

# MAYBERRY APARTMENTS PUD DEVELOPMENT PLAN

## TRACT "K" OF MAYBERRY COLORADO SPRINGS FILING NO. 1 SITUATED IN THE NORTHWEST QUARTER OF SECTION 14, TOWNSHIP 14 SOUTH, RANGE 63 WEST OF THE 6TH P.M., CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

Is this going to be called "Mayberry Apartments," "Mayberry Phase 2," or "Mayberry Filing No. 5"? I would recommend not referring to the PUD / preliminary plan as a filing; I would recommend calling it "Phase 2" to keep consistent with previous naming conventions and as shown in the sketch plan.

This should say PUD Development Plan and Preliminary Plan

### LEGAL DESCRIPTION:

THAT PORTION OF LAND LOCATED IN THE SOUTHEAST 1/4 OF SECTION 8 TOWNSHIP 14 SOUTH,

RR# MC22068

LAND DESCRIPTION FOR ZONING EXHIBIT OF TRACT K, MAYBERRY, COLORADO SPRINGS FILING NO. 1:

All of Tract K, MAYBERRY, COLORADO SPRINGS FILING NO. 1, a subdivision of land in the Northwest Quarter of Section 14, Township 14 South, Range 63 West of the 6th Principal Meridian, El Paso County, Colorado, the plat of said subdivision recorded December 28, 2020 as Reception Number 220714655 in the Office of the Clerk and Recorder of El Paso County, Colorado.

SAID DESCRIPTION TO CONTAIN 8.31 ACRES, MORE OR LESS.

### Surveyors Certificate

I, surveyor's name, a duly registered Professional Land Surveyor in the State of Colorado, do hereby certify that this plat truly and correctly represents the results of a survey made on date of survey, by me or under my direct supervision and that all monuments exist as shown hereon; that mathematical closure errors are less than 1:10,000; and that said plat has been prepared in full compliance with all applicable laws of the State of Colorado dealing with monuments, subdivision, or surveying of land and all applicable provisions of the El Paso County Land Development Code.

I attest the above on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Surveyor's Name, (Signature) \_\_\_\_\_ Date \_\_\_\_\_  
Colorado registered PLS # \_\_\_\_\_

Land Owner Certification  
In Witness Whereof:  
HAS EXECUTED THESE PRESENTS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_  
A.D., A COLORADO LIMITED LIABILITY COMPANY

AUTHORIZED AGENT, MANAGER \_\_\_\_\_

State of Colorado  
County of \_\_\_\_\_  
Signed before me on \_\_\_\_\_, 20\_\_  
by \_\_\_\_\_ (name(s) of individual(s) making statement).

(Notary's official signature) \_\_\_\_\_ OF \_\_\_\_\_, 20\_\_ A.D. BY \_\_\_\_\_

(Title of office) \_\_\_\_\_

(Commission Expiration) \_\_\_\_\_

### Board of County Commissioners Certificate

This PUD development plan and preliminary plan for (name of subdivision or plat) was approved for filing by the El Paso County, Colorado Board of County Commissioners on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_, subject to any notes specified hereon and any conditions included in the resolution of approval. The dedications of land to the public (streets, tracts, easements: list those applicable) are accepted, but public improvements thereon will not become the maintenance responsibility of El Paso County until preliminary acceptance of the public improvements in accordance with the requirements of the Land Development Code and Engineering Criteria Manual, and the Subdivision Improvements Agreement.

Chair, Board of County Commissioners \_\_\_\_\_ Date \_\_\_\_\_

Director, Planning and Community Development Department \_\_\_\_\_ Date \_\_\_\_\_

### Clerk and Recorder Certification

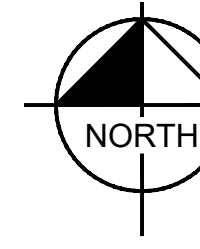
STATE OF COLORADO )  
JSS.  
EL PASO COUNTY )

I HEREBY CERTIFY THAT THIS PLAN WAS FILED IN MY OFFICE ON THIS \_\_\_\_\_ OF \_\_\_\_\_, 20\_\_ AT \_\_\_\_\_ O'CLOCK A.M./P.M. AND WAS RECORDED PER \_\_\_\_\_

RECEPTION NO. \_\_\_\_\_

EL PASO COUNTY CLERK AND RECORDER

It appears that the vicinity map is missing here.



