

# RICHMOND AMERICAN HOMES

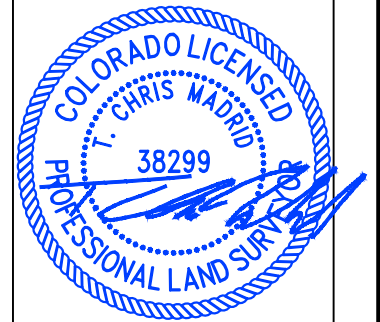
## PLOT PLAN

JOB#33990046  
LOT 181

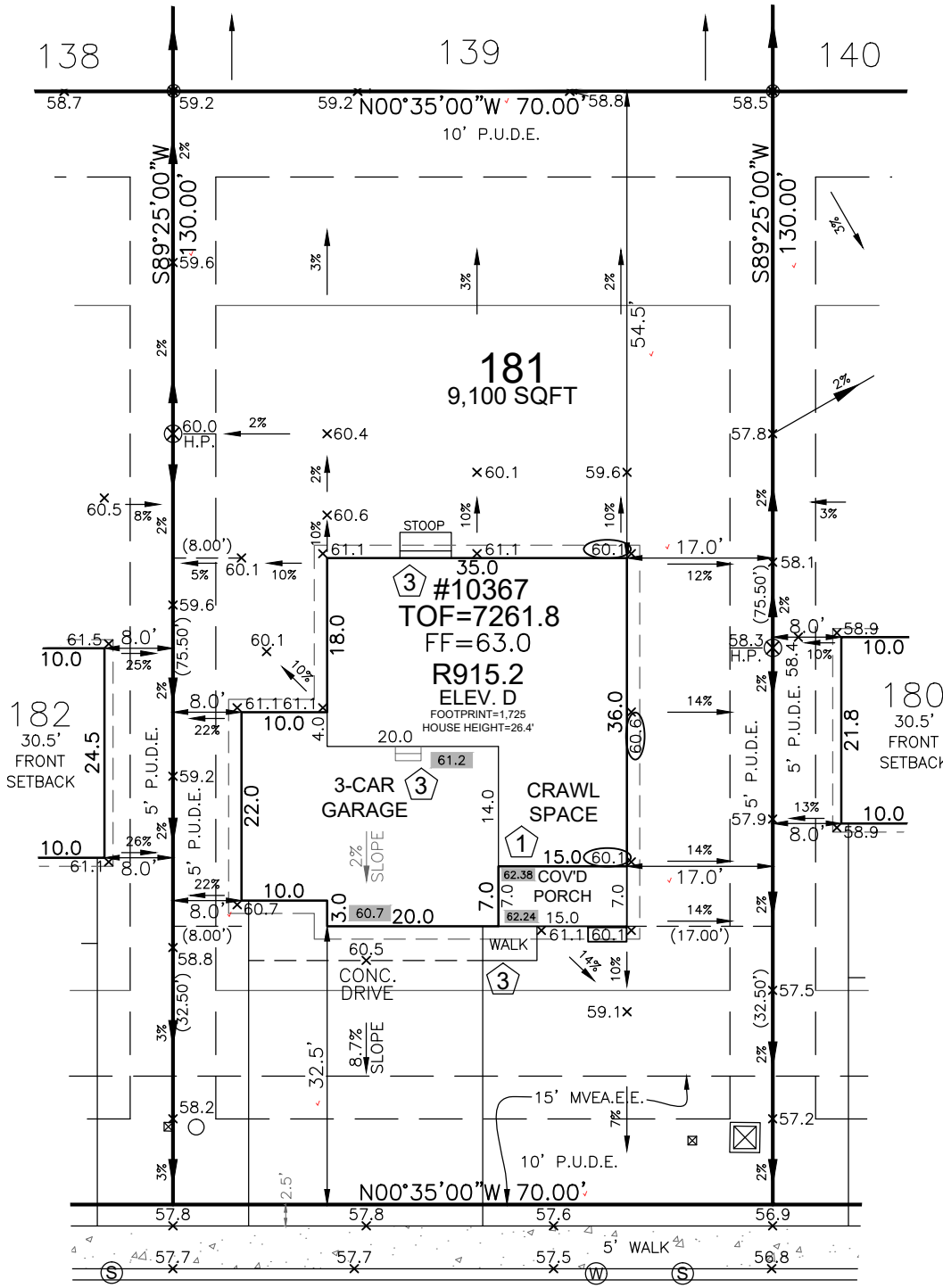
SCHEDULE NUMBER 5226114044



HAYLEY YOUNG, P.E.  
DATE: 09.11.24  
I HEREBY CERTIFY ONLY THE ELEMENTS OF THIS DOCUMENT THAT FALL WITHIN THE SCOPE OF MY DUTIES AS A P.E.



T. CHRIS MADRID, P.L.S.  
DATE: 09.11.24  
I HEREBY CERTIFY ONLY THE ELEMENTS OF THIS DOCUMENT THAT FALL WITHIN THE SCOPE OF MY DUTIES AS A P.L.S.



