

**11901 E PALMER DIVIDE AVENUE, 4th AMENDMENT**  
 A PARCEL OF LAND SITUATED IN THE SE 1/4 OF SECTION 28 & THE NE 1/4 OF SECTION 33, TOWNSHIP 10 SOUTH,  
 RANGE 65 WEST OF THE 6th PRINCIPAL MERIDIAN COUNTY OF DOUGLAS, STATE OF COLORADO  
 TOTAL ACREAGE - 119.75 ACRES  
 USR - ADMINISTRATIVE AMENDMENT - US2020-\_\_\_ (AMENDMENT TO US2020-\_\_\_)

**MANAGEMENT PLAN:**

**2113.01 Number of clients/boarders/parishioners/animals**  
 The greenhouse business grows and supplies potted plants, perennials, annuals, and ground cover for distribution to several clients in the region. The facility supplies annual and perennial bedding plants during the spring, together with a combination of pots and hanging baskets. Mums and poinsettias are grown during the fall and winter months.

The greenhouse business is intended for wholesale distribution and does not involve on-site retail sales. The business grows and supplies all ground cover and potted plants to several clients in the region. Annual and perennial bedding, hanging baskets, and poinsettias are the prime products. No on-site retail sales are proposed. There is one "Open House", occasionally two, per year: one for employees and their families and one for clients. These events are not open to the public, but are by invitation only.

**2113.02 Hours of operation** - Indicate whether the use is seasonal and the number of days of the week

Hours of operation are as follows:  
 Peak Season (April-June) 7 a.m.-6 p.m.  
 Mid Season (January-April) 8 a.m.-5 p.m.  
 Off Season (July-December) 8 a.m.-3 p.m.

Semi-trailer traffic during these times is as follows:

- 15 roundtrips per day during peak season.
- 4 roundtrips per day during the mid season.
- 2 roundtrips per day during off-season.
- The owner commits to not exceed the total semi-trailer trip amounts by more than 12 roundtrips in any given week.
- Semi-trailer traffic at peak season times are between 6 a.m. and 8 p.m.
- The owner commits to maintain a trip log to demonstrate compliance with the semi-trailer traffic per week; available to Douglas County upon request.
- Incidental trips, not counting against the total, may be generated by straight box trucks, cube van and oversized pick-up on an infrequent basis.

There is only one "Open House", occasionally two, per year that we use as our employee party. The "Open House" takes place during scheduled hours of operation. This is where employees bring family, as well as clients, to the greenhouse. This is strictly an invite only affair, and is not open to the public. The second is the same type, but for clients only.

**2113.03 Number of employees**

Dutch Heritage employs 15 year around full time employees, which expands seasonally to 30 or more employees. Seasonal employees start Feb. 1 and go through the end of July. The expansion will create approximately 10 new seasonal jobs, not to exceed a total of 50 seasonal positions. Full time positions will not be affected by the expansion.

**2113.04 Required outside storage/parking/loading areas**

Storage and parking are already present on site and will easily accommodate the expanded facility. The business owns seven 48-foot trailers, one tractor-trailer, two 24-foot straight box trucks, one cube van and an oversized pick-up with closed cube bed. Designated parking spaces will be established for an improved site appearance as shown on the SIP. Typically, there will be no more than 8 trailer trucks and employee vehicles in the area at any one time.

Outdoor storage will be kept to a minimum and shall consist of soil, peat moss, pots, pallets, galvanized steel rolling racks, and injected-mold plastic. Indoor storage consists of all plastic, boxes, seeds, plant fertilizer and growing materials. The area designated for outdoor storage has been identified on the site improvement plan, along with fencing, berming and landscaping to screen this area from view, the principal view being from Delbert Road. Fencing of the storage area will consist of an enclosed 6-foot cedar fence. Stacked storage shall be kept at or below the fence line. There shall be no outside storage of chemicals or fertilizers.

The exterior of the property will be maintained in a neat and orderly manner. The owner will ensure that ongoing maintenance of dust, trash, and screening throughout the grounds is provided. All trash bins will be covered and kept behind the fence.

**2113.05 Permit requirements from other state, federal or local agencies**

Permit requirements include Douglas County GESC Permit, Douglas County Right-of-Way Use Permit and National Pollutant Discharge Elimination System Permit issued by the state.

**2113.06 Method of providing fire protection**

Fire protection is provided by the Franktown Fire Protection District. The station servicing the site is station 182 approximately 8.6 miles or 18 minutes away. The existing facility has an overhead irrigation system that is fed by a 6-inch main water supply. There are sprinkler lines located in each bay on 25-foot centers. In addition, Cintas Fire Protection also performs monthly checks on all rechargeable Dry Chem Extinguishers that are placed at every bay on both ends. With the combination of sprinklers and extinguishers it is believed this meets and exceeds the District's requirements and insurance regulations. Need for fire protection is considered to be minimal due to the interior areas being watered thoroughly during the day.

The proposed greenhouse will not only have dry chemical fire suppression every 50 feet, but overhead sprinklers throughout, as well as hose spigots and watering hoses throughout. This is a very wet environment, and must remain so for the sake of the greenhouse product. These are checked and serviced monthly by Cintas.

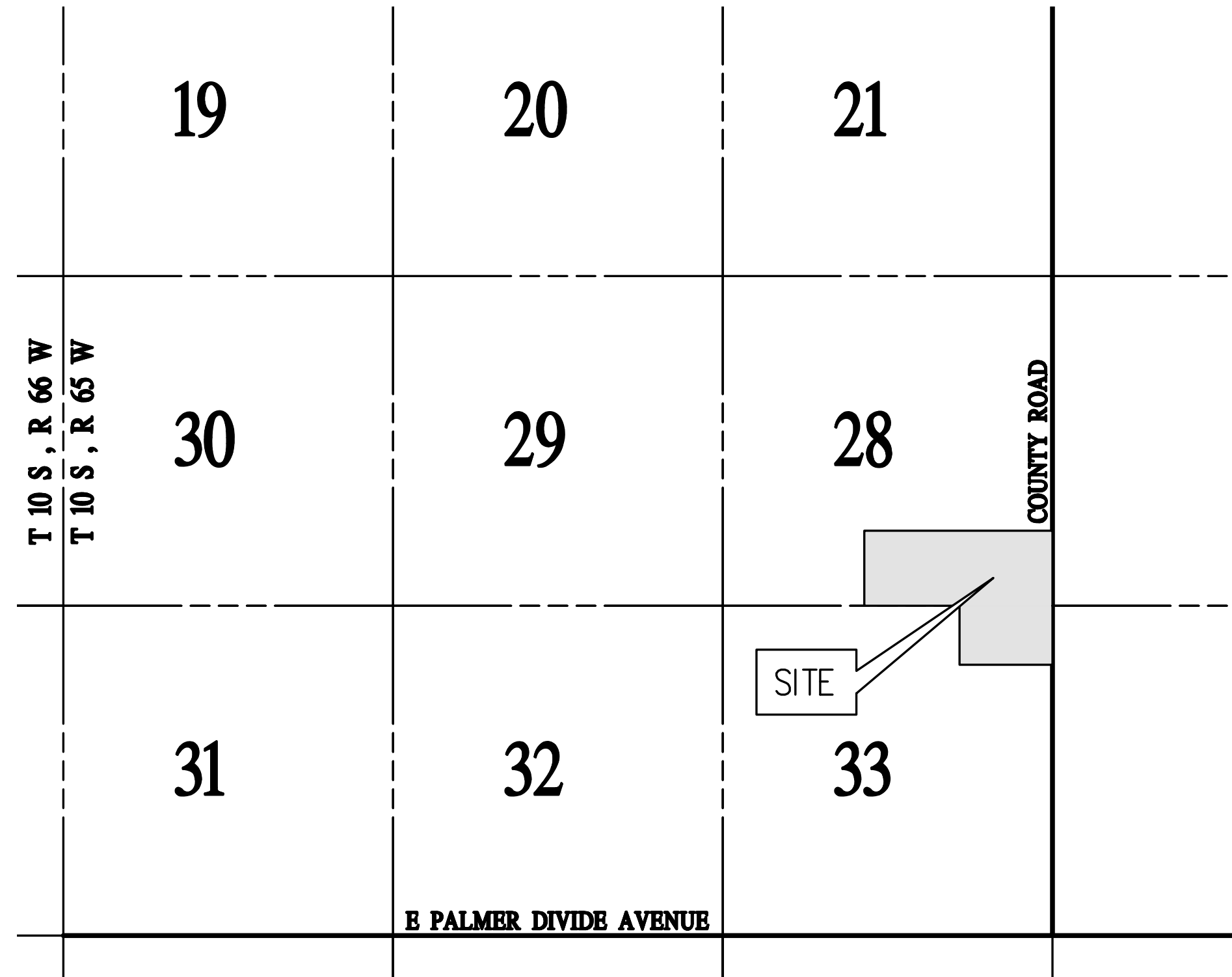
**2113.07 Traffic Impacts**

By 2015, the greenhouse is anticipated to generate approximately 149 driveway-trips (vehicle trips per day) during the year and 224 driveway-trips (vehicle trips per day) during the peak season. From the greenhouse driveway, 100% of the driveway-trips will go south on County Road 1 (Delbert Road). Of these, 95% of the driveway-trips will head west on E. Palmer Divide Avenue, while 5% will head east on Elbert County Road 74. The owner shall provide all truck operators with a map of the designated travel routes to avoid the incidence of unintended trips on other surrounding roads.

