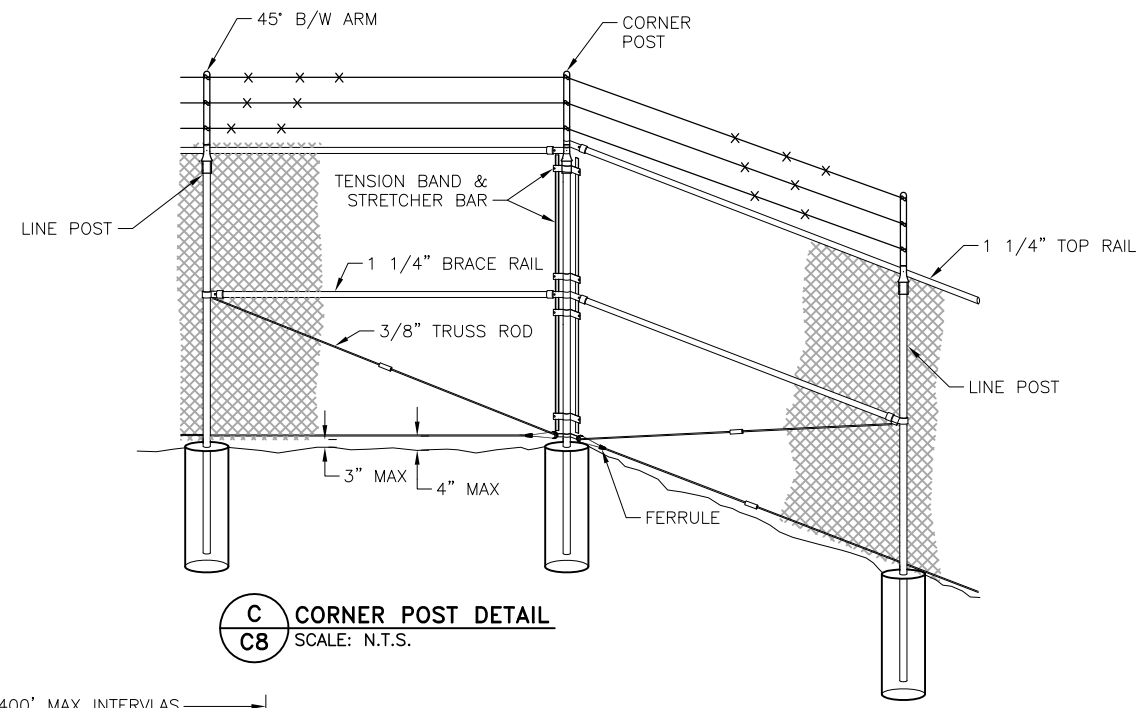


**A** DOUBLE GATE  
C8 SCALE: N.T.S.

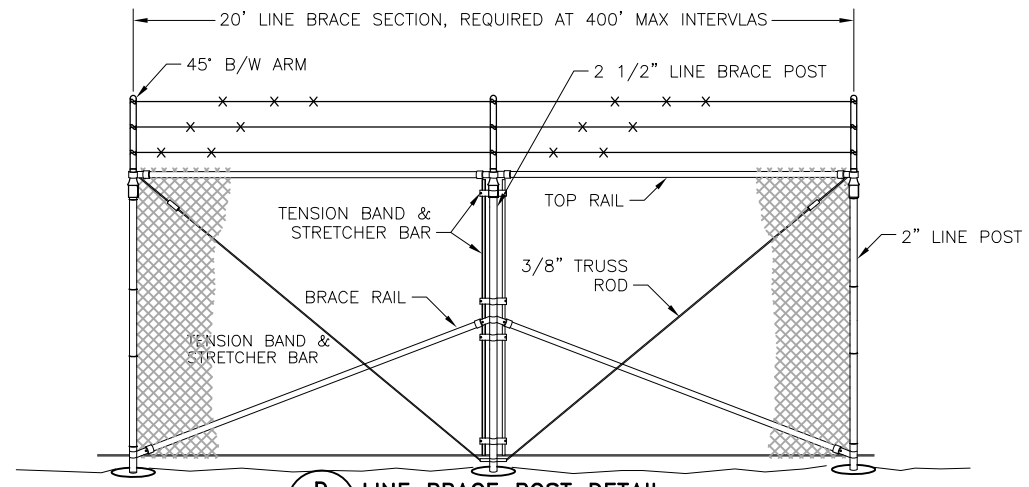
- NOTES:**
1. CHAIN LINK FENCE SHALL CONFORM TO THE REQUIREMENTS OF AASHTO M 181.
  2. CHAIN LINK FABRIC SHALL BE 2" MESH NO. 9 GAGE GALVANIZED OR ALUMINUM COATED WIRE SECURELY FASTENED TO TENSION WIRE, LINE POSTS, RAILS, BRACES AND STRETCHER BARS SPACED AS SHOWN HEREON. WIRE FASTENERS AND TIE CLIPS SHALL BE NO. 11 GAGE (W&M) GALVANIZED STEEL WIRE OR NO. 7 GAGE (B&S) ALUMINUM WIRE, AND HOG RINGS SHALL BE NO. 9 GAGE, ALL IN CONFORMANCE WITH ASTM F 626.
  3. STEEL POSTS, RAILS AND GATE FRAMES SHALL CONFORM TO AASHTO M 181 TYPE 1, GRADE 1, OR GRADE 2.
  4. TENSION WIRE SHALL BE CONTINUOUS BETWEEN END OR CORNER POST AND LINE BRACE POST. A TURNBUCKLE OR OTHER APPROVED TIGHTENING DEVICE SHALL BE USED FOR EACH CONTINUOUS SPAN OF TENSION WIRE.
  5. TENSION WIRE SHALL BE AS SPECIFIED IN AASHTO M 181.
  6. CONCRETE FOOTINGS SHALL HAVE TOPS CROWNED AT GROUND LEVEL AND SHALL BE CLASS A, AX, OR B.
  7. CHAIN LINK FABRIC OVER 5 FEET HIGH SHALL BE TWISTED AND BARBED ON THE TOP SELVAGE AND KNUCKLED ON THE BOTTOM SELVAGE.
  8. ATTACH FABRIC TO ALL FENCE AND GATE STRUCTURES AT 12" INTERVALS VERTICALLY AND AT 20" HORIZONTALLY.



**B** END POST DETAIL  
C8 SCALE: N.T.S.



**C** CORNER POST DETAIL  
C8 SCALE: N.T.S.



**D** LINE BRACE POST DETAIL  
C8 SCALE: N.T.S.

**JDS-HYDRO** CONSULTANTS, INC.  
5640 TECH CENTER DR., SUITE 100  
COLORADO SPRINGS, COLORADO 80919  
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**WIDEFIELD WATER AND SANITATION DISTRICT**  
ROLLING HILLS BOOSTER PUMP STATION  
CIVIL DETAILS

