



# DROP AND SWAP CONSTRUCTION DRAWINGS



REV.	DESCRIPTION	BY	DATE
①	FOR CONSTRUCTION	AB	04/26/23
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SITE ADDRESS:  
2945 LITTLE TURKEY CREEK RD  
COLORADO SPRINGS, CO 80926

A circular professional engineer seal for the State of Colorado. The outer ring contains the text "COLORADO LICENSED" at the top and "PROFESSIONAL ENGINEER" at the bottom. The inner circle contains the name "PATRICK P. BARRY" and the license number "0049364". A blue ink signature is written across the bottom half of the seal.

DATE DRAWN:	04/26/23
ATC JOB NO:	14141546_D4
OPS JOB NO:	13734361
ATC LEGACY #:	419522

# TITLE SHEET

SHEET NUMBER: <b>G-001</b>	REVISION: <b>0</b>
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PCD FILE: NO. PPR-22-061

GENERAL CONSTRUCTION NOTES:

- ALL WORK SHALL CONFORM TO ALL CURRENT APPLICABLE FEDERAL, STATE, AND LOCAL CODES, INCLUDING ANSI/EIA/TIA-222, AND COMPLY WITH ATC CONSTRUCTION SPECIFICATIONS FOR WIRELESS TOWER SITES.
- CONTRACTOR SHALL CONTACT LOCAL 811 FOR IDENTIFICATION OF UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL REQUIRED INSPECTIONS.
- ALL DIMENSIONS TO, OF, AND ON EXISTING BUILDINGS, DRAINAGE STRUCTURES, AND SITE IMPROVEMENTS SHALL BE VERIFIED IN FIELD BY CONTRACTOR WITH ALL DISCREPANCIES REPORTED TO THE ENGINEER.
- DO NOT CHANGE SIZE OR SPACING OF STRUCTURAL ELEMENTS.
- DETAILS SHOWN ARE TYPICAL; SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS UNLESS OTHERWISE NOTED.
- THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL BRACE STRUCTURES UNTIL ALL STRUCTURAL ELEMENTS NEEDED FOR STABILITY ARE INSTALLED. THESE ELEMENTS ARE AS FOLLOWS: LATERAL BRACING, ANCHOR BOLTS, ETC.
- CONTRACTOR SHALL DETERMINE EXACT LOCATION OF EXISTING UTILITIES, GROUNDS DRAINS, DRAIN PIPES, VENTS, ETC. BEFORE COMMENCING WORK.
- INCORRECTLY FABRICATED, DAMAGED, OR OTHERWISE MISFITTING OR NONCONFORMING MATERIALS OR CONDITIONS SHALL BE REPORTED TO THE ATC CM PRIOR TO REMEDIAL OR CORRECTIVE ACTION. ANY SUCH REMEDIAL ACTION SHALL REQUIRE WRITTEN APPROVAL BY THE ATC CM PRIOR TO PROCEEDING.
- EACH CONTRACTOR SHALL COOPERATE WITH THE ATC CM, AND COORDINATE HIS WORK WITH THE WORK OF OTHERS.
- CONTRACTOR SHALL REPAIR ANY DAMAGE CAUSED BY CONSTRUCTION OF THIS PROJECT TO MATCH EXISTING PRE-CONSTRUCTION CONDITIONS TO THE SATISFACTION OF THE ATC CONSTRUCTION MANAGER.
- ALL CABLE/CONDUIT ENTRY/EXIT PORTS SHALL BE WEATHERPROOFED DURING INSTALLATION USING A SILICONE SEALANT.
- WHERE EXISTING CONDITIONS DO NOT MATCH THOSE SHOWN IN THIS PLAN SET, CONTRACTOR WILL NOTIFY THE ATC CONSTRUCTION MANAGER IMMEDIATELY.
- CONTRACTOR SHALL ENSURE ALL SUBCONTRACTORS ARE PROVIDED WITH A COMPLETE AND CURRENT SET OF DRAWINGS AND SPECIFICATIONS FOR THIS PROJECT.
- ALL ROOF WORK SHALL BE DONE BY A QUALIFIED AND EXPERIENCED ROOFING CONTRACTOR IN COORDINATION WITH ANY CONTRACTOR WARRANTING THE ROOF TO ENSURE THAT THE WARRANTY IS MAINTAINED.
- CONTRACTOR SHALL REMOVE ALL RUBBISH AND DEBRIS FROM THE SITE AT THE END OF EACH DAY.
- CONTRACTOR SHALL COORDINATE WORK SCHEDULE WITH LANDLORD AND TAKE PRECAUTIONS TO MINIMIZE IMPACT AND DISRUPTION OF OTHER OCCUPANTS OF THE FACILITY.
- CONTRACTOR SHALL FURNISH ATC WITH THREE AS-BUILT SETS OF DRAWINGS UPON COMPLETION OF WORK.
- PRIOR TO SUBMISSION OF BID, CONTRACTOR SHALL COORDINATE WITH ATC CM TO DETERMINE WHAT, IF ANY, ITEMS WILL BE PROVIDED. ALL ITEMS NOT PROVIDED SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR. CONTRACTOR WILL INSTALL ALL ITEMS PROVIDED.
- PRIOR TO SUBMISSION OF BID, CONTRACTOR WILL COORDINATE WITH ATC CONSTRUCTION MANAGER TO DETERMINE IF ANY PERMITS WILL BE OBTAINED BY ATC. ALL REQUIRED PERMITS NOT OBTAINED BY ATC MUST BE OBTAINED, AND PAID FOR, BY THE CONTRACTOR.
- CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS TO ATC FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
- ALL EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND LOCATED ACCORDING TO ATC SPECIFICATIONS, AND AS SHOWN IN THESE PLANS.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- CONTRACTOR SHALL NOTIFY ATC CM A MINIMUM OF 48 HOURS IN ADVANCE OF POURING CONCRETE OR BACKFILLING ANY UNDERGROUND UTILITIES, FOUNDATIONS OR SEALING ANY WALL, FLOOR OR ROOF PENETRATIONS FOR ENGINEERING REVIEW AND APPROVAL.

EROSION AND SEDIMENTATION CONTROL PLAN NOTES:

THIS PLAN HAS BEEN DEVELOPED TO PROVIDE A STRATEGY FOR CONTROLLING SOIL EROSION AND SEDIMENTATION DURING AND AFTER CONSTRUCTION OF THE PROPOSED FACILITY. THE EQUIPMENT ANTICIPATED TO BE USED FOR THE CONSTRUCTION INCLUDES THE FOLLOWING: BACKHOES, BULLDOZERS, LOADERS, TRUCKS, CRANES, COMPACTORS, AND GRADERS. THE FOLLOWING MEASURES WILL BE UNDERTAKEN TO PROVIDE MAXIMUM PROTECTION TO THE SOIL, WATER, AND ABUTTING LANDS:

- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM AMERICAN TOWER PRIOR TO IMPLEMENTATION.
- THE LIMITS OF DISTURBANCE (LOD) SHOULD BE MARKED PRIOR TO DISTURBANCE ACTIVITIES (I.E. SURVEY STAKES, POSTS & ROPE, CONSTRUCTION FENCE, ETC.).
- A COPY OF THE SEDIMENT AND EROSION CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE DURING CONSTRUCTION UNTIL THE SITE IS STABILIZED. (AS APPLICABLE)
- PRIOR TO GRUBBING OR ANY EARTHMOVING OPERATION, SILTATION FENCE WILL BE INSTALLED ACROSS THE SLOPE ON THE CONTOUR AT THE DOWNHILL LIMIT OF THE WORK AS PROTECTION AGAINST CONSTRUCTION RELATED EROSION. (CONSULT ATC CM AS REQUIRED)
- STONE CHECK DAMS WILL BE INSTALLED IN THE DRAINAGE DITCHES TO PREVENT EROSION PRIOR TO THE STABILIZATION OF THE CHANNELS. EROSION CONTROL BLANKETS WILL ALSO BE INSTALLED IN ALL DITCHES TO BE REVEGETATED.
- PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY UNDISTURBED LAND AREA WILL BE COMPLETED WITHIN FIFTEEN CALENDAR DAYS AFTER FINAL GRADING HAS BEEN COMPLETED. WHEN IT IS NOT POSSIBLE OR PRACTICAL TO PERMANENTLY STABILIZE DISTURBED LAND, TEMPORARY EROSION CONTROL MEASURES WILL BE IMPLEMENTED WITHIN THIRTY CALENDAR DAYS OF EXPOSURE OF SOIL. ALL DISTURBED AREAS WILL BE MULCHED FOR EROSION CONTROL UPON COMPLETION OF ROUGH GRADING. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED.
- ANY EXPOSED SLOPES GREATER THAN 2:1 AND NEWLY CONSTRUCTED DRAINAGE DITCHES WILL

- BE STABILIZED WITH EROSION CONTROL BLANKET TO PREVENT EROSION DURING CONSTRUCTION AND TO FACILITATE REVEGETATION AFTER LOAMING AND SEEDING.
- TO PROVIDE PROTECTION AGAINST EROSION, RIPRAP WILL BE PLACED AT ALL CULVERT INLETS AND OUTLETS AS SHOWN ON THE ATTACHED DRAWINGS.
  - IN AREAS OF CONSTRUCTION DEWATERING, ISOLATED SETTLEMENT TRAPS WILL BE CONSTRUCTED ADJACENT TO THE ACTIVITY. WATER WILL BE PUMPED FROM THE EXCAVATIONS TO THESE DEPRESSION AREAS FOR SEDIMENT REMOVAL. ADDITIONAL SEDIMENTATION PROTECTION WILL BE PROVIDED BY THE INSTALLATION OF HAYBALE BARRIERS BETWEEN THE BASINS AND THE RECEIVING DRAINAGE COARSE.
  - NATIVE TOPSOIL SHALL BE SAVED, STOCKPILED, MULCHED, AND REUSED AS MUCH AS POSSIBLE ON THE SITE. SILTATION FENCE SHALL BE INSTALLED AT THE BASE OF STOCKPILES AT THE DOWNHILL LIMIT TO PROTECT AGAINST EROSION. STOCKPILES WILL BE STABILIZED BY SEEDING AND MULCHING UPON FORMATION OF THE PILES. UPHILL OF THE STOCKPILES, STABILIZED DITCHES AND/OR BERMS WILL BE CONSTRUCTED TO DIVERT STORMWATER RUNOFF AWAY FROM THE PILES.
  - FINAL SEEDING WILL BE APPLIED IN ACCORDANCE WITH THE AMERICAN TOWER CORPORATION CONSTRUCTION SPECIFICATION.
  - SHOULD CONSTRUCTION OCCUR AFTER NOVEMBER 15, ADDITIONAL EROSION CONTROL METHODS WILL BE IMPLEMENTED. ALL DISTURBED AREAS WILL BE MINIMIZED AS MUCH AS POSSIBLE. PRIOR TO FREEZING, ADDITIONAL EROSION CONTROL DEVICES WILL BE INSTALLED AS APPROPRIATE INSPECTION OF THESE EROSION CONTROL ITEMS WILL BE CONSTANT, WITH PARTICULAR ATTENTION PAID TO WEATHER PREDICTIONS TO ENSURE THAT THESE MEASURES ARE PROPERLY IN PLACE TO HANDLE LARGE AMOUNTS OF RUNOFF FROM HEAVY RAINS OR THAWS.
  - FOR AN EARTH DISTURBANCE ACTIVITY OR ANY STAGE OR PHASE OF AN ACTIVITY TO BE CONSIDERED PERMANENTLY STABILIZED, THE DISTURBED AREAS SHALL BE COVERED BY A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.
  - THE CONTRACTOR WILL REGULARLY INSPECT THE PROJECT'S EROSION AND SEDIMENTATION CONTROLS DURING THE ENTIRE ACTIVE CONSTRUCTION STAGES. THE INSPECTIONS WILL BE PERFORMED WEEKLY AND AFTER ALL RUNOFF EVENTS. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE INSTALLATION, OPERATION, MAINTENANCE, AND REMOVAL OF ALL EROSION AND SEDIMENTATION CONTROLS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENETTING MUST BE PERFORMED IMMEDIATELY. SEDIMENT THAT HAS BEEN TRAPPED BY THE SILT BARRIER WILL BE REMOVED AS REQUIRED, AND IN ALL CASES, BEFORE THE ACCUMULATION HAS REACHED HALF THE HEIGHT OF THE FENCE. THE SILT BARRIER WILL BE RE-ANCHORED, REPAIRED, OR REPLACED AS NECESSARY. ALL OTHER CONTROLS WILL BE INSPECTED ON THE SAME SCHEDULE. IF EROSION AND SEDIMENT CONTROL BMP'S FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMP'S, OR MODIFICATION OF THOSE INSTALLED WILL BE REQUIRED.
  - ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
  - ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
  - FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
  - SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE AMERICAN TOWER CORPORATION CONSTRUCTION SPECIFICATION AND/OR THE CONTRACTOR SHALL NOTIFY THE ATC CONSTRUCTION MANAGER.
  - SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEEPED INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.

CONSTRUCTION SEQUENCE:

- CONSTRUCT PROPOSED TOWER PER TOWER MANUFACTURER'S SPECIFICATIONS.
- INSTALL ANY REQUIRED ICE BRIDGES PER ATC SPECIFICATIONS.
- DECONSTRUCT EXISTING TOWER ONLY ONCE THE PROPOSED TOWER IS ERECTED AND IN FULL WORKING CONDITION.
- IF CONSTRUCTION IS TERMINATED OR SUSPENDED PRIOR TO CONSTRUCTION COMPLETION, ALL EXPOSED SOIL AREAS SHALL BE SEEDED WITH TEMPORARY SEEDING AND MULCHED IMMEDIATELY.

CONCRETE AND REINFORCING STEEL NOTES:

- DESIGN AND CONSTRUCTION OF ALL CONCRETE ELEMENTS SHALL CONFORM TO THE LATEST EDITIONS OF ALL APPLICABLE CODES INCLUDING: ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS", AND ACI 318 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE".
- MIX DESIGN SHALL BE APPROVED BY OWNER'S REPRESENTATIVE AND SUBMITTED TO ENGINEER PRIOR TO PLACING CONCRETE.
- CONCRETE SHALL BE NORMAL WEIGHT, 6 % AIR ENTRAINED (+/- 1.5%) WITH A MAXIMUM 4" SLUMP AND HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4500 PSI UNLESS OTHERWISE NOTED.
- THE FOLLOWING MATERIALS SHALL BE USED:

PORTLAND CEMENT:ASTM C-150, TYPE 1 OR 2

REINFORCEMENT:ASTM A-185, PLAIN STEEL WELDED WIRE FABRIC

REINFORCEMENT BARS:ASTM A615, GRADE 60, DEFORMED

NORMAL WEIGHT AGGREGATE:ASTM C-33

WATER:DRINKABLE

ADMIXTURES:NON-CHLORIDE CONTAINING
- MINIMUM CONCRETE COVER FOR REINFORCING STEEL SHALL BE AS FOLLOWS (UNLESS OTHERWISE NOTED):

A. CONCRETE CAST AGAINST EARTH: 3"

B. ALL OTHER CONCRETE: 2"
- A 3/4" CHAMFER SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE IN ACCORDANCE WITH ACI 301 SECTION 4.2.4, UNLESS NOTED OTHERWISE.
- INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHOR SHALL BE PER MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL, OR ROD SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR ATC CM APPROVAL WHEN DRILLING HOLES IN CONCRETE.
- ADMIXTURES SHALL CONFORM TO THE APPROPRIATE ASTM STANDARD AS REFERENCED IN ACI 301.
- DO NOT WELD OR TACK WELD REINFORCING STEEL.
- ALL DOWELS, ANCHOR BOLTS, EMBEDDED STEEL, ELECTRICAL CONDUITS, PIPE SLEEVES, GROUNDS AND ALL OTHER EMBEDDED ITEMS AND FORMED DETAILS SHALL BE IN PLACE BEFORE START OF CONCRETE PLACEMENT.
- REINFORCEMENT SHALL BE COLD BENT WHENEVER BENDING IS REQUIRED.
- DO NOT PLACE CONCRETE IN WATER, ICE, OR ON FROZEN GROUND.
- DO NOT ALLOW REINFORCEMENT, CONCRETE OR SUBBASE TO FREEZE DURING CONCRETE CURING AND SETTING PERIOD, OR FOR A MINIMUM OF 3 DAYS AFTER PLACEMENT.
- FOR COLD-WEATHER AND HOT-WEATHER CONCRETE PLACEMENT, CONFORM TO APPLICABLE ACI CODES AND RECOMMENDATIONS. IN EITHER CASE, MATERIALS CONTAINING CHLORIDE, CALCIUM, SALTS, ETC. SHALL NOT BE USED. PROTECT FRESH CONCRETE FROM WEATHER FOR 7 DAYS, MINIMUM.
- CONCRETE SHALL BE RUBBED TO A ROUGH GROUT FINISH. PADS SHALL BE SEALED BY STEEL TROWEL.
- UNLESS OTHERWISE NOTED:

A. ALL REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A615, GRADE 60.

B. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.
- SPLICING OF REINFORCEMENT IS PERMITTED ONLY AT LOCATIONS SHOWN IN THE CONTRACT DRAWINGS OR AS ACCEPTED BY THE ENGINEER. UNLESS OTHERWISE SHOWN OR NOTED REINFORCING STEEL SHALL BE SPLICED TO DEVELOP ITS FULL TENSILE CAPACITY (CLASS A) IN ACCORDANCE WITH ACI 318.
- REINFORCING BAR DEVELOPMENT LENGTHS, AS COMPUTED IN ACCORDANCE WITH ACI 318, FORM THE BASIS FOR BAR EMBEDMENT LENGTHS AND BAR SPLICED LENGTHS SHOWN IN THE DRAWINGS. APPLY APPROPRIATE MODIFICATION FACTORS FOR TOP STEEL, BAR SPACING, COVER AND THE LIKE.
- DETAILING OF REINFORCING STEEL SHALL CONFORM TO "ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" (ACI 315).
- ALL SLAB CONSTRUCTION SHALL BE CAST MONOLITHICALLY WITHOUT HORIZONTAL CONSTRUCTION JOINTS, UNLESS SHOWN IN THE CONTRACT DRAWINGS.
- LOCATION OF ALL CONSTRUCTION JOINTS ARE SUBJECT TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, CONFORMANCE WITH ACI 318, AND ACCEPTANCE OF THE ENGINEER. DRAWINGS SHOWING LOCATION OF DETAILS OF THE PROPOSED CONSTRUCTION JOINTS SHALL BE SUBMITTED WITH REINFORCING STEEL PLACEMENT DRAWINGS
- SPLICES OF WWF, AT ALL SPLICED EDGES, SHALL BE SUCH THAT THE OVERLAP MEASURED BETWEEN OUTERMOST CROSS WIRES OF EACH FABRIC SHEET IS NOT LESS THAN THE SPACING OF THE CROSS WIRE PLUS 2 INCHES, NOR LESS THAN 8".
- BAR SUPPORTS SHALL BE ALL-GALVINIZED METAL WITH PLASTIC TIPS.
- ALL REINFORCEMENT SHALL BE SECURELY TIED IN PLACE TO PREVENT DISPLACEMENT BY CONSTRUCTION TRAFFIC OR CONCRETE. TIE WIRE SHALL BE 16 GAUGE CONFORMING TO ASTM A82
- SLAB ON GROUND

A. COMPACT STRUCTURAL FILL TO 95% DENSITY AND THEN PLACE 6" GRAVEL BENEATH SLAB.

B. PROVIDE VAPOR BARRIER BENEATH SLAB ON GROUND.

GENERAL FOUNDATION NOTES:

(APPLICABLE FOR EQUIPMENT SHELTER ONLY)

- THOROUGHLY COMPACT BOTTOM OF EXCAVATIONS PRIOR TO PLACING RIGID INSULATION BARRIER. BACKFILL AND COMPACTION PROCEDURES SHALL BE DONE PER INDUSTRY STANDARDS.
- ALL REINFORCING STEEL SHALL BE ASTM A615 - GRADE 60. SECURE REINFORCING IN PLACE TO PREVENT MOVEMENT DURING CONCRETE PLACEMENT.
- VERIFY DETAILS AND DIMENSIONS WITH SHELTER DRAWINGS. NOTIFY ATC CM OF ANY DISCREPANCIES.
- INSULATION BARRIER PROVIDED IS FOR FROST PROTECTION IN LIEU OF STANDARD FOUNDATIONS WITH BEARING AT CODE REQUIRED FROST DEPTH.
- SHELTER MUST BE ANCHORED TO ITS FOUNDATION. ANCHOR IN ACCORDANCE WITH SHELTER MANUFACTURER SPECIFICATIONS.



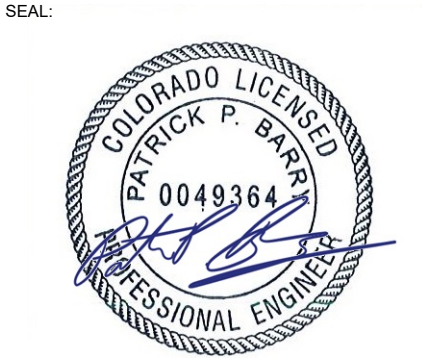
THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATION AS INSTRUMENTS OR SERVICE ARE THE EXCLUSIVE PROPERTY OF AMERICAN TOWER. THEIR USE AND PUBLICATION SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY ARE PREPARED. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO AMERICAN TOWER OR THE SPECIFIED CARRIER IS STRICTLY PROHIBITED. TITLE TO THESE DOCUMENTS SHALL REMAIN THE PROPERTY OF AMERICAN TOWER WHETHER OR NOT THE PROJECT IS EXECUTED. NEITHER THE ARCHITECT NOR THE ENGINEER WILL BE PROVIDING ON-SITE CONSTRUCTION REVIEW OF THIS PROJECT. CONTRACTOR(S) MUST VERIFY ALL DIMENSIONS AND ADVISE AMERICAN TOWER OF ANY DISCREPANCIES. ANY PRIOR ISSUANCE OF THIS DRAWING IS SUPERSEDED BY THE LATEST VERSION ON FILE WITH AMERICAN TOWER.

REV.	DESCRIPTION	BY	DATE
	FOR CONSTRUCTION	AB	04/26/23

ATC SITE NUMBER:  
**211173**

ATC SITE NAME:  
**REBUILD TURKEY CREEK CO**

SITE ADDRESS:  
2945 LITTLE TURKEY CREEK RD  
COLORADO SPRINGS, CO 80926



DATE DRAWN:	04/26/23
ATC JOB NO:	14141546_D4
OPS JOB NO:	13734361
ATC LEGACY #:	419522

GENERAL NOTES

SHEET NUMBER: <b>G-002</b>	REVISION: <b>0</b>
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PROJECT SUMMARY	SURVEYOR'S NOTES
<p>FIELD SURVEY DATE: 09/08/2022 SITE ADDRESS: 2945 LITTLE TURKEY CREEK ROAD COLORADO SPRINGS, COLORADO 80926-9615</p> <p>PARENT PARCEL INFORMATION OWNER: RONALD D. BLAIR OWNER ADDRESS: 8630 PONDEROSA SPRINGS PT COLORADO SPRINGS, COLORADO 80908 APN: 7615000004 (SCHEDULE NO.) RECORDED AS RECEPTION NO. 215070998</p> <p>TOTAL AREAS PARENT PARCEL: 37.351+ ACRES (CALCULATED IN CAD) ATC LEASE AREA AS PROVIDED: 3,800.00 SQ FT OR 0.083± ACRES ATC LEASE AREA AS SURVEYED: 3,597.62 SQ FT OR 0.083± ACRES ACCESS &amp; UTILITY EASEMENT AS PROVIDED: (UNDETERMINED DUE TO ILLEGIBLE DESCRIPTION) ACCESS &amp; UTILITY EASEMENT AS SURVEYED: 9,015.34 SQ FT OR 0.207± ACRES UTILITY EASEMENT AS PROVIDED: (UNDETERMINED DUE TO ILLEGIBLE DESCRIPTION) UTILITY EASEMENT AS SURVEYED: 1,195.37 SQ FT OR 0.027± ACRES</p> <p>GEOGRAPHIC COORDINATES OF EXISTING TOWER: LATITUDE: 38°39'13.2" N      LONGITUDE: 104°52'14.9" W VERTICAL DATUM: NAVD 1988      HORIZONTAL DATUM: NAD83 GROUND ELEVATION: 6717.3'</p> <p>GEOGRAPHIC COORDINATES OF PROPOSED TOWER: LATITUDE: 38°39'13.0" N      LONGITUDE: 104°52'15.0" W VERTICAL DATUM: NAVD 1988      HORIZONTAL DATUM: NAD83 GROUND ELEVATION: 6717.8'</p> <p>BEARINGS AND COORDINATES ARE BASED ON COLORADO STATE PLANE AT GROUND, CENTRAL ZONE, FROM GPS OBSERVATION. PROVIDED BEARINGS HAVE BEEN ROTATED CLOCKWISE 00°00'17" TO MATCH OBSERVED BEARINGS ALONG THE EAST LINE OF SECTION 15.</p> <p>FLOODPLAIN: PER THE FEMA FLOODPLAIN MAPS, THE SITE IS LOCATED IN AN AREA DESIGNATED AS ZONE X, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. COMMUNITY PANEL NUMBER: 08041C0950G DATED: 12/07/2018</p> <p>BOUNDARY NOTE THIS SURVEY DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE PARENT TRACT. ANY PARENT TRACT PROPERTY LINES SHOWN HEREON ARE FROM SUPPLIED INFORMATION AND MAY NOT BE FIELD VERIFIED.</p> <p>ENCROACHMENT STATEMENT AT THE TIME OF THE SURVEY, THERE WAS VISIBLE EVIDENCE OF THE FOLLOWING ENCROACHMENTS: A THE ATC LEASE AREA AS PROVIDED DOES NOT PLOT IN THE LOCATION OF THE TOWER COMPOUND, WHICH WOULD BE REMEDIED BY THE ATC LEASE AREA AS SURVEYED. LEGAL DESCRIPTION SHOWN HEREON. A A PORTION OF WIRE FENCE (UNKNOWN OWNERSHIP) AND WIRE FENCE (LANDOWNER) LIES WITHIN THE ACCESS &amp; UTILITY EASEMENT AS SURVEYED AND UTILITY EASEMENT AS SURVEYED.</p>	<ol style="list-style-type: none"><li>1. THERE IS ACCESS TO THE ATC LEASE AREA VIA THE ACCESS &amp; UTILITY EASEMENT FROM LITTLE TURKEY CREEK ROAD, A PUBLIC RIGHT OF WAY (SEE NOTE FOLLOWING ACCESS &amp; UTILITY EASEMENT AS SURVEYED LEGAL DESCRIPTION).</li><li>2. THE LOCATIONS OF ALL UTILITIES SHOWN ON THE SURVEY ARE FROM VISIBLE SURFACE EVIDENCE ONLY.</li><li>3. AT THE TIME OF THIS SURVEY THERE WAS NO OBSERVABLE SURFACE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.</li><li>4. AT THE TIME OF THIS SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF ANY RECENT CHANGES IN STREET RIGHT-OF-WAY LINES EITHER COMPLETED OR PROPOSED, AND AVAILABLE FROM THE CONTROLLING JURISDICTION.</li><li>5. AT THE TIME OF THIS SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF ANY RECENT CHANGES IN STREET RIGHT-OF-WAY LINES EITHER COMPLETED OR PROPOSED, AND AVAILABLE FROM THE CONTROLLING JURISDICTION.</li><li>6. AT THE TIME OF THIS SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF ANY RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.</li><li>7. THIS AS-BUILT SURVEY OF AN EXISTING LEASE AREA WITHIN AN EXISTING PARCEL OF LAND WAS PREPARED TO SHOW THE INTERESTS OF AMERICAN TOWER CORPORATION AND IMPROVEMENTS PROXIMAL TO SAID INTERESTS. IT DOES NOT CONSTITUTE AN AS-BUILT SURVEY OF THE ENTIRE PARENT PARCEL.</li><li>8. ALL CALLS ARE MEASURED UNLESS OTHERWISE NOTED.</li><li>9. UNLESS OTHERWISE SPECIFIED, UTILITY POLES DID NOT IDENTIFY OWNERSHIP.</li><li>10. UTILITY EASEMENT (AND ACCESS &amp; UTILITY EASEMENT) AS SURVEYED DESCRIPTIONS ARE BASED ONLY ON SURFACE EVIDENCE OF EXISTING UTILITIES SERVING THE TOWER SITE. DESCRIBED EASEMENTS MAY NOT INCLUDE ALL UNDERGROUND UTILITIES NOT VISIBLE AT TIME OF SURVEY AND UTILITIES SHOULD BE LOCATED IF NECESSARY.</li><li>11. THE ATC LEASE AREA, ACCESS &amp; UTILITY EASEMENT AND UTILITY EASEMENT LIE WHOLLY WITHIN THE PARENT PARCEL. NONE OF THE MONOPINE BRANCHES WERE OBSERVED TO REACH OUTSIDE THE ATC LEASE AREA/FENCED AREA.</li></ol>
	<p><b>ZONING INFORMATION</b></p> <p>ZONED 7-A-5, AGRICULTURAL, PER EL PASO COUNTY ONLINE INFORMATION. FOR ADDITIONAL ZONING INFORMATION CONTACT: EL PASO COUNTY PLANNING &amp; COMMUNITY DEVELOPMENT 2880 INTERNATIONAL CIRCLE, SUITE 110 COLORADO SPRINGS, COLORADO 80910 (719) 520-6300</p>

LEGAL DESCRIPTIONS

**TITLE COMMITMENT LEGAL DESCRIPTION - PARENT PARCEL:**  
THE REAL PROPERTY, TOGETHER WITH THE FIXTURES AND IMPROVEMENTS LOCATED THEREON, IF ANY, SITUATE, LYING AND BEING IN THE COUNTY OF EL PASO AND STATE OF COLORADO, DESCRIBED AS FOLLOWS:  
THE SOUTH HALF OF THE NORTH HALF OF THE SOUTHEAST QUARTER EXCEPT THE EASTERLY 1320 FEET AND THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER AND THAT PORTION OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 15 TOWNSHIP 16 SOUTH RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS:  
BEGINNING AT THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 15 THENCE SOUTH 11 DEGREES 28 MINUTES 40 SECONDS EAST ON AN ASSUMED BEARING ON THE NORTH-SOUTH CENTERLINE OF SAID SECTION 474.00 FEET THENCE NORTH 88 DEGREES 34 MINUTES 50 SECONDS WEST 813.95 FEET TO THE WEST LINE OF SAID NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER THENCE ON SAID WEST LINE NORTH 10 DEGREES 42 MINUTES 03 SECONDS WEST 150.00 FEET TO THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 15 THENCE SOUTH 11 DEGREES 28 MINUTES 40 SECONDS WEST 813.95 FEET TO THE POINT OF BEGINNING. CONTAINING 3500 SQ FT OR 0.082 ACRES MORE OR LESS.  
THIS BEING THE SAME PROPERTY CONVEYED TO RONALD D. BLAIR BY A DEED FROM ROSEMARIE S. BLAIR TRUST, ANDREA JOHNSON TRUSTEE DATED 6/22/2015 AND RECORDED 7/08/2015 IN INSTRUMENT 215070998 IN THE COUNTY OF EL PASO, STATE OF COLORADO.