As an ongoing condition of approval of the USR, the owner shall pay an annual dust mitigation fee to Douglas County Public Works, not to exceed \$4,950.00 per year, based upon actual incurred expenses. The County shall provide the owner with an invoice towards the end of each year when dust suppression maintenance is complete. As part of the annual USR inspection, the County shall verify that the owner has paid its annual fee.

**NOTE:**

1. WHERE A SIP BRINGS AN EXISTING USE INTO COMPLIANCE WITH APPLICABLE REGULATIONS, OR IS DESIGNED TO CORRECT A NOTICE OF VIOLATION, ALL IMPROVEMENTS SHALL BE COMPLETED WITHIN SIX (6) MONTHS OF THE NOTICE OF ACTION - FINAL STATUS, UNLESS OTHERWISE AGREED TO IN WRITING BY THE OWNER AND THE COUNTY.
2. THE PURPOSE OF THIS USR ADMINISTRATIVE AMENDMENT IS TO ALLOW FOR GREENHOUSE EXPANSION OVER TWO PHASES AND ASSOCIATED SITE DRAINAGE IMPROVEMENTS.



**VICINITY MAP**  
 SCALE: 1" = 2000'

- SHEET INDEX**
- 1 COVER SHEET
  - 2 OVERALL SITE PLAN
  - 3 SITE PLAN
  - 4 LANDSCAPE PLAN
  - 5 ELEVATION PLAN

ITEM	SQUARE FOOTAGE	% OF GROSS SITE
GROSS SITE AREA	5,222,003	100.0000
• EXISTING GREEN HOUSE BUILDING	392,656	7.5200
• EXISTING STORAGE WAREHOUSE	35,127	0.6700
• PROPOSED GREEN HOUSE 2A	75,240	1.4273
• PROPOSED GREEN HOUSE 2B	215,688	4.1315
• EXISTING PARKING	40,276	0.7700
• EXISTING ASPHALT ROAD	16,268	0.3100
HARDSCAPE TOTAL	775,255	14.8488
• NATURAL "PLANTED/SEEDED" AREAS	4,446,748	84.0512
LANDSCAPE TOTAL	4,446,748	84.0512
DESCRIPTION		
EXISTING PARKING		
STANDARD PARKING REQUIRED 33,606 SF/1000 SF = 34 SPACES	STANDARD PARKING PROVIDED 33 EXISTING SPACES 8 SEMITRACTOR SPACES	
HC REQUIRED = 2 SPACES	HC PROVIDED = 2 SPACES	
TOTAL REQUIRED = 36 SPACES	TOTAL PROVIDED = 43 SPACES	

**CONTACT INFORMATION:**

**OWNER:**  
 DUTCH HERITAGE GARDENS  
 11901 E. PALMER DIVIDE AVE.  
 LARKSPUR, CO 80118  
 CONTACT: AARON VAN WINGERDEN  
 719-352-1140

**CIVIL ENGINEER:**  
 BASELINE ENGINEERING CORP.  
 112 N. PUBY DRIVE, STE 210  
 GOLDEN, CO 80403  
 CONTACT: NOAH NEMMERS, PE  
 303-940-9966

**LEGAL DESCRIPTION**

PARCEL A:

THE SOUTH HALF OF THE SOUTH HALF OF THE SOUTHEAST QUARTER AND THE SOUTH HALF OF THE NORTH HALF OF THE SOUTH HALF OF THE SOUTHEAST QUARTER, EXCEPT 1 ACRE WHICH HAS BEEN USED AND OCCUPIED FOR CEMETERY PURPOSES, IN SECTION 28, TOWNSHIP 10 SOUTH, RANGE 65 WEST OF THE 6TH P.M., COUNTY OF DOUGLAS, STATE OF COLORADO.

PARCEL B:

THE NORTH HALF OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 10 SOUTH, RANGE 65 WEST OF THE 6TH P.M., EXCEPT THAT PARCEL CONVEYED TO ROBERT D. MCWHIRTER IN QUIT CLAIM DEED RECORDED AUGUST 2, 2000 IN BOOK 1876 AT PAGE 1305 AND EXCEPT THAT PARCEL CONVEYED TO BARBARA M. WENDELL AND STEVEN J. WENDELL IN SPECIAL WARRANTY DEED RECORDED JUNE 1, 2004 UNDER RECEPTION NO. 2004055705, COUNTY OF DOUGLAS, STATE OF COLORADO.

**APPROVAL CERTIFICATE**

THE USE BY SPECIAL REVIEW AS DEPICTED HEREON WAS APPROVED BY DOUGLAS COUNTY ON \_\_\_\_\_, 2021.

DIRECTOR OF COMMUNITY DEVELOPMENT

- THE USE BY SPECIAL REVIEW IS SUBJECT OR A YEARLY REVIEW, OR AS OTHERWISE DEFINED BY THE BOARD OF COUNTY COMMISSIONERS AS PART OF THE APPROVAL OF THE USE BY SPECIAL REVIEW, TO ENSURE COMPLIANCE WITH THE APPROVAL STANDARDS AND CONDITIONS OF APPROVAL.
- CONSTRUCTION SHALL COMMENCE PURSUANT TO THE USE BY SPECIAL REVIEW WITHIN 3 YEARS FROM THE DATE OF APPROVAL, OR WITHIN THE EXTENDED EFFECTIVE APPROVAL PERIOD, OR THE USE BY SPECIAL REVIEW SHALL TERMINATE.
- THE USE BY SPECIAL REVIEW SHALL TERMINATE WHEN THE USE OF THE LAND CHANGES OR WHEN THE PERIOD ESTABLISHED BY THE BOARD OF COUNTY COMMISSIONERS THROUGH THE APPROVAL PROCESS EXPIRES. THE OWNER SHALL NOTIFY THE ZONING DIVISION OF A TERMINATION OF THE USE. WHEN THE ZONING DIVISION IS NOTIFIED OF A TERMINATION OF USE OF OBSERVERS THAT THE USE HAS BEEN TERMINATED DURING THE ANNUAL REVIEW, A WRITTEN NOTICE OF TERMINATION SHALL BE SENT TO THE LANDOWNER.
- ACCEPTANCE OF SITE CONSTRUCTION DRAWINGS BY DOUGLAS COUNTY ENGINEERING SHALL BE REQUIRED (AS APPLICABLE) PRIOR TO ISSUANCE OF BUILDING PERMITS. ACCEPTANCE OF THE SITE CONSTRUCTION DRAWINGS EXPIRES THREE YEARS AFTER THE DATE OF SIGNATURE.
- SIGNS SHOWN HEREON ARE NOT APPROVED. ALL SIGNS REQUIRE APPROVAL OF A SIGN PERMIT IN ACCORDANCE WITH THE SIGN STANDARDS SECTION OF THE DOUGLAS COUNTY ZONING RESOLUTION

**OWNERSHIP:**

THE UNDERSIGNED AS THE OWNER OR OWNERS REPRESENTATIVE OF THE LANDS DESCRIBED HEREIN HEREBY AGREE ON BEHALF OF ITSELF, ITS SUCCESSORS AND ASSIGNS TO DEVELOP AND MAINTAIN THE PROPERTY DESCRIBED HEREON IN ACCORDANCE AND COMPLIANCE WITH THIS APPROVED PLAN EXHIBIT AND THE DOUGLAS COUNTY ZONING RESOLUTION.