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**FOR REVIEW**



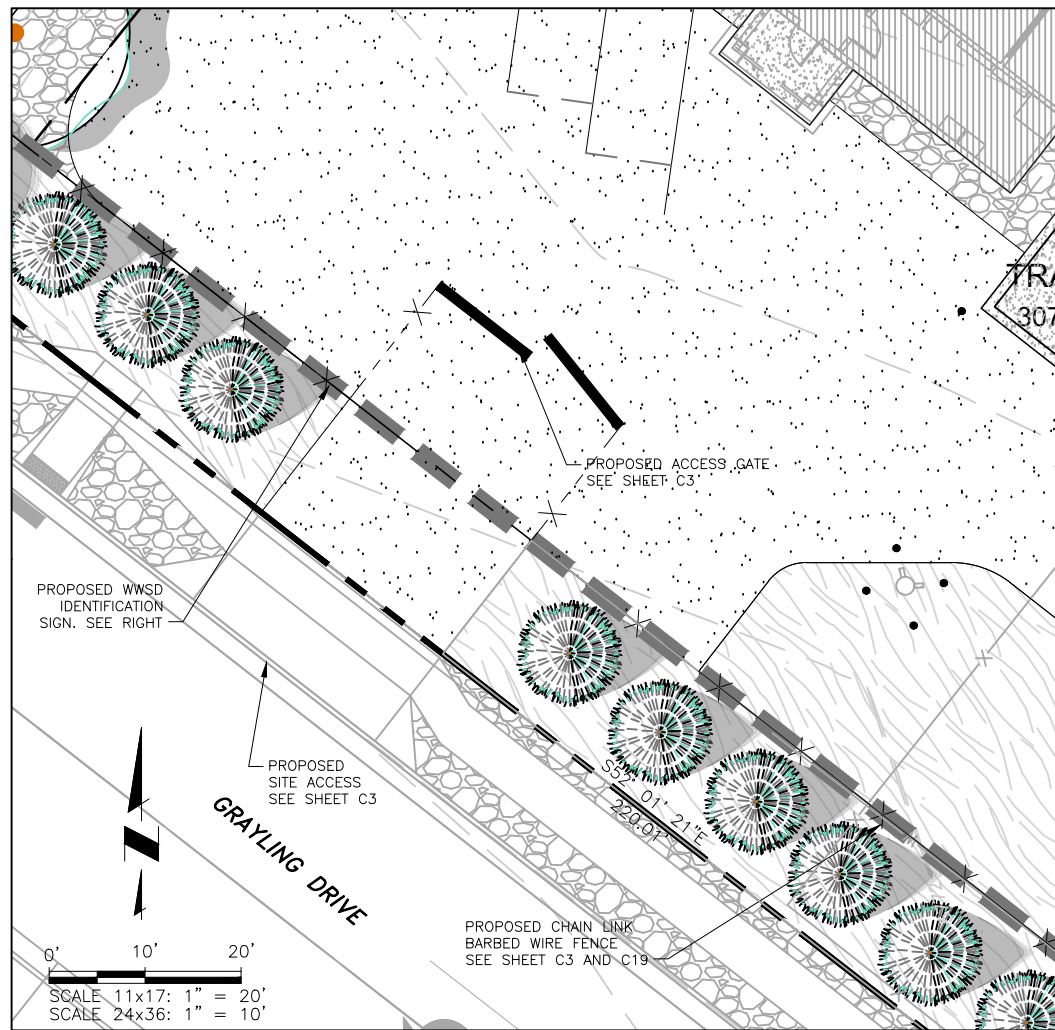
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Date: 12/02/21  
Design: GGM  
Drawn: GGM  
Check: GJD

