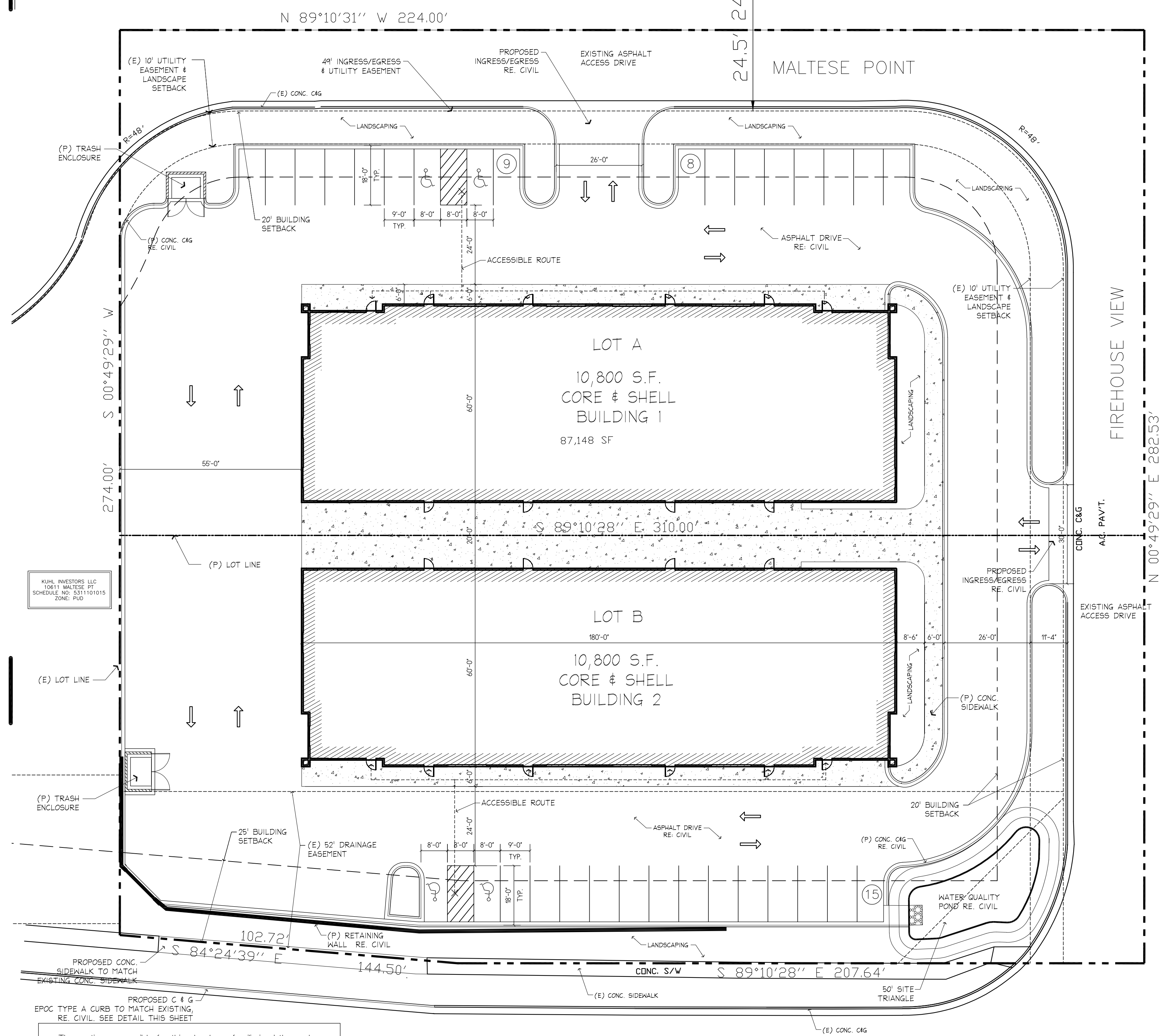
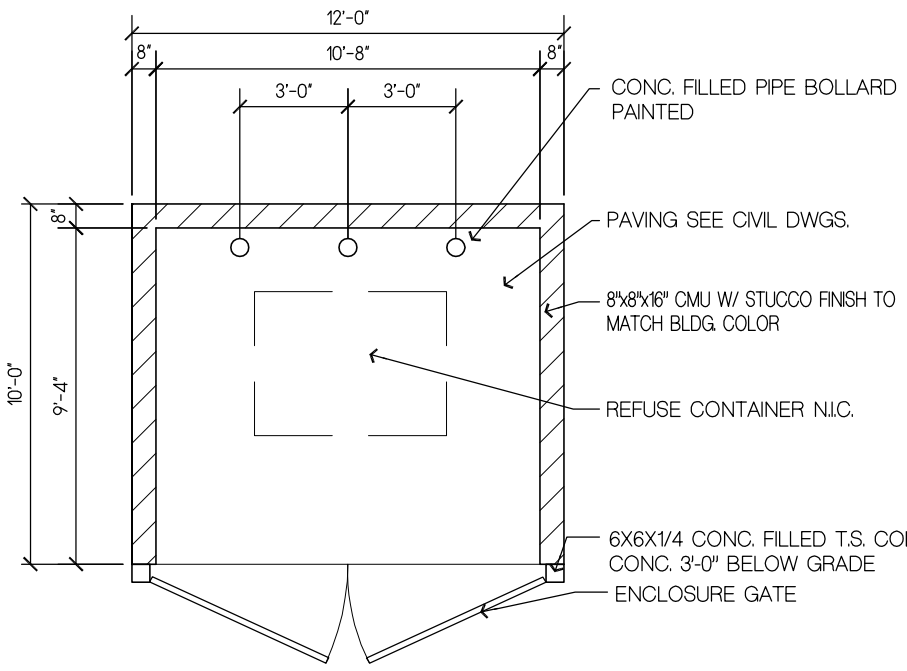