(FOR CORPORATE OR LLC OWNER)

(PRINT CORPORATION/LLC NAME)

BY: \_\_\_\_\_  
 TITLE: \_\_\_\_\_  
 DATE: \_\_\_\_\_

ATTEST: (IF CORP)

SECRETARY/TREASURER

STATE OF COLORADO )  
 ) SS  
 COUNTY OF \_\_\_\_\_ )

ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_ AS \_\_\_\_\_ AND \_\_\_\_\_ AS \_\_\_\_\_ OF \_\_\_\_\_, A \_\_\_\_\_ CORPORATION/ LLC

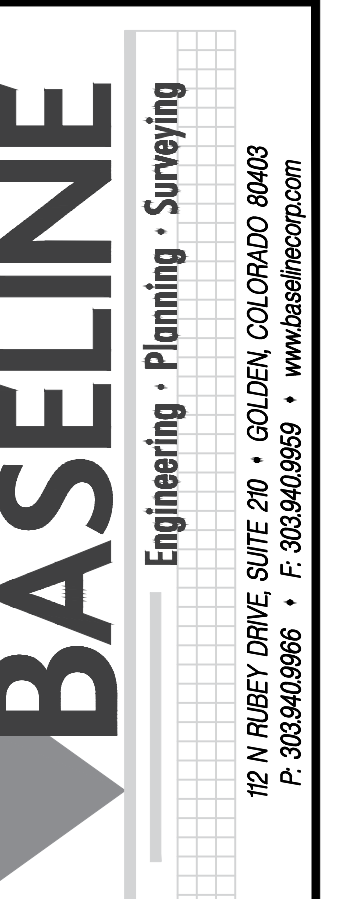
MY COMMISSION EXPIRES: \_\_\_\_\_  
 WITNESS MY HAND AND OFFICIAL SEAL \_\_\_\_\_ NOTARY PUBLIC

(FOR INDIVIDUAL OWNER) \_\_\_\_\_ (SIGNATURE OF OWNER(S))

ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_ AS \_\_\_\_\_

MY COMMISSION EXPIRES: \_\_\_\_\_  
 WITNESS MY HAND AND OFFICIAL SEAL \_\_\_\_\_ NOTARY PUBLIC

**PROJECT BENCHMARK:**  
 THE PHYSICAL USGS MONUMENT IS A SET 3" BRASS CAP STAMPED "T1 S8 1933" AT NORTHEAST CORNER OF THE INTERSECTION OF E CHERRY CREEK RD AND PALMER DIVIDE AVE. ELEVATION = 7214.88' (NAVD 88)



DESIGNED BY	DATE	PREPARED BY	DATE	REVISION	DESCRIPTION
NJN					
NJN					
NJN					

UNINCORPORATED  
**DUTCH HERITAGE GARDENS**  
 DOUGLAS COUNTY  
**USR IMPROVEMENT PLAN, 4th AMENDMENT**  
 11901 E PALMER DIVIDE AVE  
 COVER SHEET

FOR AND ON BEHALF OF BASELINE CORPORATION

INITIAL SUBMITTAL	12/16/2020
DRAWING SIZE	24" x 36"
SURVEY FIRM	SURVEY DATE
BASELINE	12/04/2020
JOB NO.	C035018
DRAWING NAME	35018_DHG USR 4th Amendment.dwg
SHEET	1 OF 5

N:\c035018\Drawings\35018\_DHG\_USR\_4th\_Amendment.dwg, 12/30/2020 1:09:23 PM, Noah Nemmers

**11901 E PALMER DIVIDE AVENUE, 4th AMENDMENT**  
 A PARCEL OF LAND SITUATED IN THE SE 1/4 OF SECTION 28 & THE NE 1/4 OF SECTION 33, TOWNSHIP 10 SOUTH,  
 RANGE 65 WEST OF THE 6th PRINCIPAL MERIDIAN COUNTY OF DOUGLAS, STATE OF COLORADO  
 TOTAL ACREAGE - 119.75 ACRES  
 USR - ADMINISTRATIVE AMENDMENT - US2020-\_\_\_ (AMENDMENT TO US2019-\_\_\_)

**LEGEND**

EXISTING LINETYPES	PROPOSED LINETYPES	
--- 81 ---	— 81 —	MINOR CONTOUR (1' INTERVAL)
--- 5280 ---	— 5280 —	MAJOR CONTOUR (5' INTERVAL)
---	---	PROPERTY BOUNDARY
---	---	SECTION LINE
---	---	EDGE OF ASPHALT
---	---	EDGE OF GRAVEL
---	---	EDGE OF BUILDING
---	---	WIRE FENCE
---	---	WOOD FENCE
---	---	OVERHEAD UTILITY
---	---	STORM SEWER

EXISTING SYMBOLS	PROPOSED SYMBOLS	
○	○	CONIFEROUS TREE
○	○	DECIDUOUS TREE
○	○	POWER POLE

**BASELINE**  
 Engineering - Planning - Surveying  
 112 N. RIBEY DRIVE, SUITE 210 • GOLDEN, COLORADO 80403  
 P. 303.940.9966 • F. 303.940.9969 • www.baselinecorp.com

DESIGNED BY	NJN
DRAWN BY	NJN
CHECKED BY	NJN

REVISION DESCRIPTION	DATE	PREPARED BY

**DUTCH HERITAGE GARDENS**  
 UNINCORPORATED  
 DOUGLAS COUNTY  
**USR IMPROVEMENT PLAN, 4th AMENDMENT**  
 11901 E PALMER DIVIDE AVE  
 OVERALL SITE PLAN

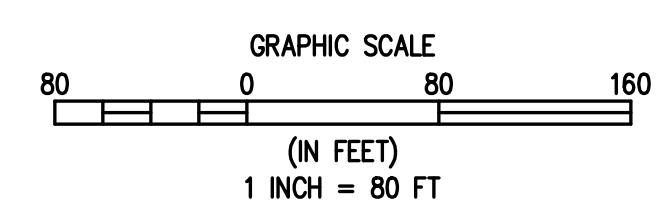
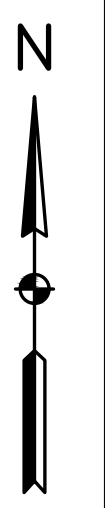
**PROJECT BENCHMARK:**  
 THE PHYSICAL USGS MONUMENT IS A SET  
 3" BRASS CAP STAMPED "T 5B 1933"  
 AT NORTHEAST CORNER OF THE  
 INTERSECTION OF E CHERRY CREEK RD  
 AND PALMER DIVIDE AVE.  
 ELEVATION = 7214.88' (NAVD 88)

**APPROVAL CERTIFICATE**

ENGINEERING \_\_\_\_\_ INITIALS/DATE \_\_\_\_\_

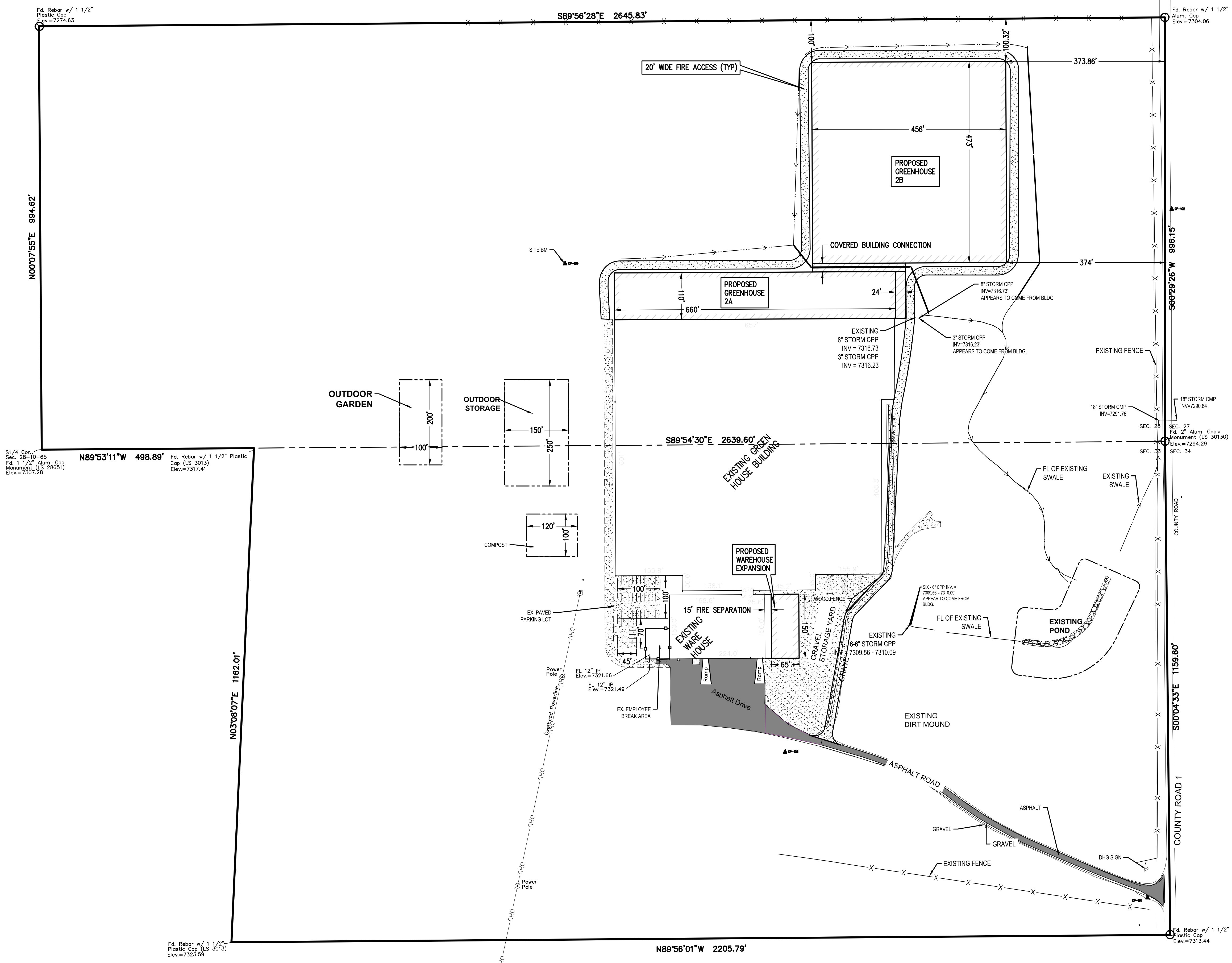
PLANNING \_\_\_\_\_ INITIALS/DATE \_\_\_\_\_