**ATC LEASE AREA - AS PROVIDED (PER MEMORANDUM OF LEASE RECORDED 01/19/2016 AS INSTRUMENT NO. 218004903):**  
BEING A LEASE AREA WITHIN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 15, TOWNSHIP 16 SOUTH, RANGE 67 WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 15; THENCE ALONG THE EAST LINE OF SAID SECTION 15 NORTH 38°08'W, 1708.72 FEET; THENCE S88°21'52"W, 1335.99 FEET TO THE POINT OF BEGINNING; THENCE S00°00'00"W, 20.93 FEET TO A POINT HEREINAFTER REFERRED TO AS POINT "A"; THENCE CONTINUING S00°00'00"W, 39.07 FEET; THENCE N90°00'00"W, 60.00 FEET TO A POINT HEREINAFTER REFERRED TO AS POINT "B"; THENCE N00°00'00"E, 60.00 FEET; THENCE S89°00'00"E, 60.00 FEET TO THE POINT OF BEGINNING.  
CONTAINING 3500 SQ FT OR 0.082 ACRES MORE OR LESS.  
(THE ATC LEASE AREA AS PROVIDED MAY CONTAIN A TYPOGRAPHICAL ERROR THAT RESULTS IN ITS PLOTTED LOCATION.)

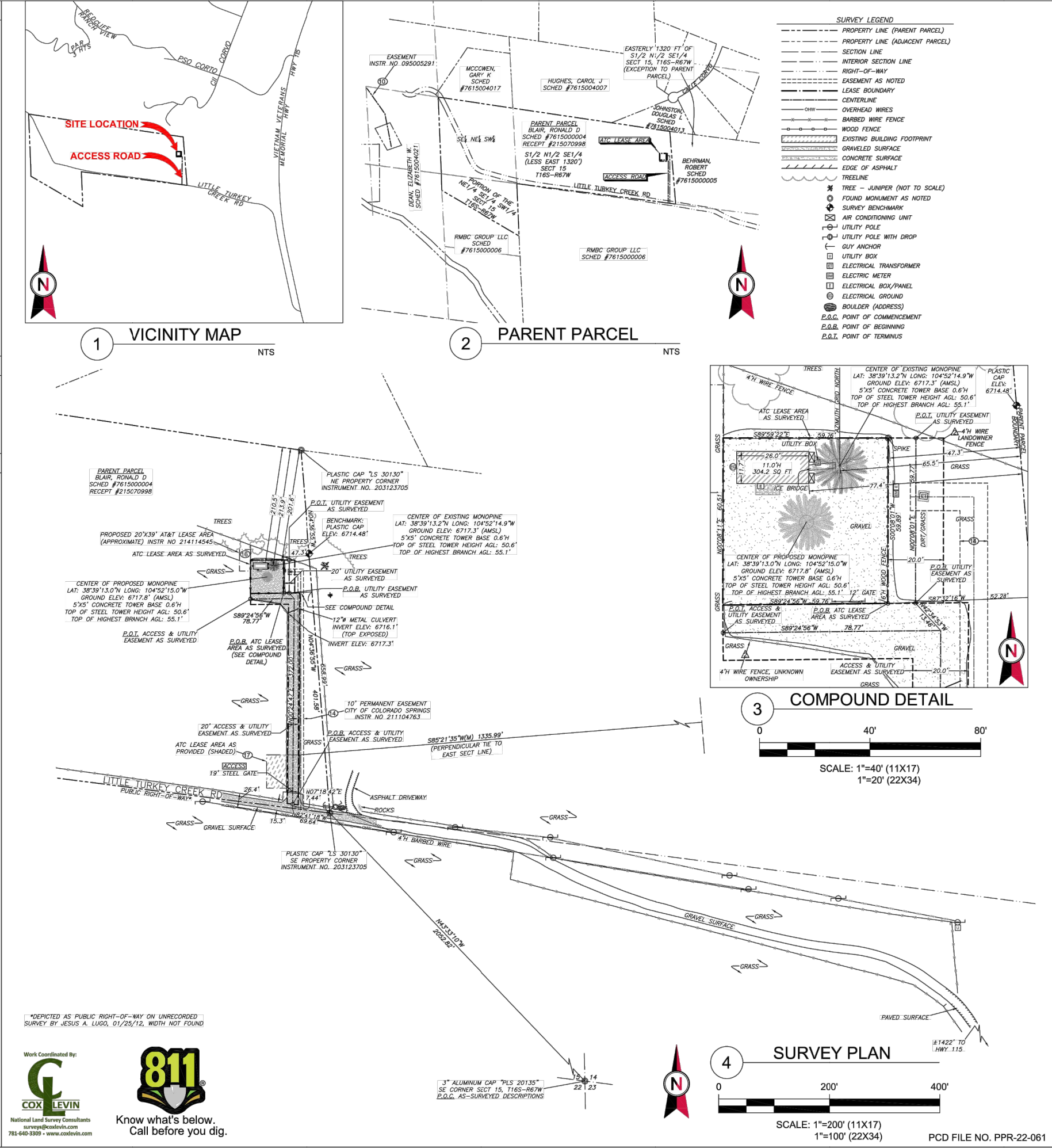
**ATC LEASE AREA - AS SURVEYED:**  
A PARCEL OF LAND LOCATED WITHIN THE SOUTHEAST QUARTER (NE1/4 SE1/4) OF SECTION 15, TOWNSHIP 16 SOUTH, RANGE 67 WEST OF THE 6TH P.M., BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 15; THENCE N43°33'10"W, 2052.82 FEET TO THE SOUTHEAST CORNER OF THE PROPERTY DESCRIBED IN QUIT CLAIM DEED DATED MAY 28, 2003 AND RECORDED JUNE 05, 2003 IN INSTRUMENT NO. 203123705, DEPICTED ON EL PASO COUNTY ASSESSOR'S MAP 76150 AS PARCEL 00-004; THENCE N04°36'59"W ALONG THE EAST LINE OF SAID PROPERTY, 401.58 FEET; THENCE S87°32'16"W ALONG A LINE PERPENDICULAR TO SAID EAST LINE, 52.28 FEET TO THE POINT OF BEGINNING; THENCE S89°24'56"W, 59.76 FEET; THENCE N00°08'11"E, 60.01 FEET; THENCE S89°59'22"E, 59.76 FEET; THENCE S00°08'01"W, 59.89 FEET TO THE POINT OF BEGINNING.  
CONTAINING A TOTAL CALCULATED AREA OF 3,597.62 SQUARE FEET OR 0.083 ACRES, MORE OR LESS.

**ACCESS EASEMENT - AS PROVIDED (PER AN UNRECORDED FIRST AMENDMENT TO LAND LEASE AGREEMENT DATED FEBRUARY 12, 2012):**  
BEING A STRIP OF LAND 20.00 FEET IN WIDTH WITHIN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 15, TOWNSHIP 16 SOUTH, RANGE 67 WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO, LYING 10.00 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:  
COMMENCING AT POINT "B" AS DESCRIBED ABOVE; THENCE S00°00'00"W, 10.00 FEET TO THE POINT OF BEGINNING; THENCE S90°00'00"E, 78.43 FEET; THENCE S00°00'00"W, 381.42 FEET TO THE NORTH RIGHT OF WAY LINE OF LITTLE TURKEY CREEK ROAD AND END OF SAID STRIP OF LAND.  
SIDELINES OF SAID STRIPS OF LAND ARE TO BE LENGTHENED AND/OR SHORTENED TO PREVENT GAPS AND/OR OVERLAPS.  
(THIS EASEMENT IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY, BECAUSE IT COMMENCES AT A POINT IN THE PROVIDED, ERRONEOUS ATC LEASE AREA DESCRIPTION.)

**ACCESS & UTILITY EASEMENT - AS SURVEYED:**  
A 20 FOOT WIDE STRIP OF LAND LOCATED WITHIN THE SOUTHEAST QUARTER (NE1/4 SE1/4) OF SECTION 15, TOWNSHIP 16 SOUTH, RANGE 67 WEST OF THE 6TH P.M., LYING 10 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:  
COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 15; THENCE N43°33'10"W, 2052.82 FEET TO THE SOUTHEAST CORNER OF THE PROPERTY DESCRIBED IN QUIT CLAIM DEED DATED MAY 28, 2003 AND RECORDED JUNE 05, 2003 IN INSTRUMENT NO. 203123705, DEPICTED ON EL PASO COUNTY ASSESSOR'S MAP 76150 AS PARCEL 00-004; THENCE N02°41'18"W ALONG THE SOUTH LINE OF SAID PROPERTY, 69.64 FEET; THENCE N07°18'42"E ALONG A LINE PERPENDICULAR TO SAID SOUTH LINE, 7.44 FEET TO THE POINT OF BEGINNING; THENCE N00°24'47"E, 372.00 FEET; THENCE S89°24'56"W, 78.77 FEET TO THE POINT OF BEGINNING.  
CONTAINING A TOTAL CALCULATED AREA OF 9,015.34 SQUARE FEET OR 0.207 ACRES, MORE OR LESS.  
(NOTE: DOCUMENTATION WAS NOT PROVIDED TO DETERMINE RIGHT-OF-WAY WIDTH FOR LITTLE TURKEY CREEK ROAD; THEREFORE, THE EASEMENT IS WRITTEN TO BEGIN AT THE EDGE OF THE EXISTING ROAD. LITTLE TURKEY CREEK ROAD IS DEPICTED AS PUBLIC RIGHT-OF-WAY ON AN UNRECORDED SURVEY PERFORMED BY JESUS A. LUGO, DATED 2012.)

**UTILITY EASEMENT - AS PROVIDED (PER AN UNRECORDED FIRST AMENDMENT TO LAND LEASE AGREEMENT DATED FEBRUARY 12, 2012):**  
BEING TWO STRIPS OF LAND 10.00 FEET IN WIDTH WITHIN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 15, TOWNSHIP 16 SOUTH, RANGE 67 WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO, LYING 2.50 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINES:  
(STRIP ONE)  
BEGINNING AT POINT "A" AS DESCRIBED ABOVE; THENCE (ILLEGIBLE), 23.43 FEET; THENCE S00°00'00"W, 416.92 FEET TO A POINT HEREINAFTER REFERRED TO AS POINT "C"; THENCE CONTINUING S00°00'00"W, 14.23 FEET TO THE END OF SAID STRIP OF LAND.  
(STRIP TWO)  
BEGINNING AT POINT "C" AS DESCRIBED ABOVE; THENCE S89°35'35"E, 50.84 FEET TO THE END OF SAID STRIP OF LAND.  
(NOTE: THIS LEGAL DESCRIPTION IS PROVIDED ON A SURVEY ATTACHED TO THE REFERENCED AGREEMENT, AND IS A POOR COPY. THIS RENDITION MAY CONTAIN ERRORS, AND IS DEPENDENT ON THE PREVIOUS PROVIDED ATC LEASE AREA AND ACCESS EASEMENT DESCRIPTIONS.)

**UTILITY EASEMENT - AS SURVEYED:**  
A 20 FOOT WIDE STRIP OF LAND LOCATED WITHIN THE SOUTHEAST QUARTER (NE1/4 SE1/4) OF SECTION 15, TOWNSHIP 16 SOUTH, RANGE 67 WEST OF THE 6TH P.M., LYING 10 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:  
COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 15; THENCE N43°33'10"W, 2052.82 FEET TO THE SOUTHEAST CORNER OF THE PROPERTY DESCRIBED IN QUIT CLAIM DEED DATED MAY 28, 2003 AND RECORDED JUNE 05, 2003 IN INSTRUMENT NO. 203123705, DEPICTED ON EL PASO COUNTY ASSESSOR'S MAP 76150 AS PARCEL 00-004; THENCE N02°41'18"W ALONG THE SOUTH LINE OF SAID PROPERTY, 69.64 FEET; THENCE N07°18'42"E ALONG A LINE PERPENDICULAR TO SAID SOUTH LINE, 7.44 FEET; THENCE N00°24'47"E, 372.00 FEET; THENCE N42°34'53"W, 13.46 FEET TO THE POINT OF BEGINNING; THENCE N00°08'01"E, 59.77 FEET TO THE POINT OF BEGINNING.  
CONTAINING A TOTAL CALCULATED AREA OF 1,195.37 SQUARE FEET OR 0.027 ACRES, MORE OR LESS.



**AMERICAN TOWER**  
ATC TOWER SERVICES, INC.

3500 REGENCY PARKWAY  
SUITE 100  
CARY, NC 27518  
PHONE: (919) 468-0112  
FAX: (919) 466-5415

THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATION AS INSTRUMENTS OR SERVICE ARE THE EXCLUSIVE PROPERTY OF AMERICAN TOWER. THEIR USE AND PUBLICATION SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY ARE PREPARED. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO AMERICAN TOWER OR THE SPECIFIED CARRIER IS STRICTLY PROHIBITED. TITLE TO THESE DOCUMENTS SHALL REMAIN THE PROPERTY OF AMERICAN TOWER WHETHER OR NOT THE PROJECT IS EXECUTED. NEITHER THE ARCHITECT NOR THE ENGINEER WILL BE PROVIDING ON-SITE CONSTRUCTION REVIEW OF THIS PROJECT. CONTRACTOR(S) MUST VERIFY ALL DIMENSIONS AND ADVISE AMERICAN TOWER OF ANY DISCREPANCIES. ANY PRIOR ISSUANCE OF THIS DRAWING IS SUPERSEDED BY THE LATEST VERSION ON FILE WITH AMERICAN TOWER.

0	PRELIM	HH	09/19/2022
1	TITLE	HH	03/06/2023
2			

ATC SITE NUMBER:  
**211173**  
(LEGACY 419522)

ATC SITE NAME:  
**REBUILD TURKEY CREEK CO**

SITE ADDRESS:  
2945 LITTLE TURKEY CREEK RD  
COLORADO SPRINGS, COLORADO 80926-9615

**SURVEY CERTIFICATE:**  
THIS IS TO CERTIFY THAT ARROW SURVEY GROUP, INC., AT THE REQUEST AND FOR THE EXCLUSIVE USE OF AMERICAN TOWER CORP., HAS PERFORMED THIS AS-BUILT SURVEY OF THE ATC LEASE AREA, FROM THE RECORD SOURCES AND ACTUAL FIELD SURVEY ON 09/08/2022 IN ACCORDANCE WITH THE MINIMUM STANDARDS OF PROPERTY BOUNDARY SURVEYS. ALL LINEAR AND ANGULAR VALUES SHOWN ARE BASED UPON DEED OR RECORD INFORMATION UNLESS OTHERWISE NOTED.

DATE OF PLAT: 03/06/2023

JASON D. LEVANEN  
CO LICENSE NO. 38159

**SURVEY PREPARED BY:**  

**Arrow**  
Survey Group, Inc.  
Sheridan, WY 82801 (307)751-7543

DRAWN BY:	HH
APPROVED BY:	JL
DATE DRAWN:	03/06/2023
ATC JOB NO:	419522

AS-BUILT/TITLE & BOUNDARY PLAN

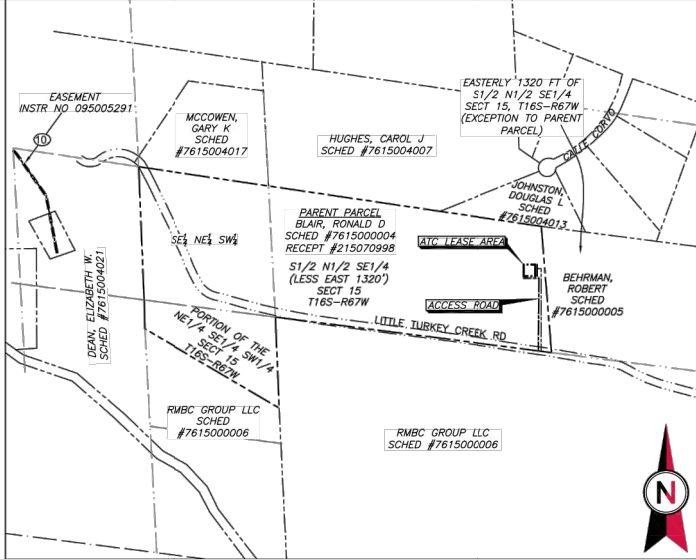
SHEET NUMBER: V-101  
REVISION: 1



PROJECT SUMMARY

FIELD SURVEY DATE: 09/08/2022  
SITE ADDRESS: 2945 LITTLE TURKEY CREEK ROAD  
COLORADO SPRINGS, COLORADO 80926-9615  
PARENT PARCEL INFORMATION  
OWNER: RONALD D. BLAIR  
OWNER ADDRESS: 8630 PONDEROSA SPRINGS PT  
COLORADO SPRINGS, COLORADO 80908  
APN: 7815000004 (SCHEDULE NO.)  
RECORDED AS RECEPTION NO. 215070998  
TOTAL AREAS  
PARENT PARCEL: 37.351+ ACRES (CALCULATED IN CAD)  
ATC LEASE AREA AS PROVIDED: 3,800.00 SQ FT OR 0.083+ ACRES  
ATC LEASE AREA AS SURVEYED: 3,597.62 SQ FT OR 0.083+ ACRES  
ACCESS & UTILITY EASEMENT AS PROVIDED: (UNDETERMINED DUE TO ILLEGIBLE DESCRIPTION)  
ACCESS & UTILITY EASEMENT AS SURVEYED: 9,015.34 SQ FT OR 0.207+ ACRES  
UTILITY EASEMENT AS PROVIDED: (UNDETERMINED DUE TO ILLEGIBLE DESCRIPTION)  
UTILITY EASEMENT AS SURVEYED: 1,195.37 SQ FT OR 0.027+ ACRES  
GEOGRAPHIC COORDINATES OF EXISTING TOWER:  
LATITUDE: 38°39'13.2" N LONGITUDE: 104°52'14.9" W  
VERTICAL DATUM: NAVD 1988 HORIZONTAL DATUM: NAD83  
GROUND ELEVATION: 6717.3'  
GEOGRAPHIC COORDINATES OF PROPOSED TOWER:  
LATITUDE: 38°39'13.0" N LONGITUDE: 104°52'15.0" W  
VERTICAL DATUM: NAVD 1988 HORIZONTAL DATUM: NAD83  
GROUND ELEVATION: 6717.8'

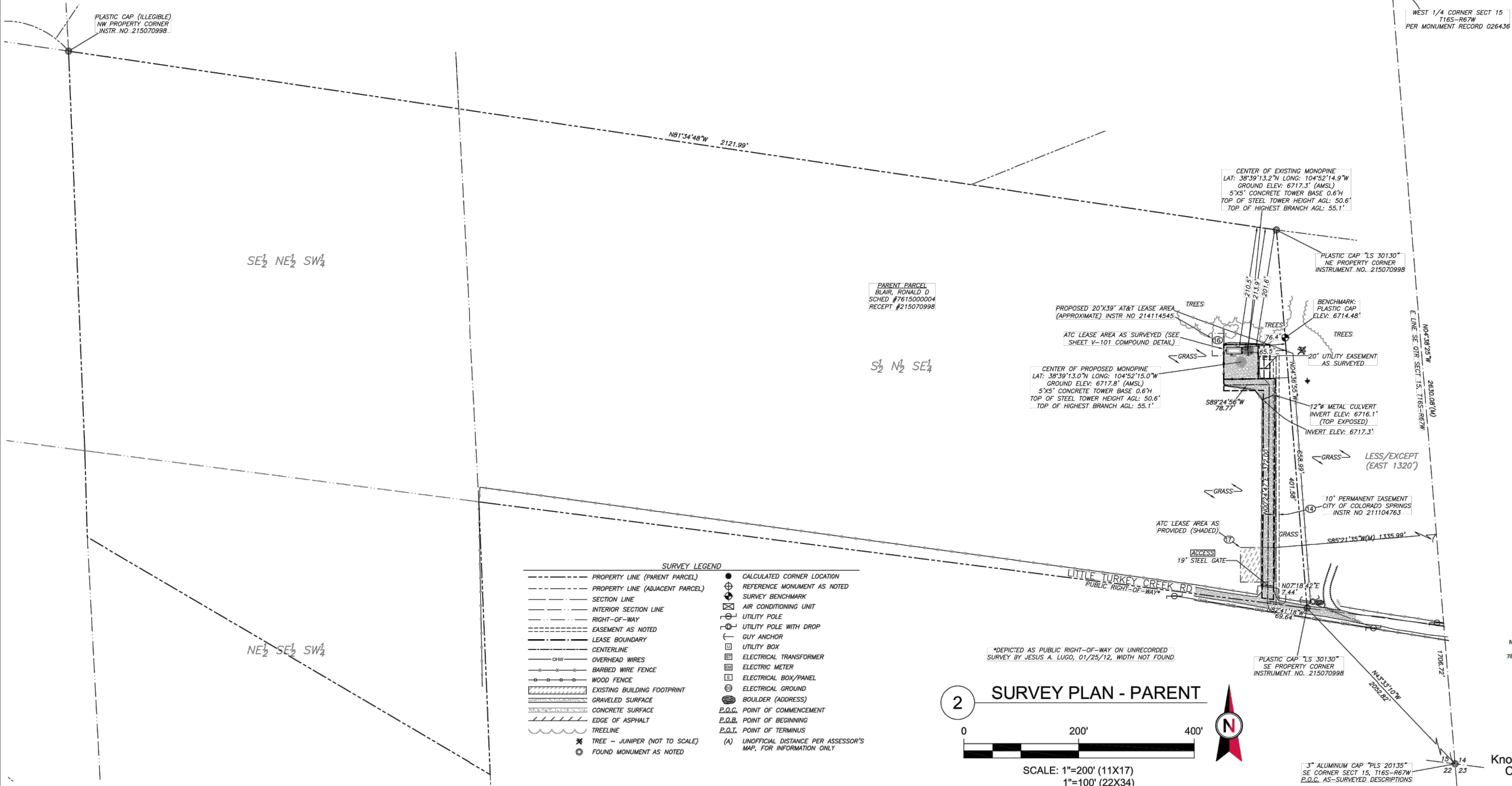
BEARINGS AND COORDINATES ARE BASED ON COLORADO STATE PLANE AT GROUND, CENTRAL ZONE, FROM GPS OBSERVATION.  
PROVIDED BEARINGS HAVE BEEN ROTATED CLOCKWISE 00°00'17" TO MATCH OBSERVED BEARINGS ALONG THE EAST LINE OF SECTION 15.  
FLOODPLAIN:  
PER THE FEMA FLOODPLAIN MAPS, THE SITE IS LOCATED IN AN AREA DESIGNATED AS ZONE X, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.  
COMMUNITY PANEL NUMBER: 0804100950  
DATED: 12/07/2018  
BOUNDARY NOTE  
THIS SURVEY DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE PARENT TRACT. ANY PARENT TRACT PROPERTY LINES SHOWN HEREON ARE FROM SUPPLIED INFORMATION AND MAY NOT BE FIELD VERIFIED.  
ENCROACHMENT STATEMENT  
AT THE TIME OF THE SURVEY, THERE WAS VISIBLE EVIDENCE OF THE FOLLOWING ENCROACHMENTS:  
A THE ATC LEASE AREA AS PROVIDED DOES NOT PLOT IN THE LOCATION OF THE TOWER COMPOUND, WHICH WOULD BE REMEDIED BY THE ATC LEASE AREA AS SURVEYED LEGAL DESCRIPTION SHOWN HEREON.  
A A PORTION OF WIRE FENCE (UNKNOWN OWNERSHIP) AND WIRE FENCE (LANDOWNER) LIES WITHIN THE ACCESS & UTILITY EASEMENT AS SURVEYED AND UTILITY EASEMENT AS SURVEYED.



1 PARENT PARCEL NTS

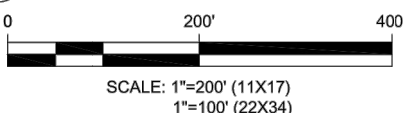
NOTES CORRESPONDING TO TITLE REPORT

THE COMMITMENT FOR TITLE INSURANCE ISSUED BY WESTCOR LAND TITLE INSURANCE COMPANY, COMMITMENT NO. ATC-146092-C, WITH A COMMITMENT DATE OF FEBRUARY 4, 2023, CONTAINS THE FOLLOWING ITEMS:  
(10) EASEMENT BETWEEN CHRISTOPHER GILBERT AND GAIL RICHTER; AND WESTPLAINS ENERGY, A DIVISION OF UTILITYCORP UNITED, INC., DATED AUGUST 17, 1994 AND RECORDED JANUARY 13, 1995 IN (BOOK) 6591 (PAGE) 29 (INSTRUMENT) 095005291, IN EL PASO COUNTY, COLORADO. (EASEMENT IS LOCATED WEST OF THE PARENT PARCEL. LOCATION IS SHOWN IN THE PARENT PARCEL DETAIL.)  
(11) RESOLUTION NO. 02-414 DATED NOVEMBER 14, 2002 AND RECORDED NOVEMBER 27, 2002 IN (INSTRUMENT) 202210339, IN EL PASO COUNTY, COLORADO. (DESCRIBES THE PARENT PARCEL, BLANKET IN NATURE.)  
(12) RESOLUTION NO. 02-415 DATED FEBRUARY 13, 2003 AND RECORDED FEBRUARY 19, 2003 IN (INSTRUMENT) 203038154, IN EL PASO COUNTY, COLORADO. (DESCRIBES THE PARENT PARCEL, BLANKET IN NATURE.)  
(13) TERMS AND CONDITIONS OF AN UNRECORDED LEASE, AS EVIDENCED BY A(N) MEMORANDUM OF LAND LEASE AGREEMENT BETWEEN RONALD D. BLAIR AND ROSEMARIE S. BLAIR AND VERIZON WIRELESS (VAV) LLC D/B/A VERIZON WIRELESS, DATED OCTOBER 18, 2010 AND RECORDED NOVEMBER 8, 2010 IN (INSTRUMENT) 210112970, IN EL PASO COUNTY, COLORADO. (DESCRIBES THE PARENT PARCEL. LEASED AREA DESCRIPTION IS NOT SPECIFIED, BUT AN AREA OF 3600 SQ FT IS REFERENCED.)  
(14) AFFECTED BY A(N) RE-RECORDED MEMORANDUM OF LAND LEASE AGREEMENT BETWEEN RONALD D. BLAIR AND ROSEMARIE S. BLAIR AND VERIZON WIRELESS (VAV) LLC D/B/A VERIZON WIRELESS, DATED OCTOBER 18, 2010 AND RECORDED FEBRUARY 10, 2012 IN (INSTRUMENT) 212015689, IN EL PASO COUNTY, COLORADO. (DESCRIBES THE PARENT PARCEL. LEASED AREA DESCRIPTION IS NOT SPECIFIED, BUT AN AREA OF 3600 SQ FT IS REFERENCED.)  
(15) AFFECTED BY THE TERMS AND CONDITIONS CONTAINED IN AN UNRECORDED FIRST AMENDMENT TO LAND LEASE AGREEMENT BETWEEN RONALD D. BLAIR AND ROSEMARIE S. BLAIR AND VERIZON WIRELESS (VAV) LLC D/B/A VERIZON WIRELESS, DATED FEBRUARY 27, 2012. (DESCRIBES PARENT PARCEL. ATC LEASE AREA AS PROVIDED, ACCESS EASEMENT AS PROVIDED, AND UTILITY EASEMENT AS PROVIDED. ALL SHOWN HEREON, ARE DEPICTED AND DESCRIBED ON AN ATTACHED SURVEY.)  
(16) PERMANENT EASEMENT AGREEMENT BETWEEN RONALD D AND ROSEMARIE S. BLAIR, AND THE CITY OF COLORADO SPRINGS, A HOME RULE CITY AND COLORADO MUNICIPAL CORPORATION, DATED SEPTEMBER 22, 2011 AND RECORDED OCTOBER 26, 2011 IN (INSTRUMENT) 211104763, IN EL PASO COUNTY, COLORADO. (EASEMENT SERVES THE ATC LEASE AREA AND IS PLOTTED AND SHOWN IN THE SURVEY PLAN VIEW.)  
(17) RESOLUTION NO. 11-073 DATED FEBRUARY 24, 2011 AND RECORDED NOVEMBER 9, 2011 IN (INSTRUMENT) 211111189, IN EL PASO COUNTY, COLORADO. (DESCRIBES THE PARENT PARCEL. AND REFERENCES COMMUNICATIONS TOWER.)  
(18) TERMS AND CONDITIONS OF AN UNRECORDED LEASE, AS EVIDENCED BY A(N) MEMORANDUM OF LEASE BETWEEN ROSEMARIE S. BLAIR TRUST DATED 9/30/2013 AND RONALD BLAIR AND NEW CINGULAR WIRELESS PCS, LLC, A DELAWARE LIMITED LIABILITY COMPANY, DATED JUNE 27, 2014 AND RECORDED DECEMBER 12, 2014 IN (INSTRUMENT) 214114545, IN EL PASO COUNTY, COLORADO. (DESCRIBES THE PARENT PARCEL. DEPICTS THE ATC LEASE AREA AS PROVIDED AND A PROPOSED ADJACENT LEASE AREA ON A SKETCH. THE ADJACENT LEASE AREA IS PLOTTED APPROXIMATELY AND SHOWN HEREON.)  
(19) TERMS AND CONDITIONS OF AN UNRECORDED SUBLEASE, AS EVIDENCED BY A(N) MEMORANDUM OF LEASE BETWEEN VERIZON WIRELESS (VAV) LLC, A DELAWARE LIMITED LIABILITY COMPANY D/B/A VERIZON WIRELESS AND ATC SEQUOIA LLC, A DELAWARE LIMITED LIABILITY COMPANY, DATED JANUARY 7, 2016 AND RECORDED JANUARY 19, 2016 IN (INSTRUMENT) 216004903, IN EL PASO COUNTY, COLORADO. (DESCRIBES THE ATC LEASE AREA AS PROVIDED, WHICH IS PLOTTED AND SHOWN HEREON.)