MALTESE - ROLLING THUNDER LOT 11 PPR

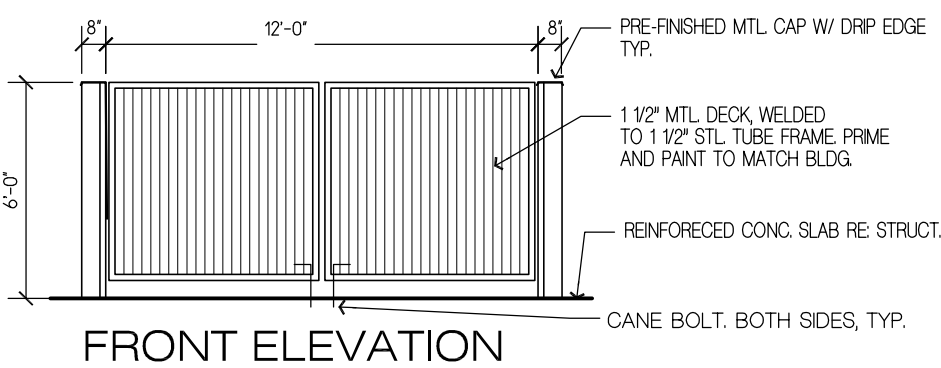


The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by El Paso County does not assure compliance with the ADA or any regulations or guidelines enacted or promulgated under or with respect to such laws.

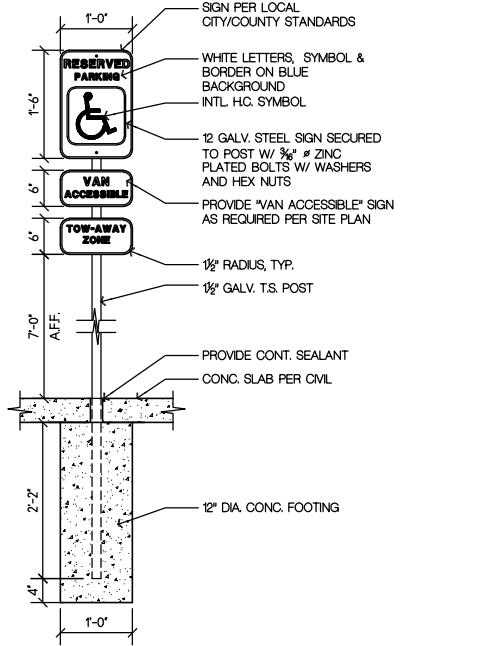


TRASH ENCLOSURE DETAILS
SCALE: 3/16" = 1'-0"

ROLLING THUNDER WAY SITE PLAN SCALE: 1/8" = 1'-0"