OWNER \_\_\_\_\_ INITIALS/DATE \_\_\_\_\_



FOR AND ON BEHALF OF	BASELINE CORPORATION
INITIAL SUBMITTAL	12/16/2020
DRAWING SIZE	24" X 36"
SURVEY FIRM	BASELINE
SURVEY DATE	12/04/2020
JOB NO.	C035018
DRAWING NAME	35018_DHG_USR_4th Amendment.dwg
SHEET	2 OF 5

C2



N:\c035018\Drawings\35018\_DHG\_USR\_4th Amendment.dwg, 12/30/2020 1:09:27 PM, Neath Nemmers

**11901 E PALMER DIVIDE AVENUE, 4th AMENDMENT**  
 A PARCEL OF LAND SITUATED IN THE SE 1/4 OF SECTION 28 & THE NE 1/4 OF SECTION 33, TOWNSHIP 10 SOUTH,  
 RANGE 65 WEST OF THE 6th PRINCIPAL MERIDIAN COUNTY OF DOUGLAS, STATE OF COLORADO

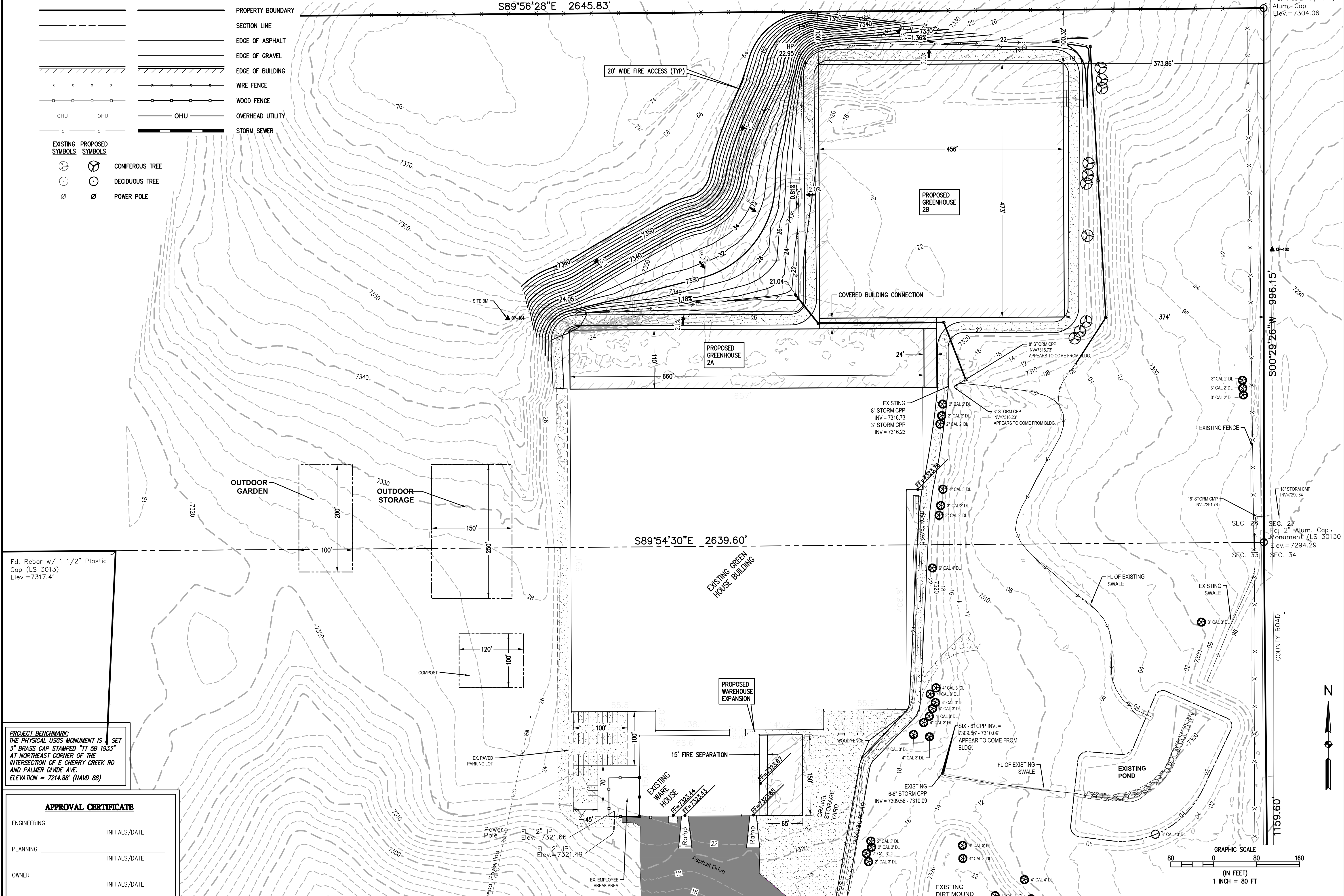
TOTAL ACREAGE - 119.75 ACRES  
 USR - ADMINISTRATIVE AMENDMENT - US2020- (AMENDMENT TO US2019- )  
 S89°56'28"E 2645.83'

**LEGEND**

EXISTING LINETYPES	PROPOSED LINETYPES	
81	81	MINOR CONTOUR (1' INTERVAL)
5280	5280	MAJOR CONTOUR (5' INTERVAL)
---	---	PROPERTY BOUNDARY
---	---	SECTION LINE
---	---	EDGE OF ASPHALT
---	---	EDGE OF GRAVEL
---	---	EDGE OF BUILDING
---	---	WIRE FENCE
---	---	WOOD FENCE
OHU	OHU	OVERHEAD UTILITY
ST	ST	STORM SEWER

EXISTING SYMBOLS	PROPOSED SYMBOLS	
⊙	⊙	CONIFEROUS TREE
○	○	DECIDUOUS TREE
⊗	⊗	POWER POLE



Fd. Rebar w/ 1 1/2" Plastic Cap (LS 3013)  
 Elev.=7317.41

**PROJECT BENCHMARK:**  
 THE PHYSICAL USGS MONUMENT IS SET  
 3" BRASS CAP STAMPED "TT 5B 1933"  
 AT NORTHEAST CORNER OF THE  
 INTERSECTION OF E CHERRY CREEK RD  
 AND PALMER DIVIDE AVE.  
 ELEVATION = 7214.88' (NAVD 88)

**APPROVAL CERTIFICATE**

ENGINEERING	INITIALS/DATE
PLANNING	INITIALS/DATE
OWNER	INITIALS/DATE



DESIGNED BY	DATE
NJN	
DRAWN BY	DATE
NJN	
CHECKED BY	DATE
NJN	

**DUTCH HERITAGE GARDENS**  
 UNINCORPORATED  
 DOUGLAS COUNTY  
**USR IMPROVEMENT PLAN, 4th AMENDMENT**  
 11901 E PALMER DIVIDE AVE  
 SITE PLAN

FOR AND ON BEHALF OF  
 BASELINE CORPORATION

INITIAL SUBMITTAL	12/16/2020
DRAWING SIZE	24" x 36"
SURVEY FIRM	BASELINE
SURVEY DATE	12/04/2020
JOB NO.	C035018
DRAWING NAME	35018_DHG_USR 4th Amendment.dwg
SHEET	3 OF 5

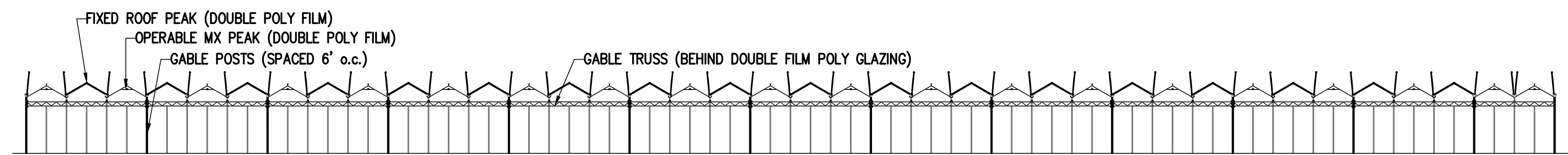
C3

N:\c035018\Drawings\35018\_DHG\_USR 4th Amendment.dwg, 12/30/2020 1:09:33 PM, Neach Hemmers