- SURVEY LEGEND
- PROPERTY LINE (PARENT PARCEL)
  - PROPERTY LINE (ADJACENT PARCEL)
  - SECTION LINE
  - INTERIOR SECTION LINE
  - RIGHT-OF-WAY
  - EASEMENT AS NOTED
  - LEASE BOUNDARY
  - CENTERLINE
  - OVERHEAD WIRES
  - BARBED WIRE FENCE
  - WOOD FENCE
  - EXISTING BUILDING FOOTPRINT
  - GRAVELED SURFACE
  - CONCRETE SURFACE
  - EDGE OF ASPHALT
  - TREELINE
  - TREE - JUNIPER (NOT TO SCALE)
  - FOUND MONUMENT AS NOTED
  - CALCULATED CORNER LOCATION
  - REFERENCE MONUMENT AS NOTED
  - SURVEY BENCHMARK
  - AIR CONDITIONING UNIT
  - UTILITY POLE
  - UTILITY POLE WITH DROP
  - GUY ANCHOR
  - UTILITY BOX
  - ELECTRICAL TRANSFORMER
  - ELECTRIC METER
  - ELECTRICAL BOX/PANEL
  - ELECTRICAL GROUND
  - BOULDER (ADDRESS)
  - P.O.B. POINT OF COMMENCEMENT
  - P.O.B. POINT OF BEGINNING
  - P.O.T. POINT OF TERMINUS
  - (A) UNOFFICIAL DISTANCE PER ASSESSOR'S MAP, FOR INFORMATION ONLY

2 SURVEY PLAN - PARENT



SCALE: 1"=200' (11X17)  
1"=100' (22X34)



**AMERICAN TOWER**  
**ATC TOWER SERVICES, INC.**  
3500 REGENCY PARKWAY  
SUITE 100  
CARY, NC 27518  
PHONE: (919) 468-0112  
FAX: (919) 466-5415

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0	PRELIM	HH	09/19/2022
1	TITLE	HH	03/06/2023
2			

ATC SITE NUMBER:

**211173**  
(LEGACY 419522)

ATC SITE NAME:

**REBUILD TURKEY CREEK CO**

SITE ADDRESS:

2945 LITTLE TURKEY CREEK RD  
COLORADO SPRINGS, COLORADO 80926-9615

SURVEY CERTIFICATE:

THIS IS TO CERTIFY THAT ARROW SURVEY GROUP, INC., AT THE REQUEST AND FOR THE EXCLUSIVE USE OF AMERICAN TOWER CORP., HAS PERFORMED THIS AS-BUILT SURVEY OF THE ATC LEASE AREA, FROM THE RECORD SOURCES AND ACTUAL FIELD SURVEY ON 09/08/2022 IN ACCORDANCE WITH THE MINIMUM STANDARDS OF PROPERTY BOUNDARY SURVEYS. ALL LINEAR AND ANGULAR VALUES SHOWN ARE BASED UPON DEED OR RECORD INFORMATION UNLESS OTHERWISE NOTED.

DATE OF PLAT: 03/06/2023

JASON D. LEVANEN  
CO LICENSE NO. 38159



SURVEY PREPARED BY:

**Arrow**  
**Survey Group, Inc.**  
Sheridan, WY 82801 (307)751-7543

DRAWN BY:	HH
APPROVED BY:	JL
DATE DRAWN:	03/06/2023
ATC JOB NO:	419522

PARENT PARCEL  
BOUNDARY PLAN & TITLE

SHEET NUMBER:

**V-101**

REVISION:

**1**

Work Coordinated By:  
**COX LEVIN**  
National Land Survey Consultants  
surveys@coxlevin.com  
781-640-3309 • www.coxlevin.com



Know what's below.  
Call before you dig.

PCD FILE NO. PPR-22-061



PROJECT SUMMARY

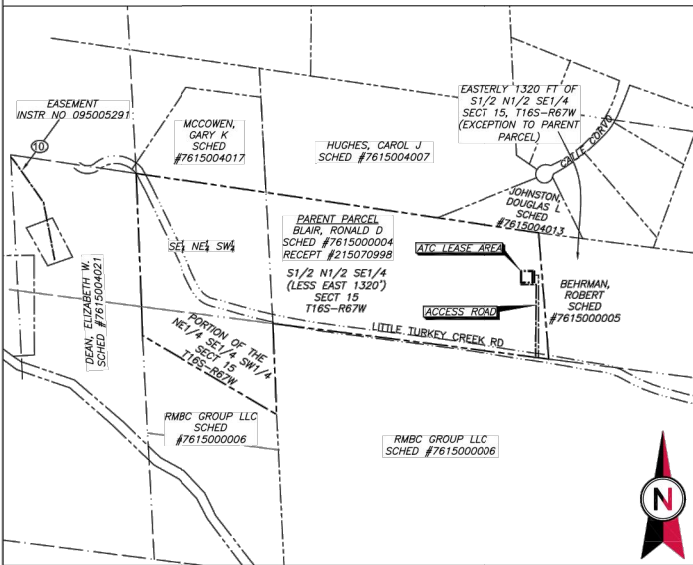
FIELD SURVEY DATE: 09/08/2022  
SITE ADDRESS: 2945 LITTLE TURKEY CREEK ROAD  
COLORADO SPRINGS, COLORADO  
80926-9615

PARENT PARCEL INFORMATION  
OWNER: RONALD D. BLAIR  
OWNER ADDRESS: 8630 PONDEROSA SPRINGS PT  
COLORADO SPRINGS, COLORADO  
80908  
APN: 7615000004 (SCHEDULE NO.)  
RECORDED AS RECEPTION NO. 215070998

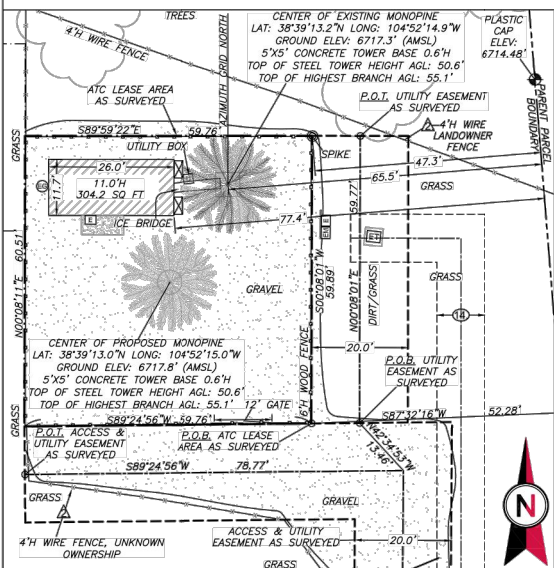
TOTAL AREAS:  
PARENT PARCEL: 37.351± ACRES (CALCULATED IN CAD)  
ATC LEASE AREA AS PROVIDED: 5,600.00 SQ FT OR 0.083± ACRES  
ATC LEASE AREA AS SURVEYED: 3,597.62 SQ FT OR 0.083± ACRES  
ACCESS & UTILITY EASEMENT AS PROVIDED:  
(UNDETERMINED DUE TO ILLEGIBLE DESCRIPTION)  
ACCESS & UTILITY EASEMENT AS SURVEYED: 9,015.34 SQ FT OR 0.207± ACRES  
UTILITY EASEMENT AS PROVIDED: (UNDETERMINED DUE TO ILLEGIBLE DESCRIPTION)  
UTILITY EASEMENT AS SURVEYED: 1,195.37 SQ FT OR 0.027± ACRES

GEOGRAPHIC COORDINATES OF EXISTING TOWER:  
LATITUDE: 38°39'13.2" N LONGITUDE: 104°52'14.9" W  
VERTICAL DATUM: NAVD 1988 HORIZONTAL DATUM: NAD83  
GROUND ELEVATION: 6717.3'

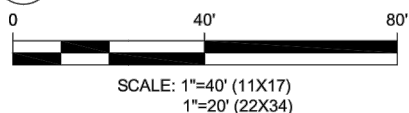
GEOGRAPHIC COORDINATES OF PROPOSED TOWER:  
LATITUDE: 38°39'13.0" N LONGITUDE: 104°52'15.0" W  
VERTICAL DATUM: NAVD 1988 HORIZONTAL DATUM: NAD83  
GROUND ELEVATION: 6717.6'



1 PARENT PARCEL



2 COMPOUND DETAIL

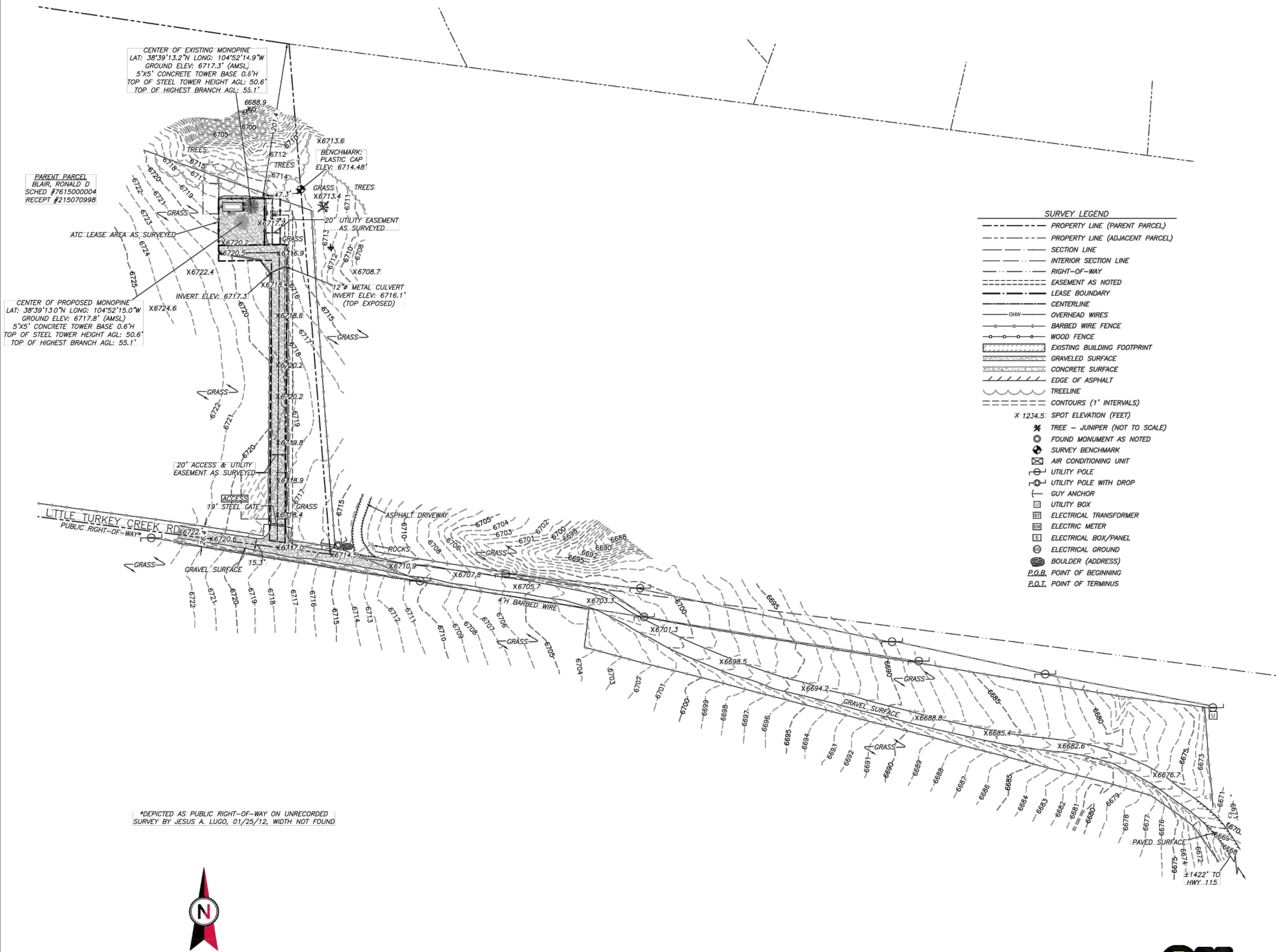


BEARINGS AND COORDINATES ARE BASED ON COLORADO STATE PLANE AT GROUND, CENTRAL ZONE, FROM GPS OBSERVATION.  
PROVIDED BEARINGS HAVE BEEN ROTATED CLOCKWISE 00°00'17" TO MATCH OBSERVED BEARINGS ALONG THE EAST LINE OF SECTION 15.

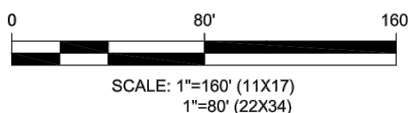
FLOODPLAIN:  
PER THE FEMA FLOODPLAIN MAPS, THE SITE IS LOCATED IN AN AREA DESIGNATED AS ZONE X, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.  
COMMUNITY PANEL NUMBER: 08041C0950G DATED: 12/07/2018

BOUNDARY NOTE  
THIS SURVEY DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE PARENT TRACT. ANY PARENT TRACT PROPERTY LINES SHOWN HEREON ARE FROM SUPPLIED INFORMATION AND MAY NOT BE FIELD VERIFIED.

ENCROACHMENT STATEMENT  
AT THE TIME OF THE SURVEY, THERE WAS VISIBLE EVIDENCE OF THE FOLLOWING ENCROACHMENTS:  
A THE ATC LEASE AREA AS PROVIDED DOES NOT PLOT IN THE LOCATION OF THE TOWER COMPOUND, WHICH WOULD BE REMEDIED BY THE ATC LEASE AREA AS SURVEYED LEGAL DESCRIPTION SHOWN HEREON.  
A A PORTION OF WIRE FENCE (UNKNOWN OWNERSHIP) AND WIRE FENCE (LANDOWNER) LIES WITHIN THE ACCESS & UTILITY EASEMENT AS SURVEYED AND UTILITY EASEMENT AS SURVEYED.



3 EXISTING CONDITIONS PLAN



- SURVEY LEGEND
- PROPERTY LINE (PARENT PARCEL)
  - PROPERTY LINE (ADJACENT PARCEL)
  - SECTION LINE
  - INTERIOR SECTION LINE
  - RIGHT-OF-WAY
  - EASEMENT AS NOTED
  - LEASE BOUNDARY
  - CENTERLINE
  - CHW
  - OVERHEAD WIRES
  - BARBED WIRE FENCE
  - WOOD FENCE
  - EXISTING BUILDING FOOTPRINT
  - GRAVELED SURFACE
  - CONCRETE SURFACE
  - EDGE OF ASPHALT
  - TREELINE
  - CONTOURS (1' INTERVALS)
  - SPOT ELEVATION (FEET)
  - X 1234.5
  - TREE - JUNIPER (NOT TO SCALE)
  - FOUND MONUMENT AS NOTED
  - SURVEY BENCHMARK
  - AIR CONDITIONING UNIT
  - UTILITY POLE
  - UTILITY POLE WITH DROP
  - GUY ANCHOR
  - UTILITY BOX
  - ELECTRICAL TRANSFORMER
  - ELECTRIC METER
  - ELECTRICAL BOX/PANEL
  - ELECTRICAL GROUND
  - BOULDER (ADDRESS)
  - P.O.B. POINT OF BEGINNING
  - P.O.T. POINT OF TERMINUS

Walt Coordinated By:  
**COX LEVIN**  
National Land Survey Consultants  
surveys@coxlevin.com  
781-640-3309 • www.coxlevin.com



Know what's below.  
Call before you dig.

PCD FILE NO. PPR-22-061



**AMERICAN TOWER**  
**ATC TOWER SERVICES, INC.**  
3500 REGENCY PARKWAY  
SUITE 100  
CARY, NC 27518  
PHONE: (919) 468-0112  
FAX: (919) 466-5415

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0	PRELIM	HH	09/19/2022
1	TITLE	HH	03/06/2023
2			

ATC SITE NUMBER:  
**211173**  
(LEGACY 419522)  
ATC SITE NAME:  
**REBUILD TURKEY CREEK CO**  
SITE ADDRESS:  
2945 LITTLE TURKEY CREEK RD  
COLORADO SPRINGS, COLORADO 80926-9615

**SURVEY CERTIFICATE:**  
THIS IS TO CERTIFY THAT ARROW SURVEY GROUP, INC., AT THE REQUEST AND FOR THE EXCLUSIVE USE OF AMERICAN TOWER CORP., HAS PERFORMED THIS AS-BUILT SURVEY OF THE ATC LEASE AREA, FROM THE RECORD SOURCES AND ACTUAL FIELD SURVEY ON 09/08/2022 IN ACCORDANCE WITH THE MINIMUM STANDARDS OF PROPERTY BOUNDARY SURVEYS. ALL LINEAR AND ANGULAR VALUES SHOWN ARE BASED UPON DEED OR RECORD INFORMATION UNLESS OTHERWISE NOTED.

DATE OF PLAT: 03/06/2023

JASON D. LEVANEN  
CO LICENSE NO. 38159



SURVEY PREPARED BY:

**Arrow**  
Survey Group, Inc.  
Sheridan, WY 82801 (307)751-7543

DRAWN BY:	HH
APPROVED BY:	JL
DATE DRAWN:	03/06/2023
ATC JOB NO:	419522

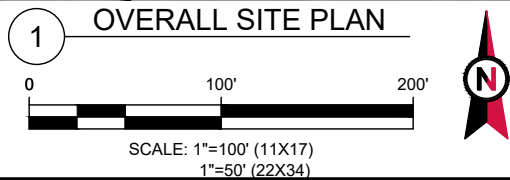
**EXISTING CONDITIONS AND TOPOGRAPHIC PLAN**

SHEET NUMBER: <b>V-103</b>	REVISION: <b>1</b>
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- LEGEND
- EXISTING PROPERTY
  - EXISTING ADJ. PROPERTY
  - EXISTING EASEMENT
  - EXISTING CONTOUR (MAJOR)
  - EXISTING CONTOUR (MINOR)
  - EXISTING TREELINE
  - EXISTING CHAINLINK FENCE
  - EXISTING BUILDING
  - EXISTING STORM DRAIN
  - EXISTING ROAD (DIRT)
  - EXISTING ROAD (STONE)
  - EXISTING ROAD (PAVED)
  - EXISTING CONCRETE
  - EXISTING LEASE AREA
  - EXISTING OVERHEAD WIRE
  - EXISTING UTILITY POLE



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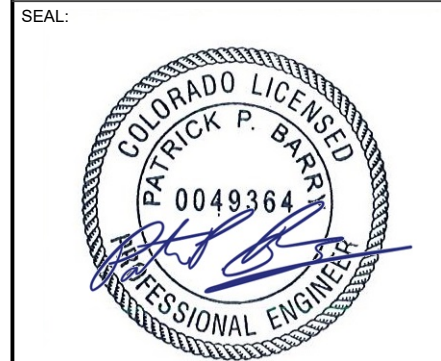
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REV.	DESCRIPTION	BY	DATE
0	FOR CONSTRUCTION	AB	04/26/23

ATC SITE NUMBER:  
**211173**

ATC SITE NAME:  
**REBUILD TURKEY CREEK CO**

SITE ADDRESS:  
2945 LITTLE TURKEY CREEK RD  
COLORADO SPRINGS, CO 80926



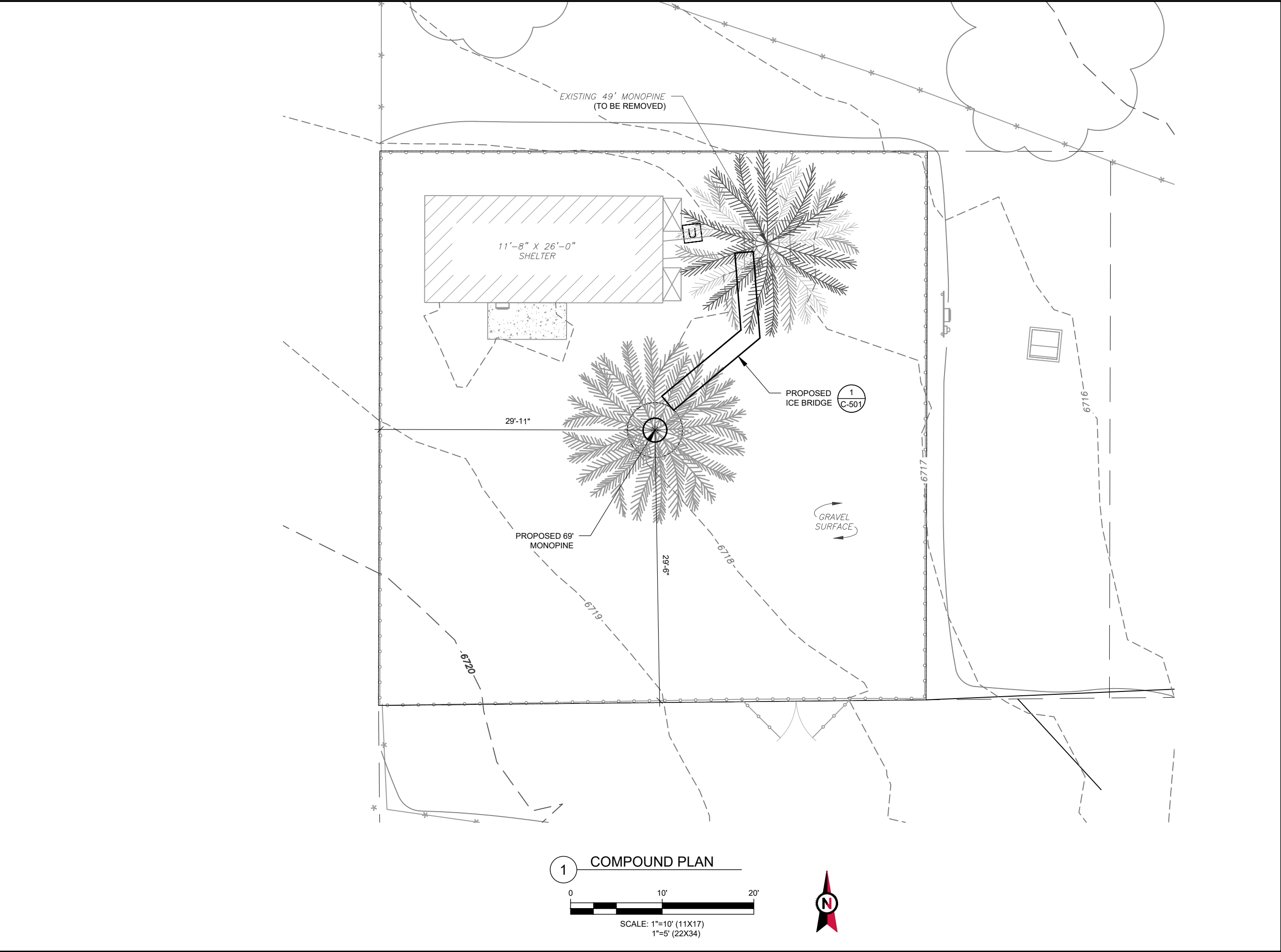
DATE DRAWN:	04/26/23
ATC JOB NO:	14141546_D4
OPS JOB NO:	13734361
ATC LEGACY #:	419522

OVERALL SITE PLAN

SHEET NUMBER:  
**C-101**

REVISION:  
**0**







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COLORADO SPRINGS, CO 80926

SEAL:



DATE DRAWN:	04/26/23
ATC JOB NO:	14141546_D4
OPS JOB NO:	13734361
ATC LEGACY #:	419522

COMPOUND PLAN

SHEET NUMBER: <b>C-401</b>	REVISION: <b>0</b>
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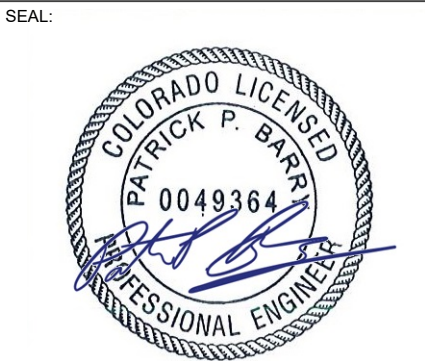
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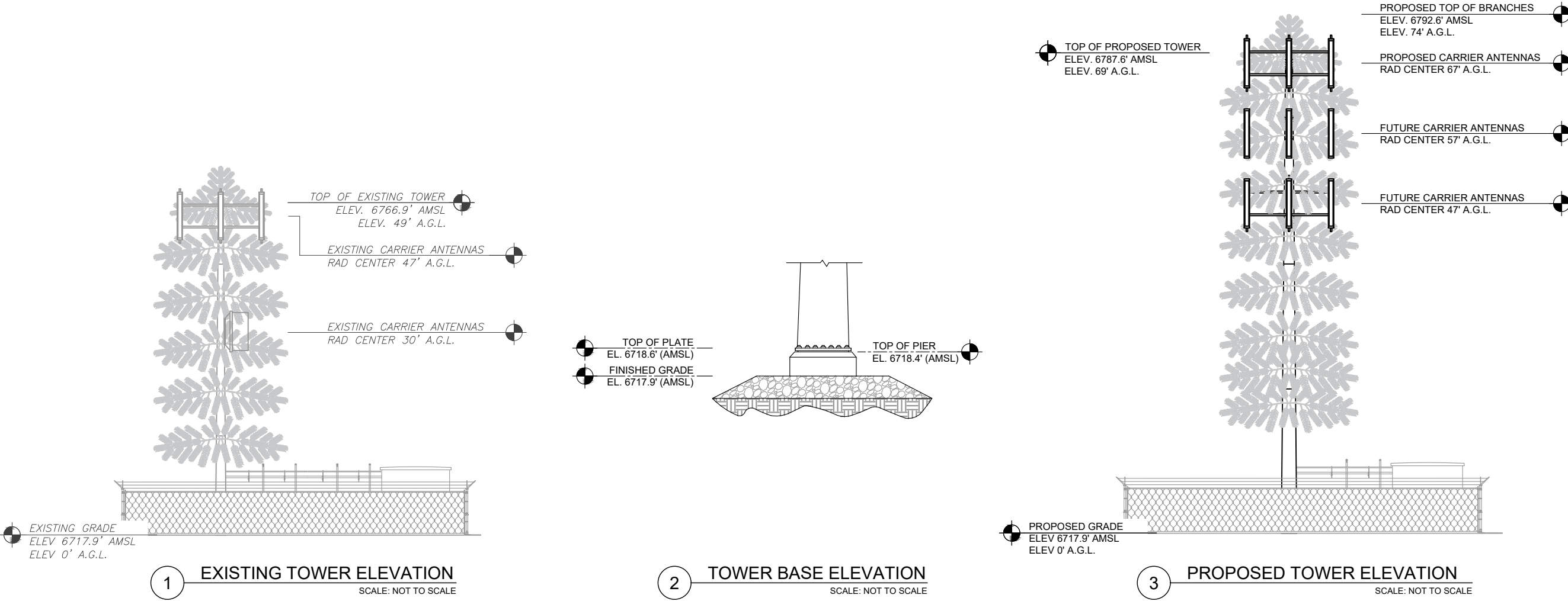
DATE DRAWN:	04/26/23
ATC JOB NO:	14141546_D4
OPS JOB NO:	13734361
ATC LEGACY #:	419522

TOWER ELEVATION

SHEET NUMBER:	REVISION:
C-402	0

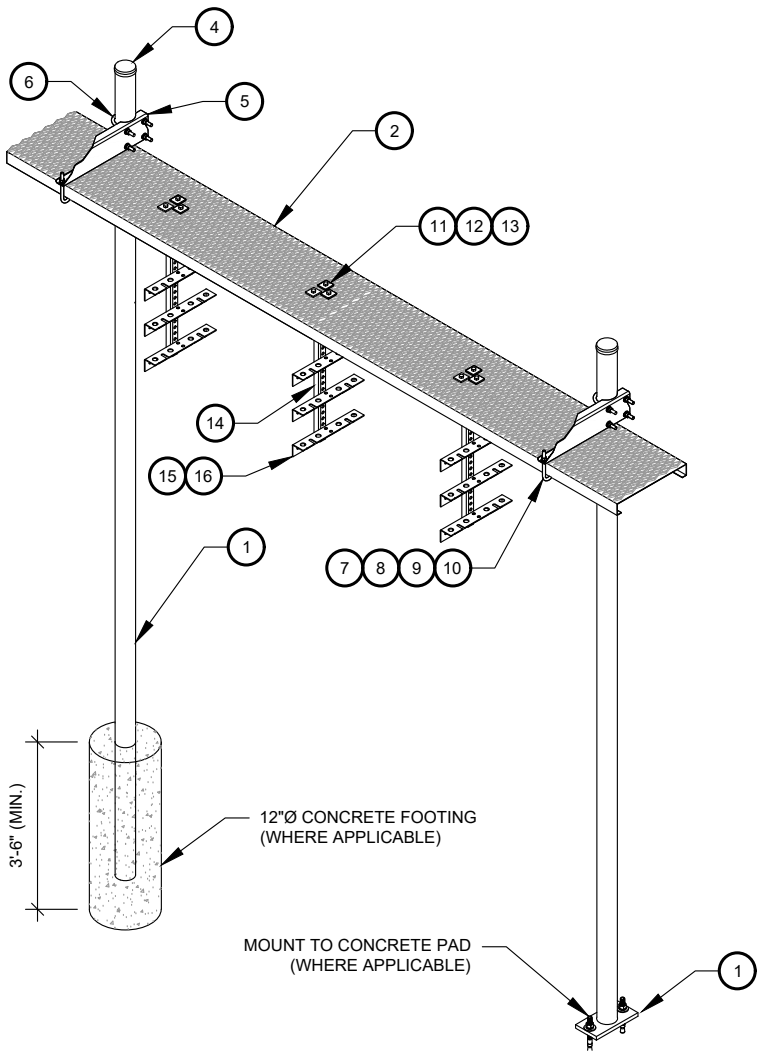
TOWER NOTE:

- NO TOWER LIGHTING IS PROPOSED. TO BE CONFIRMED BY FAA/FCC. SEE SHEET E-502 FOR DETAIL.
- CARRIER LOADING SHOWN IS FOR ILLUSTRATIVE PURPOSES ONLY AND MAY NOT REPRESENT ACTUAL FINAL LOADING. PLEASE REFER TO THE LATEST RFDS OR APPLICATION FOR CONFIRMATION.
- PROPOSED TREE SHOWN CONCEPTUALLY. REFER TO THE TOWER MANUFACTURER DRAWINGS FOR ACTUAL BRANCH COUNT/LOCATION AND FOLIAGE DENSITY.





