



Final Plat Amendment

Notice to Adjacent Property Owners

This letter is being sent to you because Oliver W. Watts Consulting Engineer, Inc. & Bucher Design Studio, Inc. are proposing a land use project located at the address(s) listed in the project information below.

This information is being provided to you in conjunction with a submittal with the County. Prior to any public hearing on this proposal; A notification of the time and place of the public hearing will be sent to the adjacent property owners by the El Paso County Planning Department, in which you will be provided with the El Paso County contact information, the file number and an opportunity to respond either for, against or expressing no opinion in writing or in person at the public hearing for this proposal.

Project Information

Address: 10634 & 10658 Maltese Pt.
Peyton, CO 80831

Tax Schedule No: 5311101002 & 5311101003

Legal Description: LOT 2 ROLLING THUNDER BUSINESS PARK & LOT 3
ROLLING THUNDER BUSINESS PARK

Existing Zone: PUD

Existing and proposed facilities

The lot is currently vacant. A 7,500 S.F. core & shell building is being proposed on the property for retail, general office, or medical office use. The lot will be entered from Maltese Point.

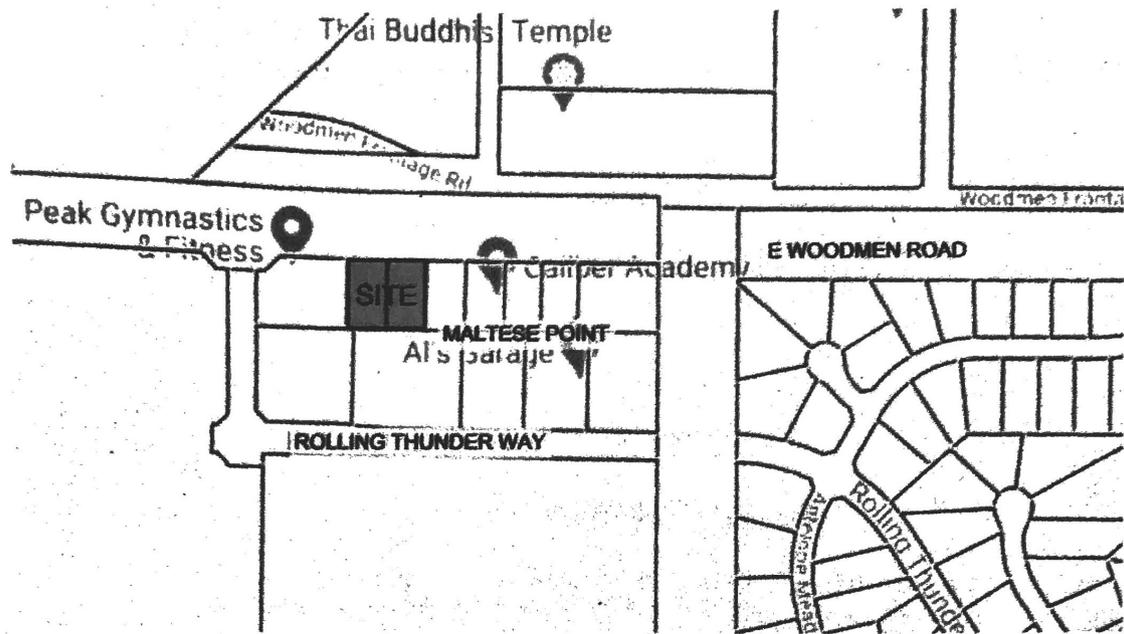
Request and Justification

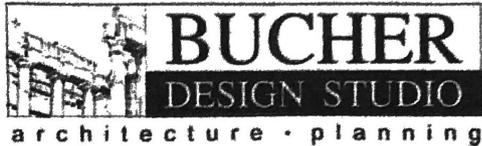
We are requesting a vacation of an interior lot line for this property. The site will be used for a proposed core & shell building. Vacating the lot line will not affect the site, adjacent properties, or traffic flow. Please refer to the Vicinity Map on page 2, which indicates the site location associated with this project.