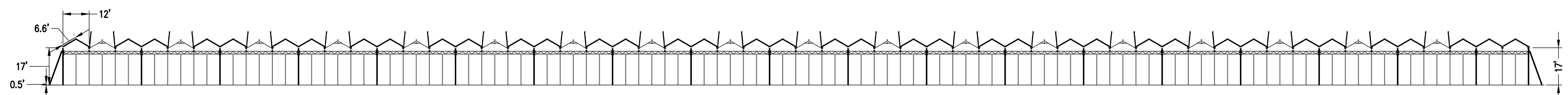
**11901 E PALMER DIVIDE AVENUE, 4th AMENDMENT**  
 A PARCEL OF LAND SITUATED IN THE SE 1/4 OF SECTION 28 & THE NE 1/4 OF SECTION 33, TOWNSHIP 10 SOUTH,  
 RANGE 65 WEST OF THE 6th PRINCIPAL MERIDIAN COUNTY OF DOUGLAS, STATE OF COLORADO  
 TOTAL ACREAGE - 119.75 ACRES  
 USR - ADMINISTRATIVE AMENDMENT - US2020-\_\_\_ (AMENDMENT TO US2019-\_\_\_)

**LIGHTING REMEDIATION NOTE:**  
 PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY AND/OR CONDUCTING FINAL INSPECTIONS, DOUGLAS COUNTY SHALL CONDUCT AN EVENING SITE VISIT TO ENSURE: ILLUMINATION LEVELS GENERATED BY THE LIGHTING MEET ALL COUNTY CRITERIA AS WELL AS THOSE INDICATED ON THE APPROVED SITE IMPROVEMENT PLAN; DO NOT CREATE DISABILITY GLARE ON ADJACENT PROPERTIES; AND THAT ALL FIXTURES ARE FULL CUTOFF AS DEFINED BY THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA. IN THE EVENT LIGHTING LEVELS DO NOT MEET THESE CRITERIA, REMEDIAL ACTION MAY INCLUDE RE-LAMPING WITH LOWER WATTAGE BULBS, RELOCATING FIXTURES, SHIELDING FIXTURES, REMOVING FIXTURES, OR REPLACING FIXTURES. IT SHALL BE THE RESPONSIBILITY OF THE APPLICANT TO ENSURE ALL SITE LIGHTING COMPLIES WITH LIGHTING STANDARDS SECTION OF THE DOUGLAS COUNTY ZONING RESOLUTION PRIOR TO REQUESTING ISSUANCE OF A CERTIFICATE OF OCCUPANCY AND/OR FINAL INSPECTIONS.

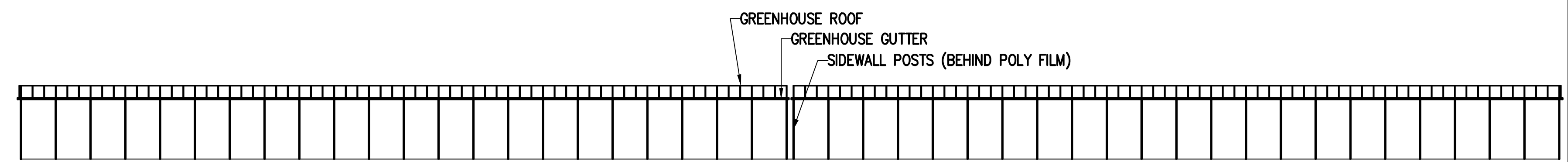
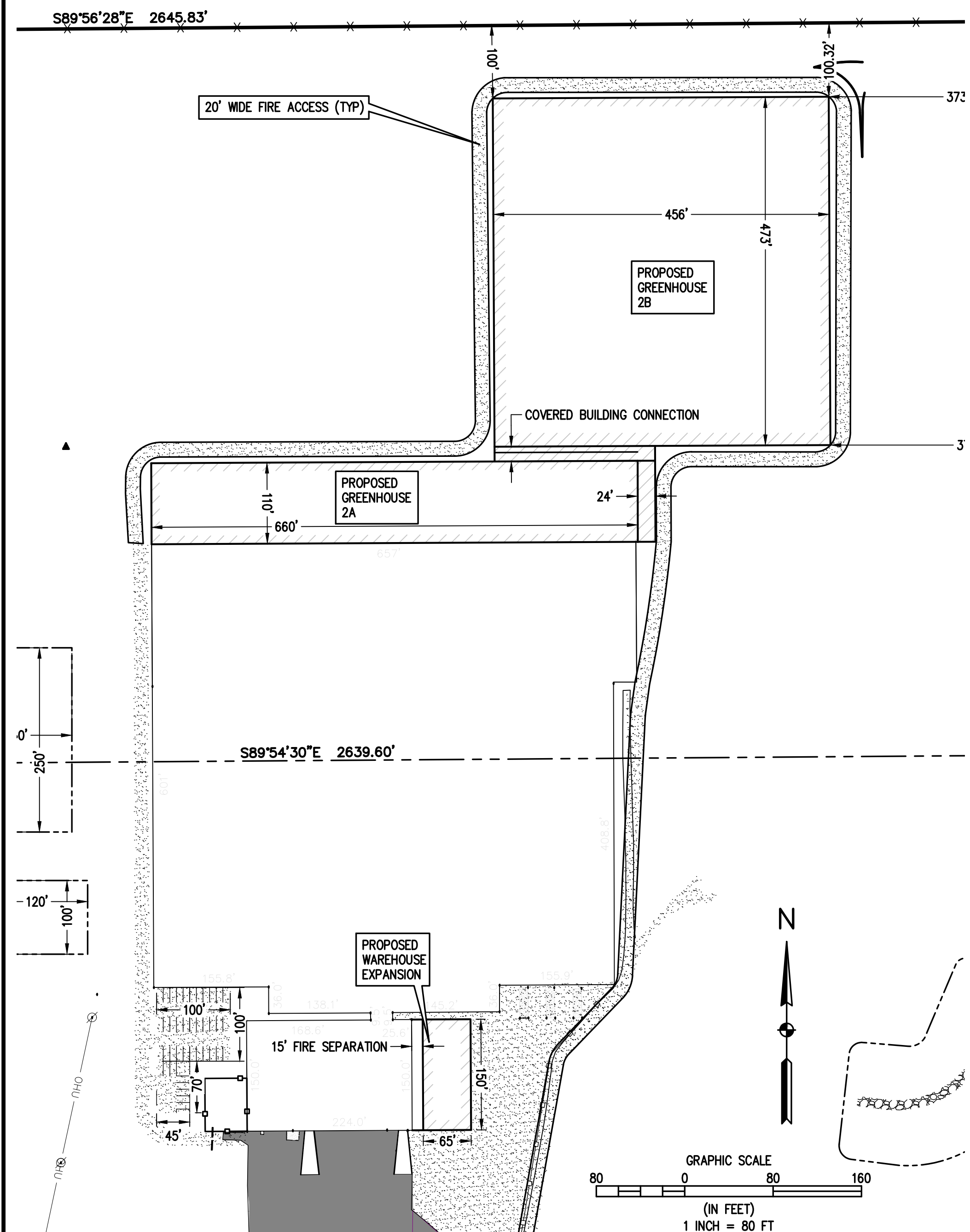
**HVAC SCREEN NOTE:**  
 THE BUILDING ELEVATIONS SHOWN AND APPROVED HEREON ARE INTENDED TO DEMONSTRATE HOW ALL HVAC SHALL BE SCREENED ACCORDING TO DOUGLAS COUNTY ZONING RESOLUTION REQUIREMENTS. IT IS THE APPLICANT'S RESPONSIBILITY TO ENSURE THAT SCREENING OCCURS IN THE FIELD AS DEMONSTRATED BY THESE PLANS, REGARDLESS OF CURB REQUIREMENTS, MECHANICAL PLAN CHANGES, OR OTHER CIRCUMSTANCES. FAILURE TO PROVIDE SCREENING MAY RESULT IN DELAY OF FINAL INSPECTIONS AND/OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY.



