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Rolling Thunder Lots 2-3
 Traffic Impact Study
 (LSC #204440)
 July 16, 2020

Add PCD File No. AL208

Traffic Engineer's Statement

This traffic report and supporting information were prepared under my responsible charge and they comport with the standard of care. So far as is consistent with the standard of care, said report was prepared in general conformance with the criteria established by the County for traffic reports.



Developer's Statement

I, the Developer, have read and will comply with all commitments made on my behalf within this report.

Shirley Dizo

Shirley Dizo

7/23/2020
 Date
 7/23/2020



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July 16, 2020

Nick Sallecchia
12027 Norma Kate Lane
Peyton, CO 80831

RE: Rolling Thunder Lots 2-3
El Paso County, CO
Trip Generation Technical Memorandum
LSC #204440

Dear Mr. Sallecchia,

LSC Transportation Consultants, Inc. has prepared this trip generation technical memorandum for the proposed commercial development of lots 2 and 3 in the Rolling Thunder Business Park located in El Paso County, Colorado. The proposed 7,500 square foot building will be located on El Paso County parcels 5311101002 and 5311101003. The site is north of the intersection of Maltese Point and Firehouse View. This report presents the estimated vehicle-trip generation for the proposed development. This report has been prepared for submittal to El Paso County.

RECENT TRAFFIC REPORTS

The site was previously studied as part of the *Rolling Thunder Business Park Traffic Impact Analysis*, May 2008, LSC.

The following traffic report was utilized in the preparation of this report:

- Black Forest Beverage Company, May 2020

PROPOSED LAND USE/SITE ACCESS

The site is a development of two lots located in the previously approved Rolling Thunder Business Park. The two lots are planned to have a 7,500 square foot commercial building with access onto Maltese Point. From Maltese Point, vehicles can access Rolling Thunder Way via Firehouse View. The site access point onto Maltese Point is full-movement. The intersections of Maltese Point/Firehouse View and Rolling Thunder Way/Firehouse are also full-movement with two-way stop control. No changes to the access are proposed as part of this development.

ROAD AND TRAFFIC CONDITIONS

Please include Golden Sage Rd and Woodmen Rd.

Streets adjacent to the site are identified below, followed by a brief description of each:

Maltese Point is a private local road. The roadway extends approximately 375 feet to the west from Firehouse View Road and 305 feet to the east, ending in a cul-de-sac on both sides.

Firehouse View is a private local road. The roadway extends approximately 275 feet, intersecting Maltese Point to the north and Rolling Thunder Way to the south.

Urban Non-Residential Collector

Rolling Thunder Way is a two-lane, Urban Collector that runs east/west between Golden Sage Road and Meridian Road. The posted speed limit along this corridor is 35 miles per hour (mph). There is a striped two-way left-turn lane at the intersection with Firehouse View.

TRIP GENERATION ESTIMATE

Estimates of the vehicle trips projected to be generated by the proposed site have been made using the nationally published average trip-generation rates in *Trip Generation, 10th Edition, 2017* by the Institute of Transportation Engineers (ITE). The land use code 820 Shopping Center was used to calculate site-generated traffic. This average trip estimate based on ITE Land Use 820 is likely conservative because this is probably not a location that will attract a typical "shopping center" mix of tenants.

Table 1 below presents a summary of the estimated site trip generation for the proposed development. A detailed trip-generation estimate for the site, including ITE rates and building square footage, is presented in Table 4 (attached).

The counts completed have been done during state mandated COVID restrictions. Are these counts an accurate representation of the traffic as there are many restrictions during this time? Please address and provide discussion in your narrative.

Table 1: Estimated Site Vehicle-Trip Generation

Analysis Period			
Morning peak hour (vehicle trips/hour)	12	10	22
Evening peak hour (vehicle trips/hour)	16	16	32
Weekday – 24-hour total (vehicle trips/day)	141	141	282

Based on the ITE estimate for the proposed development, the site would generate approximately 282 vehicle trips on the average weekday, with half entering and half exiting the site. Approximately 12 entering vehicles and 10 exiting vehicles are projected for the weekday morning peak hour and 16 entering vehicles and 16 exiting vehicles are projected for the weekday evening peak hour.