EPC PLANNING TO PROVIDE  
PCD File No. PPR-21-

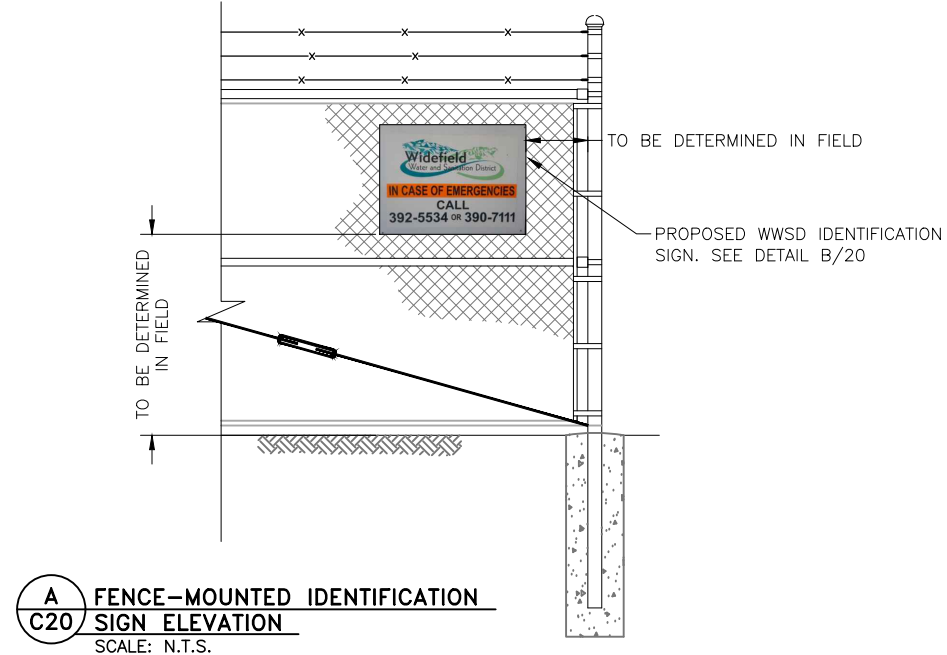
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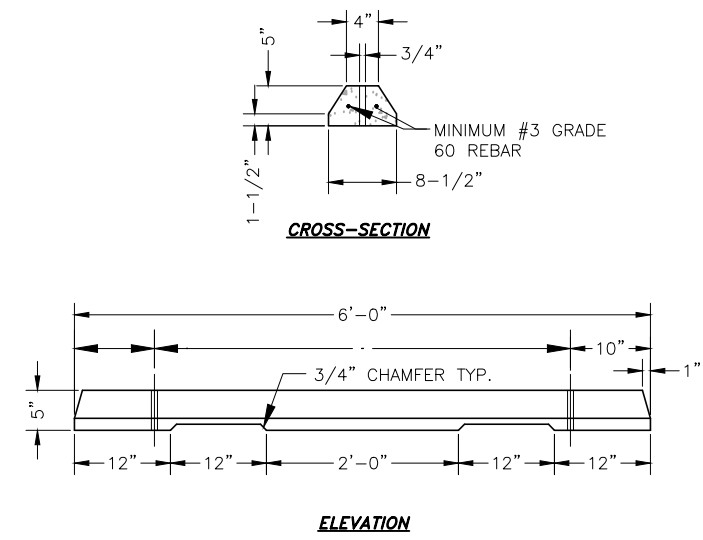
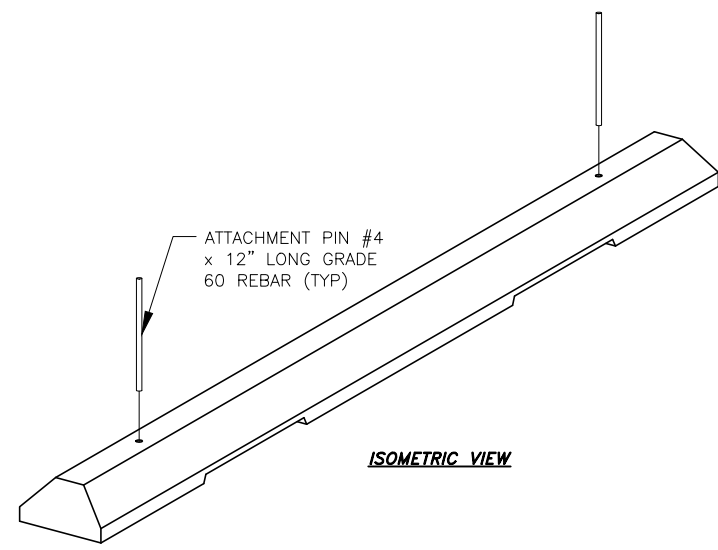
**IDENTIFICATION SIGN PLAN**



**A FENCE-MOUNTED IDENTIFICATION SIGN ELEVATION**  
SCALE: N.T.S.



**B IDENTIFICATION SIGN**  
SCALE: N.T.S.



**C CONCRETE WHEEL STOP**  
SCALE: N.T.S.

EPC PLANNING TO PROVIDE  
PCD File No. \_\_\_\_\_

NOTE:  
DISTRICT IDENTIFICATION SIGNAGE TO BE INSTALLED ON FENCE PER PLANS. KNOXBOX INSTALLED ON GATE FOR FIRE DEPARTMENT ACCESS.

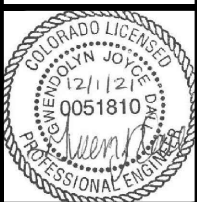
**JDS-HYDRO** CONSULTANTS, INC.  
5540 TECH CENTER DR. SUITE 100  
COLORADO SPRINGS, COLORADO 80919  
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**WIDEFIELD WATER AND SANITATION DISTRICT**  
ROLLING HILLS BOOSTER PUMP STATION  
CIVIL DETAILS

NO.	DESCRIPTION	BY	APP.	DATE
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FOR REVIEW



Project No.: 102.125  
Date: 12/02/21  
Design: GGM  
Drawn: ACH  
Check: GJD

**C9**  
SHEET --- OF ---