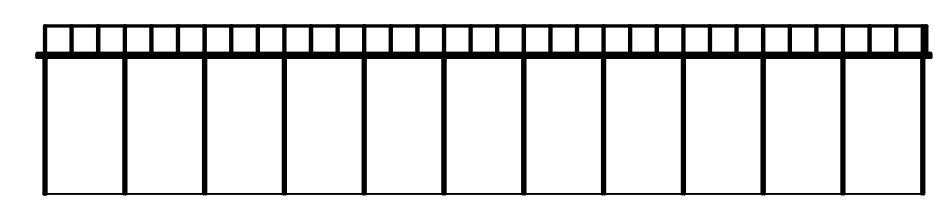
**NORTH/SOUTH GABLE WALL EXPANSION**



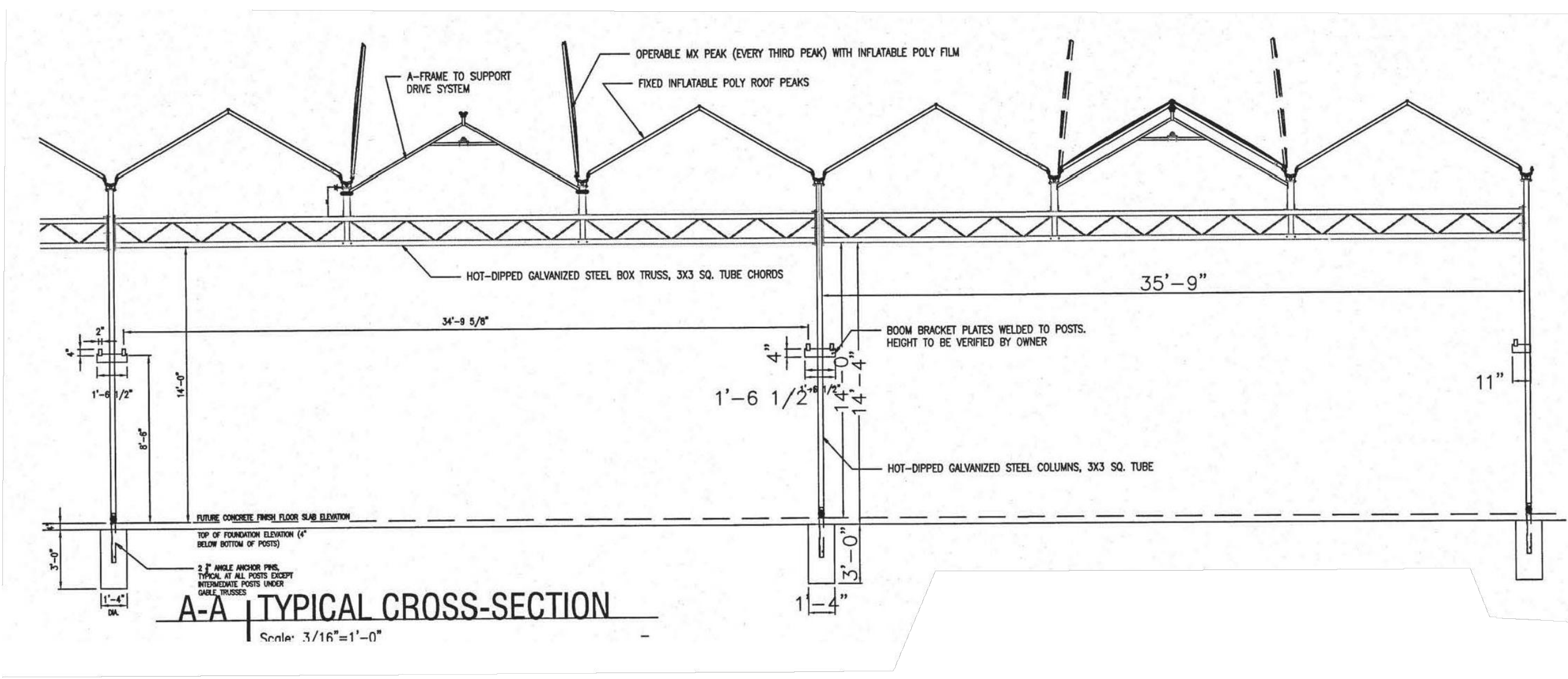
**NORTH GABLE WALL EXTENSION**



**EAST WEST SIDEWALL EXPANSION**



**EAST/WEST SIDEWALL EXTENSION**



**PROJECT BENCHMARK:**  
 THE PHYSICAL USGS MONUMENT IS A SET 3" BRASS CAP STAMPED "T 56 1933" AT NORTHEAST CORNER OF THE INTERSECTION OF E CHERRY CREEK RD AND PALMER DIVIDE AVE. ELEVATION = 7214.88' (NAVD 88)

**APPROVAL CERTIFICATE**

ENGINEERING \_\_\_\_\_ INITIALS/DATE \_\_\_\_\_

PLANNING \_\_\_\_\_ INITIALS/DATE \_\_\_\_\_

OWNER \_\_\_\_\_ INITIALS/DATE \_\_\_\_\_

**BASELINE**  
 Engineering · Planning · Surveying  
 172 N. RIBBY DRIVE, SUITE 270 • GOLDEN, COLORADO 80403  
 P. 303.940.9966 • F. 303.940.9969 • www.baselinecorp.com

DESIGNED BY	DATE
NJN	

DRAWN BY	DATE
NJN	

CHECKED BY	DATE
NJN	

REVISION	DESCRIPTION

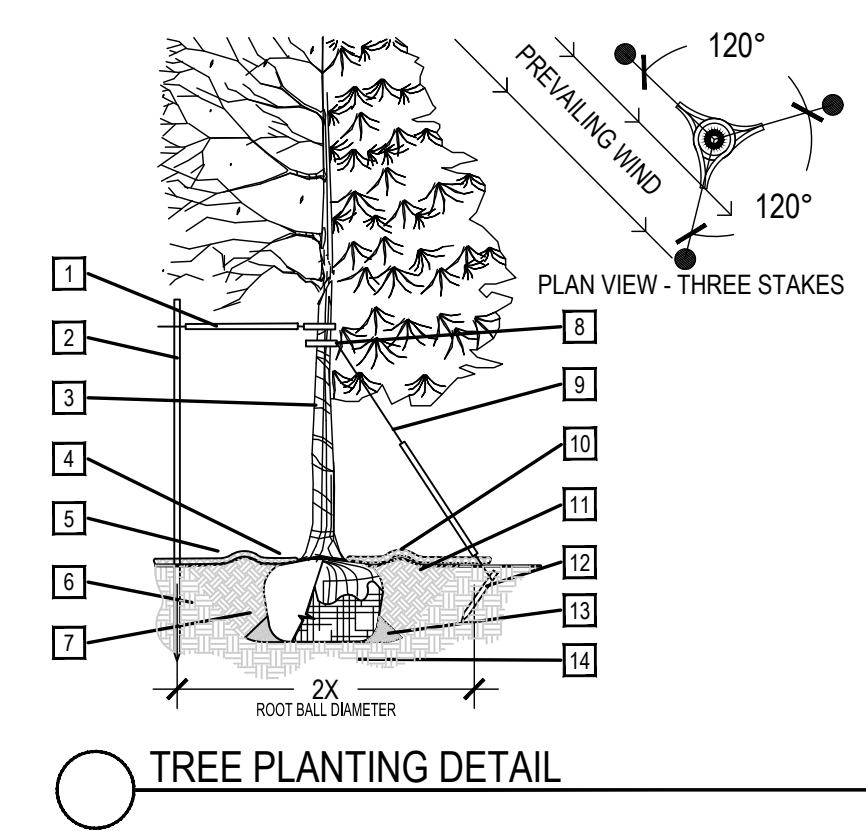
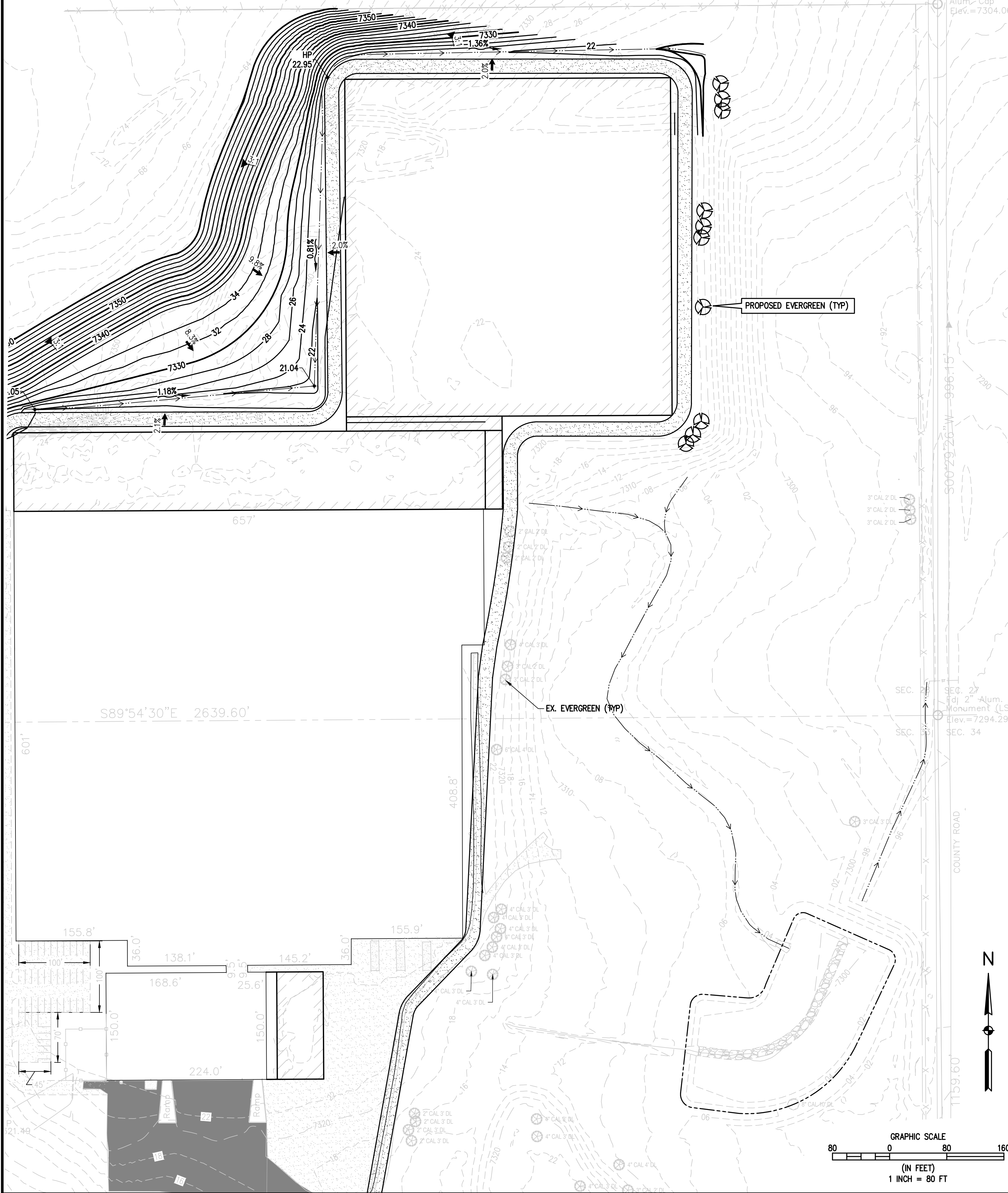
**DUTCH HERITAGE GARDENS**  
 UNINCORPORATED  
 DOUGLAS COUNTY  
 USR IMPROVEMENT PLAN, 4th AMENDMENT  
 11901 E PALMER DIVIDE AVE  
 ELEVATION PLAN