Traffic counts were completed in July 2020 at the intersection of Firehouse View/Rolling Thunder Way to estimate how much traffic is currently generated by the existing business park. The

Please clarify if the previous site generated traffic indicated is for the entire business park or just a portion of the business park. If it is not the entire business park please indicate what portion and/or lots make up the site generated traffic indicated.

current counts, along with trip generation estimates in the *Black Forest Beverage Company Trip Generation Memo* prepared in May 2020 and the trip generation forecast for the proposed development were used to develop a trip generation forecast for the entire business park. The attached Table 3 provides the estimated trip generation. As shown, with the proposed shopping center and previously proposed brewery, the business park is projected to generate 56 trips during the morning peak hour and 127 trips during the evening peak hour.

The previously approved use of the business park included 94,500 square feet of business park land use, which would include a mix of office, retail, light industrial, and warehouse, as well as a 5,000 square-foot shopping center. The attached Table 5 provides a summary of the site-generated traffic volumes that were projected in the previous Rolling Thunder Business Park traffic study.

Table 2 provides a comparison to trip generation estimates for the previously-approved land use and the current trip generation estimates for the business park. As shown, the proposed land use is anticipated to generate less traffic than the previous land use. The business park would generate approximately 498 fewer vehicle trips on the average weekday, with half entering and half exiting the site. Approximately 97 fewer vehicles will enter or exit the site during the morning peak hour and 36 fewer vehicles will enter or exit the site during the evening peak hour.

**Table 3: Rolling Thunder Business Park
Trip Generation Comparison**

Land Use	Daily	Morning Peak		Evening Peak	
		In	Out	In	Out
Proposed Land Use (Table 5)	1,192	40	16	57	75
Previously Estimated Land Use (Table 2)	1,690	123	30	52	116
Difference	-498	-83	-14	5	-41

table 2 is the proposed site trip generation and table 5 is the previously approved estimate. Please revise.

* * * * *

This Traffic Memo only contains the trip generation. Please provide the other evaluation elements/standards of a traffic memo as indicated in appendix B of the ECM. Please be sure to include Peak Hour volumes, LOS, the appropriateness of the access location, any recommended improvements, pedestrian facilities, any improvements indicated in the MTCP, road impact fee, etc.

Please contact me if you have any questions.

Respectfully Submitted,

LSC TRANSPORTATION CONSULTANTS, INC.

By: Jeffrey C. Hodsdon, P.E.
Principal

JCH:CRG:jas

Enclosures: Table 2, 4 and 5
Site Plan

Tables



Table 2: Detailed Trip Generation – Proposed Site

Land Use Code	Land Use Description	Trip Generation Units	Trip Generation Rates ⁽¹⁾						Total Trips Generated			
			Average Weekday Traffic ⁽³⁾	Morning Peak Hour		Afternoon Peak Hour		Average Weekday Traffic	Morning Peak Hour		Afternoon Peak Hour	
				In	Out	In	Out		In	Out	In	Out
820	Shopping Center	7.5 KSF ⁽²⁾	37.75	1.62	1.38	2.11	2.11	283	12	10	16	16
Notes:												
(1) Source: "Trip Generation, 10th Edition, 2017" by the Institute of Transportation Engineers (ITE)												
(2) KSF = 1,000 Square Feet												
Source: LSC Transportation Consultants, Inc.												