RIGHT & LEFT ELEVATION
REAR ELEVATION



ADA PARKING SIGN
SCALE: 3/8" = 1'-0"

SITE DATA

SITE INFORMATION
PROJECT ADDRESS: LOT 11 ROLLING THUNDER BUSINESS PARK
10659 MALTESE POINT
PEYTON, CO 80831
TAX SCHEDULE NO: 5311101011
LEGAL DESCRIPTION: LOT 11 ROLLING THUNDER BUSINESS PARK BUSINESS PARK
PROJECT DESCRIPTION: REPLAT & NEW CONSTRUCTION OF TWO SINGLE STORY CORE & SHELL BUILDINGS FOR FUTURE OFFICE/WAREHOUSE USE
COUNTY ZONING: PUD (PLANNED UNIT DEVELOPMENT)
LOT AREA: 87,148 SF. (2 ACRES)
LOT A = 47,430 SF.
LOT B = 39,718 SF.
BLG. SETBACKS: FRONT = 25'
REAR = 25'
SIDE = 0'
BUILDING HEIGHT: 22' (MAX. 30')

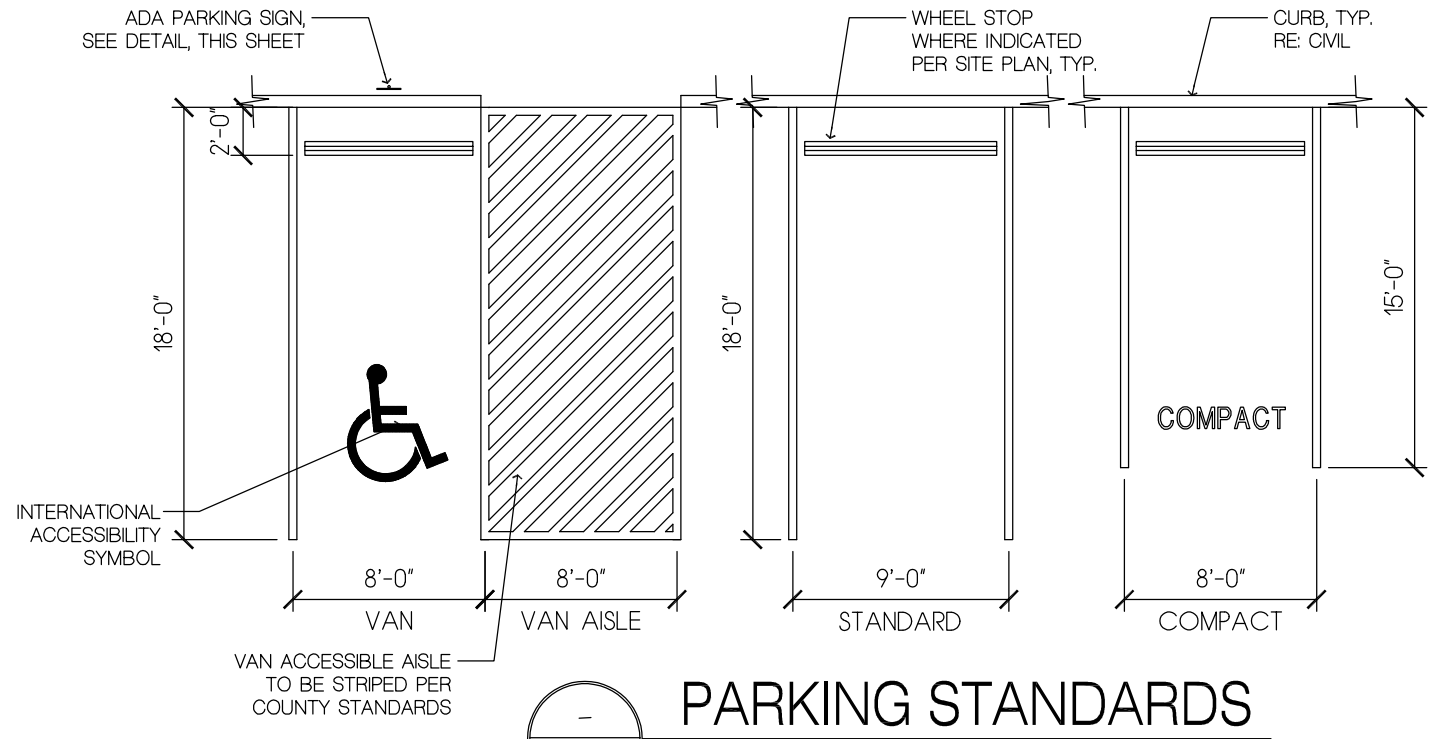
PARKING:
ESTIMATED PARKING REQUIRED: PROFESSIONAL OFFICE: @ 1200
WAREHOUSE: @ 1000
10,800 S.F. BUILDING 1
ESTIMATED OFFICE = 1,400 S.F. = 7 SPACES
ESTIMATED WAREHOUSE = 9,400 S.F. = 10 SPACES
TOTAL ESTIMATED PARKING REQUIRED = 17 SPACES
10,800 S.F. BUILDING 2
ESTIMATED OFFICE = 1,000 S.F. = 5 SPACES
ESTIMATED WAREHOUSE = 9,800 S.F. = 98 SPACES
TOTAL ESTIMATED PARKING REQUIRED = 15 SPACES
NOTE: OFFICE SPACE LISTED IS MAXIMUM BASED ON PARKING CALCULATIONS