This should be cleaned up. It should be made more clear that one of these notes applies to Mayberry as a whole and the other one.

Move general provisions notes to top left.

Not sure what is meant by this - I am not seeing any PUD modifications for road design standards

A site development plan is also required.

Is this note necessary?

Include this language: The total number of dwellings or the total commercial, business, or industrial intensity shown on the development plan for development within the specified planning areas is the maximum development requested for platting or construction (plus any approved density transfers). The actual number of dwellings or level of development may be less due to subdivision or Site Development Plan requirements, land carrying capacity, or other requirements of the Board of County Commissioners.

Will no longer be referred to as "tract k." I would recommend updating this to say "exterior boundary" or provide some other designator that identifies where the setbacks apply

This is much taller than any other zoning district in the County. Why so tall?

This is not advised. There will be no open space / green space / landscaping?

The cover sheet shall include any cross reference to the ZCP or previous PUD Development Plan, including any recording references.

Some of this information is duplicated

What is the significance of the types? This is not explained elsewhere in the plan. Which lots / units are which type? Are they fee simple lots or for-rent units?

### SITE DATA TABLE:

TOTAL SITE ACREAGE	8.31 AC
PROPOSED MIXED MULTIFAMILY DWELLING UNITS	146 D.U.
FINAL PROPOSED (GROSS) DENSITY	17.57 D.U./AC.
MAX BUILDING HEIGHT	60'
TYPE OF USE # ACRES PROVIDED	
MULTI-FAMILY RESIDENTIAL TYPE A (108 UNITS)	1.09 AC±
SINGLE FAMILY ATTACHED RESIDENTIAL TYPE A (38 UNITS)	0.478 AC±
SINGLE FAMILY ATTACHED RESIDENTIAL TYPE B (38 UNITS)	1.01 AC±
SINGLE FAMILY ATTACHED RESIDENTIAL TYPE C (6 UNITS)	0.1808 AC±
SINGLE FAMILY ATTACHED RESIDENTIAL TYPE D (4 UNITS)	0.096 AC±
COMMUNITY CENTER	0.61 AC±
LANDSCAPE	2.38 AC±
CRUSHER FINE TRAIL	0.12 AC±
PAVED/PARKING	3.10 AC±
TOTAL	8.31 AC±

Where is the open space calculation? Per PUD criteria in the LDC, 10% minimum of the gross area of the PUD shall be set aside as open space. Please review Section 4.2.6.F.8 for more information regarding what constitutes open space.

add note below

### PROJECT TEAM:

DEVELOPER:  
MAYBERRY COMMUNITIES LLC  
3295 DIVINE HEIGHTS #104  
COLORADO SPRINGS, CO 80922

CIVIL ENGINEER:  
R&R ENGINEERING  
1635 W. 13TH AVENUE, SUITE 310  
DENVER, CO 80204

PLANNERS/LANDSCAPE ARCH.:  
KIMLEY HORN AND ASSOCIATES, INC  
2 NORTH NEVADA AVENUE, SUITE 900  
COLORADO SPRINGS, CO 80903

include telephone numbers

### SOILS & GEOLOGY, CONDITIONS, CONSTRAINTS, & GEOLOGIC HAZARDS NOTE

A "Geotechnical Investigation Mayberry Apartments and Townhomes, Tract K, El Paso County, Colorado", was completed by CTL Thompson, Inc., last dated September 9, 2022, CTL-T Project No. CS19587-125.

Subsurface conditions encountered in our exploratory borings, drilled during this investigation, consisted of slightly silty to very silty sand, silty-clayey sand, and clayey to very clayey sand. Some pertinent engineering characteristics of the soils encountered, and groundwater conditions are discussed in the following paragraphs

The constraints listed are not considered hazards, nor are they considered unusual for the Front Range region of Colorado. Appropriate planning and engineering practices have been followed in design of the project to minimize risk associated with the listed constraints. The development is to utilize conventional shallow foundations. Therefore, no perimeter drains are recommended or proposed. Appropriate surface grading and drainage should be established during construction, per the approved civil construction documents, and maintained over the life of the structure by the homeowner. Additional mitigation measures can be found in said report, available at the El Paso County Planning and Community Development Department.