Table 4: Detailed Trip Generation – Rolling Thunder Business Park

Land Use Code	Land Use Description	Trip Generation Units	Trip Generation Rates ⁽¹⁾				Total Trips Generated					
			Average Weekday Traffic ⁽³⁾	Morning Peak Hour In	Morning Peak Hour Out	Afternoon Peak Hour In	Afternoon Peak Hour Out	Average Weekday Traffic	Morning Peak Hour In	Morning Peak Hour Out	Afternoon Peak Hour In	Afternoon Peak Hour Out
Proposed Land Use												
820	Shopping Center	7.5 KSF ⁽²⁾	37.75	1.62	1.38	2.11	2.11	283	12	10	16	16
Other Proposed Land Uses Within Rolling Thunder ⁽³⁾												
925	Drinking Place	1.383 KSF	56.09	0.00	0.00	7.50	3.86	78	0	0	10	5
140	Manufacturing	2.27 KSF	3.93	0.48	0.14	0.21	0.46	9	1	0	0	1
492	Health/Fitness Club	1.15 KSF	28.82	0.67	0.64	1.97	1.48	33	1	1	2	2
Subtotal								120	2	1	13	8
Existing Land Use ⁽⁴⁾												
	Count Data	--	-	-	-	-	-	790 ⁽⁵⁾	26	5	28	51
Total								1,193	40	16	57	75
<p>Notes:</p> <p>(1) Source: "Trip Generation, 10th Edition, 2017" by the Institute of Transportation Engineers (ITE)</p> <p>(2) KSF = 1,000 Square Feet</p> <p>(3) From Black Forest Beverage Company Trip Generation Memo, LSC, May 2020</p> <p>(4) Based on peak hour counts collected in July 2020 at Firehouse View/Rolling Thunder Way</p> <p>(5) Estimated based on peak hour traffic counts</p>												
Source: LSC Transportation Consultants, Inc.												

**Table 5: Rolling Thunder Business Park
Previously Approved Site Generated Traffic**

Analysis Period	<u>Weekday</u>		Total
	In	Out	
Morning peak hour (vehicle trips/hour)	123	30	153
Evening peak hour (vehicle trips/hour)	52	116	168
Weekday – 24-hour total (vehicle trips/day)	845	845	1,690