- CONSTRUCTION NOTE:
- WHERE POSSIBLE AND AS APPLICABLE, THE CONTRACTOR SHALL UTILIZE EXISTING ICE BRIDGE, CABLE LADDER, COAX SUPPORTS, AND COAX PORTS. BEFORE UTILIZING, CONTRACTOR SHALL VERIFY THAT ALL ASPECTS OF THE COMPONENTS MEET THE ATC SPECIFICATIONS. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF NEW ICE BRIDGE, CABLE LADDER, COAX SUPPORT, AND COAX PORT, AS REQUIRED, WITH THE ATC CONSTRUCTION MANAGER.
  - INSTALL ICE BRIDGE TO ALLOW 7 FEET CLEARANCE ABOVE GRADE TO LOWEST APPURTENANCE.



WB-K210-B WAVEGUIDE BRIDGE KIT - BILL OF MATERIALS (INCLUDED WITH KIT UNLESS NOTED OTHERWISE)					
ITEM	PART NUMBER	DESCRIPTION	ITEM	PART NUMBER	DESCRIPTION
1	MF126.01 MF-130	10'-4" COLUMN & BASE SHOE* 13'-4" PIPE COLUMN	9	GWL-04	1/2" GALV LOCK WASHER
2	WB-CY210	SAFETY GRATING 24" X 10'	10	GN-04	1/2" GALV HEX NUT
3	WBK110BHK	HARDWARE KIT (ITEMS 4-16)	11	GB-03205	3/8" X 2" GALV BOLT KIT
4	PC-034	PIPE CAP 3-1/2"	12	MT-387	SQUARE WASHER, 1-1/2" X 1-1/2" W/ 7/16" HOLE
5	WBLB243.08	24" WAVEGUIDE BRIDGE SUPPORT BRACKET	13	GWF-03	3/8" GALV FLAT WASHER
6	GUB-4356	1/2" X 3-5/8" X 6" GALV U-BOLT	14	WBT243.01	VERTICAL TRAPEZE SECTION
7	WB-JB-6	1/2" J-BOLT	15	GB-03105	3/8" X 1" GALV BOLT KIT
8	GWF-04	1/2" GALV FLAT WASHER	16	WBT243.02	HORIZONTAL TRAPEZE SECTION
CONTRACTOR SHALL USE PARTS MANUFACTURED BY COMMScope OR APPROVED EQUIVALENT. *BASE SHOE NOT INCLUDED IN WB-K210-B KIT, ORDER COLUMN SEPARATELY OR KIT WB-K210-S.					

1 24" WAVEGUIDE BRIDGE KIT  
SCALE: NOT TO SCALE



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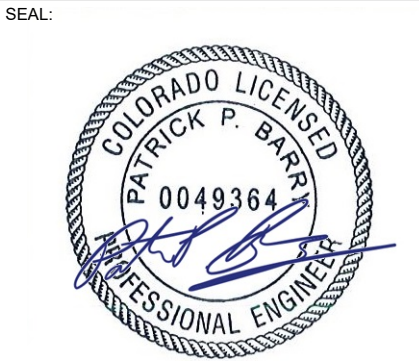
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SITE ADDRESS:  
2945 LITTLE TURKEY CREEK RD  
COLORADO SPRINGS, CO 80926



DATE DRAWN:	04/26/23
ATC JOB NO:	14141546_D4
OPS JOB NO:	13734361
ATC LEGACY #:	419522

CONSTRUCTION  
DETAILS

SHEET NUMBER:	REVISION:
C-501	0

## ATC CAUTION AND NO TRESPASSING SIGN

A "NO TRESPASSING" SIGN MUST BE POSTED A MINIMUM OF EVERY 50'.

## ATC RF WARNING AND FCC NUMBER SIGN

## FCC TOWER REGISTRATION #

### Posting of sign required by law

ATC STAND-ALONE FCC TOWER  
REGISTRATION SIGN

ATC RF PROGRAM NOTICE SIGN

### ATC SITE SIGN

REPLACEMENT OF SIGNAGE:

AS SIGNAGE BECOMES STOLEN, DAMAGED, BRITTLE OR FADED, IT SHOULD BE REPLACED WITH SIGNAGE PER THIS SPECIFICATION. ANY ACQUIRED SITE SHOULD HAVE NEW SIGNS POSTED WITHIN 60 DAYS UNLESS OTHERWISE SPECIFIED. ANY SITE SOLD SHOULD HAVE THE ATC SIGNS REMOVED WITHIN 30 DAYS UNLESS OTHERWISE SPECIFIED. ALL FCC OR REGULATORY SIGNAGE MUST BE INSTALLED OR REPLACED AS REQUIRED TO MEET OUR STANDARD. SIGNS SHOULD BE REPLACED ON NORMAL, QUARTERLY MAINTENANCE VISITS BY CONTRACTORS OR SITE MANAGERS, UNLESS OTHERWISE REQUIRED ON A CASE-BY-CASE BASIS.

NOTE:

EXTERIOR SIGNS ARE NOT PROPOSED EXCEPT AS REQUIRED BY THE FCC. ALL EXISTING SIGNAGE AND ANY FUTURE SIGNAGE WILL BE COMPLIANT WITH STATUTE 164-43.4 NO HIGH-VOLTAGE SIGNAGE IS NECESSARY. NO HIGH-VOLTAGE EQUIPMENT PRESENT.



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211173

ATC SITE NAME:

# REBUILD TURKEY CREEK CO

SITE ADDRESS:

2945 LITTLE TURKEY CREEK RD  
COLORADO SPRINGS, CO 80926

SEAL:



DATE DRAWN:	04/26/23
ATC JOB NO:	14141546_D4
OPS JOB NO:	13734361
ATC LEGACY #:	419522

## SIGNAGE

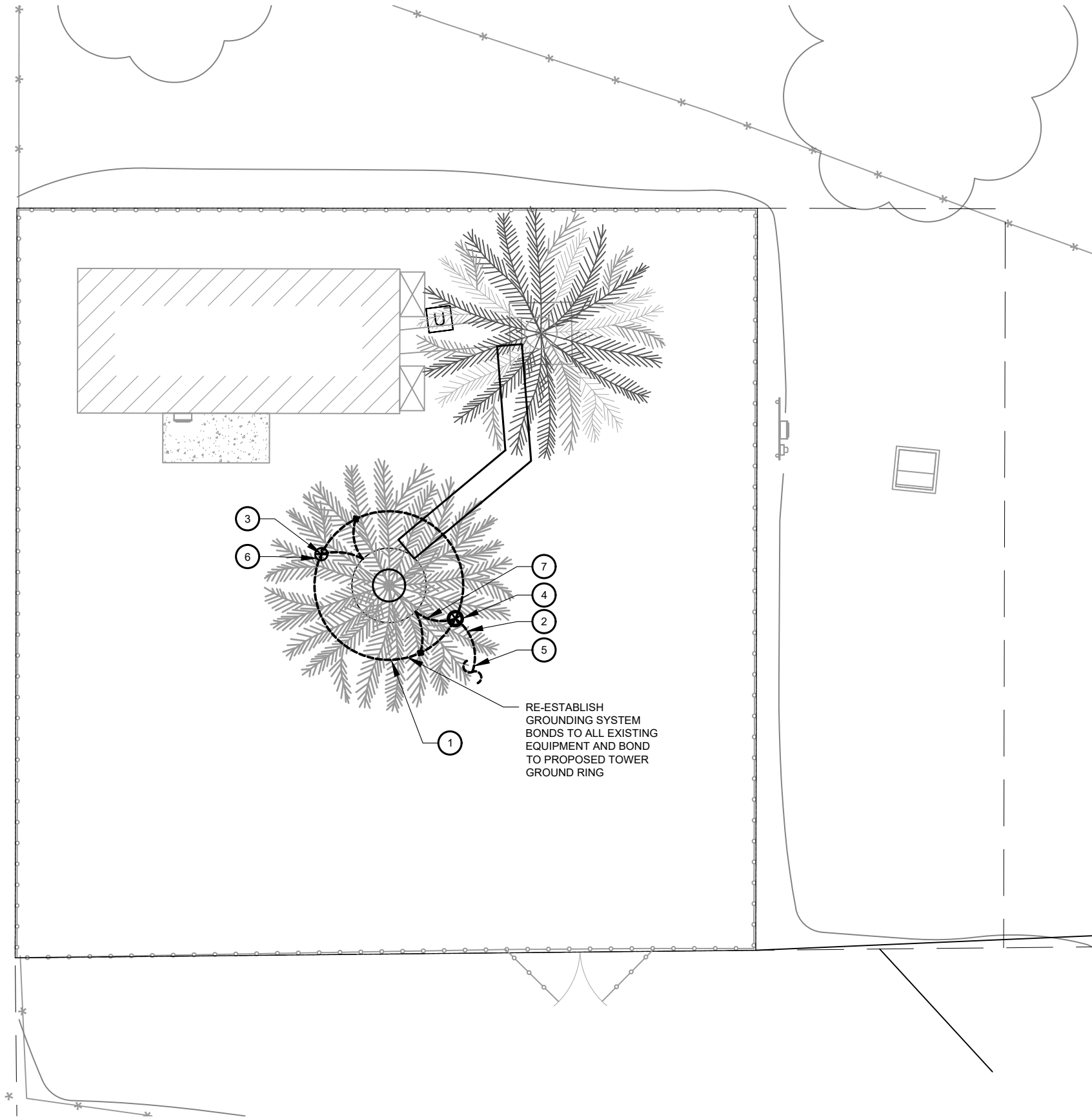
SHEET NUMBER:

C-502

REVISION:

0





1 GROUNDING PLAN

0 10' 20'

SCALE: 1"=10' (11X17)  
1"=5' (22X34)



GROUNDING PLAN NOTES:

- ALL DETAILS ARE SHOWN IN GENERAL TERMS. ACTUAL INSTALLATION AND CONSTRUCTION MAY VARY DUE TO SITE SPECIFIC CONDITIONS.
- ALL GROUND CONNECTIONS SHALL BE EXOTHERMIC WELDED. ALL WIRES SHALL BE COPPER.
- CONTRACTOR TO VERIFY AND TEST GROUND TO SOURCE. GROUNDING AND OTHER OPERATIONAL TESTING WILL BE WITNESSED BY OWNER REPRESENTATIVE.
- REFER TO ATC CONSTRUCTION SPEC AND COMPLY WITH ALL REQUIREMENTS OF GROUNDING STANDARDS.
- ELECTRICAL CONTRACTOR TO PROVIDE DETAILED DESIGN OF GROUNDING SYSTEM, AND RECEIVE APPROVAL OF DESIGN BY OWNER REPRESENTATIVE, PRIOR TO INSTALLATION OF GROUNDING SYSTEM. PHOTO DOCUMENT ALL CONNECTIONS AND GROUND RING.
- NOTIFY CONSTRUCTION MANAGER IF THERE ARE ANY DIFFICULTIES INSTALLING GROUNDING SYSTEM DUE TO SITE SOIL CONDITIONS.
- TO AVOID TOWER FOUNDATION, GROUND RODS MAY BE INSTALLED AT AN ANGLE OR TOWER GROUND RING MAY BE EXTENDED AS NEEDED.

KEYED NOTES:

- #2 AWG SBTC TOWER GROUND RING. (MIN 2 FT FROM FOUNDATION)
- #2 AWG SBTC TOWER RING RADIALS. GROUNDING RADIAL (TYP.) SEE TRENCH DETAIL 4 ON SHEET E-501. MAINTAIN DEPTH AND MINIMUM 15 FT. SEPARATION FROM OTHER RADIALS AT ENDS AND MINIMUM 5 FT. SEPARATION AT GROUNDING SYSTEMS AND BUILDING FOUNDATIONS.
- 3/4" X 10 FT GROUND ROD (TYP). SEE DETAIL 2 ON SHEET E-501
- 3/4" X 10 FT GROUND ROD WITH TEST WELL (MIN. ONE PER SITE ON TOWER GROUND RING). SEE DETAIL 5 ON SHEET E-501.
- BOND TO ELECTRICAL SERVICE AT MAIN BONDING JUMPER WITH #2 AWG SBTC. PARALLEL CONNECTION AWAY FROM TOWER. SEE DETAIL 1 ON SHEET E-501.
- SERVICE GROUND ROD SIZE MINIMUM PER NEC OR AS OTHERWISE INDICATED. PLACE MINIMUM OF 10' FROM ALL OTHER GROUND RODS.
- TOWER TO GROUND RING BONDS. SEE DETAIL 3 ON SHEET E-501.

INSTALLATION NOTES:

- INSTALL STANDARD LEVEL I DESIGN (BASE BID) WHICH INCLUDES:
  - TOWER RING, 1 GROUND ROD PER LEG, SERVICE GROUND ROD AT H-FRAME, RADIALS TO H-FRAME. ADDITIONAL WORK NECESSARY BELOW SHALL BE CONSIDERED AN ALLOWANCE.
- MEASURE GROUNDING SYSTEM RESISTANCE WITH A 3-PROBE TEST PRIOR TO BACKFILL/DEMOLITION AND PRIOR TO CONNECTION OF UTILITY POWER NEUTRAL TO THE SYSTEM.
- IF GROUNDING SYSTEM RESISTANCE IS GREATER THAN 10 OHMS COORDINATE WITH ATC ENGINEER OF RECORD.

GROUNDING PLAN LEGEND:

- |       |                 |  |                   |
|-------|-----------------|--|-------------------|
| ----- | GROUND WIRE     |  | COPPER GROUND ROD |
| ■     | EXOTHERMIC WELD |  | TEST WELL         |
| ●     | MECHANICAL WELD |  |                   |



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REV.	DESCRIPTION	BY	DATE
△	FOR CONSTRUCTION	AB	04/26/23
△			
△			
△			
△			

ATC SITE NUMBER:  
**211173**

ATC SITE NAME:  
**REBUILD TURKEY CREEK CO**

SITE ADDRESS:  
2945 LITTLE TURKEY CREEK RD  
COLORADO SPRINGS, CO 80926

SEAL:



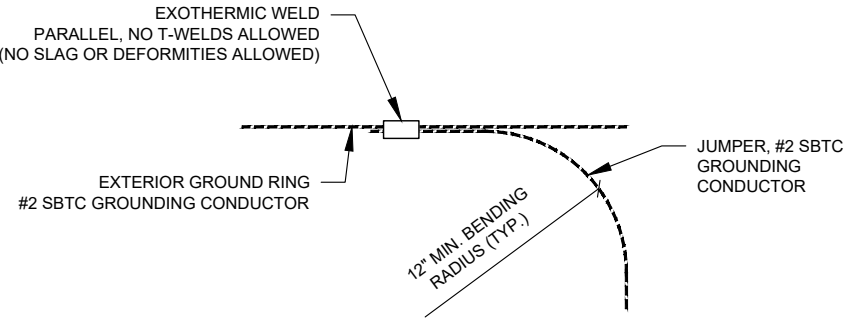
DATE DRAWN:	04/26/23
ATC JOB NO:	14141546_D4
OPS JOB NO:	13734361
ATC LEGACY #:	419522

GROUNDING LAYOUT

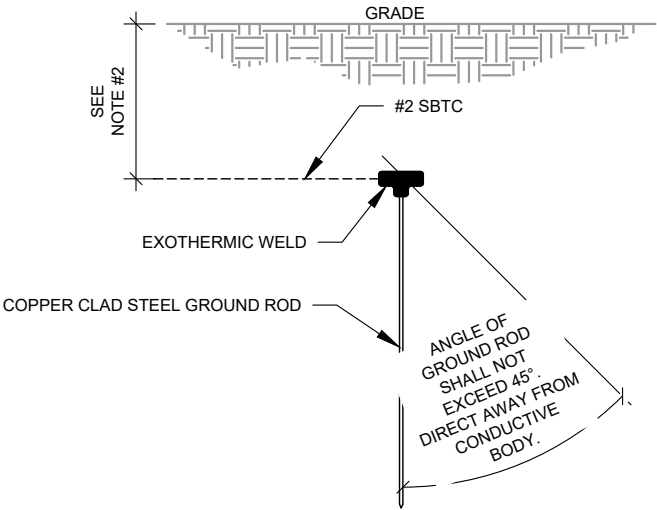
SHEET NUMBER:  
**E-401**

REVISION:  
**0**

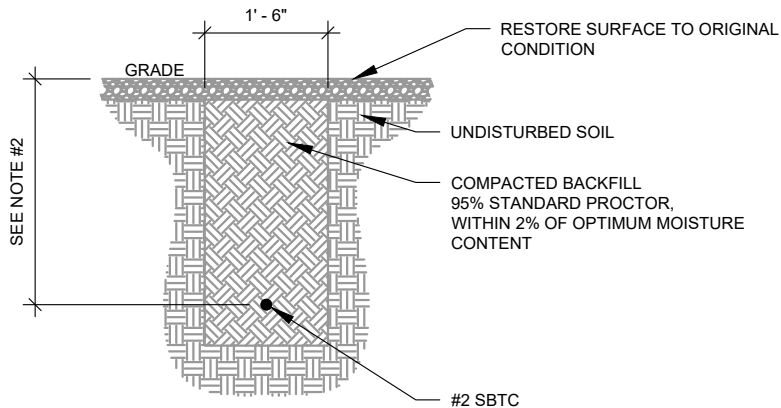
- NOTES:
1. LOCATE BEFORE DIGGING.
  2. ALL RING AND RADIAL DEPTHS AT 30" OR 6" BELOW FROST LINE, WHICHEVER IS GREATER.
  3. WELD GROUND TO FENCE AS LOW AS POSSIBLE TO DETER COPPER THEFT



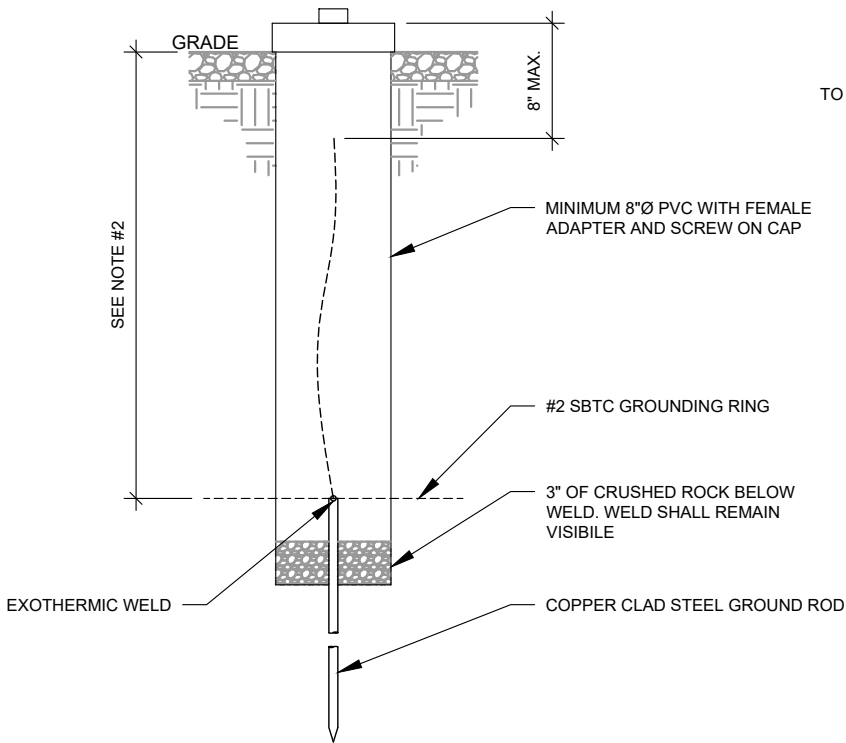
1 TIE CONNECTION DETAIL  
SCALE: N.T.S.



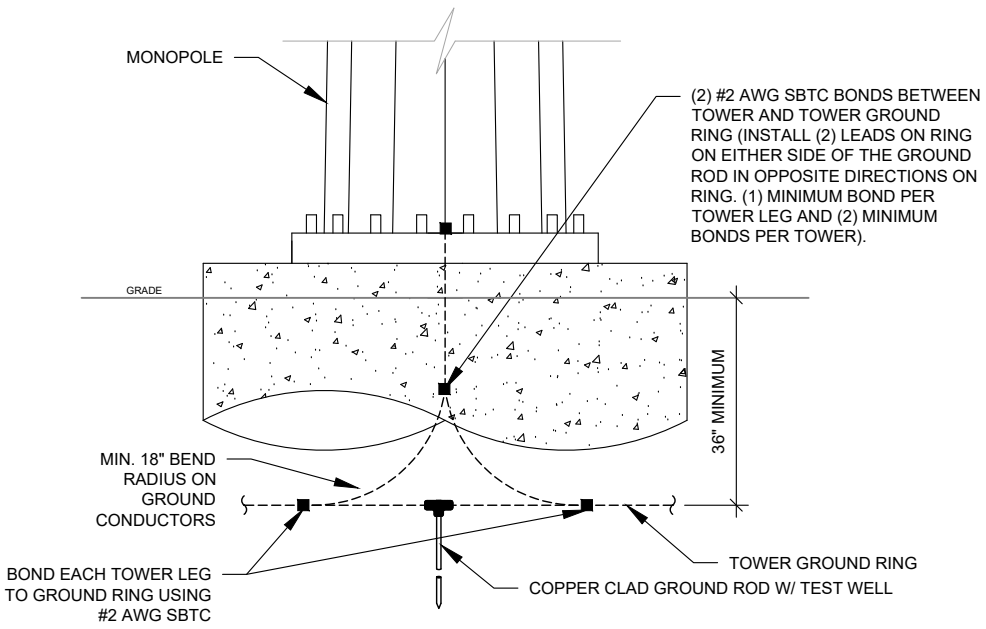
2 GROUND ROD DETAIL  
SCALE: N.T.S.



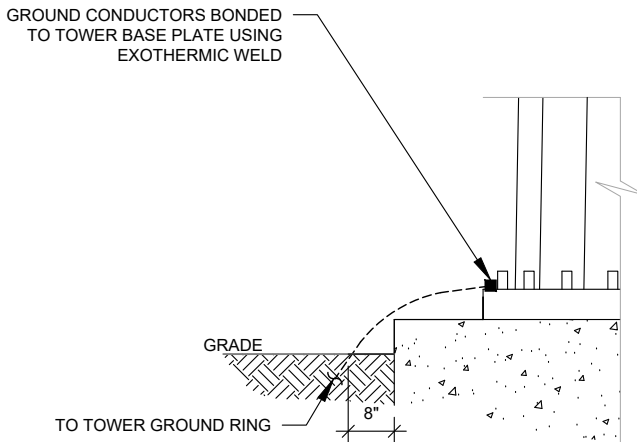
4 GROUND CONNECTION TRENCH DETAIL (STD.)  
SCALE: N.T.S.



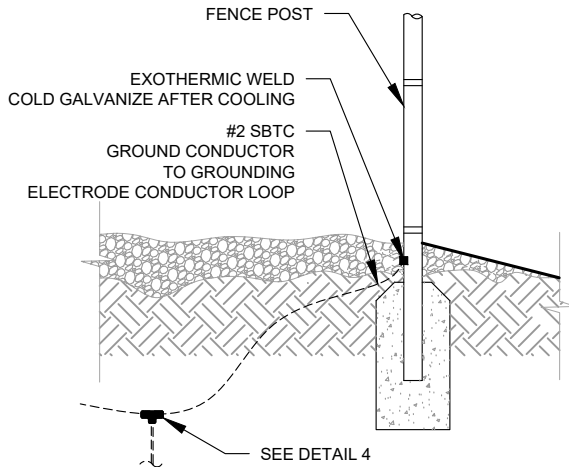
5 TEST WELL DETAIL  
SCALE: N.T.S.



3 TOWER GROUNDING (FRONT)  
SCALE: N.T.S.



6 TOWER GROUNDING (SIDE)  
SCALE: N.T.S.



7 FENCE GROUNDING DETAIL  
SCALE: N.T.S.

THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATION AS INSTRUMENTS OF SERVICE ARE THE EXCLUSIVE PROPERTY OF AMERICAN TOWER. THEIR USE AND PUBLICATION SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY ARE PREPARED. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO AMERICAN TOWER OR THE SPECIFIED CARRIER IS STRICTLY PROHIBITED. TITLE TO THESE DOCUMENTS SHALL REMAIN THE PROPERTY OF AMERICAN TOWER WHETHER OR NOT THE PROJECT IS EXECUTED. NEITHER THE ARCHITECT NOR THE ENGINEER WILL BE PROVIDING ON-SITE CONSTRUCTION REVIEW OF THIS PROJECT. CONTRACTOR(S) MUST VERIFY ALL DIMENSIONS AND ADVISE AMERICAN TOWER OF ANY DISCREPANCIES. ANY PRIOR ISSUANCE OF THIS DRAWING IS SUPERSEDED BY THE LATEST VERSION ON FILE WITH AMERICAN TOWER.

REV.	DESCRIPTION	BY	DATE
0	FOR CONSTRUCTION	AB	04/26/23
1			
2			
3			
4			

ATC SITE NUMBER:  
**211173**

ATC SITE NAME:  
**REBUILD TURKEY CREEK  
CO**

SITE ADDRESS:  
2945 LITTLE TURKEY CREEK RD  
COLORADO SPRINGS, CO 80926

SEAL:

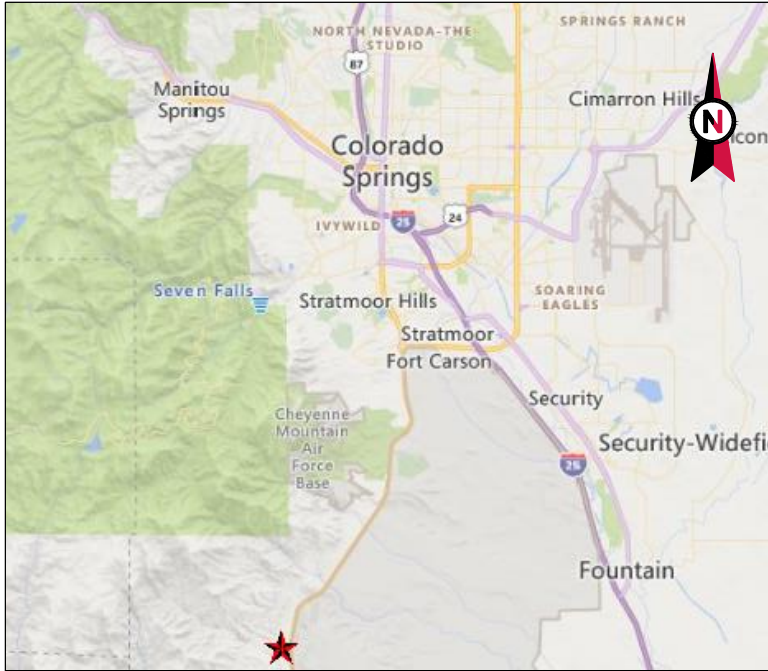


DATE DRAWN:	04/26/23
ATC JOB NO:	14141546_D4
OPS JOB NO:	13734361
ATC LEGACY #:	419522

## ELECTRICAL DETAILS

SHEET NUMBER: <b>E-501</b>	REVISION: <b>0</b>
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VICINITY MAP




AMERICAN TOWER®

SITE NAME: REBUILD TURKEY CREEK CO  
SITE NUMBER: 211173  
SITE ADDRESS: 2945 LITTLE TURKEY CREEK RD.  
COLORADO SPRINGS, CO 80926



LOCATION MAP

## DROP AND SWAP CONSTRUCTION DRAWINGS

COMPLIANCE CODE	PROJECT SUMMARY	PROJECT DESCRIPTION	SHEET INDEX					
<p>ALL WORK SHALL BE PERFORMED AND MATERIALS INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNMENT AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.</p> <p>1. INTERNATIONAL BUILDING CODE (IBC)</p> <p>2. NATIONAL ELECTRIC CODE (NEC)</p> <p>3. LOCAL BUILDING CODE</p> <p>4. CITY/COUNTY ORDINANCES</p>	<p><u>SITE ADDRESS:</u></p> <p>2945 LITTLE TURKEY CREEK RD COLORADO SPRINGS, CO 80926 COUNTY: EL PASO</p> <p><u>GEOGRAPHIC COORDINATES:</u></p> <p>LATITUDE: 38.653606°</p> <p>LONGITUDE: -104.870844°</p> <p>GROUND ELEVATION: 6707' AMSL</p> <p>PARCEL SIZE: 37.38 ACRES</p>	<p>THIS PROJECT ENTAILS THE CONSTRUCTION OF A NEW 69' TOWER AND THE REMOVAL OF THE EXISTING TOWER ONCE THE NEW TOWER IS FULLY FUNCTIONAL.</p>	SHEET NO:	DESCRIPTION:	REV:	DATE:	BY:	
			G-001	TITLE SHEET	0	04/26/23	AB	
			G-002	GENERAL NOTES	0	04/26/23	AB	
		<p>PROJECT NOTES</p>		V-101	AS-BUILT/TITLE & BOUNDARY PLAN			
				V-102	PARENT PARCEL BOUNDARY PLAN & TITLE			
		<p>1. THE FACILITY IS UNMANNED.</p> <p>2. A TECHNICIAN WILL VISIT THE SITE APPROXIMATELY ONCE A MONTH FOR ROUTINE INSPECTION AND MAINTENANCE.</p> <p>3. FACILITY WILL MEET OR EXCEEDS ALL FAA AND FCC REGULATORY REQUIREMENTS.</p> <p>4. NO SANITARY SEWER, POTABLE WATER OR TRASH DISPOSAL IS REQUIRED.</p> <p>5. HANDICAP ACCESS IS NOT REQUIRED.</p> <p>6. THE FACILITY WILL NOT GENERATE NOISE IN EXCESS OF 50db AT THE PROPERTY LINES.</p>		V-103	EXISTING CONDITIONS AND TOPOGRAPHIC PLAN			
				C-101	OVERALL SITE PLAN	0	04/26/23	AB
				C-401	COMPOUND PLAN	0	04/26/23	AB
				C-402	TOWER ELEVATION	0	04/26/23	AB
				C-501	CONSTRUCTION DETAILS	0	04/26/23	AB
C-502	SIGNAGE			0	04/26/23	AB		
E-401	GROUNDING LAYOUT			0	04/26/23	AB		
E-501	ELECTRICAL DETAILS			0	04/26/23	AB		
<p>PROJECT LOCATION DIRECTIONS</p> <p>FROM COLORADO SPRINGS:</p> <p>HEAD SOUTH TOWARD PIKES PEAK AVE. TURN RIGHT AT THE 1ST CROSS STREET ONTO PIKES PEAK AVE. TURN LEFT AT THE 1ST CROSS STREET ONTO S NEVADA AVE. CONTINUE STRAIGHT ONTO CO-115 S/S NEVADA AVE. CONTINUE TO FOLLOW CO-115 S. CONTINUE STRAIGHT TO STAY ON CO-115 S. TURN RIGHT ONTO PSO CORTO. TURN LEFT AT THE 1ST CROSS STREET ONTO CLL CORVO</p>								
SURVEY INFORMATION	PROJECT TEAM	<p><u>TOWER OWNER:</u></p> <p>AMERICAN TOWER CORPORATION 10 PRESIDENTIAL WAY WOBURN, MA 01801</p> <p><u>PROPERTY OWNER:</u></p> <p>RONALD D. BLAIR 8630 PONDEROSA SPRINGS PT. COLORADO SPRINGS, CO 80908</p> <p><u>ENGINEER:</u></p> <p>ATC TOWER SERVICES 3500 REGENCY PARKWAY SUITE 100 CARY, NC 27518</p>						
<p>1. TOPOGRAPHY OBTAINED FROM SURVEY</p> <p>2. BOUNDARY INFORMATION WAS OBTAINED FROM SURVEY PLAN DATED 09/19/22 BY ARROW SURVEY GROUP</p>								
UTILITY COMPANIES								
<p>POWER COMPANY: UNKNOWN PHONE: (UNKNOWN)</p> <p>TELEPHONE COMPANY: UNKNOWN PHONE: (UNKNOWN)</p>								
 <p>Know what's below. Call before you dig.</p>								
PCD FILE: NO. PPR-22-061								

PCD FILE: NO. PPR-22-061

**AMERICAN TOWER®**  
**ATC TOWER SERVICES, LLC**  
3500 REGENCY PARKWAY  
SUITE 100  
CARY, NC 27518  
PHONE: (919) 468-0112

THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATION AS INSTRUMENTS OR SERVICE ARE THE EXCLUSIVE PROPERTY OF AMERICAN TOWER. THEIR USE AND PUBLICATION SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY ARE PREPARED. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO AMERICAN TOWER OR THE SPECIFIED CARRIER IS STRICTLY PROHIBITED. TITLE TO THESE DOCUMENTS SHALL REMAIN THE PROPERTY OF AMERICAN TOWER WHETHER OR NOT THE PROJECT IS EXECUTED. NEITHER THE ARCHITECT NOR THE ENGINEER WILL BE PROVIDING ON-SITE CONSTRUCTION REVIEW OF THIS PROJECT. CONTRACTOR(S) MUST VERIFY ALL DIMENSIONS AND ADVISE AMERICAN TOWER OF ANY DISCREPANCIES. ANY PRIOR ISSUANCE OF THIS DRAWING IS SUPERSEDED BY THE LATEST VERSION ON FILE WITH AMERICAN TOWER.