### Swimming Pool

It is recommended the pool be underlain by a drain system that collects water leakage and provides for discharge of the water to a sump or gravity outfall. The drain system should consist of free-draining gravel covering the bottom of the pool excavation. The excavation should slope to a 3 to 4-inch diameter, perforated or slotted pipe placed within the gravel layer. The drain should lead to a positive gravity outlet, such as a subdrain located beneath the sewer, or to a sump where water can be removed by pumping.

LDC/ECM SECTION	CATEGORY	STANDARD	MODIFICATION	JUSTIFICATION	APPROVAL CRITERIA
1 LDC 5.4	SETBACK	MINIMUM FRONT SETBACK IS 15' DEFINED IN TABLE 5.4, DENSITY AND DIMENSIONAL STANDARDS FOR AGRICULTURAL, RESIDENTIAL AND SPECIAL PURPOSE DISTRICT.	THE PROPOSED DEVELOPMENT PROVIDES A 10' SETBACK FOR THE CLUBHOUSE AT THE NORTHEAST CORNER OF NEW LOG ROAD (TO BE RENAMED AS MAYBERRY DRIVE) AND VILLAGE MAIN.	THE CLUB HOUSE SERVES AS A GRAND ENTRANCE FOR THE MAYBERRY SUBDIVISION. MARKET PLACE DRIVE WILL PROVIDE AN URBAN ENVIRONMENT WITH TOWNHOMES ON THE WEST SIDE AND SINGLE-FAMILY HOMES ON THE EAST SIDE.	

You cannot request a waiver of Chapter 5 requirements. Per Chapter 7, waivers are only permissible for subdivision design standards of Chapters 6, 7, and 8.

Not sure why this is a PUD modification. You can establish setbacks for the clubhouse in your dimensional standards for the PUD. That being said, 10 ft. external setback from a major road seems a bit too close; the standard in commercial zoning districts is 25 ft.

This PUD modification table should include the requests for lack of public road access and easement width.

### Provide the following notes:

-El Paso County does not own and is not responsible for any underdrains or groundwater discharge systems shown on these plans and assumes no liability for water rights administration by approving these plans. Maintenance and water rights are the responsibility of the developer and \_\_\_\_\_ [xx metropolitan district, or yy property owner's association] \_\_\_\_\_.

-There shall be no direct lot access to Mayberry Drive and Village Main Street.

-The private roads as shown on this plat will not be maintained by El Paso County until and unless the streets are constructed in conformance with El Paso County standards in effect at the date of the request for dedication and maintenance

### SHEET INDEX:

01	COVER SHEET
02	PUD PLAN
03	PRELIMINARY LOT LAYOUT
04	OVERALL SITE PLAN
05	OVERALL UTILITY PLAN
06	OVERALL GRADING PLAN
07	LANDSCAPE SHEET INDEX
08	LANDSCAPE PLAN SHEET 1
09	LANDSCAPE PLAN SHEET 2
10	LANDSCAPE PLAN SHEET 3
11	LANDSCAPE PLAN SHEET 4
12	LANDSCAPE PLAN SHEET 5
13	LANDSCAPE PLAN SHEET 6
14	LANDSCAPE NOTES
15	LANDSCAPE DETAILS

Include the following information:  
Date of preparation, date of survey (if applicable)  
Date of submission with provisions for dating revisions located in the lower right hand corner

**Kimley >>> Horn**

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2 NORTH NEVADA AVENUE, SUITE 900  
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