Site Plan



WOODMEN ROAD
R.O.W. VARIES

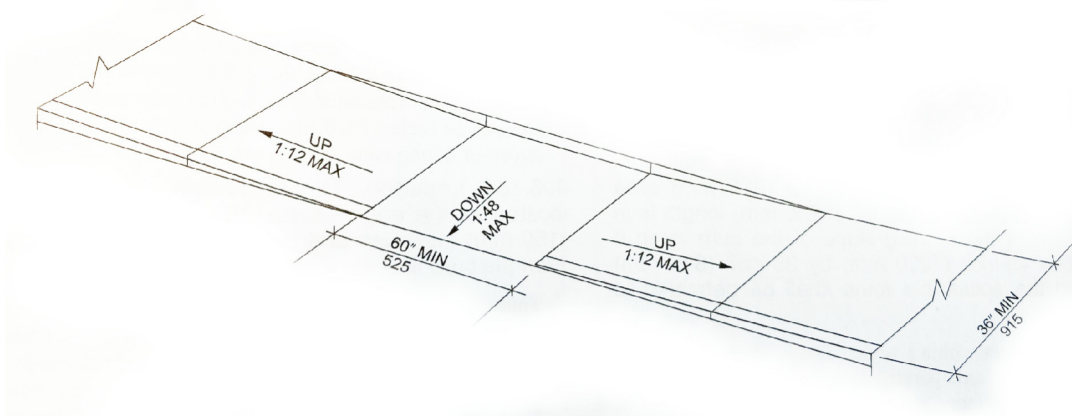
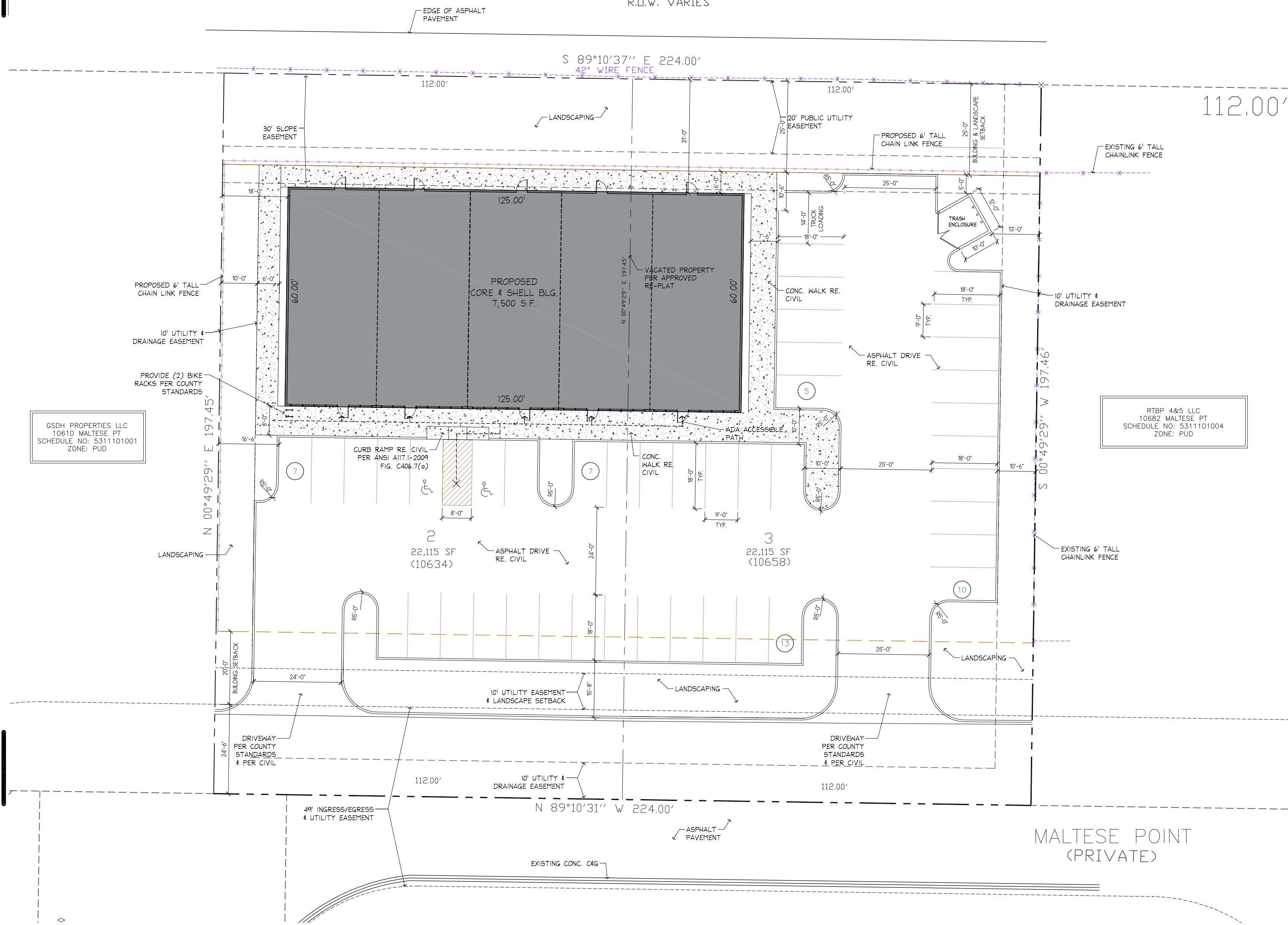
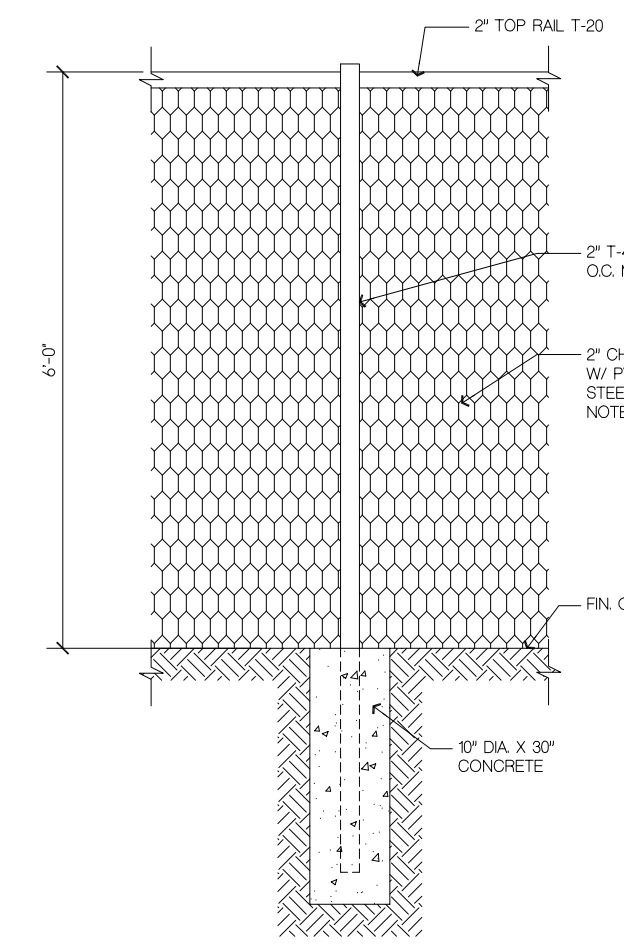
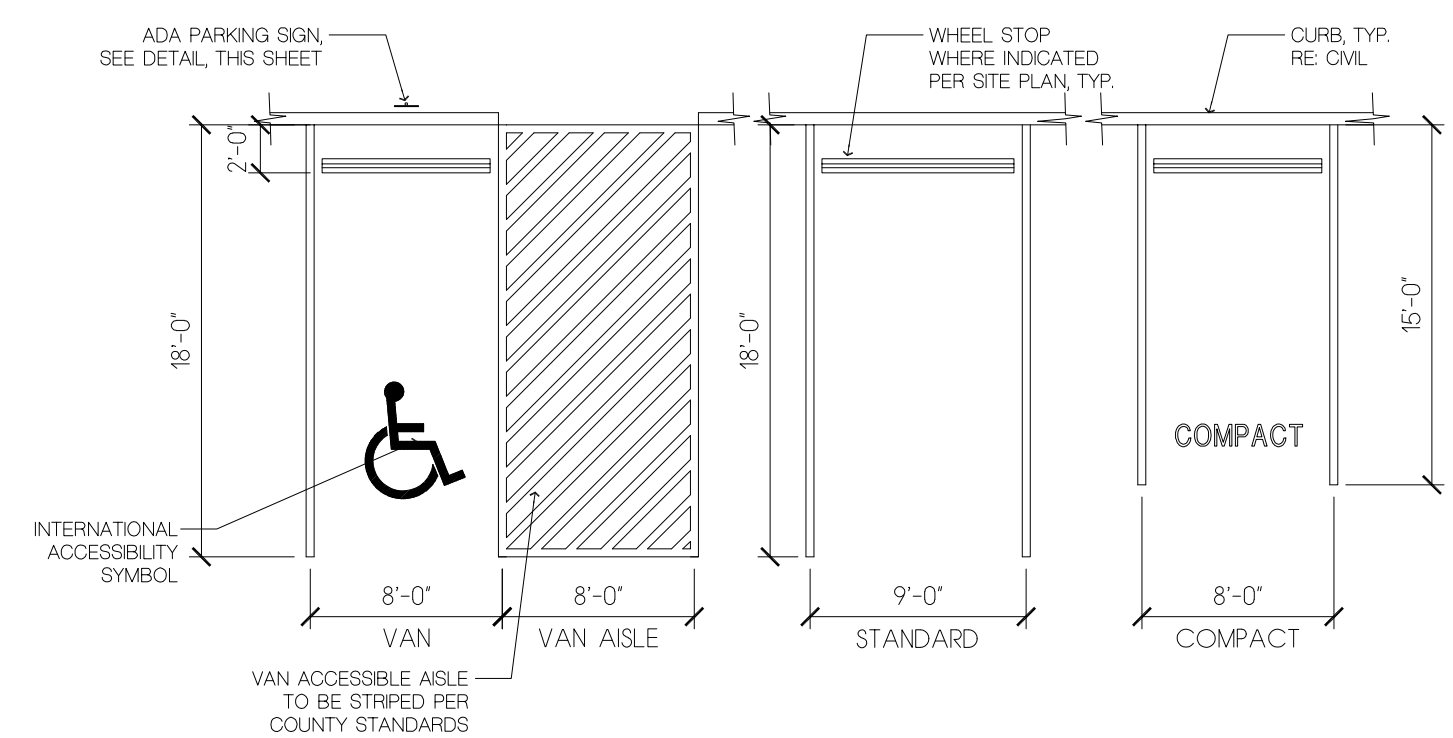