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ATC SITE NUMBER:  
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ATC SITE NAME:  
**REBUILD TURKEY CREEK CO**

SITE ADDRESS:  
2945 LITTLE TURKEY CREEK RD  
COLORADO SPRINGS, CO 80926

SEAL:



DATE DRAWN:	04/26/23
ATC JOB NO:	14141546_D4
OPS JOB NO:	13734361
ATC LEGACY #:	419522

### TITLE SHEET

SHEET NUMBER:  
**G-001**

REVISION:  
**0**

GENERAL CONSTRUCTION NOTES:

- ALL WORK SHALL CONFORM TO ALL CURRENT APPLICABLE FEDERAL, STATE, AND LOCAL CODES, INCLUDING ANSI/EIA/TIA-222, AND COMPLY WITH ATC CONSTRUCTION SPECIFICATIONS FOR WIRELESS TOWER SITES.
- CONTRACTOR SHALL CONTACT LOCAL 811 FOR IDENTIFICATION OF UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL REQUIRED INSPECTIONS.
- ALL DIMENSIONS TO, OF, AND ON EXISTING BUILDINGS, DRAINAGE STRUCTURES, AND SITE IMPROVEMENTS SHALL BE VERIFIED IN FIELD BY CONTRACTOR WITH ALL DISCREPANCIES REPORTED TO THE ENGINEER.
- DO NOT CHANGE SIZE OR SPACING OF STRUCTURAL ELEMENTS.
- DETAILS SHOWN ARE TYPICAL; SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS UNLESS OTHERWISE NOTED.
- THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL BRACE STRUCTURES UNTIL ALL STRUCTURAL ELEMENTS NEEDED FOR STABILITY ARE INSTALLED. THESE ELEMENTS ARE AS FOLLOWS: LATERAL BRACING, ANCHOR BOLTS, ETC.
- CONTRACTOR SHALL DETERMINE EXACT LOCATION OF EXISTING UTILITIES, GROUNDS DRAINS, DRAIN PIPES, VENTS, ETC. BEFORE COMMENCING WORK.
- INCORRECTLY FABRICATED, DAMAGED, OR OTHERWISE MISFITTING OR NONCONFORMING MATERIALS OR CONDITIONS SHALL BE REPORTED TO THE ATC CM PRIOR TO REMEDIAL OR CORRECTIVE ACTION. ANY SUCH REMEDIAL ACTION SHALL REQUIRE WRITTEN APPROVAL BY THE ATC CM PRIOR TO PROCEEDING.
- EACH CONTRACTOR SHALL COOPERATE WITH THE ATC CM, AND COORDINATE HIS WORK WITH THE WORK OF OTHERS.
- CONTRACTOR SHALL REPAIR ANY DAMAGE CAUSED BY CONSTRUCTION OF THIS PROJECT TO MATCH EXISTING PRE-CONSTRUCTION CONDITIONS TO THE SATISFACTION OF THE ATC CONSTRUCTION MANAGER.
- ALL CABLE/CONDUIT ENTRY/EXIT PORTS SHALL BE WEATHERPROOFED DURING INSTALLATION USING A SILICONE SEALANT.
- WHERE EXISTING CONDITIONS DO NOT MATCH THOSE SHOWN IN THIS PLAN SET, CONTRACTOR WILL NOTIFY THE ATC CONSTRUCTION MANAGER IMMEDIATELY.
- CONTRACTOR SHALL ENSURE ALL SUBCONTRACTORS ARE PROVIDED WITH A COMPLETE AND CURRENT SET OF DRAWINGS AND SPECIFICATIONS FOR THIS PROJECT.
- ALL ROOF WORK SHALL BE DONE BY A QUALIFIED AND EXPERIENCED ROOFING CONTRACTOR IN COORDINATION WITH ANY CONTRACTOR WARRANTING THE ROOF TO ENSURE THAT THE WARRANTY IS MAINTAINED.
- CONTRACTOR SHALL REMOVE ALL RUBBISH AND DEBRIS FROM THE SITE AT THE END OF EACH DAY.
- CONTRACTOR SHALL COORDINATE WORK SCHEDULE WITH LANDLORD AND TAKE PRECAUTIONS TO MINIMIZE IMPACT AND DISRUPTION OF OTHER OCCUPANTS OF THE FACILITY.
- CONTRACTOR SHALL FURNISH ATC WITH THREE AS-BUILT SETS OF DRAWINGS UPON COMPLETION OF WORK.
- PRIOR TO SUBMISSION OF BID, CONTRACTOR SHALL COORDINATE WITH ATC CM TO DETERMINE WHAT, IF ANY, ITEMS WILL BE PROVIDED. ALL ITEMS NOT PROVIDED SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR. CONTRACTOR WILL INSTALL ALL ITEMS PROVIDED.
- PRIOR TO SUBMISSION OF BID, CONTRACTOR WILL COORDINATE WITH ATC CONSTRUCTION MANAGER TO DETERMINE IF ANY PERMITS WILL BE OBTAINED BY ATC. ALL REQUIRED PERMITS NOT OBTAINED BY ATC MUST BE OBTAINED, AND PAID FOR, BY THE CONTRACTOR.
- CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS TO ATC FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
- ALL EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND LOCATED ACCORDING TO ATC SPECIFICATIONS, AND AS SHOWN IN THESE PLANS.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- CONTRACTOR SHALL NOTIFY ATC CM A MINIMUM OF 48 HOURS IN ADVANCE OF POURING CONCRETE OR BACKFILLING ANY UNDERGROUND UTILITIES, FOUNDATIONS OR SEALING ANY WALL, FLOOR OR ROOF PENETRATIONS FOR ENGINEERING REVIEW AND APPROVAL.

EROSION AND SEDIMENTATION CONTROL PLAN NOTES:

THIS PLAN HAS BEEN DEVELOPED TO PROVIDE A STRATEGY FOR CONTROLLING SOIL EROSION AND SEDIMENTATION DURING AND AFTER CONSTRUCTION OF THE PROPOSED FACILITY. THE EQUIPMENT ANTICIPATED TO BE USED FOR THE CONSTRUCTION INCLUDES THE FOLLOWING: BACKHOES, BULLDOZERS, LOADERS, TRUCKS, CRANES, COMPACTORS, AND GRADERS. THE FOLLOWING MEASURES WILL BE UNDERTAKEN TO PROVIDE MAXIMUM PROTECTION TO THE SOIL, WATER, AND ABUTTING LANDS:

- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM AMERICAN TOWER PRIOR TO IMPLEMENTATION.
- THE LIMITS OF DISTURBANCE (LOD) SHOULD BE MARKED PRIOR TO DISTURBANCE ACTIVITIES (I.E. SURVEY STAKES, POSTS & ROPE, CONSTRUCTION FENCE, ETC.).
- A COPY OF THE SEDIMENT AND EROSION CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE DURING CONSTRUCTION UNTIL THE SITE IS STABILIZED. (AS APPLICABLE)
- PRIOR TO GRUBBING OR ANY EARTHMOVING OPERATION, SILTATION FENCE WILL BE INSTALLED ACROSS THE SLOPE ON THE CONTOUR AT THE DOWNHILL LIMIT OF THE WORK AS PROTECTION AGAINST CONSTRUCTION RELATED EROSION. (CONSULT ATC CM AS REQUIRED)
- STONE CHECK DAMS WILL BE INSTALLED IN THE DRAINAGE DITCHES TO PREVENT EROSION PRIOR TO THE STABILIZATION OF THE CHANNELS. EROSION CONTROL BLANKETS WILL ALSO BE INSTALLED IN ALL DITCHES TO BE REVEGETATED.
- PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY UNDISTURBED LAND AREA WILL BE COMPLETED WITHIN FIFTEEN CALENDAR DAYS AFTER FINAL GRADING HAS BEEN COMPLETED. WHEN IT IS NOT POSSIBLE OR PRACTICAL TO PERMANENTLY STABILIZE DISTURBED LAND, TEMPORARY EROSION CONTROL MEASURES WILL BE IMPLEMENTED WITHIN THIRTY CALENDAR DAYS OF EXPOSURE OF SOIL. ALL DISTURBED AREAS WILL BE MULCHED FOR EROSION CONTROL UPON COMPLETION OF ROUGH GRADING. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED.
- ANY EXPOSED SLOPES GREATER THAN 2:1 AND NEWLY CONSTRUCTED DRAINAGE DITCHES WILL

- BE STABILIZED WITH EROSION CONTROL BLANKET TO PREVENT EROSION DURING CONSTRUCTION AND TO FACILITATE REVEGETATION AFTER LOAMING AND SEEDING.
- TO PROVIDE PROTECTION AGAINST EROSION, RIPRAP WILL BE PLACED AT ALL CULVERT INLETS AND OUTLETS AS SHOWN ON THE ATTACHED DRAWINGS.
  - IN AREAS OF CONSTRUCTION DEWATERING, ISOLATED SETTLEMENT TRAPS WILL BE CONSTRUCTED ADJACENT TO THE ACTIVITY. WATER WILL BE PUMPED FROM THE EXCAVATIONS TO THESE DEPRESSION AREAS FOR SEDIMENT REMOVAL. ADDITIONAL SEDIMENTATION PROTECTION WILL BE PROVIDED BY THE INSTALLATION OF HAYBALE BARRIERS BETWEEN THE BASINS AND THE RECEIVING DRAINAGE COARSE.
  - NATIVE TOPSOIL SHALL BE SAVED, STOCKPILED, MULCHED, AND REUSED AS MUCH AS POSSIBLE ON THE SITE. SILTATION FENCE SHALL BE INSTALLED AT THE BASE OF STOCKPILES AT THE DOWNHILL LIMIT TO PROTECT AGAINST EROSION. STOCKPILES WILL BE STABILIZED BY SEEDING AND MULCHING UPON FORMATION OF THE PILES. UPHILL OF THE STOCKPILES, STABILIZED DITCHES AND/OR BERMS WILL BE CONSTRUCTED TO DIVERT STORMWATER RUNOFF AWAY FROM THE PILES.
  - FINAL SEEDING WILL BE APPLIED IN ACCORDANCE WITH THE AMERICAN TOWER CORPORATION CONSTRUCTION SPECIFICATION.
  - SHOULD CONSTRUCTION OCCUR AFTER NOVEMBER 15, ADDITIONAL EROSION CONTROL METHODS WILL BE IMPLEMENTED. ALL DISTURBED AREAS WILL BE MINIMIZED AS MUCH AS POSSIBLE. PRIOR TO FREEZING, ADDITIONAL EROSION CONTROL DEVICES WILL BE INSTALLED AS APPROPRIATE INSPECTION OF THESE EROSION CONTROL ITEMS WILL BE CONSTANT, WITH PARTICULAR ATTENTION PAID TO WEATHER PREDICTIONS TO ENSURE THAT THESE MEASURES ARE PROPERLY IN PLACE TO HANDLE LARGE AMOUNTS OF RUNOFF FROM HEAVY RAINS OR THAWS.
  - FOR AN EARTH DISTURBANCE ACTIVITY OR ANY STAGE OR PHASE OF AN ACTIVITY TO BE CONSIDERED PERMANENTLY STABILIZED, THE DISTURBED AREAS SHALL BE COVERED BY A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.
  - THE CONTRACTOR WILL REGULARLY INSPECT THE PROJECT'S EROSION AND SEDIMENTATION CONTROLS DURING THE ENTIRE ACTIVE CONSTRUCTION STAGES. THE INSPECTIONS WILL BE PERFORMED WEEKLY AND AFTER ALL RUNOFF EVENTS. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE INSTALLATION, OPERATION, MAINTENANCE, AND REMOVAL OF ALL EROSION AND SEDIMENTATION CONTROLS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENETTING MUST BE PERFORMED IMMEDIATELY. SEDIMENT THAT HAS BEEN TRAPPED BY THE SILT BARRIER WILL BE REMOVED AS REQUIRED, AND IN ALL CASES, BEFORE THE ACCUMULATION HAS REACHED HALF THE HEIGHT OF THE FENCE. THE SILT BARRIER WILL BE RE-ANCHORED, REPAIRED, OR REPLACED AS NECESSARY. ALL OTHER CONTROLS WILL BE INSPECTED ON THE SAME SCHEDULE. IF EROSION AND SEDIMENT CONTROL BMP'S FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMP'S, OR MODIFICATION OF THOSE INSTALLED WILL BE REQUIRED.
  - ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
  - ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
  - FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
  - SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE AMERICAN TOWER CORPORATION CONSTRUCTION SPECIFICATION AND/OR THE CONTRACTOR SHALL NOTIFY THE ATC CONSTRUCTION MANAGER.
  - SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEEPED INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.

CONSTRUCTION SEQUENCE:

- CONSTRUCT PROPOSED TOWER PER TOWER MANUFACTURER'S SPECIFICATIONS.
- INSTALL ANY REQUIRED ICE BRIDGES PER ATC SPECIFICATIONS.
- DECONSTRUCT EXISTING TOWER ONLY ONCE THE PROPOSED TOWER IS ERECTED AND IN FULL WORKING CONDITION.
- IF CONSTRUCTION IS TERMINATED OR SUSPENDED PRIOR TO CONSTRUCTION COMPLETION, ALL EXPOSED SOIL AREAS SHALL BE SEEDED WITH TEMPORARY SEEDING AND MULCHED IMMEDIATELY.

CONCRETE AND REINFORCING STEEL NOTES:

- DESIGN AND CONSTRUCTION OF ALL CONCRETE ELEMENTS SHALL CONFORM TO THE LATEST EDITIONS OF ALL APPLICABLE CODES INCLUDING: ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS", AND ACI 318 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE".
- MIX DESIGN SHALL BE APPROVED BY OWNER'S REPRESENTATIVE AND SUBMITTED TO ENGINEER PRIOR TO PLACING CONCRETE.
- CONCRETE SHALL BE NORMAL WEIGHT, 6 % AIR ENTRAINED (+/- 1.5%) WITH A MAXIMUM 4" SLUMP AND HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4500 PSI UNLESS OTHERWISE NOTED.
- THE FOLLOWING MATERIALS SHALL BE USED:

PORTLAND CEMENT:ASTM C-150, TYPE 1 OR 2

REINFORCEMENT:ASTM A-185, PLAIN STEEL WELDED WIRE FABRIC

REINFORCEMENT BARS:ASTM A615, GRADE 60, DEFORMED

NORMAL WEIGHT AGGREGATE:ASTM C-33

WATER:DRINKABLE

ADMIXTURES:NON-CHLORIDE CONTAINING
- MINIMUM CONCRETE COVER FOR REINFORCING STEEL SHALL BE AS FOLLOWS (UNLESS OTHERWISE NOTED):

A. CONCRETE CAST AGAINST EARTH: 3"

B. ALL OTHER CONCRETE: 2"
- A 3/4" CHAMFER SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE IN ACCORDANCE WITH ACI 301 SECTION 4.2.4, UNLESS NOTED OTHERWISE.
- INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHOR SHALL BE PER MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL, OR ROD SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR ATC CM APPROVAL WHEN DRILLING HOLES IN CONCRETE.
- ADMIXTURES SHALL CONFORM TO THE APPROPRIATE ASTM STANDARD AS REFERENCED IN ACI 301.
- DO NOT WELD OR TACK WELD REINFORCING STEEL.
- ALL DOWELS, ANCHOR BOLTS, EMBEDDED STEEL, ELECTRICAL CONDUITS, PIPE SLEEVES, GROUNDS AND ALL OTHER EMBEDDED ITEMS AND FORMED DETAILS SHALL BE IN PLACE BEFORE START OF CONCRETE PLACEMENT.
- REINFORCEMENT SHALL BE COLD BENT WHENEVER BENDING IS REQUIRED.
- DO NOT PLACE CONCRETE IN WATER, ICE, OR ON FROZEN GROUND.
- DO NOT ALLOW REINFORCEMENT, CONCRETE OR SUBBASE TO FREEZE DURING CONCRETE CURING AND SETTING PERIOD, OR FOR A MINIMUM OF 3 DAYS AFTER PLACEMENT.
- FOR COLD-WEATHER AND HOT-WEATHER CONCRETE PLACEMENT, CONFORM TO APPLICABLE ACI CODES AND RECOMMENDATIONS. IN EITHER CASE, MATERIALS CONTAINING CHLORIDE, CALCIUM, SALTS, ETC. SHALL NOT BE USED. PROTECT FRESH CONCRETE FROM WEATHER FOR 7 DAYS, MINIMUM.
- CONCRETE SHALL BE RUBBED TO A ROUGH GROUT FINISH. PADS SHALL BE SEALED BY STEEL TROWEL.
- UNLESS OTHERWISE NOTED:

A. ALL REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A615, GRADE 60.

B. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.
- SPLICING OF REINFORCEMENT IS PERMITTED ONLY AT LOCATIONS SHOWN IN THE CONTRACT DRAWINGS OR AS ACCEPTED BY THE ENGINEER. UNLESS OTHERWISE SHOWN OR NOTED REINFORCING STEEL SHALL BE SPLICED TO DEVELOP ITS FULL TENSILE CAPACITY (CLASS A) IN ACCORDANCE WITH ACI 318.
- REINFORCING BAR DEVELOPMENT LENGTHS, AS COMPUTED IN ACCORDANCE WITH ACI 318, FORM THE BASIS FOR BAR EMBEDMENT LENGTHS AND BAR SPLICED LENGTHS SHOWN IN THE DRAWINGS. APPLY APPROPRIATE MODIFICATION FACTORS FOR TOP STEEL, BAR SPACING, COVER AND THE LIKE.
- DETAILING OF REINFORCING STEEL SHALL CONFORM TO "ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" (ACI 315).
- ALL SLAB CONSTRUCTION SHALL BE CAST MONOLITHICALLY WITHOUT HORIZONTAL CONSTRUCTION JOINTS, UNLESS SHOWN IN THE CONTRACT DRAWINGS.
- LOCATION OF ALL CONSTRUCTION JOINTS ARE SUBJECT TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, CONFORMANCE WITH ACI 318, AND ACCEPTANCE OF THE ENGINEER. DRAWINGS SHOWING LOCATION OF DETAILS OF THE PROPOSED CONSTRUCTION JOINTS SHALL BE SUBMITTED WITH REINFORCING STEEL PLACEMENT DRAWINGS
- SPLICES OF WWF, AT ALL SPLICED EDGES, SHALL BE SUCH THAT THE OVERLAP MEASURED BETWEEN OUTERMOST CROSS WIRES OF EACH FABRIC SHEET IS NOT LESS THAN THE SPACING OF THE CROSS WIRE PLUS 2 INCHES, NOR LESS THAN 8".
- BAR SUPPORTS SHALL BE ALL-GALVINIZED METAL WITH PLASTIC TIPS.
- ALL REINFORCEMENT SHALL BE SECURELY TIED IN PLACE TO PREVENT DISPLACEMENT BY CONSTRUCTION TRAFFIC OR CONCRETE. TIE WIRE SHALL BE 16 GAUGE CONFORMING TO ASTM A82
- SLAB ON GROUND

A. COMPACT STRUCTURAL FILL TO 95% DENSITY AND THEN PLACE 6" GRAVEL BENEATH SLAB.

B. PROVIDE VAPOR BARRIER BENEATH SLAB ON GROUND.

GENERAL FOUNDATION NOTES:

(APPLICABLE FOR EQUIPMENT SHELTER ONLY)

- THOROUGHLY COMPACT BOTTOM OF EXCAVATIONS PRIOR TO PLACING RIGID INSULATION BARRIER. BACKFILL AND COMPACTION PROCEDURES SHALL BE DONE PER INDUSTRY STANDARDS.
- ALL REINFORCING STEEL SHALL BE ASTM A615 - GRADE 60. SECURE REINFORCING IN PLACE TO PREVENT MOVEMENT DURING CONCRETE PLACEMENT.
- VERIFY DETAILS AND DIMENSIONS WITH SHELTER DRAWINGS. NOTIFY ATC CM OF ANY DISCREPANCIES.
- INSULATION BARRIER PROVIDED IS FOR FROST PROTECTION IN LIEU OF STANDARD FOUNDATIONS WITH BEARING AT CODE REQUIRED FROST DEPTH.
- SHELTER MUST BE ANCHORED TO ITS FOUNDATION. ANCHOR IN ACCORDANCE WITH SHELTER MANUFACTURER SPECIFICATIONS.



THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATION AS INSTRUMENTS OR SERVICE ARE THE EXCLUSIVE PROPERTY OF AMERICAN TOWER. THEIR USE AND PUBLICATION SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY ARE PREPARED. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO AMERICAN TOWER OR THE SPECIFIED CARRIER IS STRICTLY PROHIBITED. TITLE TO THESE DOCUMENTS SHALL REMAIN THE PROPERTY OF AMERICAN TOWER WHETHER OR NOT THE PROJECT IS EXECUTED. NEITHER THE ARCHITECT NOR THE ENGINEER WILL BE PROVIDING ON-SITE CONSTRUCTION REVIEW OF THIS PROJECT. CONTRACTOR(S) MUST VERIFY ALL DIMENSIONS AND ADVISE AMERICAN TOWER OF ANY DISCREPANCIES. ANY PRIOR ISSUANCE OF THIS DRAWING IS SUPERSEDED BY THE LATEST VERSION ON FILE WITH AMERICAN TOWER.

REV.	DESCRIPTION	BY	DATE
	FOR CONSTRUCTION	AB	04/26/23

ATC SITE NUMBER:  
**211173**

ATC SITE NAME:  
**REBUILD TURKEY CREEK CO**

SITE ADDRESS:  
2945 LITTLE TURKEY CREEK RD  
COLORADO SPRINGS, CO 80926

SEAL:



DATE DRAWN:	04/26/23
ATC JOB NO:	14141546_D4
OPS JOB NO:	13734361
ATC LEGACY #:	419522

GENERAL NOTES

SHEET NUMBER: <b>G-002</b>	REVISION: <b>0</b>
-------------------------------	-----------------------



### SURVEYOR'S NOTES

**ENCROACHMENT STATEMENT**  
AT THE TIME OF THE SURVEY, THERE WAS VISIBLE EVIDENCE OF THE FOLLOWING ENCROACHMENTS:

**Δ** THE ATC LEASE AREA AS PROVIDED DOES NOT PLOT IN THE LOCATION OF THE TOWER COMPOUND, WHICH WOULD BE REMEDIED BY THE ATC LEASE AREA AS SURVEYED LEGAL DESCRIPTION SHOWN HEREON.

**Δ** A PORTION OF WIRE FENCE (UNKNOWN OWNERSHIP) AND WIRE FENCE (LANDOWNER) LIES WITHIN THE ACCESS & UTILITY EASEMENT AS SURVEYED AND UTILITY EASEMENT AS SURVEYED.

**ZONING INFORMATION**

ZONED "A-5" AGRICULTURAL, PER EL PASO COUNTY ONLINE INFORMATION.  
FOR ADDITIONAL ZONING INFORMATION CONTACT:  
EL PASO COUNTY PLANNING & COMMUNITY DEVELOPMENT  
2880 INTERNATIONAL CIRCLE, SUITE 110  
COLORADO SPRINGS, COLORADO 80910  
(719) 520-6300

**TITLE COMMITMENT LEGAL DESCRIPTION - PARENT PARCEL:**

THE REAL PROPERTY, TOGETHER WITH THE FIXTURES AND IMPROVEMENTS LOCATED THEREON, IF ANY, SITUATE, LYING AND BEING IN THE COUNTY OF EL PASO AND STATE OF COLORADO, DESCRIBED AS FOLLOWS:

THE QUARTER OF THE NORTH HALF OF THE SOUTHEAST QUARTER EXCEPT THE EASTERLY 1320 FEET AND THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 16 TOWNSHIP 16 SOUTH RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 15 TOWNSHIP 16 SOUTH RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN; THENCE NORTH 88 DEGREES 14 MINUTES 00 SECONDS WEST 414.00 FEET TO A POINT ON AN ASSUMED BEARING ON THE NORTHWEST QUARTER OF SECTION 15 TOWNSHIP 16 SOUTH RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN; THENCE NORTH 88 DEGREES 34 MINUTES 00 SECONDS WEST 813.95 FEET TO THE WEST LINE OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER THENCE ON SAID WEST LINE NORTH 10 DEGREES 42 MINUTES 03 SECONDS WEST 150.00 FEET TO THE NORTHWEST CORNER OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER THENCE ON SAID NORTH LINE NORTH 88 DEGREES 15 MINUTES 56 SECONDS EAST 691.79 FEET TO THE POINT OF BEGINNING EL PASO COUNTY COLORADO QUARTER OF EL PASO STATE OF COLORADO.

LEGAL CASE NO. 17-01600024

THIS BEING THE SAME PROPERTY CONVEYED TO RONALD D. BLAIR BY A DEED FROM ROSEMARIE S. BLAIR TRUSTEY, ANDREA JOHNSON TRUSTEE DATED 6/22/2015 AND RECORDED 7/06/2015 IN INSTRUMENT 2015070998 IN THE COUNTY OF EL PASO, STATE OF COLORADO.

ATC LEASE AREA - AS PROVIDED (PER MEMORANDUM OF LEASE RECORDED 01/19/2016 AS INSTRUMENT NO 216004983);  
BEING A LEASE AREA WITHIN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 15, TOWNSHIP 16 SOUTH, RANGE 67 WEST OF THE 6TH P.M., COUNTY OF  
EL PASO, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 15; THENCE ALONG THE EAST LINE OF SAID SECTION N40°38'08"W, 1706.72 FEET; THENCE  
S85°21'10"W, 1336.57 FEET TO A POINT OF BEGINNING; THENCE S00°00'00"W, 20.93 FEET TO A POINT HEREINAFTER REFERRED TO AS POINT "A"; THENCE  
CONTINUING S00°00'00"W, 39.07 FEET; THENCE N89°00'00"W, 60.00 FEET TO A POINT HEREINAFTER REFERRED TO AS POINT "B"; THENCE N00°00'00"E, 60.00  
FEET; THENCE S00°00'00"E, 60.00 FEET TO THE POINT OF BEGINNING.  
CONTAINING 3500 SQ FT OR 0.062 ACRES MORE OR LESS.  
(THE ATC LEASE AREA AS PROVIDED MAY CONTAIN A TYPOGRAPHICAL ERROR THAT RESULTS IN ITS PLOTTED LOCATION.)