COVER SHEET 01 OF 15

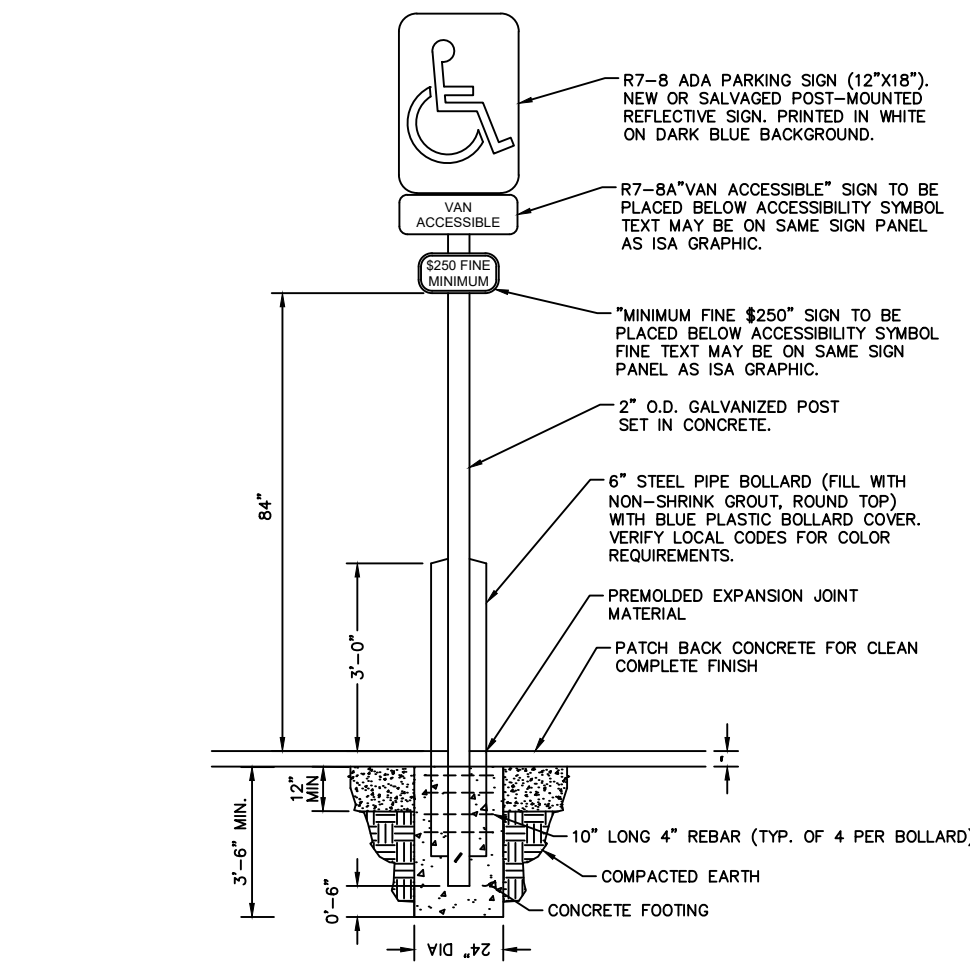