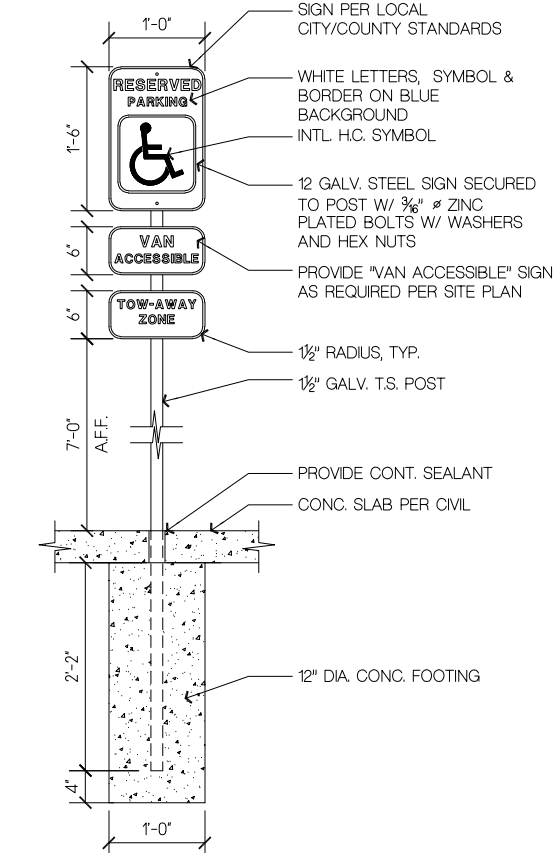
FIGURE C406.7(a)
CURB RAMP OPTION
ADA CURB RAMP
SCALE: 1/2" = 1'-0"