**ATC PARCELA AREA - AS SURVEYED:**  
A TACSE OF LAND LOCATED WITHIN THE SOUTHEAST QUARTER (NE1/4 SE1/4) OF SECTION 15, TOWNSHIP 16 SOUTH, RANGE 67 WEST OF THE 6TH P.M., BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 15; THENCE N43°33'10"W, 2062.82 FEET TO THE SOUTHEAST CORNER OF THE PROPERTY DESCRIBED IN QUIT CLAIM DEED DATED MAY 08, 2003 AND RECORDED JUNE 08, 2003 IN INSTRUMENT NO. 23123705, DEPICTED ON EL PASO COUNTY PLAT 72; THENCE N04°58'25"W, 1000.08 FEET TO THE SOUTHWEST CORNER OF SAID SECTION 15; THENCE S89°52'22"E, 60.51 FEET ALONG A LINE PERPENDICULAR TO SAID EAST LINE, 52.28 FEET TO THE POINT OF BEGINNING; THENCE S89°24'56"W, 59.76 FEET; THENCE N00°08'11"E, 60.51 FEET; THENCE S89°52'22"E, 59.76 FEET; THENCE S00°08'01"W, 59.89 FEET TO THE POINT OF BEGINNING.  
CONTAINING A TOTAL CALCULATED AREA OF 3,597.62 SQUARE FEET OR 0.083 ACRES, MORE OR LESS.

ACCESS EASEMENT - AS PROVIDED (PER AN UNRECORDED FIRST AMENDMENT TO LAND LEASE AGREEMENT DATED FEBRUARY 12, 2012); BEING A STRIP OF LAND 20.00 FEET IN WIDTH WITHIN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 15, TOWNSHIP 16 SOUTH, RANGE 67 WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO, LYING 0.00 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE: COMMENCING AT POINT "B" AS DESCRIBED ABOVE; THENCE S90°00'00"W, 10.00 FEET TO THE POINT OF BEGINNING; THENCE S90°00'00"E, 78.43 FEET; THENCE S00°00'00"W, 381.42 FEET TO THE NORTH RIGHT OF WAY LINE OF LITTLE TURKEY CREEK ROAD AND END OF SAID STRIP OF LAND. SIDELINES OF SAID STRIPS OF LAND ARE TO BE LENGTHENED AND/OR SHORTENED TO PREVENT GAPS AND/OR OVERLAPS. (THIS EASEMENT IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY, BECAUSE IT COMMENCES AT A POINT IN THE PROVIDED, ERRONEOUS ATC LEASE AREA DESCRIPTION.)

**ACCESS & UTILITY EASEMENT -AS SURVEYED-**

A 20' WIDE STRIP OF LAND LOCATED WITHIN THE SOUTHEAST QUARTER (NE14 SE14) OF SECTION 15, TOWNSHIP 16 SOUTH, RANGE 67 WEST OF THE 4TH PA. N. 10" TO 16" ON EXEMPT OF THE FOLLOWING DESCRIBED CENTLINE

COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 15; THENCE N43°33'10"W, 2082.82 FEET TO THE SOUTHEAST CORNER OF THE PROPERTY DESCRIBED IN QUIT CLAIM DEED DATED MAY 28, 2003 AND RECORDED JUNE 03, 2003 IN INSTRUMENT NO. 203123705, DEPICTED ON EL PASO COUNTY PLAT 19-100, HEREINAFTER REFERRED TO AS "THE ADJACENT TRACT"; THENCE S89°24'56"W, 37.20 FEET; THENCE S89°24'56"W, 78.77 FEET TO THE PERPENDICULAR TO SAID SOUTH LINE, 7.44 FEET TO THE POINT OF BEGINNING; THENCE N00°24'47"E, 37.20 FEET; THENCE S89°24'56"W, 78.77 FEET TO THE CONTAINING A TOTAL CALCULATED AREA OF 9,015.34 SQUARE FEET OR 0.207 ACRES, MORE OR LESS.

(NOTE: DOCUMENTATION WAS NOT PROVIDED TO DETERMINE RIGHT-OF-WAY WIDTH FOR LITTLE TURKEY CREEK ROAD; THEREFORE, THE EASEMENT IS ASSUMED TO BE THE EXISTING ROAD. LITTLE TURKEY CREEK ROAD IS DEPICTED AS PUBLIC RIGHT-OF-WAY ON AN UNRECORDED SURVEY PERFORMED BY JESUS A. LUGO, DATED 2012)

UTILITY EASEMENT - AS PROVIDED (PER AN UNRECORDED FIRST AMENDMENT TO LAND LEASE AGREEMENT DATED FEBRUARY 12, 2012); BEING TWO STRIPS OF LAND 10.00 FEET IN WIDTH WITHIN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 15, TOWNSHIP 16 SOUTH, RANGE 87 WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO, LYING 2.50 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINES:

STRIP ONE  
BEGINNING AT POINT "A" AS DESCRIBED ABOVE; THENCE (ILLEGAL), 23.43 FEET; THENCE 800°00'00"N, 416.92 FEET TO A POINT HEREINAFTER REFERRED TO AS POINT "C"; THENCE CONTINUING 800°00'00"N, 14.23 FEET TO THE END OF SAID STRIP OF LAND.

(STRIP TWO)  
BEGINNING AT POINT "C" AS DESCRIBED ABOVE; THENCE S89°39'35"E, 50.84 FEET TO THE END OF SAID STRIP OF LAND.

(NOTE: THIS LEGAL DESCRIPTION IS PROVIDED ON A SURVEY ATTACHED TO THE REFERENCED AGREEMENT, AND IS A POOR COPY, THIS RENDERING MAY CONTAIN ERRORS, AND IS DEPENDENT ON THE PREVIOUS PROVIDED ATC LEASE AREA AND ACCESS EASEMENT DESCRIPTIONS.)

**UTILITY EASEMENT - AS SURVEYED:**

A 20 FOOT WIDE STRIP OF LAND LOCATED WITHIN THE SOUTHEAST QUARTER (NE1/4 SE1/4) OF SECTION 15, TOWNSHIP 16 SOUTH, RANGE 67 WEST OF THE 6TH PM, LYING 10 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 15; THENCE N45°33'10"W, 2082.82 FEET TO THE SOUTHEAST CORNER OF THE PROPERTY DESCRIBED IN QUIT CLAIM DEED DATED MAY 28, 2003 AND RECORDED JUNE 09, 2003 IN INSTRUMENT NO. 203123705, DEPICTED ON EL PASO COUNTY PLAT 100-100, BEARING S45°33'10"E, 2082.82 FEET TO A POINT OF BEGINNING, THENCE N00°24'47"E, 372.00 FEET; THENCE N42°33'53"W, 15.46 FEET TO THE POINT OF BEGINNING, THENCE N00°08'11"E, 59.77 FEET TO THE POINT OF TERMINUS.

CONTAINING A TOTAL CALCULATED AREA OF 1,195.37 SQUARE FEET OR 0.027 ACRES, MORE OR LESS.

The left map shows the site location relative to local roads and landmarks. The site is located on the east side of Little Turkey Creek Rd, south of the intersection with Vietnam Veterans Memorial Hwy. The site is marked with a red square and labeled 'SITE LOCATION'. A red arrow points from the site to the 'ACCESS ROAD' label. Other roads shown include PSO Corto, Corvo, and Highway 78. Landmarks include 'BAGGETT MANOR VIEW' and 'PAR 3 HTS'.

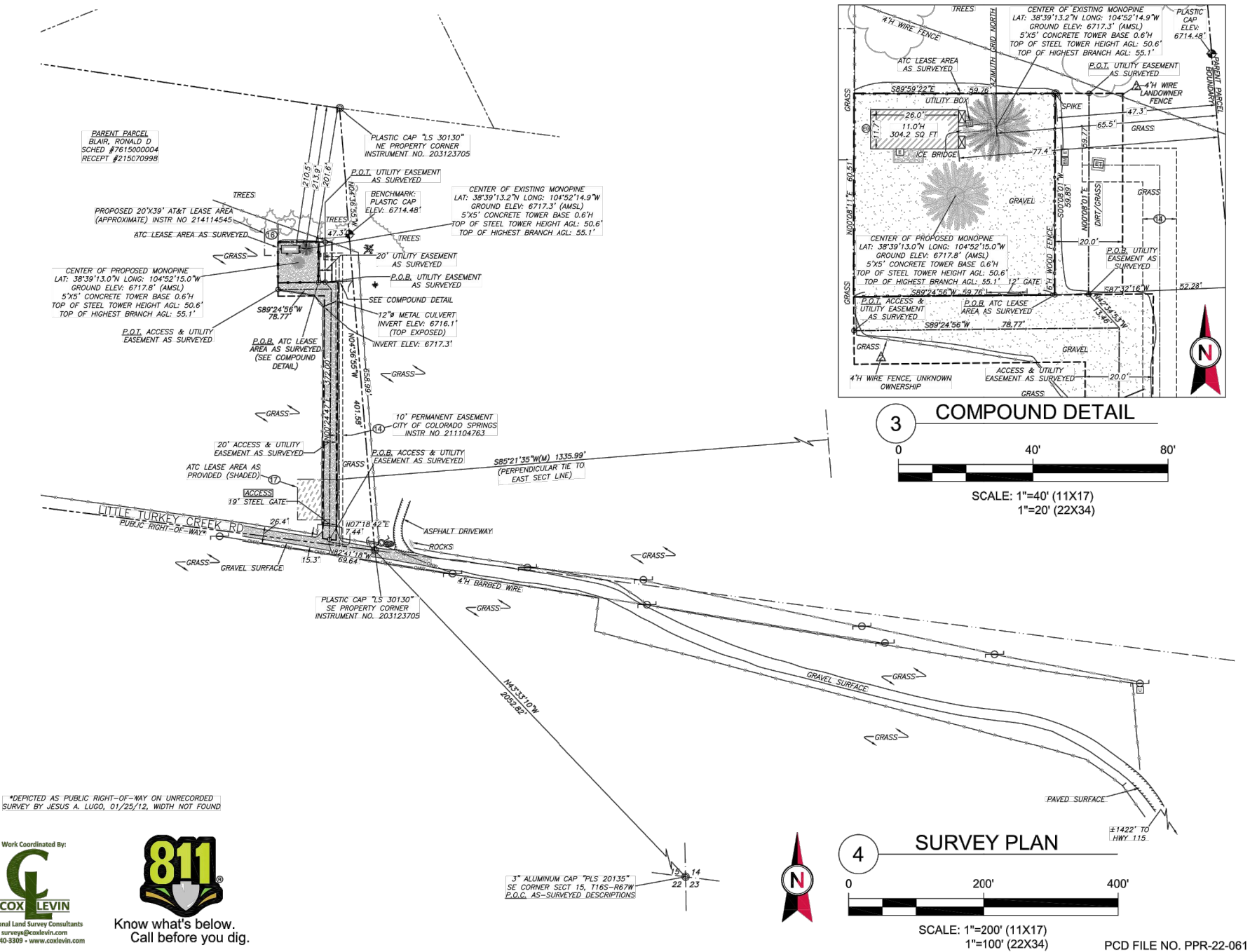
The right map shows the site location relative to surrounding parcels and easements. The site is located on the east side of Little Turkey Creek Rd, south of the intersection with Vietnam Veterans Memorial Hwy. The site is marked with a red square and labeled 'SITE LOCATION'. A red arrow points from the site to the 'ACCESS ROAD' label. Other roads shown include Little Turkey Creek Rd, Highway 78, and Highway 10. Surrounding parcels include:
 

- McCOWEN, GARY SCHED #7615004017
- HUGHES, CAROL J SCHED #7615004007
- JOHNSTON, DOUGLAS L SCHED #2815004013
- BEHRMAN, ROBERT SCHED #7615000005
- PARENT PARCEL BLAIR, RONALD D SCHED #7615000004 RECEIPT #215070998
- SE1/2 N1/2 SE1/4 (LESS EAST 1320') SECT 15 T16S-R67W
- PORTION OF THE NE1/4 SE1/4 SW1/4 T16S-R67W
- RMBC GROUP LLC SCHED #7615000006
- RMBC GROUP LLC SCHED #7615000008
- DEAN, ELIZABETH W. SCHED #7615004021
- EASEMENT INSTR. NO. 095005291
- EASTERLY 1320 FT OF SE1/2 N1/2 SE1/4 SECT 15, T16S-R67W (EXCEPTION TO PARENT PARCEL)
- AVG LEASE AREA
- ACCESS ROAD

## PARENT PARCEL

NTS

NTS



**Work Coordinated By:**



**National Land Survey Consultants**  
surveys@coxlevin.com  
781-640-3309 • www.coxlevin.com



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SUITE 100  
CARY, NC 27518  
PHONE: (919) 468-0112  
FAX: (919) 466-5415**

THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATION AS INSTRUMENTS OR SERVICE ARE THE EXCLUSIVE PROPERTY OF AMERICAN TOWER. THEIR USE AND PUBLICATION SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY ARE PREPARED. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO AMERICAN TOWER OR THE SPECIFIED CARRIER IS STRICTLY PROHIBITED. TITLE TO THESE DOCUMENTS SHALL REMAIN THE PROPERTY OF AMERICAN TOWER WHETHER OR NOT THE PROJECT IS COMPLETED. NEITHER CONTRACTOR NOR THE ENGINEER WILL BE PROVIDING ON-SITE CONSTRUCTION REVIEW OF THIS PROJECT. CONTRACTOR(S) MUST VERIFY ALL DIMENSIONS AND ADVISE AMERICAN TOWER OF ANY DISCREPANCIES. ANY PRIOR ISSUANCE OF THIS DRAWING IS SUPERSEDED BY THE LATEST VERSION ON FILE WITH AMERICAN TOWER.

0	PRELIM	HH	09/19/2022
1	TITLE	HH	03/06/2023
2			

ATC SITE NUMBER:

211173  
(LEGACY 419522)

ATC SITE NAME:

REBUILD TURKEY  
CREEK CO

**SITE ADDRESS:**

2945 LITTLE TURKEY CREEK RD  
COLORADO SPRINGS, COLORADO 80926-9615

**SURVEY CERTIFICATE:**

THIS IS TO CERTIFY THAT ARROW SURVEY GROUP, INC., AT THE REQUEST AND FOR THE EXCLUSIVE USE OF AMERICAN TOWER CORP., HAS PERFORMED THIS AS-BUILT SURVEY OF THE ATC LEASE AREA, FROM THE RECORD SOURCES AND ACTUAL FIELD SURVEY ON 09/08/2022 IN ACCORDANCE WITH THE MINIMUM STANDARDS OF PROPERTY BOUNDARY SURVEYS. ALL LINEAR AND ANGULAR VALUES SHOWN ARE BASED UPON DEED OR RECORD INFORMATION UNLESS OTHERWISE NOTED.

DATE OF PLAT: 03/06/2023

JASON D. LEVANEN  
CO LICENSE NO. 38159



**SURVEY PREPARED BY:**



**Survey Group, Inc.**  
Sheridan, WY 82801 (307)751-7543

DRAWN BY:	HH
APPROVED BY:	JL
DATE DRAWN:	03/06/2023
ATC JOB NO:	419522

# AS-BUILT/TITLE & BOUNDARY PLAN

SHEET NUMBER:

# V-101

REVISION:

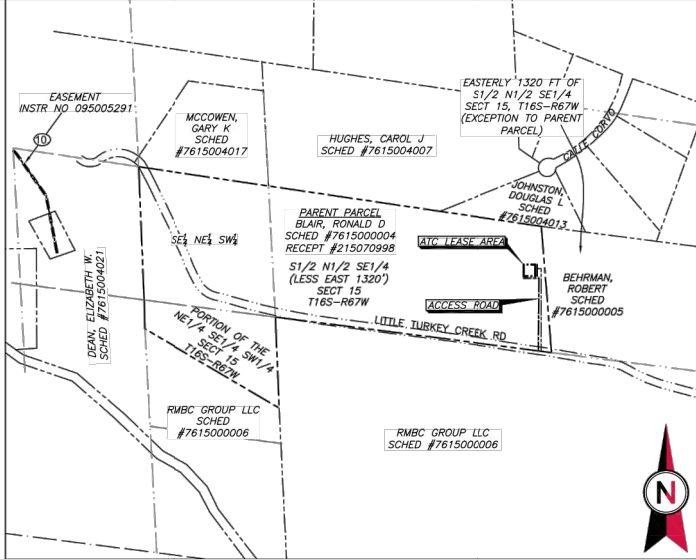
1



PROJECT SUMMARY

FIELD SURVEY DATE: 09/08/2022  
SITE ADDRESS: 2945 LITTLE TURKEY CREEK ROAD  
COLORADO SPRINGS, COLORADO 80926-9615  
PARENT PARCEL INFORMATION  
OWNER: RONALD D. BLAIR  
OWNER ADDRESS: 8630 PONDEROSA SPRINGS PT  
COLORADO SPRINGS, COLORADO 80908  
APN: 7815000004 (SCHEDULE NO.)  
RECORDED AS RECEPTION NO. 215070998  
TOTAL AREAS  
PARENT PARCEL: 37.351+ ACRES (CALCULATED IN CAD)  
ATC LEASE AREA AS PROVIDED: 3,800.00 SQ FT OR 0.083+ ACRES  
ATC LEASE AREA AS SURVEYED: 3,597.62 SQ FT OR 0.083+ ACRES  
ACCESS & UTILITY EASEMENT AS PROVIDED: (UNDETERMINED DUE TO ILLEGIBLE DESCRIPTION)  
ACCESS & UTILITY EASEMENT AS SURVEYED: 9,015.34 SQ FT OR 0.207+ ACRES  
UTILITY EASEMENT AS PROVIDED: (UNDETERMINED DUE TO ILLEGIBLE DESCRIPTION)  
UTILITY EASEMENT AS SURVEYED: 1,195.37 SQ FT OR 0.027+ ACRES  
GEOGRAPHIC COORDINATES OF EXISTING TOWER:  
LATITUDE: 38°39'13.2" N LONGITUDE: 104°52'14.9" W  
VERTICAL DATUM: NAVD 1988 HORIZONTAL DATUM: NAD83  
GROUND ELEVATION: 6717.3'  
GEOGRAPHIC COORDINATES OF PROPOSED TOWER:  
LATITUDE: 38°39'13.0" N LONGITUDE: 104°52'15.0" W  
VERTICAL DATUM: NAVD 1988 HORIZONTAL DATUM: NAD83  
GROUND ELEVATION: 6717.8'

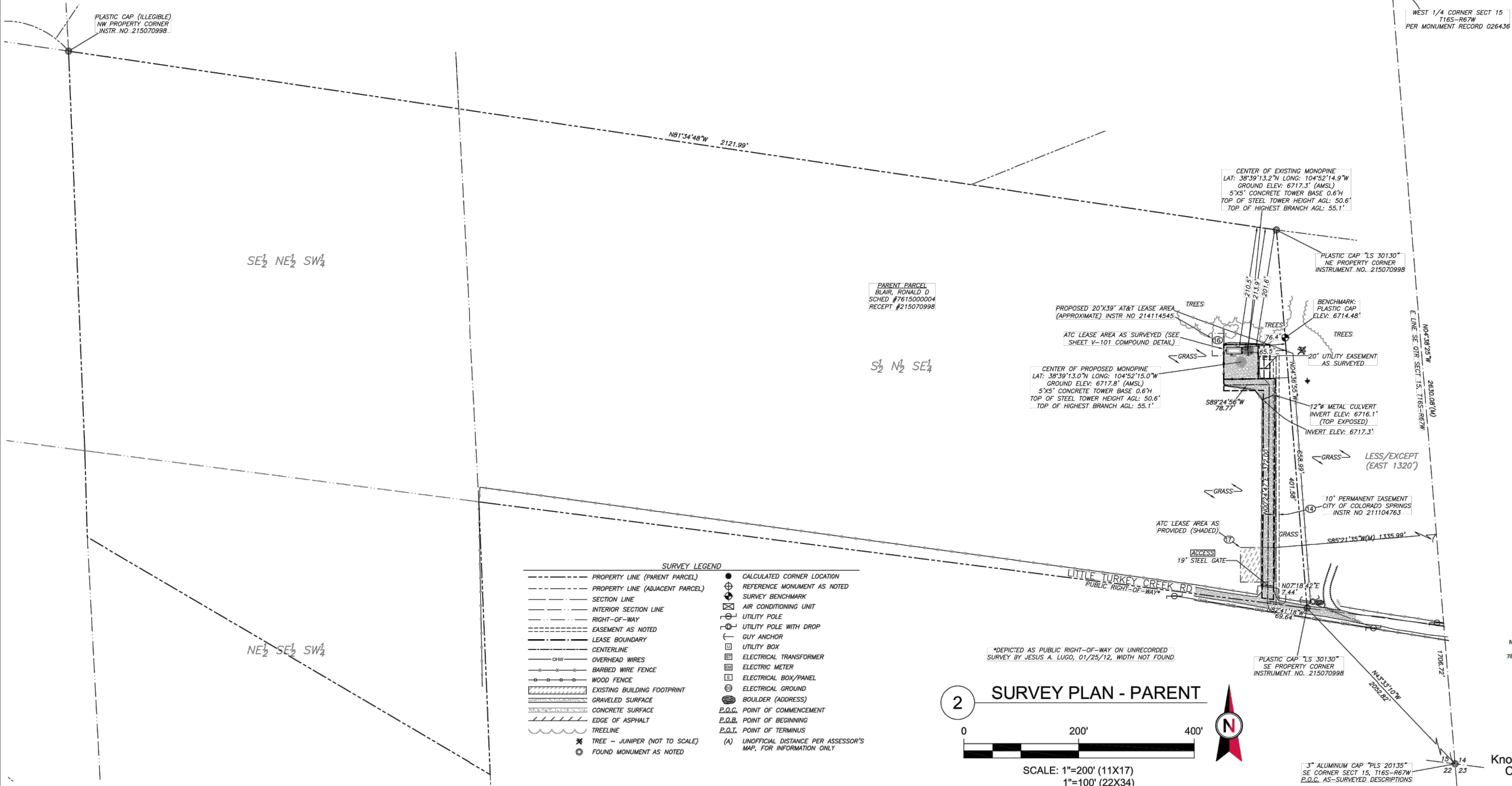
BEARINGS AND COORDINATES ARE BASED ON COLORADO STATE PLANE AT GROUND, CENTRAL ZONE, FROM GPS OBSERVATION.  
PROVIDED BEARINGS HAVE BEEN ROTATED CLOCKWISE 00°00'17" TO MATCH OBSERVED BEARINGS ALONG THE EAST LINE OF SECTION 15.  
FLOODPLAIN:  
PER THE FEMA FLOODPLAIN MAPS, THE SITE IS LOCATED IN AN AREA DESIGNATED AS ZONE X, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.  
COMMUNITY PANEL NUMBER: 08041C0950G  
DATED: 12/07/2018  
BOUNDARY NOTE  
THIS SURVEY DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE PARENT TRACT. ANY PARENT TRACT PROPERTY LINES SHOWN HEREON ARE FROM SUPPLIED INFORMATION AND MAY NOT BE FIELD VERIFIED.  
ENCROACHMENT STATEMENT  
AT THE TIME OF THE SURVEY, THERE WAS VISIBLE EVIDENCE OF THE FOLLOWING ENCROACHMENTS:  
A THE ATC LEASE AREA AS PROVIDED DOES NOT PLOT IN THE LOCATION OF THE TOWER COMPOUND, WHICH WOULD BE REMEDIED BY THE ATC LEASE AREA AS SURVEYED LEGAL DESCRIPTION SHOWN HEREON.  
A A PORTION OF WIRE FENCE (UNKNOWN OWNERSHIP) AND WIRE FENCE (LANDOWNER) LIES WITHIN THE ACCESS & UTILITY EASEMENT AS SURVEYED AND UTILITY EASEMENT AS SURVEYED.



1 PARENT PARCEL NTS

NOTES CORRESPONDING TO TITLE REPORT

THE COMMITMENT FOR TITLE INSURANCE ISSUED BY WESTCOR LAND TITLE INSURANCE COMPANY, COMMITMENT NO. ATC-146092-C, WITH A COMMITMENT DATE OF FEBRUARY 4, 2023, CONTAINS THE FOLLOWING ITEMS:  
(10) EASEMENT BETWEEN CHRISTOPHER GILBERT AND GAIL RICHTER; AND WESTPLAINS ENERGY, A DIVISION OF UTILITYCORP UNITED, INC., DATED AUGUST 17, 1994 AND RECORDED JANUARY 13, 1995 IN (BOOK) 6591 (PAGE) 29 (INSTRUMENT) 095005291, IN EL PASO COUNTY, COLORADO. (EASEMENT IS LOCATED WEST OF THE PARENT PARCEL. LOCATION IS SHOWN IN THE PARENT PARCEL DETAIL.)  
(11) RESOLUTION NO. 02-414 DATED NOVEMBER 14, 2002 AND RECORDED NOVEMBER 27, 2002 IN (INSTRUMENT) 202210339, IN EL PASO COUNTY, COLORADO. (DESCRIBES THE PARENT PARCEL, BLANKET IN NATURE.)  
(12) RESOLUTION NO. 02-415 DATED FEBRUARY 13, 2003 AND RECORDED FEBRUARY 19, 2003 IN (INSTRUMENT) 203038154, IN EL PASO COUNTY, COLORADO. (DESCRIBES THE PARENT PARCEL, BLANKET IN NATURE.)  
(13) TERMS AND CONDITIONS OF AN UNRECORDED LEASE, AS EVIDENCED BY A(N) MEMORANDUM OF LAND LEASE AGREEMENT BETWEEN RONALD D. BLAIR AND ROSEMARIE S. BLAIR AND VERIZON WIRELESS (VAV) LLC D/B/A VERIZON WIRELESS, DATED OCTOBER 18, 2010 AND RECORDED NOVEMBER 8, 2010 IN (INSTRUMENT) 210112970, IN EL PASO COUNTY, COLORADO. (DESCRIBES THE PARENT PARCEL. LEASED AREA DESCRIPTION IS NOT SPECIFIED, BUT AN AREA OF 3600 SQ FT IS REFERENCED.)  
(14) AFFECTED BY A(N) RE-RECORDED MEMORANDUM OF LAND LEASE AGREEMENT BETWEEN RONALD D. BLAIR AND ROSEMARIE S. BLAIR AND VERIZON WIRELESS (VAV) LLC D/B/A VERIZON WIRELESS, DATED OCTOBER 18, 2010 AND RECORDED FEBRUARY 10, 2012 IN (INSTRUMENT) 212015689, IN EL PASO COUNTY, COLORADO. (DESCRIBES THE PARENT PARCEL. LEASED AREA DESCRIPTION IS NOT SPECIFIED, BUT AN AREA OF 3600 SQ FT IS REFERENCED.)  
(15) AFFECTED BY THE TERMS AND CONDITIONS CONTAINED IN AN UNRECORDED FIRST AMENDMENT TO LAND LEASE AGREEMENT BETWEEN RONALD D. BLAIR AND ROSEMARIE S. BLAIR AND VERIZON WIRELESS (VAV) LLC D/B/A VERIZON WIRELESS, DATED FEBRUARY 27, 2012. (DESCRIBES PARENT PARCEL. ATC LEASE AREA AS PROVIDED, ACCESS EASEMENT AS PROVIDED, AND UTILITY EASEMENT AS PROVIDED. ALL SHOWN HEREON, ARE DEPICTED AND DESCRIBED ON AN ATTACHED SURVEY.)  
(16) PERMANENT EASEMENT AGREEMENT BETWEEN RONALD D AND ROSEMARIE S. BLAIR, AND THE CITY OF COLORADO SPRINGS, A HOME RULE CITY AND COLORADO MUNICIPAL CORPORATION, DATED SEPTEMBER 22, 2011 AND RECORDED OCTOBER 26, 2011 IN (INSTRUMENT) 211104763, IN EL PASO COUNTY, COLORADO. (EASEMENT SERVES THE ATC LEASE AREA AND IS PLOTTED AND SHOWN IN THE SURVEY PLAN VIEW.)  
(17) RESOLUTION NO. 11-073 DATED FEBRUARY 24, 2011 AND RECORDED NOVEMBER 9, 2011 IN (INSTRUMENT) 211111189, IN EL PASO COUNTY, COLORADO. (DESCRIBES THE PARENT PARCEL. AND REFERENCES COMMUNICATIONS TOWER.)  
(18) TERMS AND CONDITIONS OF AN UNRECORDED LEASE, AS EVIDENCED BY A(N) MEMORANDUM OF LEASE BETWEEN ROSEMARIE S. BLAIR TRUST DATED 9/30/2013 AND RONALD BLAIR AND NEW CINGULAR WIRELESS PCS, LLC, A DELAWARE LIMITED LIABILITY COMPANY, DATED JUNE 27, 2014 AND RECORDED DECEMBER 12, 2014 IN (INSTRUMENT) 214114545, IN EL PASO COUNTY, COLORADO. (DESCRIBES THE PARENT PARCEL. DEPICTS THE ATC LEASE AREA AS PROVIDED AND A PROPOSED ADJACENT LEASE AREA ON A SKETCH. THE ADJACENT LEASE AREA IS PLOTTED APPROXIMATELY AND SHOWN HEREON.)  
(19) TERMS AND CONDITIONS OF AN UNRECORDED SUBLEASE, AS EVIDENCED BY A(N) MEMORANDUM OF LEASE BETWEEN VERIZON WIRELESS (VAV) LLC, A DELAWARE LIMITED LIABILITY COMPANY D/B/A VERIZON WIRELESS AND ATC SEQUOIA LLC, A DELAWARE LIMITED LIABILITY COMPANY, DATED JANUARY 7, 2016 AND RECORDED JANUARY 19, 2016 IN (INSTRUMENT) 216004903, IN EL PASO COUNTY, COLORADO. (DESCRIBES THE ATC LEASE AREA AS PROVIDED, WHICH IS PLOTTED AND SHOWN HEREON.)