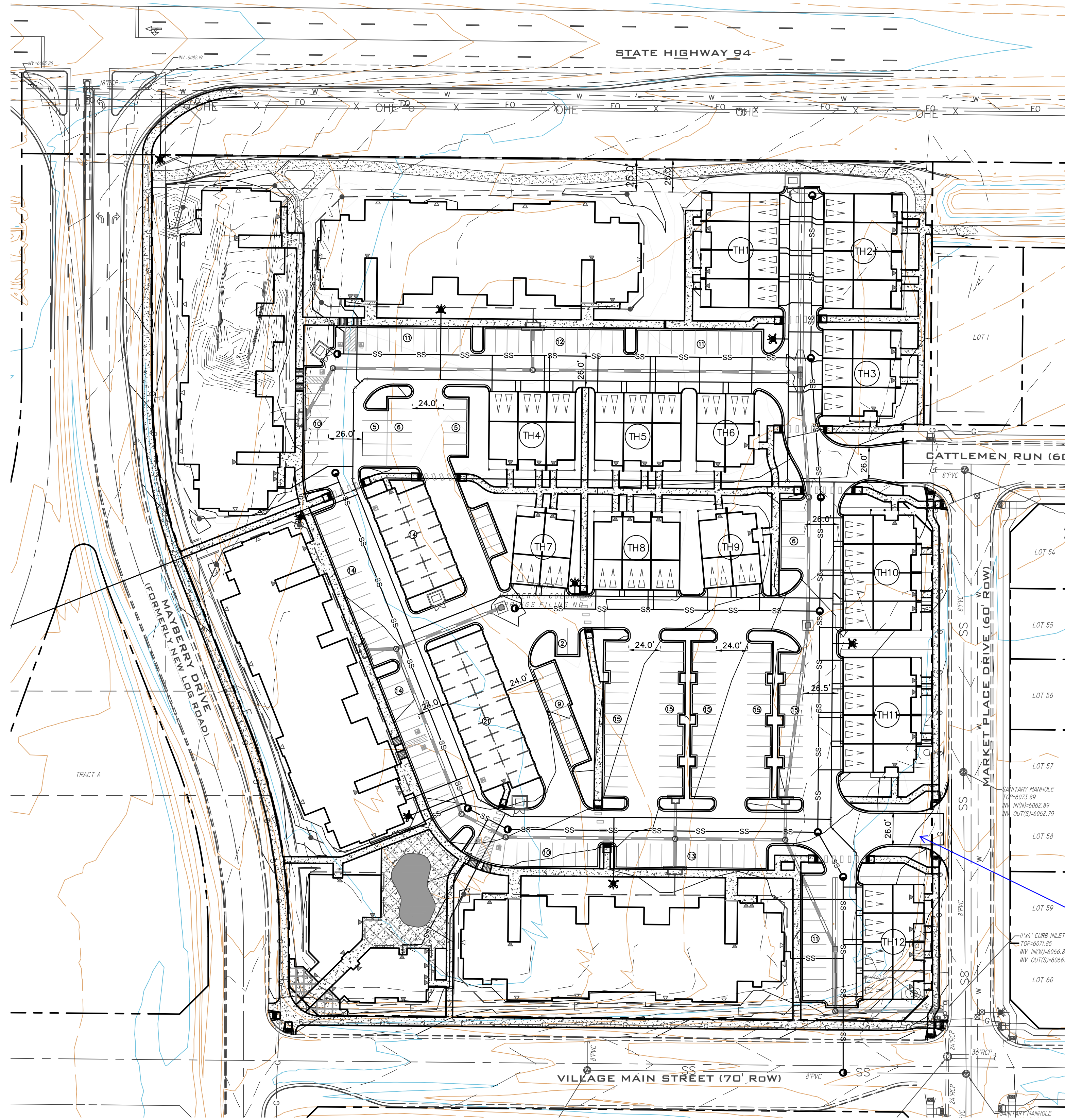