For questions related to this project, please contact:

Erik Watts
Authorized Representative for and on behalf of Oliver E. Watts Consulting Engineer, inc.
Civil Engineering, Surveying and Planning
614 Elkton Drive Colorado Springs, CO 80907
office: (719) 593-0173

Vicinity Map





Special Use

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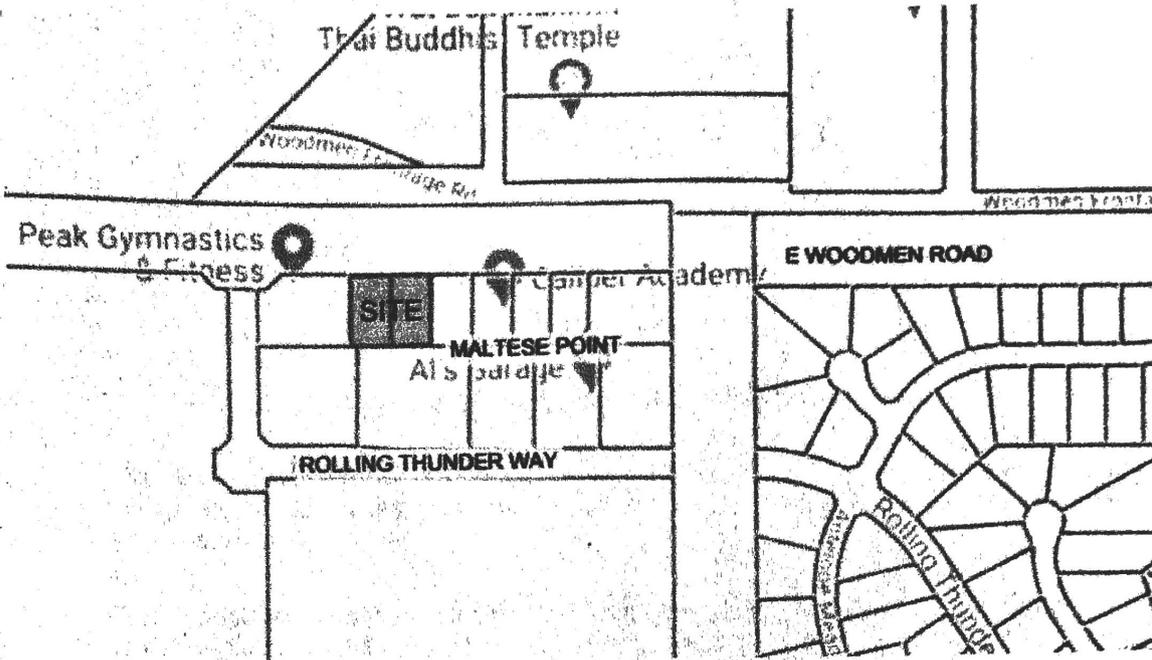
Request and Justification

We are requesting that retail, general office and medical office uses be approved as allowed uses on this lot. These uses are currently listed as a special use in the PUD. The proposed uses will not affect the site, adjacent properties, or traffic flow. Please refer to the Vicinity Map on page 2, which indicates the site location associated with this project.

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Civil Engineering, Surveying and Planning
614 Elkton Drive Colorado Springs, CO 80907
office: (719) 593-0173

Vicinity Map



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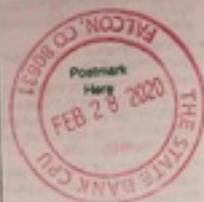
\$ 4.10

Sent to

SDH Properties LLC
 Street and Apt. No., or PO Box No.
 1411 Woolsey Heights
 City, State, ZIP+4®
 Colorado Springs CO 80915-5400

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions



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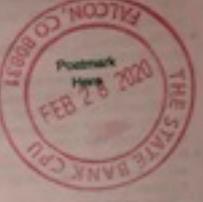
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PTAP 435 LLC
 Street and Apt. No., or PO Box No.
 2122 E. San Rafael St.
 City, State, ZIP+4®
 Colorado Springs CO 80909-3842

PS Form 3800, April 2015 PSN 7530-02-000-9047



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GJM Enterprises 124 LLC
 Street and Apt. No., or PO Box No.
 11030 Atla Plaza Cir.
 City, State, ZIP+4®
 Peyton, CO 80831-9436

PS Form 3800, April 2015 PSN 7530-02-000-9047



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Total Postage and Fees

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Kuhl Investors LLC
 Street and Apt. No., or PO Box No.
 6780 Mustang Rim Dr.
 City, State, ZIP+4®
 Colorado Springs CO 80923

PS Form 3800, April 2015 PSN 7530-02-000-9047

