



Released for Permit

11/05/2024 1:06:49 PM



Becky A

ENUMERATION

FILE - SFD241039
ZONING - PUD
PLAT - 15349
AREA - 15529 SQ FT

APPROVED
Plan Review

11/07/2024 1:43:15 PM

dsdmaes

EPC Planning & Community
Development Department



ANY APPROVAL GIVEN BY
EL PASO COUNTY
DOES NOT OVIATE THE NEED
TO COMPLY WITH APPLICABLE
FEDERAL, STATE, OR LOCAL
LAWS AND/OR REGULATION.

Planning & Community Development Department
approval is contingent upon compliance with all
applicable notes on the recorded plat.

An access permit must be granted by the
Planning & Community Development Department
prior to the establishment of any driveway onto a
County road.

Diversion of discharge of any drainage way
is not permitted without approval of the
Planning & Community Development Department.

LOT 4

APPROVED
BESQCP

11/07/2024 1:43:39 PM

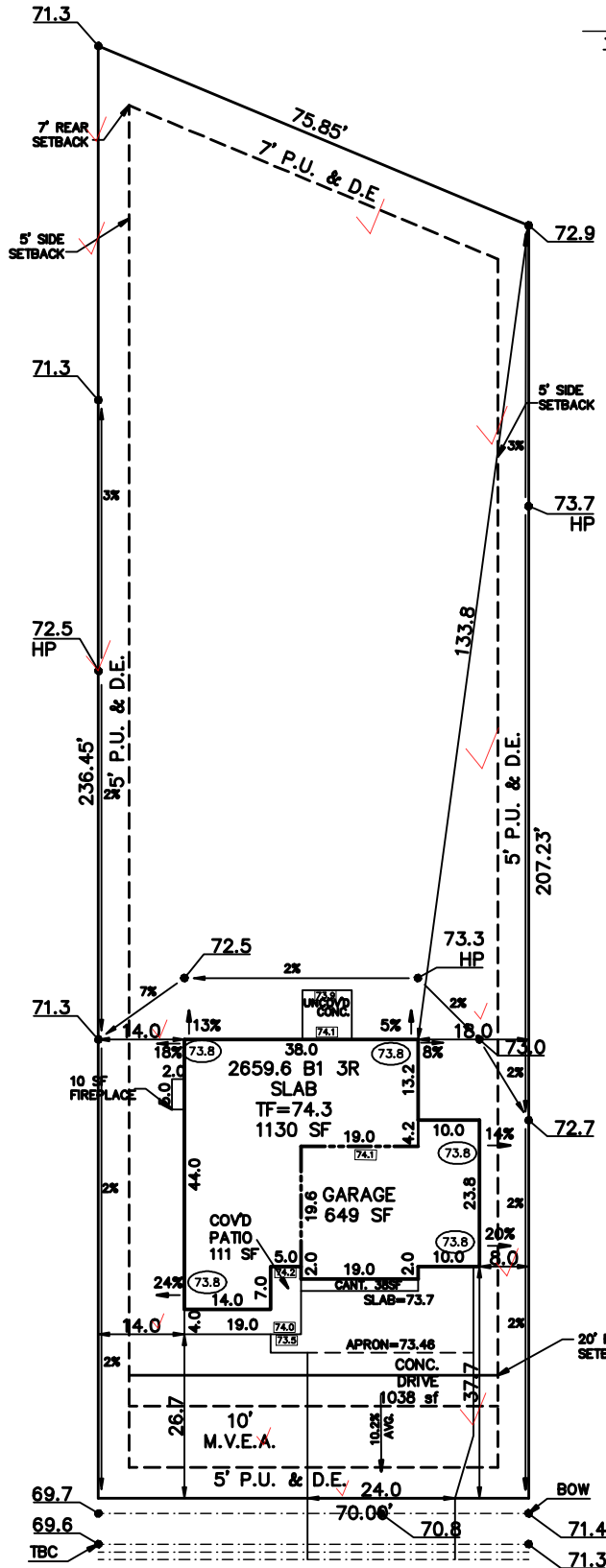
dsdmaes

EPC Planning & Community
Development Department



It is the owner's responsibility to
coordinate with easement holders
to avoid impact to utilities that
may be located in the easements.

2659.6 B1 ELEVATION
AVERAGE FINISH GRADE = (AFG)
AFG = $(73.8)(4) = 73.8$
 (4)
BUILDING HEIGHT = 20.3 + (SLAB - AFG) =
BUILDING HEIGHT = 20.3 + (74.3 - 73.8) = 20.8



ZONING PUD
SCHEDULE No. 530121001X7

ISABEL DRIVE
(50' PUBLIC R.O.W.)

WARNING!

- 1. LOCATE UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
- 2. THIS PLOT PLAN SHOWS IMPROVEMENTS AT GRADE ONLY. SEE FOUNDATION PLANS FOR STRUCTURAL INFORMATION

SITE DATA

LOT SQ. FT. = 15529
HOUSE SQ. FT. = 1938
COVERAGE = 12.5%
BLDG. HEIGHT = 20.8

SCALE: ...1"=30'
DRAWN BY: TAP

ASPEN LAND CONSULTANTS, LLC
11670 SILVER CHARM WAY
COLORADO SPRINGS, COLORADO 80921

(IN FEET)
1 inch = 30 ft.



PLOT PLAN

LEGAL DESCRIPTION

LOT 5
FALCON MEADOWS AT BENT GRASS FILING NO.3
EL PASO COUNTY, COLORADO

ADDRESS

8232 ISABEL PLACE

PREPARED FOR
CHALLENGER
HOMES

TITLE CO. FILE NO.

DRAWING NAME

FMBG3-05

DATE

10-25-24

PROJECT NO.

SITE



2023 PPRBC
2021 IECC Amended

Parcel: 5301210017

Address: 8232 ISABEL PL, PEYTON

Plan Track #: 195865 

Received: 05-Nov-2024 (BECKYA)

Description:

RESIDENCE


Type of Unit:

Garage	400	
Lower Level 2	1152	
Main Level	1148	
Upper Level 1	1511	
	4211	Total Square Feet

Required PPRBD Departments (2)

Enumeration APPROVED BECKYA 11/5/2024 1:13:32 PM	Floodplain (N/A) RBD GIS
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Required Outside Departments (1)

County Zoning APPROVED <u>Plan Review</u> <i>11/07/2024 1:44:49 PM</i>  EPC Planning & Community Development Department
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Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations. This plan set must be present on the job site for every inspection.