# MAYBERRY APARTMENTS

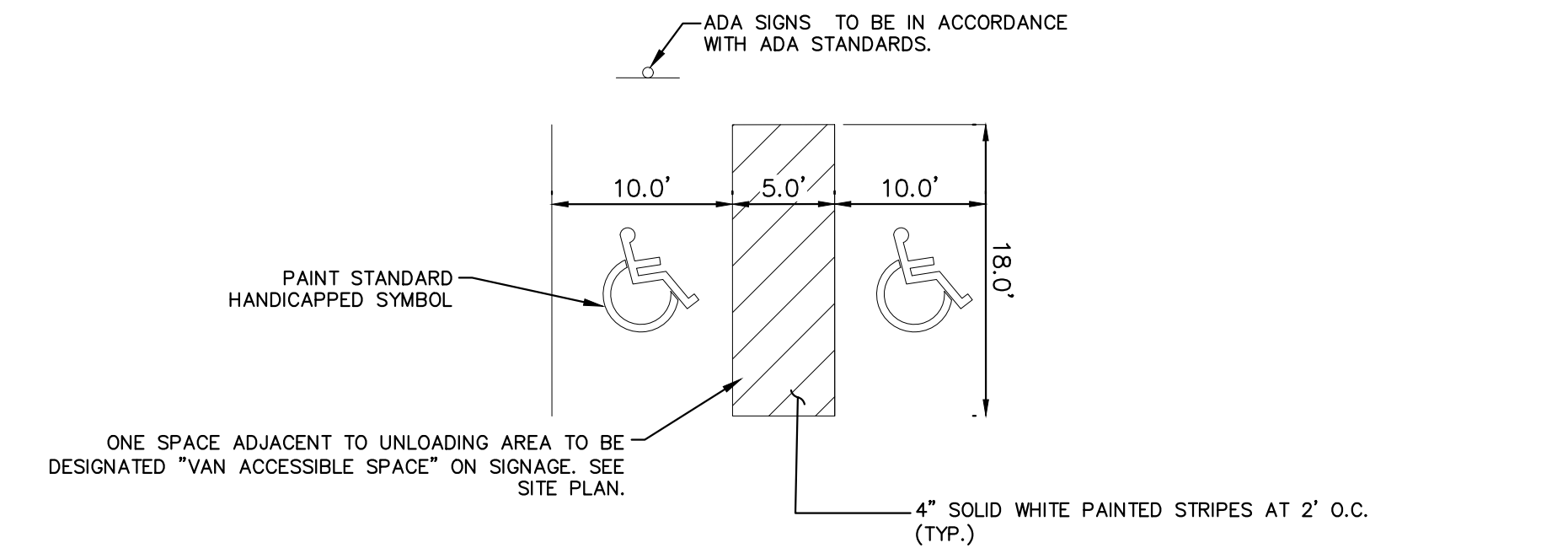
## PUD-DEVELOPMENT PLAN

### TRACT "K" OF MAYBERRY COLORADO SPRINGS FILING NO. 1

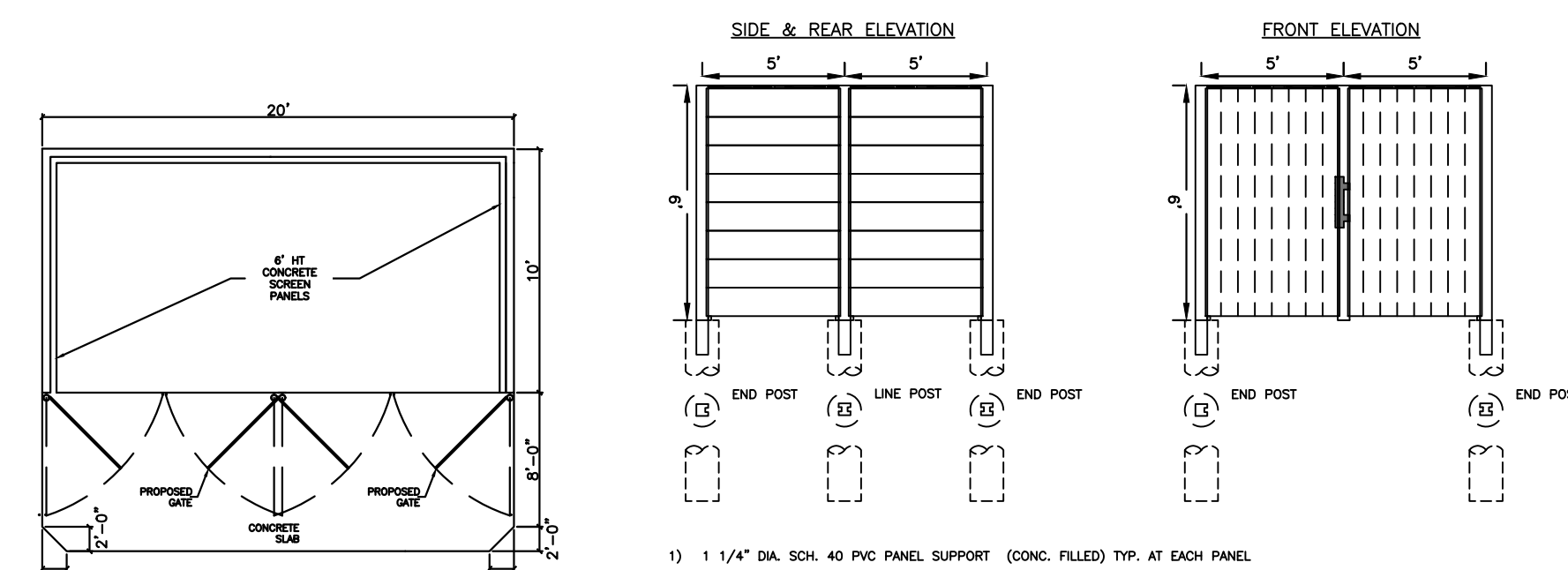
SITUATED IN THE NORTHWEST QUARTER OF SECTION 14, TOWNSHIP 14 SOUTH, RANGE 63 WEST OF THE  
6TH P.M., CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



1 ADA PARKING SIGN DETAIL  
NTS



2 ADA PARKING STALL DETAIL  
NTS



3 TRASH ENCLOSURE DETAIL  
NTS

Identify whether all of the roads are public or private (existing and proposed).