CHAINLINK FENCE DETAIL
SCALE: 1/2" = 1'-0"



PARKING STANDARDS
SCALE: 1/8" = 1'-0"



ADA PARKING SIGN
SCALE: 1/2" = 1'-0"

SITE DATA

SITE INFORMATION:
PROJECT ADDRESS: LOT 2 & 3 ROLLING THUNDER BUSINESS PARK
10634 & 10658 MALTESE POINT
PEYTON, CO 80831

TAX SCHEDULE NO: 531101002 & 531101003

LEGAL DESCRIPTION: LOT 2 ROLLING THUNDER BUSINESS PARK & LOT 3 ROLLING THUNDER BUSINESS PARK

PROJECT DESCRIPTION: NEW CONSTRUCTION OF A SINGLE STORY CORE & SHELL BUILDING FOR FUTURE RETAIL / GENERAL OFFICE & MEDICAL OFFICE TENANT

COUNTY ZONING: PUD (PLANNED UNIT DEVELOPMENT)

LOT AREA: 22,115 SF. & 22,115 SF. = 44,230 SF. TOTAL

BLG. COVERAGE: 7,500 SF. x 44,230 SF. / 100 = 17%

BLG. SETBACKS: FRONT = 25'
REAR = 25'
SIDE = 0'

PARKING:
EST. PARKING REQUIRED: RETAIL/OFFICE: 7,500 SF. @ 1200 SF. @ 1200 = 38

TOTAL PARKING REQUIRED = 38 SPACES
ACCESSIBLE PARKING REQUIRED = 2 SPACE (PER 25-55 REQUIREMENT)

TOTAL PARKING PROVIDED = 42 SPACES
ACCESSIBLE PARKING PROVIDED = 2 SPACES
2 BIKE RACKS PROVIDED

NOTE: PARKING TO CONFORM WITH EL PASO COUNTY LAND DEVELOPMENT CODE REQUIREMENTS

PROJECT DATA

PROJECT/CODE INFORMATION:
JURISDICTION: EL PASO COUNTY PLANNING & COMMUNITY DEVELOPMENT
FUTURE OCCUPANCY: B/M/S-1
CONSTRUCTION TYPE: II-B
SPRINKLER SYSTEM: NO
ALLOWABLE AREA: 17,500 SF (BASED ON WORST CASE OCCUPANCY GROUP)
PROPOSED AREA: 7,500 SF.
ALLOWABLE HEIGHT: 45' PER PUD DEVELOPMENT GUIDELINES
PROPOSED HEIGHT: 20'-0" - 1 STORY

