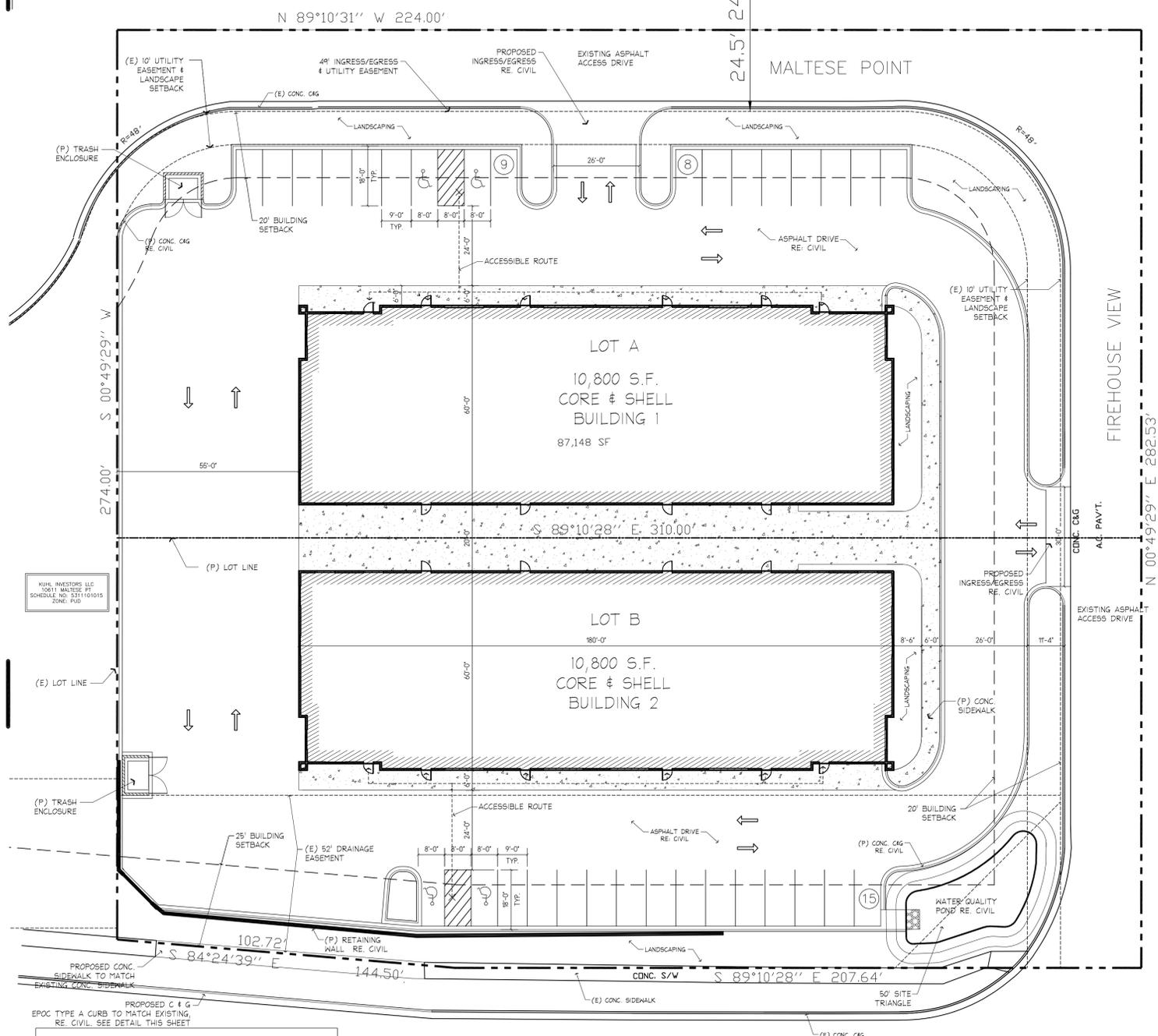


MALTESE - ROLLING THUNDER LOT 11 PPR



SITE DATA

SITE INFORMATION:
 PROJECT ADDRESS: LOT 11 ROLLING THUNDER BUSINESS PARK, 10659 MALTESE POINT, PEYTON, CO 80831
 TAX SCHEDULE NO: 53111011
 LEGAL DESCRIPTION: LOT 11 ROLLING THUNDER BUSINESS PARK BUSINESS PARK
 PROJECT DESCRIPTION: REPLAT & NEW CONSTRUCTION OF TWO SINGLE STORY CORE & SHELL BUILDINGS FOR FUTURE OFFICE/WAREHOUSE USE
 COUNTY ZONING: PUD (PLANNED UNIT DEVELOPMENT)
 LOT AREA: 87,148 SF. (2 ACRES)
 LOT A = 47,430 SF.
 LOT B = 39,718 SF.
 BLG. SETBACKS: FRONT = 25', REAR = 25', SIDE = 0'
 BUILDING HEIGHT: 22' (MAX. 30')
 PARKING: ESTIMATED PARKING REQUIRED: PROFESSIONAL OFFICE @ 1200, WAREHOUSE @ 1000
 10,800 SF. BUILDING 1: ESTIMATED OFFICE = 1,400 SF. = 7 SPACES, ESTIMATED WAREHOUSE = 9,400 SF. = 10 SPACES, TOTAL ESTIMATED PARKING REQUIRED = 17 SPACES
 10,800 SF. BUILDING 2: ESTIMATED OFFICE = 1,000 SF. = 5 SPACES, ESTIMATED WAREHOUSE = 9,800 SF. = 98 SPACES, TOTAL ESTIMATED PARKING REQUIRED = 15 SPACES
 NOTE: OFFICE SPACE LISTED IS MAXIMUM BASED ON PARKING CALCULATIONS