The letter of intent indicates private streets. Please identify what is proposed as a street and what is a drive aisle as it appears that only drive aisles are proposed with the exception of the extension of Cattlemen Run

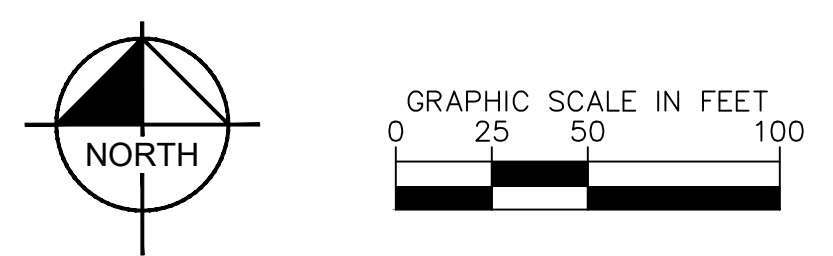
Please use the table below (from Table 6-2 in the LDC) to determine if parking meets the requirements. It is not possible to tell because you have not identified the number of bedrooms in the multifamily units. Use membership club/health club/community center for the clubhouse.

Residential, Single-Family	
Single Family	2 spaces per dwelling unit
Single Family, Attached	2 spaces per dwelling unit, plus 1 guest space per 4 units.
Residential, Multi-Family	
Studio or Efficiency	1.1 spaces per dwelling unit
1 Bedroom	1.5 spaces per dwelling unit
2 Bedroom	1.7 spaces per dwelling unit
3 Bedroom	2.0 spaces per dwelling unit
Guest	1 space per 3 dwelling units
Elderly (60 or over)	0.6 spaces per dwelling unit
Membership Club/Health Club/Community Centers	1 space per 150 square feet of floor area

**DRIVEWAY & GARAGE PARKING NOTES:**

- ALL PLANNED ACCESS WITHIN THE PUD ARE FOR THE PURPOSE OF FACILITATING VEHICULAR PASSAGE FROM PRIVATE DRIVE TO THE INDIVIDUAL LOTS, SPECIFICALLY TO THE DESIGNATED PARKING AREAS FOR EACH UNIT.
- TWO (2) IDENTIFIED [Symbol] GARAGE UNITS ARE TO BE ADA ACCESSIBLE PARKING AND MEET ADA PARKING CRITERIA.

PARKING TABLE	
TOWNHOME GARAGE COUNT	76
STANDARD GARAGE COUNT	33
ADA VAN GARAGE COUNT	2
TOTAL GARAGE COUNT	111
SURFACE PARKING COUNT (COMPACT)	86
SURFACE PARKING COUNT (STANDARD)	124
SURFACE ADA STALLS (TOTAL/VAN)	8 / 4
TOTAL SURFACE PARKING STALLS	218
TOTAL PARKING SPACES	329





# MAYBERRY APARTMENTS & TOWNHOMES

PLANNED UNIT DEVELOPMENT & PRELIMINARY PLAN  
 A PORTION OF MAYBERRY, COLORADO SPRINGS, FILING NO. 1A  
 LOCATED IN THE NORTHWEST CORNER OF SECTION 14, TOWNSHIP 14 SOUTH, RANGE 63 WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO

Are there no tracts proposed for this subdivision? Open space tracts, roads, common improvements, etc. should be located within tracts so maintenance responsibilities can be clearly identified.

S.H. 94



This page is confusing. It appears as if the buildings are all supposed to be lots, and some are labeled as lots and others are not labeled at all. Please clarify.

Are these also intended to be numbered lots?

Why is this labeled like this? This should be Lot 1 and the other smaller lots should follow the same numbering scheme.

Lot sizes need to be included in both acres and square feet if they are less than 2.5 acres, or just acres if they are greater than 2.5 acres.