FOR AND ON BEHALF OF  
 BASELINE CORPORATION  
 INITIAL SUBMITTAL 12/16/2020  
 DRAWING SIZE 24" X 36"  
 SURVEY FIRM BASELINE SURVEY DATE 12/04/2020  
 JOB NO. C035018  
 DRAWING NAME 35018\_DHG USR 4th Amendment.dwg  
 SHEET 4 OF 5

C4

N:\c035018CS - Dutch Heritage\Drawings\35018\_DHG USR 4th Amendment.dwg, 12/30/2020 1:09:42 PM, Neath Hemmers

**11901 E PALMER DIVIDE AVENUE, 4th AMENDMENT**  
 A PARCEL OF LAND SITUATED IN THE SE 1/4 OF SECTION 28 & THE NE 1/4 OF SECTION 33, TOWNSHIP 10 SOUTH,  
 RANGE 65 WEST OF THE 6th PRINCIPAL MERIDIAN COUNTY OF DOUGLAS, STATE OF COLORADO  
 TOTAL ACREAGE - 119.75 ACRES  
 USR - ADMINISTRATIVE AMENDMENT - US2020-\_\_\_ (AMENDMENT TO US2019-\_\_\_)



- PRUNING NOTES:**
- ALL PRUNING SHALL COMPLY WITH ANSI A300 STANDARDS.
  - DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- STAKING NOTES:**
- STAKE TREES PER FOLLOWING SCHEDULE, THEN REMOVE AT END OF FIRST GROWING SEASON.
    - 1-1/2" CALIPER SIZE - MIN. 1 STAKE ON SIDE OF PREVAILING WIND (GENERALLY N.W. SIDE)
    - 1-1/2" - 3" CALIPER SIZE - MIN. 2 STAKES - ONE ON N.W. SIDE, ONE ON S.W. SIDE (OR PREVAILING WIND SIDE AND 180° FROM THAT SIDE)
    - 3" CALIPER SIZE AND LARGER - 3 STAKES PER DIAGRAM
  - WIRE OR CABLE SHALL BE MIN. 1/2" GAUGE, TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. NYLON STRAPS SHALL BE LONG ENOUGH TO ACCOMMODATE 1-1/2" OF GROWTH AND BUFFER ALL BRANCHES FROM WIRE.
- PLACEMENT NOTES:**
- PLACE MIN. 1/2" PVC PIPE AROUND EACH WIRE. EXPOSED WIRE SHALL BE MAX. 2" EACH SIDE
  - 6 FT. UNTREATED WOOD POST (MIN. 1.5" DIAMETER). ALL SHALL BE DRIVEN OUTSIDE ROOTBALL AND IN UNDISTURBED SOIL
  - TREE WRAP TO BE INSTALLED ONLY FROM OCTOBER 1 THROUGH APRIL 30. (DECIDUOUS ONLY)
  - PLANT TREE SO THAT FIRST ORDER MAJOR ROOT IS 1"-2" ABOVE FINAL GRADE
  - 3" DEEP MULCH RING PLACED A MINIMUM OF 4 FT. IN DIAMETER. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK (FINISHED GRADE REFERENCES TOP OF MULCH)
  - 1:1 SLOPE ON SIDES OF PLANTING HOLE
  - REMOVE ALL TWINE, ROPE, BURLAP AND WIRE FROM ENTIRE ROOT BALL AND TRUNK
  - GROMMETED NYLON STRAPS
  - GALVANIZED WIRE, MIN. 12 GAUGE CABLE, TWIST WIRE ONLY TO KEEP FROM SLIPPING
  - 4-6" HIGH WATER SAUCER IN NON-TURF AREAS
  - BACKFILL WITH BLEND OF EXISTING SOIL AND A MAXIMUM 20% (BY VOLUME) ORGANIC MATERIAL. WATER THOROUGHLY WHEN BACKFILLING
  - 2 FT. STEEL T-POST ALL SHALL BE DRIVEN BELOW GRADE AND OUTSIDE ROOTBALL IN UNDISTURBED SOIL
  - PLACE SOIL AROUND ROOT BALL FIRMLY. DO NOT COMPACT OR TAMP. SETTLE SOIL WITH WATER TO FILL ALL AIR POCKETS.
  - PLACE ROOT BALL ON UNDISTURBED SOIL TO PREVENT SETTLEMENT.
- SCALE: 3/16" = 1'-0"