APPLICABLE CODES:
2017 Pikes Peak Regional Building Code (PPRBC)
2015 International Building Code (IBC)
2014 National Electric Code (NEC)
2015 International Plumbing Code (IPC)
2015 International Mechanical Code (IMC)
2015 International Energy Conservation Code (IECC)
2009 ICC/ANSI 117.1 Accessibility Standard
2015 International Fire Code (IFC)
EL PASO COUNTY LAND DEVELOPMENT CODE
ROLLING THUNDER BUSINESS PARK PUD (PUD-08-002)

GENERAL SITE NOTES

- THIS PROJECT IS LOCATED IN THE ROLLING THUNDER BUSINESS PARK PUD (PUD-08-002)
- FIRE PROTECTION: FALCON FIRE DISTRICT
- OWNERSHIP AND MAINTENANCE OF PRIVATE ROADS, PRIVATE DETENTION PONDS/PERMANENT WATER QUALITY BMPs AND DRAINAGE AREAS WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS ASSOCIATION (POA)
- DEVELOPMENT OF THE PROPERTY SHALL BE IN ACCORDANCE WITH THE PUD DEVELOPMENT PLAN. MODIFICATIONS SHALL BE SUBJECT TO THE LIMITATIONS CONTAINED IN THE EL PASO COUNTY LAND DEVELOPMENT CODE AS AMENDED.
- PARKING LOT LIGHTING SHALL BE TWENTY FEET (20') MAXIMUM HEIGHT, ALL WALL PACK, UPWARD AND SIGN LIGHTING SHALL NOT IMPACT ADJACENT PROPERTIES.
- SIGNS SHALL CONFORM TO SECTION 62.10 OF THE EL PASO COUNTY LAND DEVELOPMENT CODE AS AMENDED.
- LANDSCAPING SHALL FOLLOW THE CONCEPT LANDSCAPE PLAN IN THE APPROVED PUD AND MEET THE EL PASO COUNTY LANDSCAPING REQUIREMENTS IN THE LAND DEVELOPMENT CODE AS AMENDED.
- HANDICAPPED PARKING SPACE DESIGN SHALL MEET ALL COUNTY AND ADA CRITERIA:
A. RAMPS SHALL NOT BE PLACED IN HANDICAPPED ACCESS AISLE
B. H/C STALLS AND ACCESS AISLES MAY NOT EXCEED A 2% SLOPE IN ANY DIRECTION, TYP.
C. HANDICAPPED RAMPS MAY NOT EXCEED A SLOPE OF 1:12
D. MINIMUM WIDTH FOR HANDICAPPED RAMPS IS 36 INCHES.
- SITE IS NOT WITHIN A FEMA DESIGNATED FLOODPLAIN PER FLOOD MAP NUMBER 08041C0535G, EFFECTIVE ON 12/07/2018

PROJECT TEAM

OWNER
JESSE & SHERRIE TIX
12027 NORMA KATE LANE
PEYTON, CO 80931
SHERRIETIX@ICLOUD.COM

PLANNER/CIVIL
ERIK S. WATTS, AUTHORIZED REP
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(719) 593-0173

ARCHITECT
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BRIAN K. BUCHER, AIA, NCARB
12325 ORACLE BLVD, SUITE 111
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(719) 484-0480

LANDSCAPE ARCHITECT
NATURAL DESIGN SOLUTIONS, INC.
NEIL McLANE, RLA, CLARB, LEED AP
(303) 443-0388

MEP ENGINEER
MICHAEL CHIARTANO, P.E.
SR. ENGINEER/ELECTRICAL
PSI LLC
110 S. SIERRA MADRE
COLORADO SPRINGS, CO 80903
(719) 520-9279