 TOTAL PARKING REQUIRED = 32 SPACES
 TOTAL PARKING PROVIDED = 32 SPACES
 ACCESSIBLE PARKING REQUIRED = 2 SPACE (PER 25-55 REQUIREMENT)

PROJECT TEAM

OWNER: RUCKUS INVESTMENTS, LLC, 2041 MEADOWBROOK PKWY, COLORADO SPRINGS, CO 80951 (719) 660-8990
PLANNER/CIVIL: ERIK S. WATTS, AUTHORIZED REP, 614 ELKTON DR, COLORADO SPRINGS, CO 80907 (719) 593-0173
ARCHITECT: BUCHER DESIGN STUDIO, INC., 12325 ORACLE BLVD, SUITE 111, COLORADO SPRINGS, CO 80921 (719) 484-0480
LANDSCAPE ARCHITECT: HIGHER GROUND DESIGNS, INC., JOHN MACKAY, 5350 NORTH ACADEMY BLVD, SUITE 207, COLORADO SPRINGS, CO 80918
MEP ENGINEER: MICHAEL CHIARTANO, P.E., SR. ENGINEER/ELECTRICAL, PSI LLC, 110 S. SIERRA MADRE, COLORADO SPRINGS, CO 80903 (719) 520-9279

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 Architect
 CO license no. C-4889
 CA license no. C 23506

DRAWING INDEX

SHT. #	DESCRIPTION
CS	SITE PLAN / COVER SHEET
-	GRADING PLAN
-	DRAINAGE PLAN
L11	LANDSCAPE PLAN
L12	LANDSCAPE DETAILS AND NOTES
L13	LANDSCAPE DETAILS AND NOTES
A-1	FLOOR PLAN
A-2	EXTERIOR ELEVATIONS