**LANDSCAPE NOTES**

- GENERAL**
- ALL LANDSCAPING SHALL BE INSTALLED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY, UNLESS EXCEPTION HAS BEEN GRANTED BY THE MUNICIPALITY OR COUNTY OFFICIALS.
  - THE LANDSCAPE PLANS AND SPECIFICATIONS SHOULD BE FOLLOWED AS CLOSELY AS POSSIBLE. THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT SHOULD BE NOTIFIED IF ANY SUBSTITUTIONS OR ALTERATIONS ARE NEEDED.
  - THE CONTRACTOR SHALL COORDINATE INSPECTION AND APPROVAL OF ALL MATERIALS AND PRODUCTS PRIOR TO INSTALLATION.
  - THE CONTRACTOR IS EXPECTED TO KNOW AND UNDERSTAND ANY LOCAL MUNICIPAL AND COUNTY CODES AND SPECIFICATIONS FOR LANDSCAPE AND IRRIGATION. IN CASES OF DISCREPANCIES THE HIGHER OF THE TWO STANDARDS SHALL HAVE PRECEDENCE.
  - THE LANDSCAPE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE EXISTS IN ALL LANDSCAPE AREAS. ALL LANDSCAPE AREAS SHALL MAINTAIN SLOPE AWAY FROM FOUNDATIONS PER GEOTECHNICAL REPORT RECOMMENDATIONS. SURFACE DRAINAGE SHALL NOT FLOW TOWARD STRUCTURES AND FOUNDATIONS. NO DAMMING OF WATER SHOULD OCCUR AGAINST SIDEWALKS, CURBS, TURF THATCH, OR OTHER LANDSCAPE MATERIALS. MINIMUM SLOPES ON LANDSCAPE AREAS SHALL BE 2%; MAXIMUM SLOPE SHALL BE 25% UNLESS SPECIFICALLY IDENTIFIED ON THE PLANS OR APPROVED BY THE OWNER'S REPRESENTATIVE.
  - INSTALLATION, MAINTENANCE, AND REPLACEMENT OF ALL IMPROVEMENTS SHOWN ON THE APPROVED LANDSCAPE PLAN IN THE PLANNING DEPARTMENT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, HIS SUCCESSORS AND DELEGATES.
  - LANDSCAPING SHALL NOT INTERFERE WITH TRAFFIC VISIBILITY AND THE GENERAL FUNCTION AND SAFETY OF ANY GAS, ELECTRIC, WATER, SEWER, TELEPHONE, CABLE, OR OTHER UTILITY EASEMENT.
- WARRANTY**
- UNLESS SPECIFIED IN THE CONTRACT DOCUMENTS OR SPECIFICATIONS, THE CONTRACTOR SHALL WARRANT ALL CONTRACTED WORK AND MATERIALS FOR A PERIOD OF ONE (1) YEAR AFTER SUBSTANTIAL COMPLETION HAS BEEN ISSUED FOR THE PROJECT BY THE OWNER'S REPRESENTATIVE.
  - CONTRACTOR SHALL PROVIDE LANDSCAPE PROTECTION, MAINTENANCE, AND IRRIGATION INCLUDING SUPPLEMENTAL WATERING PER SPECIFICATIONS UNTIL SUBSTANTIAL COMPLETION HAS BEEN ISSUED UNLESS OTHERWISE INSTRUCTED PER OWNER'S REPRESENTATIVE.
- IRRIGATION**
- ALL PROPOSED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. REFER TO IRRIGATION PLANS FOR TYPES AND LIMITS OF IRRIGATION. THE SYSTEM SHALL BE PROPERLY ZONED TO SEPARATE PLANT REQUIREMENTS, TURF ZONES, AND NATIVE SEED AREAS.
  - CONTRACTOR SHALL REVIEW AND COMPLY WITH ALL GEOTECHNICAL REPORT STIPULATIONS KEEPING ALL IRRIGATION LINES, HEADS, AND EMITTERS OUTSIDE THE MINIMUM DISTANCES SPECIFIED. IN NO CASE SHALL IRRIGATION BE EMITTED WITHIN THE MINIMUM DISTANCES OF BUILDING OR WALL FOUNDATIONS.
  - CONTRACTOR SHALL COORDINATE ALL INSTALLATION OF IRRIGATION EQUIPMENT AND LINES SO THAT IT DOES NOT INTERFERE WITH PLANTING LOCATIONS. LANDSCAPE MATERIAL LOCATIONS SHALL HAVE PRECEDENCE OVER IRRIGATION LINES AND EQUIPMENT. IF INSTALLED IN LOCATIONS OBSTRUCTING THE INTENDED USE, THE IRRIGATION EQUIPMENT SHALL BE RELOCATED.
  - IRRIGATION ADJACENT TO EXISTING TREES AND LANDSCAPE TO REMAIN SHALL BE HAND DUG.
  - EVERGREEN TREES SHALL BE LOCATED A MINIMUM OF FIFTEEN FEET (15') AWAY FROM IRRIGATION ROTOR HEADS.
- SOIL PREPARATION**
- SURFACE GRADING TO INCLUDE REMOVAL OF EXISTING VEGETATION, WEEDS, DEBRIS, CLODS AND ROCKS LARGER THAN 1/2" FROM THE SITE. DISPOSE OF ACCUMULATED DEBRIS AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
  - THE CONTRACTOR SHALL TAKE MEASURES AND ASSUME MAINTENANCE AND
- MANAGEMENT OF EROSION CONTROL, SURFACE RUNOFF, AND SOIL EROSION AND SEDIMENT FROM THE SITE PER STORM WATER MANAGEMENT PLANS / PROGRAMS IN PLACE.**
- THE CONTRACTOR SHALL INSPECT ALL CONDITIONS FOR RETENTION OF WATER IN PLANTING AREAS TO MAKE SURE THERE IS ADEQUATE DRAINAGE IN ALL LANDSCAPE AREAS.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CREATING SUITABLE SOIL MEDIUM THAT ENSURES HEALTHY PLANT GROWTH. SOIL SAMPLES ARE RECOMMENDED FOR ANALYSIS OF ORGANIC MATTER RECOMMENDATIONS REQUIRED FOR THE SOIL FOR HEALTHY PLANT GROWTH.
  - TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON AREAS REQUIRING REVEGETATION AND LANDSCAPING.
  - BEFORE PLANTS ARE INSTALLED, ALL LANDSCAPE AREAS SHALL BE THOROUGHLY LOOSENED TO A DEPTH OF 8"-12" AND AMENDED PER SPECIFICATIONS AND MUNICIPAL REQUIREMENTS.
  - ALL LANDSCAPE AREAS SHALL RECEIVE ORGANIC SOIL PREPARATION AT 5 cu.yds/1,000sf OR AS NOTED IN THE SOIL SAMPLE ANALYSIS.
- TREES**
- TREES SHALL NOT BE LOCATED IN DRAINAGE SWALES, DRAINAGE AREAS, OR UTILITY EASEMENTS. CONTACT OWNER'S REPRESENTATIVE FOR RELOCATION OF PLANTS IN QUESTIONABLE AREAS PRIOR TO INSTALLATION.
  - TREE CENTERS SHALL NOT BE PLACED CLOSER THAN EIGHT FEET (8') FOR EVERGREEN TREES AND SIX FEET (6') FOR ORNAMENTAL TREES FROM A SIDEWALK, PARKING, STREET OR DRIVE LANE. NOTIFY OWNER'S REPRESENTATIVE IF TREE LOCATIONS CONFLICT WITH THESE STANDARDS.
  - EVERGREEN TREES SHALL NOT BE USED IN THE TREE LAWN OR WITHIN EIGHT FEET (8') OF A PUBLIC WALK.
  - ALL TREES ARE TO BE STAKED AND GUYED FOR A PERIOD OF ONE (1) YEAR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING STAKES AT THE END OF ONE (1) YEAR FROM ACCEPTANCE OF LANDSCAPE INSTALLATION PER APPROVAL BY OWNER'S REPRESENTATIVE.
  - ALL TREES IN TURF AREAS SHALL RECEIVE MULCH RINGS. ALL TREE RINGS AND PERENNIAL BEDS SHALL BE MULCHED WITH A 3" DEPTH OF GORILLA HAIR CEDAR MULCH.
- MULCH & EDGING**
- PRIOR TO THE PLACEMENT OF MULCH AND WEED FABRIC, A GRANULAR, PRE-EMERGENT, WEED CONTROL AGENT SHALL BE ADDED TO ALL PLANTING BEDS IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTION, EXCEPT AROUND ORNAMENTAL GRASSES.
  - SHRUB, GROUNDCOVER AND PERENNIAL BEDS ARE TO BE CONTAINED BY 4" x 14 GAUGE GALVANIZED, GREEN, ROLL TOP, INTERLOCKING TYPE EDGER, SURE-LOC OR APPROVED EQUAL. EDGER IS NOT REQUIRED WHEN ADJACENT CURBS, WALLS, WALKS OR SOLID FENCES WITHIN 3" OF PRE-MULCHED FINAL GRADE. EDGER SHALL NOT BE REQUIRED TO SEPARATE MULCH TYPES UNLESS SPECIFIED ON THE PLANS. PERFORATED EDGER IS ONLY USED BETWEEN SO/D/NATIVE GRASS AND MULCH AREAS WHERE PONDING OF WATER OCCURS. EDGER SHALL NOT RESTRICT THE FREE FLOW OF DRAINAGE OR DAM WATER IN ANY CASE.
  - ALL SHRUB BEDS ARE TO BE MULCHED WITH MIN. THREE INCH (3") DEPTH, ROCK MULCH (SEE PLAN) OVER SPECIFIED GEOTEXTILE WEED CONTROL FABRIC (RE: PLANS). NO WEED CONTROL FABRIC IS REQUIRED IN GROUNDCOVER, ANNUAL OR PERENNIAL AREAS.
  - ALL 5' NON-IRRIGATED CLEAR BOUNDARY ZONES SHALL BE MULCHED WITH A THREE INCH (3") DEPTH OF ROCK MULCH PER THE PLAN.

**PLANT SCHEDULE**

KEY	QTY	BOTANIC NAME	COMMON NAME	SIZE
EVERGREENS				
PIPO	10	PINUS PONDEROSA	PONDEROSA PINE	6 FT

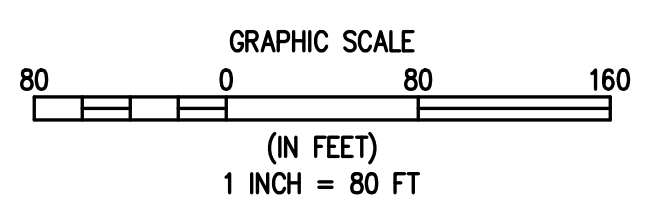
**PROJECT BENCHMARK:**  
 THE PHYSICAL USGS MONUMENT IS A SET  
 3" BRASS CAP STAMPED "T1 S8 1933"  
 AT NORTHEAST CORNER OF THE  
 INTERSECTION OF CHERRY CREEK RD  
 AND PALMER DIVIDE AVE.  
 ELEVATION = 7214.88' (NAVD 88)

**APPROVAL CERTIFICATE**

ENGINEERING \_\_\_\_\_ INITIALS/DATE \_\_\_\_\_

PLANNING \_\_\_\_\_ INITIALS/DATE \_\_\_\_\_

OWNER \_\_\_\_\_ INITIALS/DATE \_\_\_\_\_



DESIGNED BY	NJN
DRAWN BY	NJN
CHECKED BY	NJN

DATE	PREPARED BY	REVISION DESCRIPTION

UNINCORPORATED  
**DUTCH HERITAGE GARDENS**  
 DOUGLAS COUNTY  
 USR IMPROVEMENT PLAN, 4th AMENDMENT  
 11901 E PALMER DIVIDE AVE  
 LANDSCAPE PLAN

PREPARED UNDER THE DIRECT SUPERVISION OF

FOR AND ON BEHALF OF	BASELINE CORPORATION
INITIAL SUBMITTAL	12/16/2020
DRAWING SIZE	24" x 36"
SURVEY FIRM	BASELINE
SURVEY DATE	12/04/2020
JOB NO.	C035018
DRAWING NAME	35018_DHG_USR_4th Amendment.dwg
SHEET	5 OF 5

N:\co35018\Drawings\35018\_DHG\_USR\_4th Amendment.dwg, 12/30/2020 1:09:48 PM, Neach Nemmers