- SURVEY LEGEND
- PROPERTY LINE (PARENT PARCEL)
  - PROPERTY LINE (ADJACENT PARCEL)
  - SECTION LINE
  - INTERIOR SECTION LINE
  - RIGHT-OF-WAY
  - EASEMENT AS NOTED
  - LEASE BOUNDARY
  - CENTERLINE
  - OVERHEAD WIRES
  - BARBED WIRE FENCE
  - WOOD FENCE
  - EXISTING BUILDING FOOTPRINT
  - GRAVELED SURFACE
  - CONCRETE SURFACE
  - EDGE OF ASPHALT
  - TREELINE
  - TREE - JUNIPER (NOT TO SCALE)
  - FOUND MONUMENT AS NOTED
  - CALCULATED CORNER LOCATION
  - REFERENCE MONUMENT AS NOTED
  - SURVEY BENCHMARK
  - AIR CONDITIONING UNIT
  - UTILITY POLE
  - UTILITY POLE WITH DROP
  - GUY ANCHOR
  - UTILITY BOX
  - ELECTRICAL TRANSFORMER
  - ELECTRIC METER
  - ELECTRICAL BOX/PANEL
  - ELECTRICAL GROUND
  - BOULDER (ADDRESS)
  - P.O.B. POINT OF BEGINNING
  - P.O.T. POINT OF TERMINUS
  - UNOFFICIAL DISTANCE PER ASSESSOR'S MAP, FOR INFORMATION ONLY

2 SURVEY PLAN - PARENT

SCALE: 1"=200' (11X17)  
1"=100' (22X34)

Work Coordinated By:  
COX LEVIN  
National Land Survey Consultants  
surveys@coxlevin.com  
781-640-3309 • www.coxlevin.com



Know what's below.  
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PCD FILE NO. PPR-22-061

**AMERICAN TOWER**  
**ATC TOWER SERVICES, INC.**  
3500 REGENCY PARKWAY  
SUITE 100  
CARY, NC 27518  
PHONE: (919) 468-0112  
FAX: (919) 466-5415

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0	PRELIM	HH	09/19/2022
1	TITLE	HH	03/06/2023
2			

ATC SITE NUMBER:  
**211173**  
(LEGACY 419522)  
ATC SITE NAME:  
**REBUILD TURKEY CREEK CO**  
SITE ADDRESS:  
2945 LITTLE TURKEY CREEK RD  
COLORADO SPRINGS, COLORADO 80926-9615

**SURVEY CERTIFICATE:**  
THIS IS TO CERTIFY THAT ARROW SURVEY GROUP, INC., AT THE REQUEST AND FOR THE EXCLUSIVE USE OF AMERICAN TOWER CORP., HAS PERFORMED THIS AS-BUILT SURVEY OF THE ATC LEASE AREA, FROM THE RECORD SOURCES AND ACTUAL FIELD SURVEY ON 09/08/2022 IN ACCORDANCE WITH THE MINIMUM STANDARDS OF PROPERTY BOUNDARY SURVEYS. ALL LINEAR AND ANGULAR VALUES SHOWN ARE BASED UPON DEED OR RECORD INFORMATION UNLESS OTHERWISE NOTED.

DATE OF PLAT: 03/06/2023

JASON D. LEVANEN  
CO LICENSE NO. 38159



SURVEY PREPARED BY:

**Arrow**  
**Survey Group, Inc.**  
Sheridan, WY 82801 (307)751-7543

DRAWN BY:	HH
APPROVED BY:	JL
DATE DRAWN:	03/06/2023
ATC JOB NO:	419522

PARENT PARCEL  
BOUNDARY PLAN & TITLE

SHEET NUMBER:	REVISION:
V-101	1



PROJECT SUMMARY

FIELD SURVEY DATE: 09/08/2022  
SITE ADDRESS: 2945 LITTLE TURKEY CREEK ROAD  
COLORADO SPRINGS, COLORADO 80926-9615

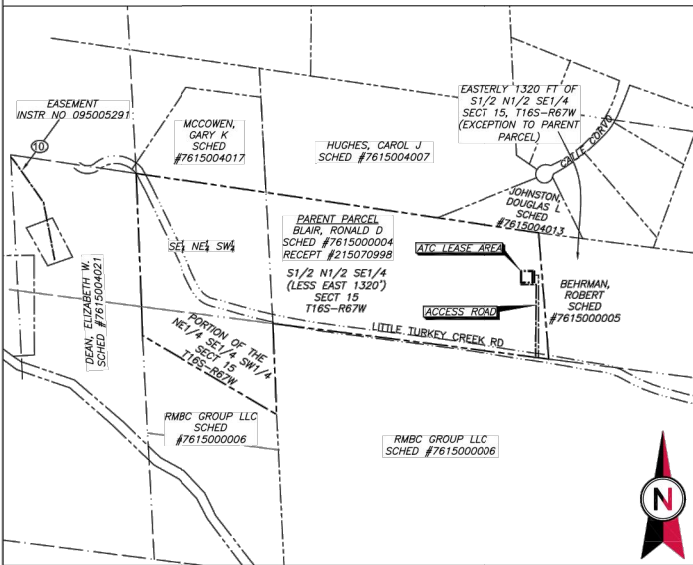
PARENT PARCEL INFORMATION  
OWNER: RONALD D. BLAIR  
OWNER ADDRESS: 8630 PONDEROSA SPRINGS PT  
COLORADO SPRINGS, COLORADO 80908  
APN: 7615000004 (SCHEDULE NO.)  
RECORDED AS RECEPTION NO. 215070998

TOTAL AREAS:  
PARENT PARCEL: 37.351± ACRES (CALCULATED IN CAD)  
ATC LEASE AREA AS PROVIDED: 5,600.00 SQ FT OR 0.083± ACRES  
ATC LEASE AREA AS SURVEYED: 3,597.62 SQ FT OR 0.083± ACRES

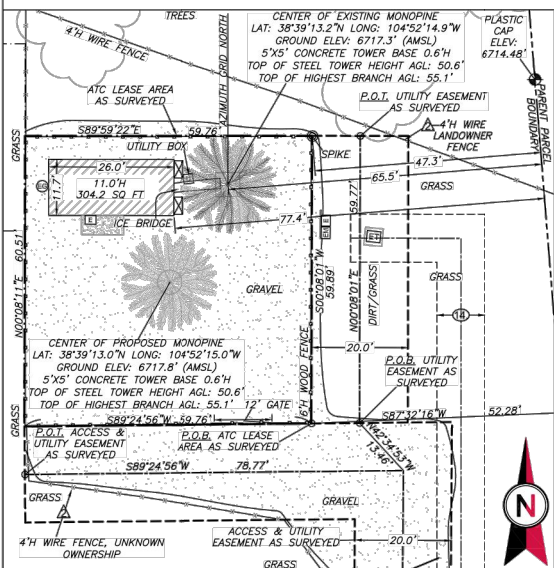
ACCESS & UTILITY EASEMENT AS PROVIDED:  
(UNDETERMINED DUE TO ILLEGIBLE DESCRIPTION)  
ACCESS & UTILITY EASEMENT AS SURVEYED: 9,015.34 SQ FT OR 0.207± ACRES  
UTILITY EASEMENT AS PROVIDED: (UNDETERMINED DUE TO ILLEGIBLE DESCRIPTION)  
UTILITY EASEMENT AS SURVEYED: 1,195.37 SQ FT OR 0.027± ACRES

GEOGRAPHIC COORDINATES OF EXISTING TOWER:  
LATITUDE: 38°39'13.2" N LONGITUDE: 104°52'14.9" W  
VERTICAL DATUM: NAVD 1988 HORIZONTAL DATUM: NAD83  
GROUND ELEVATION: 6717.3'

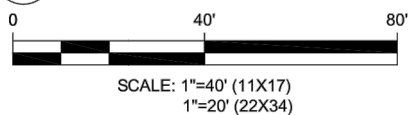
GEOGRAPHIC COORDINATES OF PROPOSED TOWER:  
LATITUDE: 38°39'13.0" N LONGITUDE: 104°52'15.0" W  
VERTICAL DATUM: NAVD 1988 HORIZONTAL DATUM: NAD83  
GROUND ELEVATION: 6717.6'



1 PARENT PARCEL



2 COMPOUND DETAIL

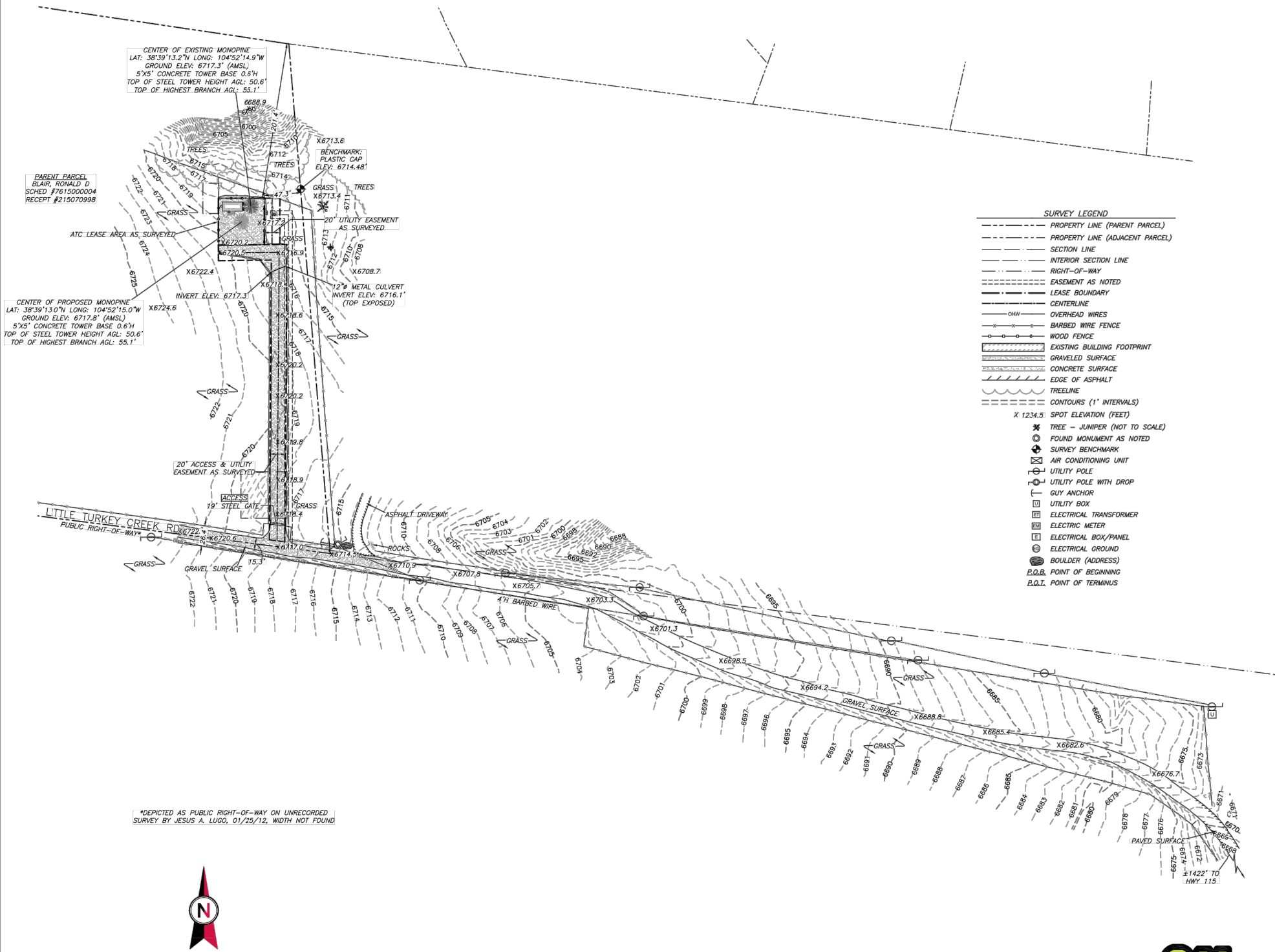


BEARINGS AND COORDINATES ARE BASED ON COLORADO STATE PLANE AT GROUND, CENTRAL ZONE, FROM GPS OBSERVATION.  
PROVIDED BEARINGS HAVE BEEN ROTATED CLOCKWISE 00°00'17" TO MATCH OBSERVED BEARINGS ALONG THE EAST LINE OF SECTION 15.

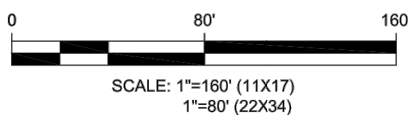
FLOODPLAIN:  
PER THE FEMA FLOODPLAIN MAPS, THE SITE IS LOCATED IN AN AREA DESIGNATED AS ZONE X, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.  
COMMUNITY PANEL NUMBER: 08041C0950G DATED: 12/07/2018

BOUNDARY NOTE  
THIS SURVEY DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE PARENT TRACT. ANY PARENT TRACT PROPERTY LINES SHOWN HEREON ARE FROM SUPPLIED INFORMATION AND MAY NOT BE FIELD VERIFIED.

ENCROACHMENT STATEMENT  
AT THE TIME OF THE SURVEY, THERE WAS VISIBLE EVIDENCE OF THE FOLLOWING ENCROACHMENTS:  
▲ THE ATC LEASE AREA AS PROVIDED DOES NOT PLOT IN THE LOCATION OF THE TOWER COMPOUND, WHICH WOULD BE REMEDIED BY THE ATC LEASE AREA AS SURVEYED LEGAL DESCRIPTION SHOWN HEREON.  
▲ A PORTION OF WIRE FENCE (UNKNOWN OWNERSHIP) AND WIRE FENCE (LANDOWNER) LIES WITHIN THE ACCESS & UTILITY EASEMENT AS SURVEYED AND UTILITY EASEMENT AS SURVEYED.



3 EXISTING CONDITIONS PLAN



Worst Coordinated By:



PCD FILE NO. PPR-22-061



AMERICAN TOWER  
ATC TOWER SERVICES, INC.

3500 REGENCY PARKWAY  
SUITE 100  
CARY, NC 27518  
PHONE: (919) 468-0112  
FAX: (919) 466-5415

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1	TITLE	HH	03/06/2023
2			

ATC SITE NUMBER:

211173  
(LEGACY 419522)

ATC SITE NAME:

REBUILD TURKEY  
CREEK CO

SITE ADDRESS:

2945 LITTLE TURKEY CREEK RD  
COLORADO SPRINGS, COLORADO 80926-9615

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DATE OF PLAT: 03/06/2023

JASON D. LEVANEN  
CO LICENSE NO. 38159



SURVEY PREPARED BY:

Arrow  
Survey Group, Inc.  
Sheridan, WY 82801 (307)751-7543

DRAWN BY:	HH
APPROVED BY:	JL
DATE DRAWN:	03/06/2023
ATC JOB NO:	419522

EXISTING CONDITIONS  
AND TOPOGRAPHIC PLAN

SHEET NUMBER:

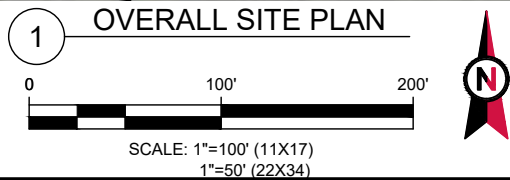
V-103

REVISION:

1



- LEGEND
- EXISTING PROPERTY
  - EXISTING ADJ. PROPERTY
  - EXISTING EASEMENT
  - EXISTING CONTOUR (MAJOR)
  - EXISTING CONTOUR (MINOR)
  - EXISTING TREELINE
  - EXISTING CHAINLINK FENCE
  - EXISTING BUILDING
  - EXISTING STORM DRAIN
  - EXISTING ROAD (DIRT)
  - EXISTING ROAD (STONE)
  - EXISTING ROAD (PAVED)
  - EXISTING CONCRETE
  - EXISTING LEASE AREA
  - EXISTING OVERHEAD WIRE
  - EXISTING UTILITY POLE



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**ATC TOWER SERVICES, LLC**  
3500 REGENCY PARKWAY  
SUITE 100  
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REV.	DESCRIPTION	BY	DATE
0	FOR CONSTRUCTION	AB	04/26/23

ATC SITE NUMBER:  
**211173**

ATC SITE NAME:  
**REBUILD TURKEY CREEK CO**

SITE ADDRESS:  
2945 LITTLE TURKEY CREEK RD  
COLORADO SPRINGS, CO 80926

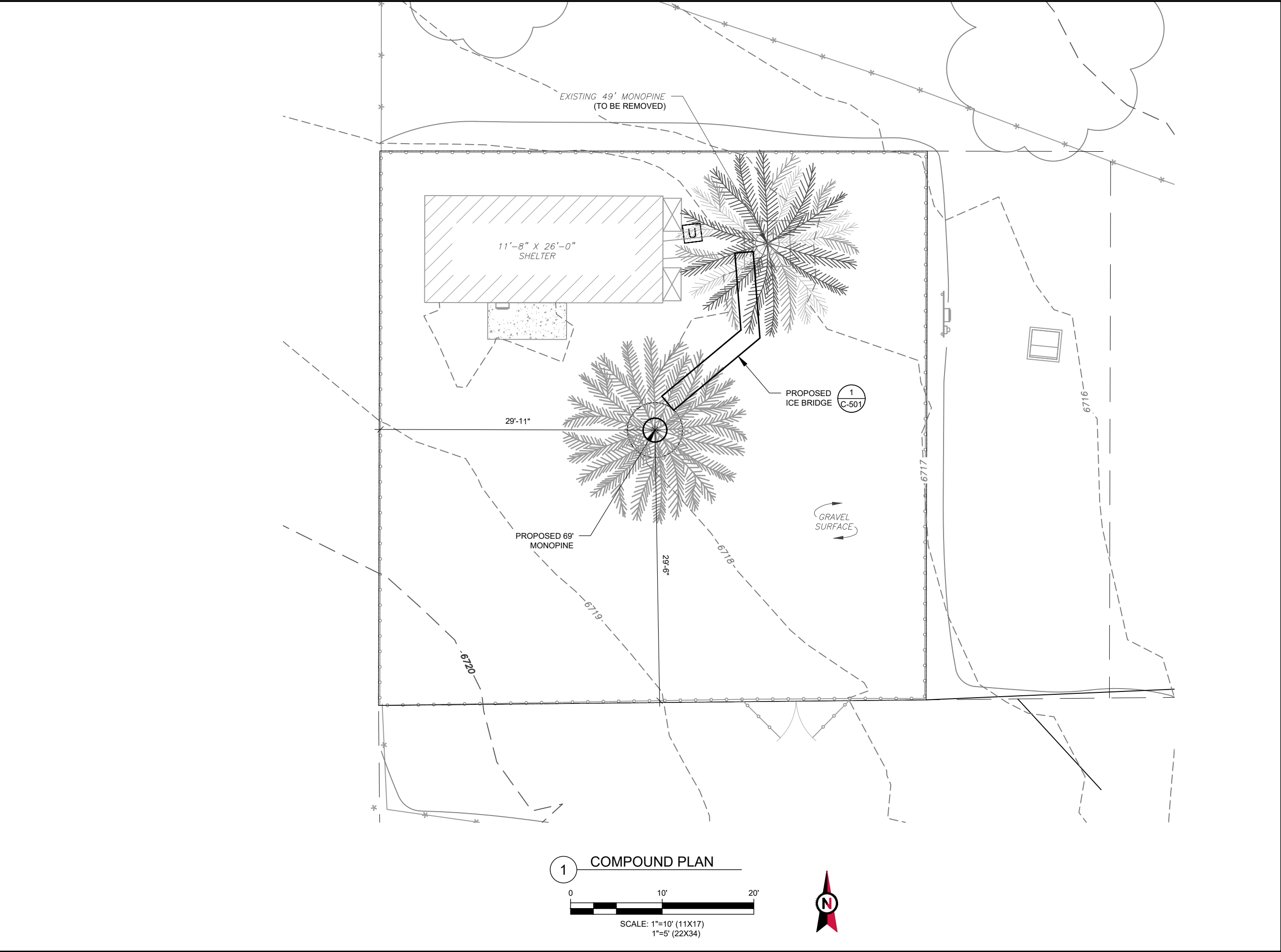
SEAL:

DATE DRAWN:	04/26/23
ATC JOB NO:	14141546_D4
OPS JOB NO:	13734361
ATC LEGACY #:	419522

OVERALL SITE PLAN

SHEET NUMBER: <b>C-101</b>	REVISION: <b>0</b>
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COLORADO SPRINGS, CO 80926

SEAL:



DATE DRAWN:	04/26/23
ATC JOB NO:	14141546_D4
OPS JOB NO:	13734361
ATC LEGACY #:	419522

COMPOUND PLAN

SHEET NUMBER: <b>C-401</b>	REVISION: <b>0</b>
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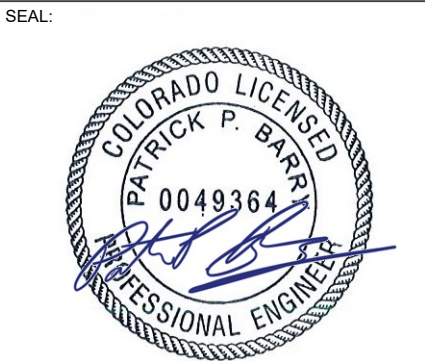
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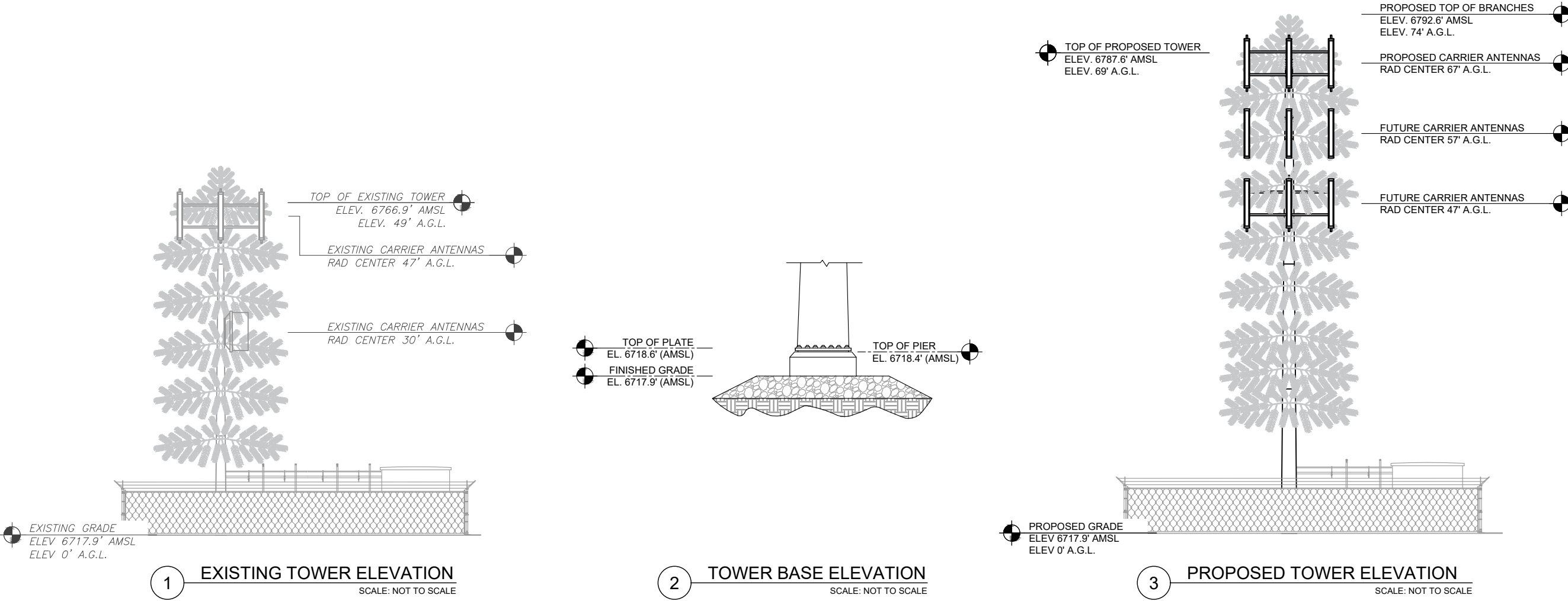
DATE DRAWN:	04/26/23
ATC JOB NO:	14141546_D4
OPS JOB NO:	13734361
ATC LEGACY #:	419522

TOWER ELEVATION

SHEET NUMBER:	REVISION:
C-402	0

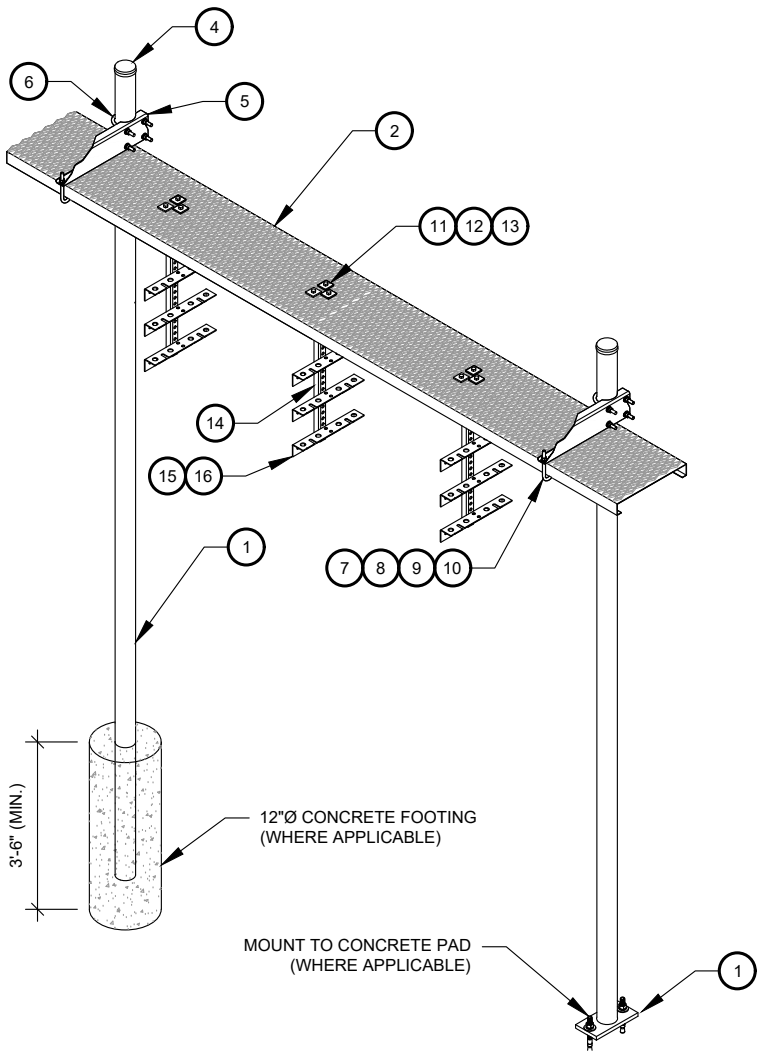
TOWER NOTE:

- NO TOWER LIGHTING IS PROPOSED. TO BE CONFIRMED BY FAA/FCC. SEE SHEET E-502 FOR DETAIL.
- CARRIER LOADING SHOWN IS FOR ILLUSTRATIVE PURPOSES ONLY AND MAY NOT REPRESENT ACTUAL FINAL LOADING. PLEASE REFER TO THE LATEST RFDS OR APPLICATION FOR CONFIRMATION.
- PROPOSED TREE SHOWN CONCEPTUALLY. REFER TO THE TOWER MANUFACTURER DRAWINGS FOR ACTUAL BRANCH COUNT/LOCATION AND FOLIAGE DENSITY.





- CONSTRUCTION NOTE:
- WHERE POSSIBLE AND AS APPLICABLE, THE CONTRACTOR SHALL UTILIZE EXISTING ICE BRIDGE, CABLE LADDER, COAX SUPPORTS, AND COAX PORTS. BEFORE UTILIZING, CONTRACTOR SHALL VERIFY THAT ALL ASPECTS OF THE COMPONENTS MEET THE ATC SPECIFICATIONS. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF NEW ICE BRIDGE, CABLE LADDER, COAX SUPPORT, AND COAX PORT, AS REQUIRED, WITH THE ATC CONSTRUCTION MANAGER.
  - INSTALL ICE BRIDGE TO ALLOW 7 FEET CLEARANCE ABOVE GRADE TO LOWEST APPURTENANCE.



WB-K210-B WAVEGUIDE BRIDGE KIT - BILL OF MATERIALS (INCLUDED WITH KIT UNLESS NOTED OTHERWISE)					
ITEM	PART NUMBER	DESCRIPTION	ITEM	PART NUMBER	DESCRIPTION
1	MF126.01 MF-130	10'-4" COLUMN & BASE SHOE* 13'-4" PIPE COLUMN	9	GWL-04	1/2" GALV LOCK WASHER
2	WB-CY210	SAFETY GRATING 24" X 10'	10	GN-04	1/2" GALV HEX NUT
3	WBK110BHK	HARDWARE KIT (ITEMS 4-16)	11	GB-03205	3/8" X 2" GALV BOLT KIT
4	PC-034	PIPE CAP 3-1/2"	12	MT-387	SQUARE WASHER, 1-1/2" X 1-1/2" W/ 7/16" HOLE
5	WBLB243.08	24" WAVEGUIDE BRIDGE SUPPORT BRACKET	13	GWf-03	3/8" GALV FLAT WASHER
6	GUB-4356	1/2" X 3-5/8" X 6" GALV U-BOLT	14	WBT243.01	VERTICAL TRAPEZE SECTION
7	WB-JB-6	1/2" J-BOLT	15	GB-03105	3/8" X 1" GALV BOLT KIT
8	GWf-04	1/2" GALV FLAT WASHER	16	WBT243.02	HORIZONTAL TRAPEZE SECTION
CONTRACTOR SHALL USE PARTS MANUFACTURED BY COMMScope OR APPROVED EQUIVALENT. *BASE SHOE NOT INCLUDED IN WB-K210-B KIT, ORDER COLUMN SEPARATELY OR KIT WB-K210-S.					