GENERAL SITE NOTES

- THIS PROJECT IS LOCATED IN THE ROLLING THUNDER BUSINESS PARK PUD (PUD-08-002)
- FIRE PROTECTION: FALCON FIRE DISTRICT
- OWNERSHIP AND MAINTENANCE OF PRIVATE ROADS, PRIVATE DETENTION PONDS/PERMANENT WATER QUALITY BMPs AND DRAINAGE AREAS WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS ASSOCIATION (POA)
- DEVELOPMENT OF THE PROPERTY SHALL BE IN ACCORDANCE WITH THE PUD DEVELOPMENT PLAN. MODIFICATIONS SHALL BE SUBJECT TO THE LIMITATIONS CONTAINED IN THE EL PASO COUNTY LAND DEVELOPMENT CODE AS AMENDED.
- PARKING LOT LIGHTING SHALL BE TWENTY FEET (20') MAXIMUM HEIGHT, ALL WALL PACK, UPWARD AND SIGN LIGHTING SHALL NOT IMPACT ADJACENT PROPERTIES.
- SIGNS SHALL CONFORM TO SECTION 62.10 OF THE EL PASO COUNTY LAND DEVELOPMENT CODE AS AMENDED.
- LANDSCAPING SHALL FOLLOW THE CONCEPT LANDSCAPE PLAN IN THE APPROVED PUD AND MEET THE EL PASO COUNTY LANDSCAPING REQUIREMENTS IN THE LAND DEVELOPMENT CODE AS AMENDED.
- HANDICAPPED PARKING SPACE DESIGN SHALL MEET ALL COUNTY AND ADA CRITERIA:
 A. RAMPS SHALL NOT BE PLACED IN HANDICAPPED ACCESS AISLE.
 B. H/C STALLS AND ACCESS AISLES MAY NOT EXCEED A 2% SLOPE IN ANY DIRECTION, TYP.
 C. HANDICAPPED RAMPS MAY NOT EXCEED A SLOPE OF 1:12
 D. MINIMUM WIDTH FOR HANDICAPPED RAMPS IS 36 INCHES.
- SITE IS NOT WITHIN A FEMA DESIGNATED FLOODPLAIN PER FLOOD MAP NUMBER 08041C0535G, EFFECTIVE ON 12/07/2018

A PROPOSED CORE & SHELL FOR RUCKUS INVESTMENTS

PROJECT DATA

PROJECT/CODE INFORMATION:
 JURISDICTION: EL PASO COUNTY PLANNING & COMMUNITY DEVELOPMENT
 FUTURE OCCUPANCY: B/S-1
 CONSTRUCTION TYPE: I-B
 SPRINKLER SYSTEM: NO
 ALLOWABLE AREA: 17,500 SF (BASED ON WORST CASE OCCUPANCY GROUP)
 PROPOSED AREA: (2) 10,800 SF.
 ALLOWABLE HEIGHT: 45' PER PUD DEVELOPMENT GUIDELINES
 PROPOSED HEIGHT: 21'-7" - 1 STORY

APPLICABLE CODES:
 2017 Pikes Peak Regional Building Code (PPRBC)
 2015 INTERNATIONAL BUILDING CODE (IBC)
 2014 NATIONAL ELECTRIC CODE (NEC)
 2015 INTERNATIONAL PLUMBING CODE (IPC)
 2015 INTERNATIONAL MECHANICAL CODE (IMC)
 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
 2009 ICC/ANSI 1171 ACCESSIBILITY STANDARD
 2015 INTERNATIONAL FIRE CODE (IFC)
 EL PASO COUNTY LAND DEVELOPMENT CODE
 ROLLING THUNDER BUSINESS PARK PUD (PUD-08-002)