TOTAL PARKING REQUIRED = 32 SPACES
TOTAL PARKING PROVIDED = 32 SPACES
ACCESSIBLE PARKING REQUIRED = 2 SPACE (PER 25-55 REQUIREMENT)

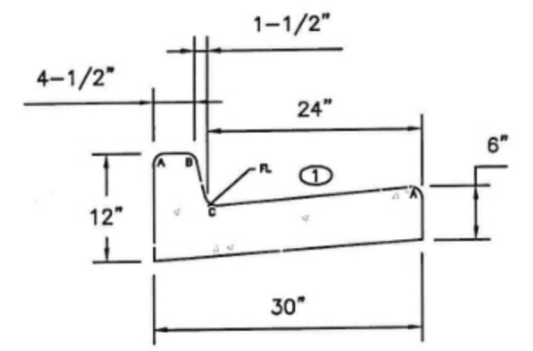
NOTE: PARKING TO CONFORM WITH EL PASO COUNTY LAND DEVELOPMENT CODE REQUIREMENTS

GENERAL SITE NOTES

- THIS PROJECT IS LOCATED IN THE ROLLING THUNDER BUSINESS PARK PUD (PUD-08-002)
- FIRE PROTECTION: FALCON FIRE DISTRICT
- OWNERSHIP AND MAINTENANCE OF PRIVATE ROADS, PRIVATE DETENTION PONDS/PERMANANT WATER QUALITY BMPs AND DRAINAGE AREAS WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS ASSOCIATION (POA)
- DEVELOPMENT OF THE PROPERTY SHALL BE IN ACCORDANCE WITH THE PUD DEVELOPMENT PLAN. MODIFICATIONS SHALL BE SUBJECT TO THE LIMITATIONS CONTAINED IN THE EL PASO COUNTY LAND DEVELOPMENT CODE AS AMENDED.
- PARKING LOT LIGHTING SHALL BE TWENTY FEET (20') MAXIMUM HEIGHT, ALL WALL PACK, UPWARD AND SIGN LIGHTING SHALL NOT IMPACT ADJACENT PROPERTIES.
- SIGNS SHALL CONFORM TO SECTION 62.10 OF THE EL PASO COUNTY LAND DEVELOPMENT CODE AS AMENDED.
- LANDSCAPING SHALL FOLLOW THE CONCEPT LANDSCAPE PLAN IN THE APPROVED PUD AND MEET THE EL PASO COUNTY LANDSCAPING REQUIREMENTS IN THE LAND DEVELOPMENT CODE AS AMENDED.
- HANDICAPPED PARKING SPACE DESIGN SHALL MEET ALL COUNTY AND ADA CRITERIA:
A. RAMPS SHALL NOT BE PLACES IN HANDICAPPED ACCESS AISLE.
B. H/C STALLS AND ACCESS AISLES MAY NOT EXCEED A 2% SLOPE IN ANY DIRECTION, TYP.
C. HANDICAPPED RAMPS MAY NOT EXCEED A SLOPE OF 1:12
D. MINIMUM WIDTH FOR HANDICAPPED RAMPS IS 36 INCHES.
- SITE IS NOT WITHIN A FEMA DESIGNATED FLOODPLAIN PER FLOOD MAP NUMBER 08041C0535G, EFFECTIVE ON 12/07/2018