1 24" WAVEGUIDE BRIDGE KIT  
SCALE: NOT TO SCALE



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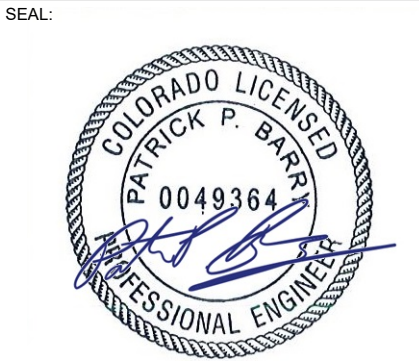
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**REBUILD TURKEY CREEK  
CO**

SITE ADDRESS:  
2945 LITTLE TURKEY CREEK RD  
COLORADO SPRINGS, CO 80926



DATE DRAWN:	04/26/23
ATC JOB NO:	14141546_D4
OPS JOB NO:	13734361
ATC LEGACY #:	419522

CONSTRUCTION  
DETAILS

SHEET NUMBER:	REVISION:
C-501	0

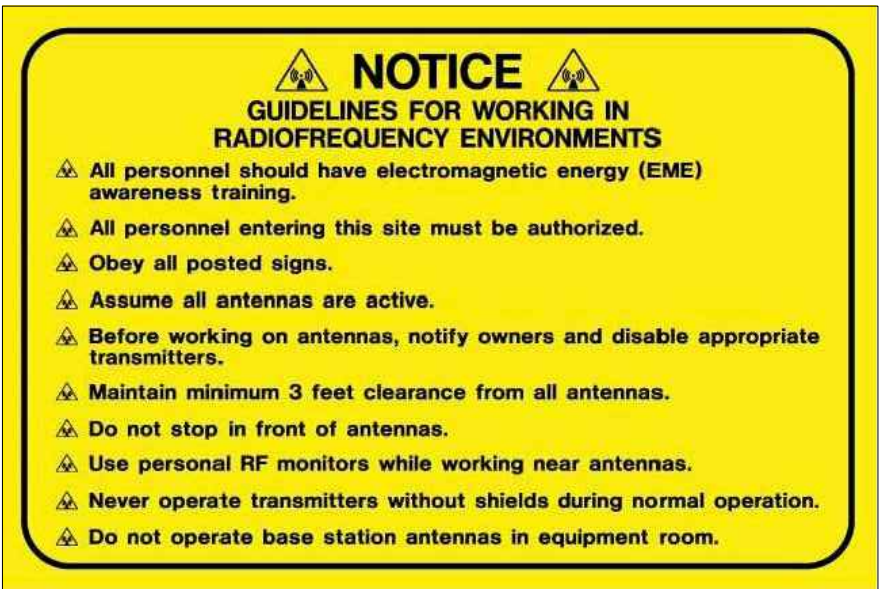
### ATC CAUTION AND NO TRESPASSING SIGN

## ATC RF WARNING AND FCC NUMBER SIGN

## FCC TOWER REGISTRATION #

### Posting of sign required by law

ATC STAND-ALONE FCC TOWER  
REGISTRATION SIGN



ATC RF PROGRAM NOTICE SIGN



## ATC SITE SIGN

## REPLACEMENT OF SIGNAGE:

AS SIGNAGE BECOMES STOLEN, DAMAGED, BRITTLE OR FADED, IT SHOULD BE REPLACED WITH SIGNAGE PER THIS SPECIFICATION. ANY ACQUIRED SITE SHOULD HAVE NEW SIGNS POSTED WITHIN 60 DAYS UNLESS OTHERWISE SPECIFIED. ANY SITE SOLD SHOULD HAVE THE ATC SIGNS REMOVED WITHIN 30 DAYS UNLESS OTHERWISE SPECIFIED. ALL FCC OR REGULATORY SIGNAGE MUST BE INSTALLED OR REPLACED AS REQUIRED TO MEET OUR STANDARD. SIGNS SHOULD BE REPLACED ON NORMAL, QUARTERLY MAINTENANCE VISITS BY CONTRACTORS OR SITE MANAGERS. UNLESS OTHERWISE REQUIRED ON A CASE-BY-CASE BASIS.

NOTE:

EXTERIOR SIGNS ARE NOT PROPOSED EXCEPT AS REQUIRED BY THE FCC. ALL EXISTING SIGNAGE AND ANY FUTURE SIGNAGE WILL BE COMPLIANT WITH STATUTE 164-43.4 NO HIGH-VOLTAGE SIGNAGE IS NECESSARY. NO HIGH-VOLTAGE EQUIPMENT PRESENT.



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COLORADO SPRINGS, CO 80926

SEAL:



DATE DRAWN:	04/26/23
ATC JOB NO:	14141546_D4
OPS JOB NO:	13734361
ATC LEGACY #:	419522

## SIGNAGE

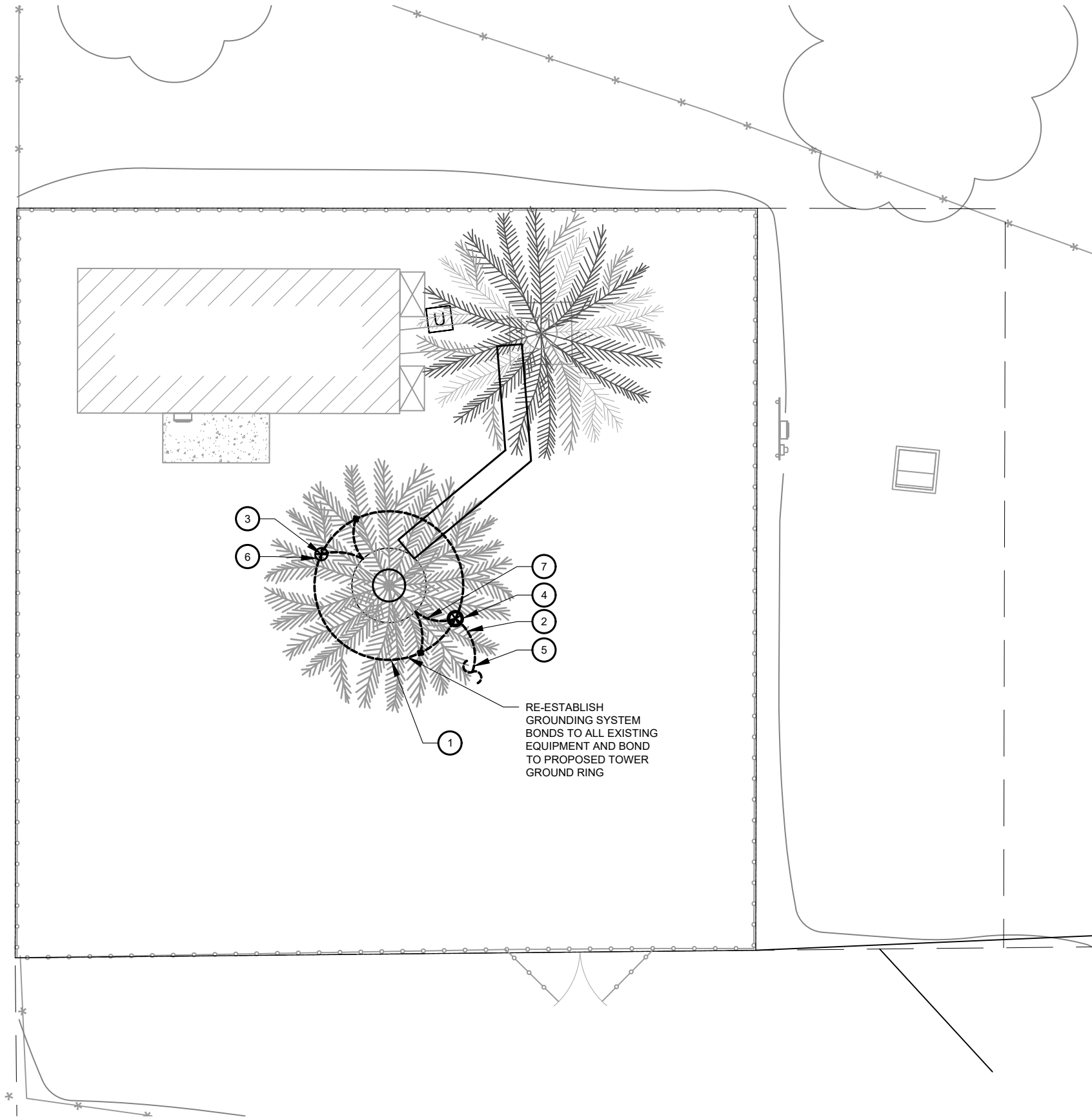
SHEET NUMBER:

C-502

REVISION:

0





1 GROUNDING PLAN

0 10' 20'

SCALE: 1"=10' (11X17)  
1"=5' (22X34)



GROUNDING PLAN NOTES:

- ALL DETAILS ARE SHOWN IN GENERAL TERMS. ACTUAL INSTALLATION AND CONSTRUCTION MAY VARY DUE TO SITE SPECIFIC CONDITIONS.
- ALL GROUND CONNECTIONS SHALL BE EXOTHERMIC WELDED. ALL WIRES SHALL BE COPPER.
- CONTRACTOR TO VERIFY AND TEST GROUND TO SOURCE. GROUNDING AND OTHER OPERATIONAL TESTING WILL BE WITNESSED BY OWNER REPRESENTATIVE.
- REFER TO ATC CONSTRUCTION SPEC AND COMPLY WITH ALL REQUIREMENTS OF GROUNDING STANDARDS.
- ELECTRICAL CONTRACTOR TO PROVIDE DETAILED DESIGN OF GROUNDING SYSTEM, AND RECEIVE APPROVAL OF DESIGN BY OWNER REPRESENTATIVE, PRIOR TO INSTALLATION OF GROUNDING SYSTEM. PHOTO DOCUMENT ALL CONNECTIONS AND GROUND RING.
- NOTIFY CONSTRUCTION MANAGER IF THERE ARE ANY DIFFICULTIES INSTALLING GROUNDING SYSTEM DUE TO SITE SOIL CONDITIONS.
- TO AVOID TOWER FOUNDATION, GROUND RODS MAY BE INSTALLED AT AN ANGLE OR TOWER GROUND RING MAY BE EXTENDED AS NEEDED.

KEYED NOTES:

- #2 AWG SBTC TOWER GROUND RING. (MIN 2 FT FROM FOUNDATION)
- #2 AWG SBTC TOWER RING RADIALS. GROUNDING RADIAL (TYP.) SEE TRENCH DETAIL 4 ON SHEET E-501. MAINTAIN DEPTH AND MINIMUM 15 FT. SEPARATION FROM OTHER RADIALS AT ENDS AND MINIMUM 5 FT. SEPARATION AT GROUNDING SYSTEMS AND BUILDING FOUNDATIONS.
- 3/4" X 10 FT GROUND ROD (TYP). SEE DETAIL 2 ON SHEET E-501
- 3/4" X 10 FT GROUND ROD WITH TEST WELL (MIN. ONE PER SITE ON TOWER GROUND RING). SEE DETAIL 5 ON SHEET E-501.
- BOND TO ELECTRICAL SERVICE AT MAIN BONDING JUMPER WITH #2 AWG SBTC. PARALLEL CONNECTION AWAY FROM TOWER. SEE DETAIL 1 ON SHEET E-501.
- SERVICE GROUND ROD SIZE MINIMUM PER NEC OR AS OTHERWISE INDICATED. PLACE MINIMUM OF 10' FROM ALL OTHER GROUND RODS.
- TOWER TO GROUND RING BONDS. SEE DETAIL 3 ON SHEET E-501.

INSTALLATION NOTES:

- INSTALL STANDARD LEVEL I DESIGN (BASE BID) WHICH INCLUDES:
  - TOWER RING, 1 GROUND ROD PER LEG, SERVICE GROUND ROD AT H-FRAME, RADIALS TO H-FRAME. ADDITIONAL WORK NECESSARY BELOW SHALL BE CONSIDERED AN ALLOWANCE.
- MEASURE GROUNDING SYSTEM RESISTANCE WITH A 3-PROBE TEST PRIOR TO BACKFILL/DEMOLITION AND PRIOR TO CONNECTION OF UTILITY POWER NEUTRAL TO THE SYSTEM.
- IF GROUNDING SYSTEM RESISTANCE IS GREATER THAN 10 OHMS COORDINATE WITH ATC ENGINEER OF RECORD.

GROUNDING PLAN LEGEND:

- |       |                 |  |                   |
|-------|-----------------|--|-------------------|
| ----- | GROUND WIRE     |  | COPPER GROUND ROD |
| ■     | EXOTHERMIC WELD |  | TEST WELL         |
| ●     | MECHANICAL WELD |  |                   |



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REV.	DESCRIPTION	BY	DATE
△	FOR CONSTRUCTION	AB	04/26/23
△			
△			
△			
△			

ATC SITE NUMBER:  
**211173**

ATC SITE NAME:  
**REBUILD TURKEY CREEK CO**

SITE ADDRESS:  
2945 LITTLE TURKEY CREEK RD  
COLORADO SPRINGS, CO 80926

SEAL:



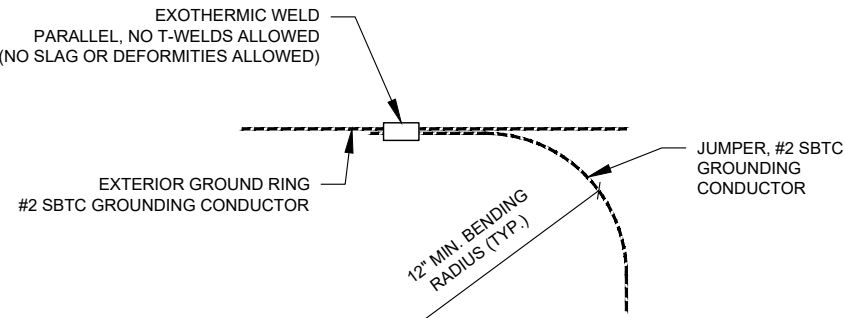
DATE DRAWN:	04/26/23
ATC JOB NO:	14141546_D4
OPS JOB NO:	13734361
ATC LEGACY #:	419522

GROUNDING LAYOUT

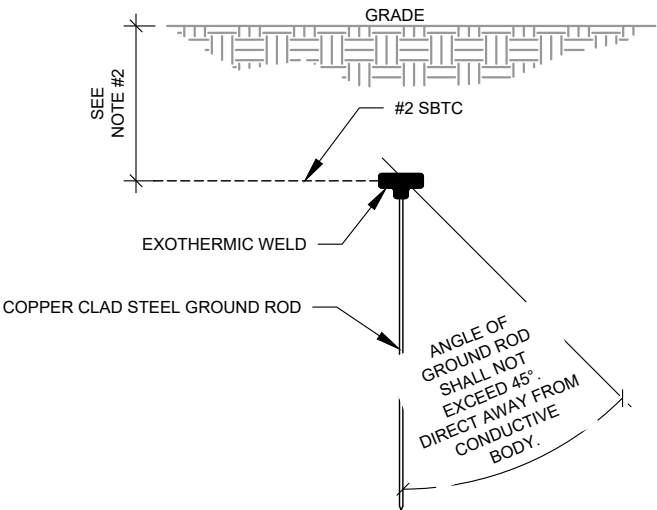
SHEET NUMBER:  
**E-401**

REVISION:  
**0**

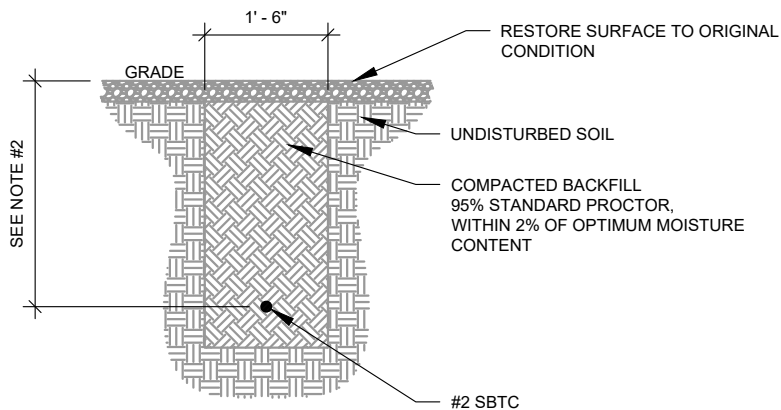
- NOTES:
1. LOCATE BEFORE DIGGING.
  2. ALL RING AND RADIAL DEPTHS AT 30" OR 6" BELOW FROST LINE, WHICHEVER IS GREATER.
  3. WELD GROUND TO FENCE AS LOW AS POSSIBLE TO DETER COPPER THEFT



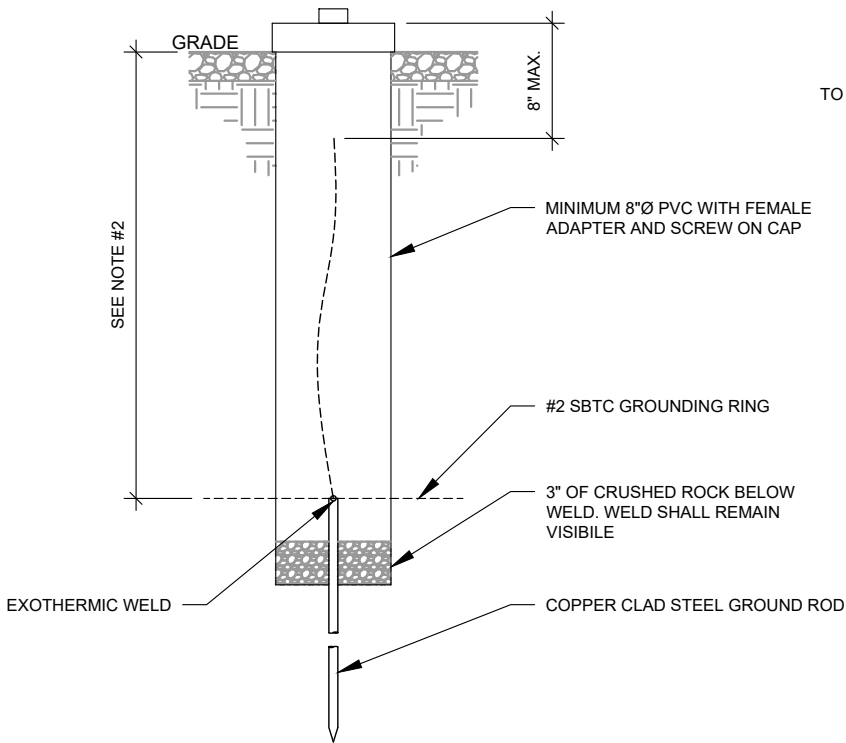
1 TIE CONNECTION DETAIL  
SCALE: N.T.S.



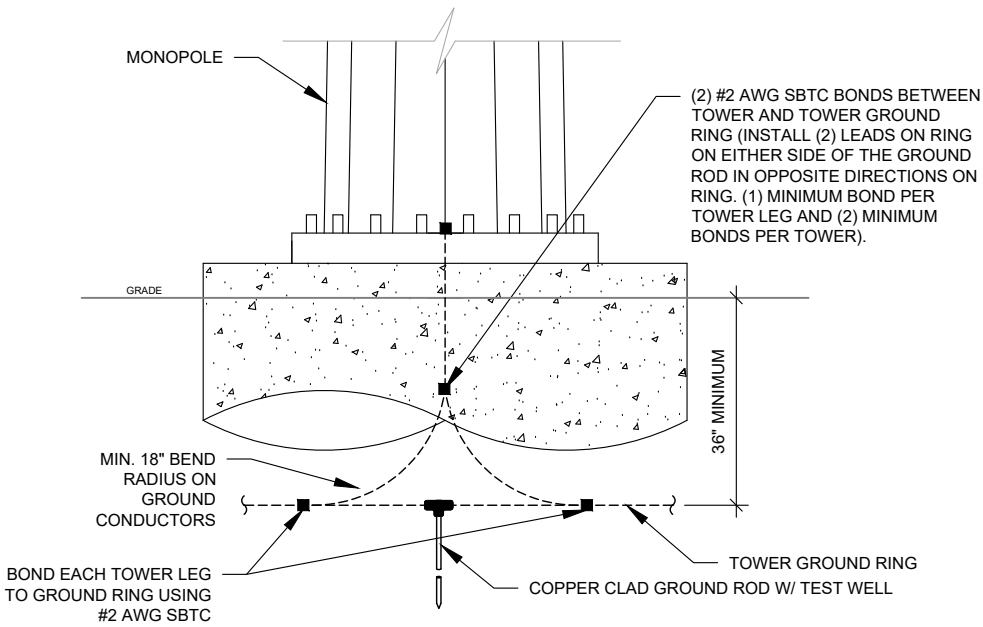
2 GROUND ROD DETAIL  
SCALE: N.T.S.



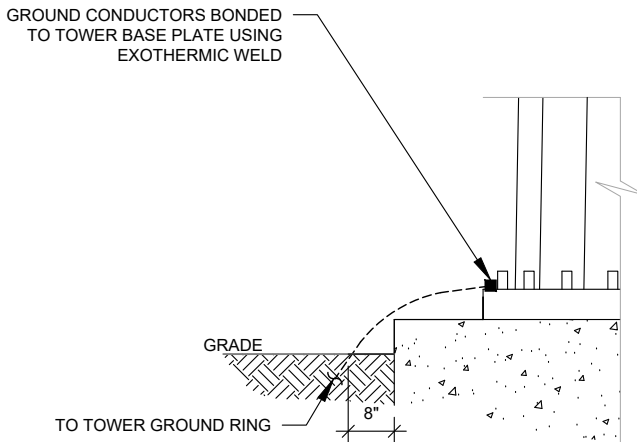
4 GROUND CONNECTION TRENCH DETAIL (STD.)  
SCALE: N.T.S.



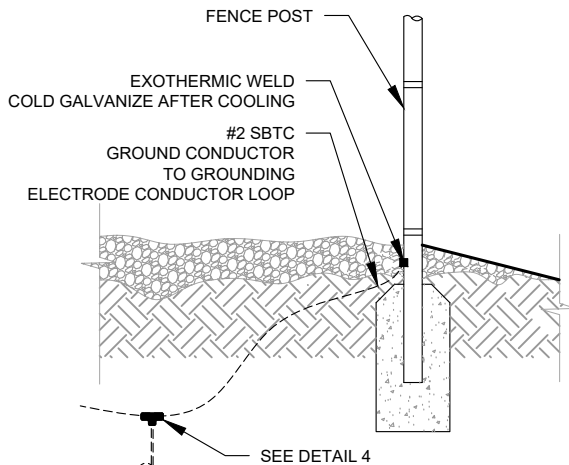
5 TEST WELL DETAIL  
SCALE: N.T.S.



3 TOWER GROUNDING (FRONT)  
SCALE: N.T.S.



6 TOWER GROUNDING (SIDE)  
SCALE: N.T.S.



7 FENCE GROUNDING DETAIL  
SCALE: N.T.S.

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REV.	DESCRIPTION	BY	DATE
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OPS JOB NO:	13734361
ATC LEGACY #:	419522

**ELECTRICAL DETAILS**

SHEET NUMBER:	REVISION:
<b>E-501</b>	<b>0</b>



April 6, 2023

El Paso County  
Planning and Community Development Department  
2880 International Circle, Suite 110  
Colorado Springs, CO 80910

Re: American Tower Corporation, Replacement of telecommunications structure, 2945 Little Turkey Creek Rd, Colorado Springs, CO

Applicant: Tilson Technology Management on behalf of American Tower Corporation

Contact: Heather Carlisle

Property Address: 2945 Little Turkey Creek Rd, Colorado Springs, CO

Property Tax Schedule Number: 7615000004

Current Zoning of the Property: A-5

To Whom It May Concern,

Tilson Technology Management, Inc., (“Tilson”) on behalf of American Tower Corporation (“ATC”) respectfully submits the following information to supplement its application for a Site Development Plan Application for the proposed replacement tower located at 2945 Little Turkey Creek Rd, Colorado Springs, CO. Pursuant to Section 5.2.19 (B) of the El Paso County Land Development Code, Tilson presents the following information:

**5.2.19. Commercial Mobile Radio Service Facility (CMRS) Facilities**

*(B) General Standards*

*An applicant for a new freestanding CMRS facility shall demonstrate that a good faith effort has been made to co-locate on existing CMRS facilities. The applicant shall demonstrate that due to*

*physical constraints, or economic or technological infeasibility, no such location or co-location is available. The applicant shall also demonstrate that contact has been made with the owners of all suitable structures within the search area of the proposed site and was denied permission to locate its CMRS facility on those structure:*

*All facilities shall be designed and constructed to allow for colocation of a minimum of 2 users unless specifically exempted by the BOCC.*

**American Tower is proposing to replace the existing tower located at 2945 Little Turkey Creek Rd, Colorado Springs with a new tower and add an additional height of 20' (increasing the height of the previous stealth monopine from 49' to 69') to accommodate an additional carrier. This will therefore fall under the site development plan process (PPR) since this proposal is for the construction of a new tower. There are currently utilities on-site servicing the existing tower, and the same utilities will provide service to the new tower.**

*(2) Compliance with FCC Standards*

*At the request of the PCD Director, which request shall occur no more than once per year, CMRS facility owners and operators shall certify that:*

*The CMRS facility complies with the current FCC regulations prohibiting localized interference with reception of television and radio broadcasts; and*

*The CMRS facility complies with the current FCC standards for cumulative field measurements of radio frequency power densities and electromagnetic fields.*



*In adopting this requirement, the County is not attempting to regulate radio frequency power densities or electromagnetic fields, which regulation is controlled by the FCC.*

**ATC will provide certification at the request of the PCD Director on an annual basis.**

*(3) Abandonment and Expiration*

*If the CMRS facility ceases operation for any reason for a period of one year:*

*El Paso County, Colorado Land Development Code*

*Use and Dimensional Standards – Chapter 5-Page 21 Effective 01/09/2018*

- *The owner or operator shall remove the CMRS facility within 6 months of the expiration;*  
*and*
- *Any permit or approval authorizing the CMRS facility shall be considered expired.*

**ATC shall comply with this provision.**

*(4) Application Approval or Denial*

*In considering an application for a CMRS facility, the County shall base its decision as to the approval or denial of the application on whether the proposed CMRS facility meets the design*

*standards set forth in this Section and any approval criteria associated with the applicable application or review process.*

**The current plans adhere to the design standards set forth in this Section.**

*(5) Accessory Equipment for CMRS Facility*

*All accessory equipment for a CMRS Facility shall be 100% screened from view. All equipment shelters shall be located within the lease area for the CMRS facility. No equipment storage shelter shall exceed 15 feet in height. Equipment storage shelters shall be grouped as closely together as practical, so as to minimize impact on adjoining properties. The total area of all accessory equipment, including equipment storage shelters, shall not exceed 400 square feet per CMRS facility, except for a small cell facility where 17 square feet shall be the maximum allowed.*

**ATC will continue to comply with this requirement, as shown on the construction drawings included with this submission.**

*(6) Standards for Freestanding CMRS Facilities*

*(a) Tower/Structure Removal Agreement*

*Prior to commencing construction of a new freestanding CMRS facility or any alteration of an existing freestanding CMRS facility, a Tower/Structure Removal Agreement shall be signed by the owner of the property and filed for recording with the Clerk and Recorder.*



**ATC shall comply with this provision prior to commencing construction of the replacement tower.**

*(b) Financial Assurance*

*Prior to commencing construction of a CMRS facility, the owner of a freestanding CMRS facility shall be required to provide the County with adequate financial assurance to cover removal of the facility if abandoned. The form of financial assurance shall be approved by the PCD Director.*

**ATC shall comply with this provision prior to commencing construction of the replacement tower.**

*(c) Minimum Setbacks for Freestanding CMRS Facilities*

*(i) Located Within 250 Feet of Residential Zoning District*

*A freestanding CMRS facility located within 250 feet of any property zoned for residential use shall be set back from any residential property line one foot of distance for every foot of facility height (as measured from grade elevation), plus an additional 10 feet.*

**N/A, tower is not located within 250' of a Residential Zoning District**

*(ii) Located Over 250 Feet from Residential Zoning District*

*A freestanding CMRS facility located greater than 250 feet from property zoned for residential use shall meet the minimum setback requirements for structures and structures of the underlying zoning district and located in a manner to contain any freefall or icefall on the same property.*

**As demonstrated in the construction drawings that are included with this submission, the aforementioned setbacks have been met.**

*(d) Maximum Height for Freestanding CMRS Facilities*

*A freestanding CMRS facility, including antennae, shall not exceed the maximum structure height limit in the zoning district unless otherwise specifically authorized as a part of the special use or variance of use approval. Any tower that exceeds 200 feet shall require FAA approval prior to approval of a special use or variance of use.*

**The height of the replacement tower will be 69', thus meeting the maximum height requirements.**

*(e) Administrative Special Use of Variance of Use Amendment.*

*The PCD Director may administratively amend the special use or variance of use approval for a minor modification to the CMRS facility provided the modifications do not constitute a Substantial Change.*

**N/A, the tower replacement with height increase constitutes a substantial change.**

*(f) Design Standards for Freestanding CMRS Facilities*



*A freestanding CMRS facility shall adhere to the following design standards to minimize impacts:*

*(i) Compatible with Surrounding Area*

*A freestanding CMRS facility shall be designed to be compatible with surrounding buildings and structures and existing or planned uses in the area, subject to any applicable FAA regulations.*

**The current/proposed structure is a monopine which blends into the surrounding area, which is primarily agricultural/forest.**

*(ii) Existing Vegetation Existing landforms, vegetation and structures shall be used to screen the facility from view and blend in with the surrounding environment, to the extent practicable. Existing vegetation shall be preserved or enhanced, where feasible.*

**Existing vegetation and structures shall continue to be used to screen the facility, and shall be preserved and enhanced, where feasible.**

*(iii) No Lighting*

*The facility antennae shall not be lighted unless required by the FAA and authorized by the permit or approval.*

**The structure is unlit.**

*(iv) Dangerous Equipment and Attractive Nuisance Any equipment that could be dangerous to persons or wildlife shall be adequately*

*fenced. The attractive nuisance potential shall be minimized through fencing and methods to discourage unauthorized climbing.*

**Leased area and compound are fenced.**

*(vii) Dish Diameter Limited*

*The diameter of a microwave dish antenna shall not exceed 4 feet.*

**N/A**

*(7) Stealth CMRS Facility Design Standards*

*A stealth CMRS facility shall meet the same design standards and maximum height allowance as a freestanding CMRS facility.*

**As demonstrated above, the proposed stealth CMRS facility meets the applicable design standards and maximum height allowances for a freestanding CMRS facility.**

The proposed tower replacement at 2945 Little Turkey Creek Rd, Colorado Springs, CO meets all of the applicable requirements of Section 5.2.19 (B) of the El Paso County Land Development Code. The replacement of the existing facility will allow for additional collocators while not exceeding the Code's maximum height requirements, and the tower will continue to blend within the surrounding area and will not adversely impact adjacent properties. Existing stormwater runoff patterns will also not be affected, since the footprint of the existing tower compound will not be expanded.



Respectfully submitted,

*Heather Carlisle*

Heather Carlisle  
Sr. Counsel, Siting & Real Estate  
[hcarlisle@tilsontech.com](mailto:hcarlisle@tilsontech.com)  
(774) 285-1082