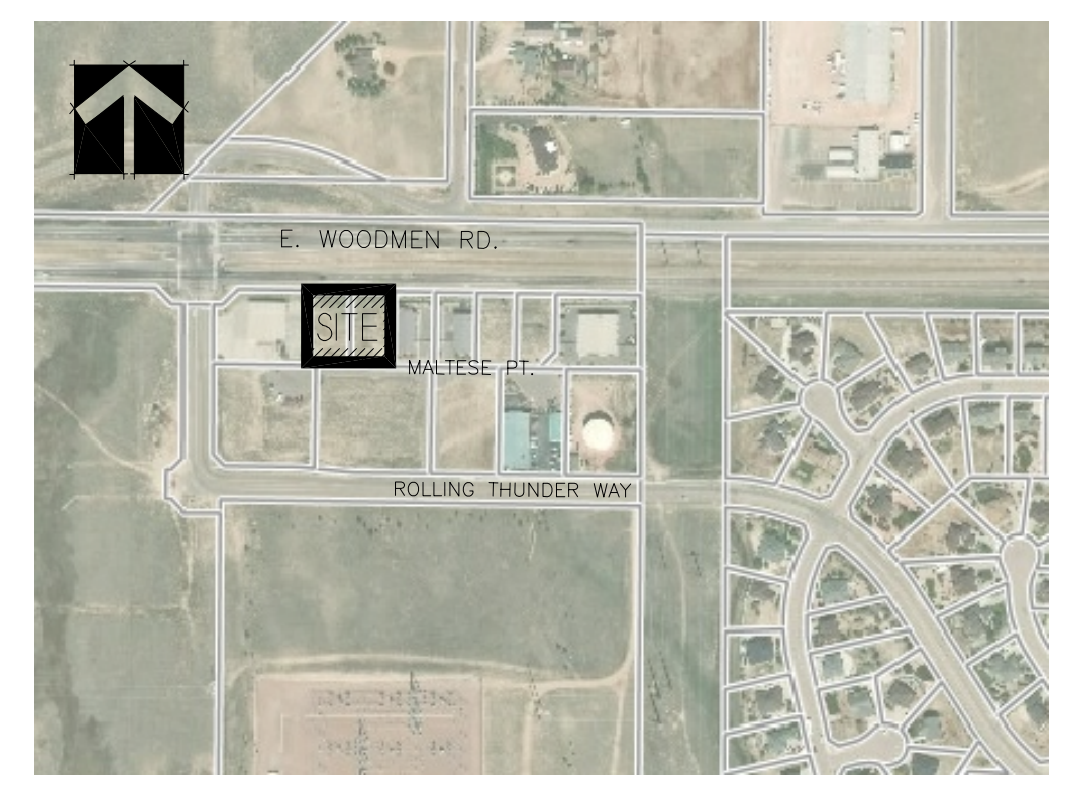
CONTRACTOR
TBD

STRUCTURAL ENG.
TBD

DRAWING INDEX

SHT. #	DESCRIPTION
1	SITE PLAN / COVER SHEET
2	GRADING PLAN
3 (L10)	LANDSCAPE PLAN
4 (L20)	LANDSCAPE PLAN
5 (R10)	IRRIGATION PLAN
6 (R20)	IRRIGATION PLAN
7 (E100A)	SITE LIGHTING PLAN
8	FLOOR PLAN
9	EXTERIOR ELEVATIONS

VICINITY MAP



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BUCHER DESIGN STUDIO
architecture • planning

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(719) 484-0480

Brian K. Bucher, AIA
Architect
CO license no. C-4889
CA license no. C 23506

A PROPOSED
CORE & SHELL
FOR

JESSE &
SHERRIE
TIX

10634 MALTESE POINT
PEYTON, CO

Sheet Title:
SITE PLAN/
COVER SHEET

Drawing Status:
DEVELOPMENT
PLAN
NOT FOR CONSTRUCTION

Revisions:
No. Description By Date

No.	Description	By	Date
1			

Date: 07/09/2020

Drawn by:

Checked by:

Scale: AS NOTED

Job No.:

Sheet No.:
1
Of 9