PARKING STANDARDS
SCALE: 1/8" = 1'-0"



EPC TYPE A
(REVERSE SLOPE OF PAN FOR SPILL CURB)
NOT TO SCALE

PROJECT TEAM

OWNER
JEFF WESSON
RUCKUS INVESTMENTS, LLC
2041 MEADOWBROOK PKWY
COLORADO SPRINGS, CO 80951
(719) 660-8990
ARCHITECT
BUCHER DESIGN STUDIO, INC.
BRIAN K. BUCHER, AIA, NCARB
12325 ORACLE BLVD, SUITE 111
COLORADO SPRINGS, CO 80921
(719) 484-0480
LANDSCAPE ARCHITECT
HIGHER GROUND DESIGNS, INC.
JOHN MACKAY
5350 NORTH ACADEMY BLVD, SUITE 207
COLORADO SPRINGS, CO 80918
(719) 593-0173
MEP ENGINEER
MICHAEL CHIARTANO, P.E.
SR. ENGINEER/ELECTRICAL
PSI LLC
110 S. SIERRA MADRE
COLORADO SPRINGS, CO 80903
(719) 520-9279

PLANNER/CIVIL
ERIK S. WATTS, AUTHORIZED REP
614 ELKTON DR
COLORADO SPRINGS, CO 80907
(719) 593-0173

DRAWING INDEX

SHT. #	DESCRIPTION
CS	SITE PLAN / COVER SHEET
-	GRADING PLAN
-	DRAINAGE PLAN
L11	LANDSCAPE PLAN
L12	LANDSCAPE DETAILS AND NOTES
L13	LANDSCAPE DETAILS AND NOTES
A-1	FLOOR PLAN
A-2	EXTERIOR ELEVATIONS

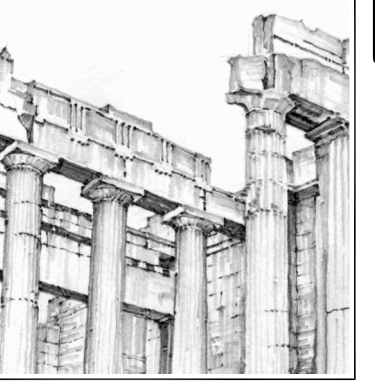
PROJECT DATA

PROJECT/CODE INFORMATION:
JURISDICTION: EL PASO COUNTY PLANNING & COMMUNITY DEVELOPMENT
FUTURE OCCUPANCY: B/S-1
CONSTRUCTION TYPE: I-B
SPRINKLER SYSTEM: NO
ALLOWABLE AREA: 17,500 SF (BASED ON WORST CASE OCCUPANCY GROUP)
PROPOSED AREA: (2) 10,800 SF.
ALLOWABLE HEIGHT: 45' PER PUD DEVELOPMENT GUIDELINES
PROPOSED HEIGHT: 21'-7" - 1 STORY
APPLICABLE CODES
2017 Pikes Peak Regional Building Code (PPRBC)
2015 INTERNATIONAL BUILDING CODE (IBC)
2014 NATIONAL ELECTRIC CODE (NEC)
2015 INTERNATIONAL PLUMBING CODE (IPC)
2015 INTERNATIONAL MECHANICAL CODE (IMC)
2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
2009 ICC/ANSI 117.1 ACCESSIBILITY STANDARD
2015 INTERNATIONAL FIRE CODE (IFC)
EL PASO COUNTY LAND DEVELOPMENT CODE
ROLLING THUNDER BUSINESS PARK PUD (PUD-08-002)

VICINITY MAP



Copyright © 2018



BUCHER DESIGN STUDIO
architecture-planning

Brian K. Bucher, AIA
Architect
CO license no. C-4889
CA license no. C 23506

A PROPOSED
CORE & SHELL
FOR

RUCKUS
INVESTMENTS

10659 MALTESE POINT
PEYTON, CO

Sheet Title:
SITE PLAN/
COVER SHEET

Drawing Status:
DEVELOPMENT
PLAN
NOT FOR CONSTRUCTION

Revisions:			
No.	Description	By	Date
1			

Date: 09/07/21

Drawn by:

Checked by:

Scale: AS NOTED

Job No.:

Sheet No.:
CS
Of