10659 MALTESE POINT
 PEYTON, CO

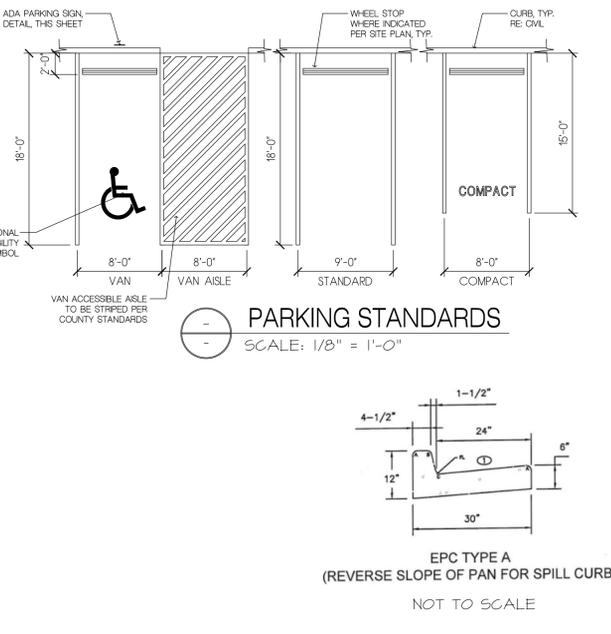
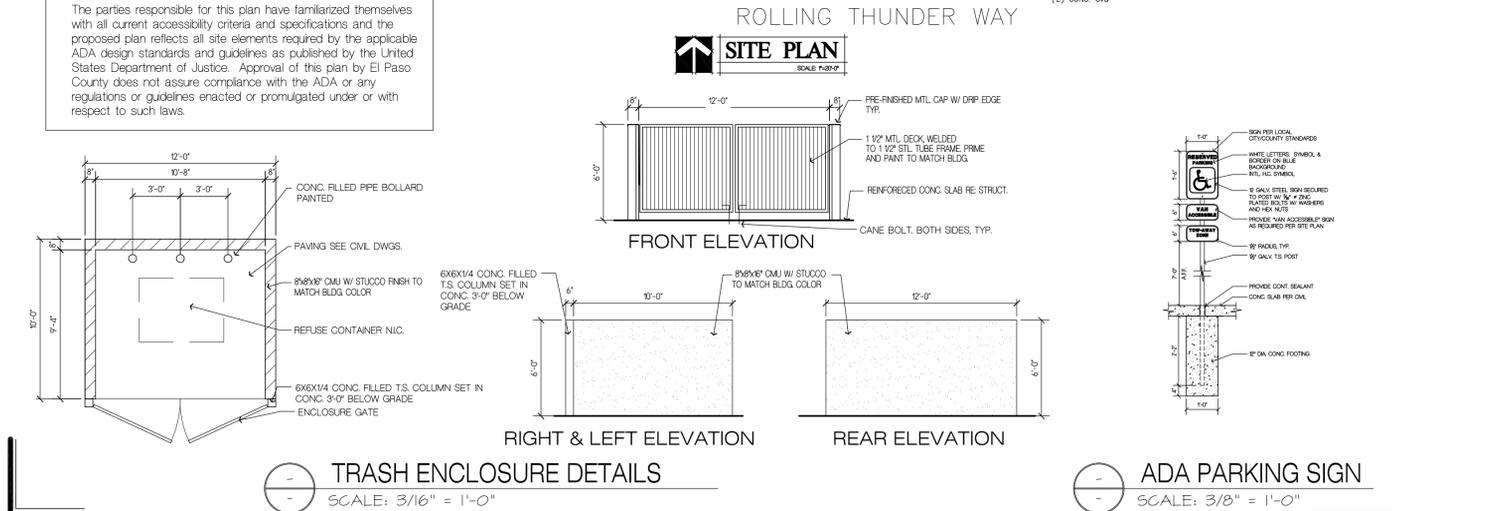
Sheet Title:
SITE PLAN / COVER SHEET

Drawing Status:
DEVELOPMENT PLAN
 NOT FOR CONSTRUCTION

Revisions:

No.	Description	By	Date

Date: 09/07/21
 Drawn by:
 Checked by:
 Scale: AS NOTED
 Job No.:
 Sheet No.: CS
 Of



El Paso County Planning & Community Development
 September 07, 2021 - 4:54pm