FRONT SETBACK DRIVE COVERAGE  
FRONT SETBACK= 1,750 SF  
DRIVE COVERAGE IN  
FRONT SETBACK= 683 SF  
COVERAGE=39.0%

### LEGEND

- LOWERED FINISH GRADE:**
- (XX.X) HOUSE
  - (XX.X) PORCH
  - (XX.X) GARAGE/CRAWL SPACE
  - (XX.X) FOUNDATION STEP
  - (XX) CONCRETE
  - (X) RISER COUNT
  - (XX.XX) CONCRETE ELEVATION
  - (XX.X) GRADING PLAN ELEVATION
  - OVEREX LIMITS

### SITE SPECIFIC PLOT PLAN NOTES:

- TOF = 61.8
- GARAGE SLAB = 60.7
- GRADE BEAM = 17"
- (61.8 - 60.7 = 01.1" \* 12" = 13" + 4" = 17")
- \*FROST DEPTH MUST BE MAINTAINED
- LOWERED FINISH GRADE ALONG HOUSE
- LOWERED FINISH GRADE AT PORCH 20"

SFD241007

**KINGSBURY DRIVE**  
50' R.O.W.

**APPROVED**  
**BESQCP**  
10/24/2024 4:19:56 PM  
dyoung  
EPC Planning & Community Development Department

**APPROVED**  
**Plan Review**  
10/24/2024 4:20:00 PM  
dyoung  
EPC Planning & Community Development Department

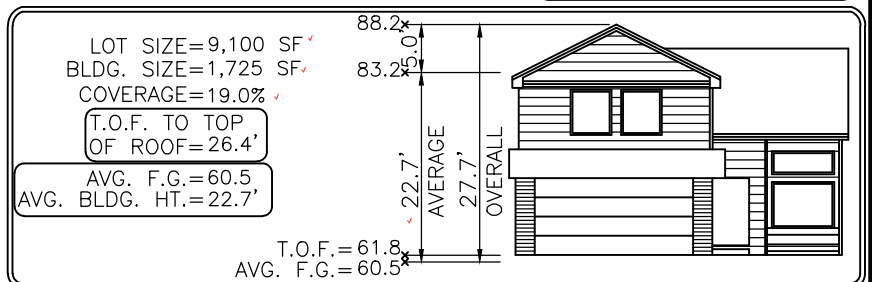
ANY APPROVAL GIVEN BY EL PASO COUNTY DOES NOT OPERATE THE NEED TO COMPLY WITH APPLICABLE FEDERAL, STATE OR LOCAL LAWS AND/OR REGULATION  
Planning & Community Development Department approval is contingent upon compliance with all applicable rules on the record plan.  
An access permit must be granted by the Planning & Community Development Department prior to the establishment of any driveway onto a County road.  
Division of backlogs of any drainage way is not permitted without approval of the Planning & Community Development Department

It is the owner's responsibility to coordinate with easement holders to avoid impact to utilities that may be located in the easements.

Released for Permit  
10/16/2024 2:17:29 PM  
Regional Building Department  
Amy  
ENUMERATION



0 20 40  
SCALE: 1"=20'



Elevation view of building is an illustrative tool only to indicate the calculation for the average building height.

MODEL OPTIONS: R915.2-D/3-CAR/CRAWL SPACE

SUBDIVISION: PAINT BRUSH HILLS FILING NO. 14

COUNTY: EL PASO **RS-6000 PLAT 14943**

ADDRESS: 10367 KINGSBURY DRIVE

MINIMUM SETBACKS:

FRONT: 25'  
REAR: 25'  
CORNER: 15'  
SIDE: 5'

DRAWN BY: DV

DATE: 09.11.24



6841 South Yosemite Street #100  
Centennial, CO 80112 USA  
Phone: (303) 850-0559  
Fax: (303) 850-0711  
E-mail: info@bjsurvey.net

### GENERAL NOTES:

- PLOT PLAN NOT TO BE USED FOR EXCAVATION PLAN OR FOUNDATION PLAN LAYOUT.
- PLOT PLAN SUBJECT TO APPROVAL BY ZONING/BUILDING AUTHORITY PRIOR TO STAKEOUT.
- EASEMENTS DISPLAYED ON THIS PLOT ARE FROM THE RECORDED PLAT AND MAY NOT INCLUDE ALL EASEMENTS OF RECORD.
- PLOT PLAN MUST BE APPROVED BY BUILDER PRIOR TO ORDERING STAKEOUT.
- LOT CORNER ELEVATION CHECK: 05.06.24

# SITE



2023 PPRBC  
2021 IECC Amended

Parcel: 5226114044

Address: 10367 KINGSBURY DR, PEYTON

Plan Track #: 195256 

Received: 16-Oct-2024 (AMY)

## Description:

### RESIDENCE

Type of Unit:

Garage	414	
Main Level	986	
Upper Level 1	1202	
	2602	Total Square Feet

## Required PPRBD Departments (2)

<b>Enumeration</b>  <b>APPROVED</b>  <b>AMY</b>  <b>10/16/2024 2:17:47 PM</b>	<b>Floodplain</b>  <b>(N/A) RBD GIS</b>
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## Required Outside Departments (1)

<b>County Zoning</b>  <b>APPROVED</b> <u>Plan Review</u> <i>10/24/2024 4:20:41 PM</i> <i>dsdyounger</i> <b>EPC Planning &amp; Community Development Department</b>
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Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations. This plan set must be present on the job site for every inspection.