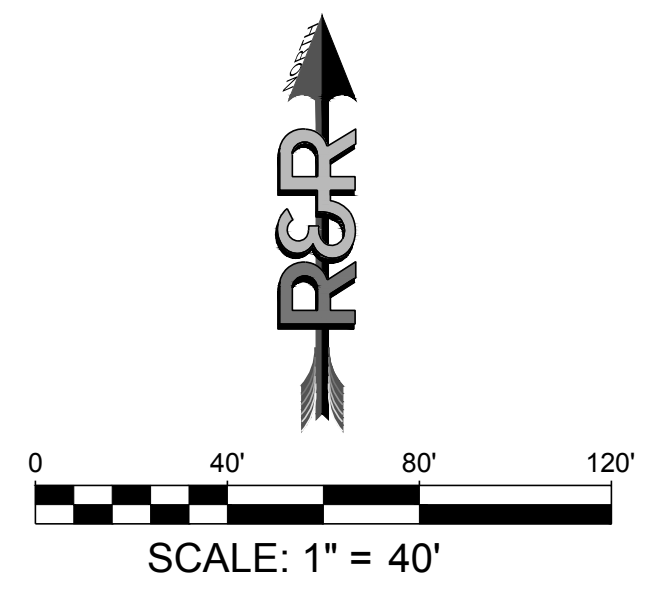
The perimeter utility / drainage easement is required to be 20 ft. for lots greater than 2.5 acres per Sections 8.4.5 and 8.4.6 of the LDC. The depicted setbacks would not accommodate this requirement.

Easement width waiver may only be considered if DPW agrees to shortening the drainage easement and utility companies are also agreeable.

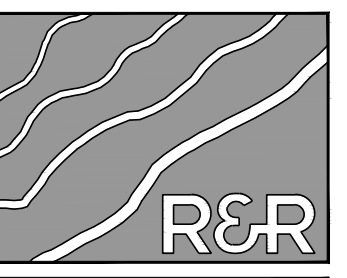
Please depict site distance triangles at all intersections so we can determine that the placement of the structures will not impede traffic visibility. This doesn't have to be on this sheet per se, but could be located on a sheet where it won't be difficult to find or read.

What are the setbacks for these? They appear to be 0-lot line abutting right-of-way. This is not likely to be acceptable.

- NOTES:
- TRACT K STATE HIGHWAY 94 SETBACK: 25' MINIMUM
  - TRACT K MAYBERRY DRIVE (FORMERLY NEW LOG ROAD) SETBACK: 10' MINIMUM FROM PROPERTY LINE.
  - TRACT K VILLAGE MAIN STREET SETBACK: 10' MINIMUM FROM PROPERTY LINE.
  - TRACT K MARKET PLACE DRIVE SETBACK: 0' MINIMUM FROM PROPERTY LINE.
  - TOWNHOME LOTS WILL HAVE 0' YARD SETBACK BETWEEN CONNECTED UNITS UNLESS OTHERWISE DEPICTED.
  - CORNER LOTS WILL HAVE A MINIMUM OF A 1' SIDE YARD SETBACK IN CORRESPONDENCE WITH ADJACENT PROPERTY.



NO.	REVISION	BY	DATE



ENGINEERS  
SURVEYORS

**R&R ENGINEERS-SURVEYORS, INC.**  
 1635 WEST 13TH AVENUE, SUITE 310  
 DENVER, COLORADO 80204  
 PHONE: 303-753-6730

WWW.RRENGINEERS.COM

**MAYBERRY APARTMENTS & TOWNHOMES**  
 SITE ADDRESS: SEC OF HIGHWAY 94 & NEW LOG ROAD  
 EL PASO COUNTY, COLORADO  
 PREPARED FOR: MAYBERRY COMMUNITIES, LLC  
 3296 DIVINE HEIGHTS, #207  
 COLORADO SPRINGS, CO 80922

PLANNED UNIT DEVELOPMENT & PRELIMINARY PLAN  
 JOB NO. MC22068  
 ORG. SUBM. DATE 06/xx/2022  
 DWN: ISL /CHKD: CJD  
 NAME

LOT LAYOUT PLAN

SHEET 03  
OF 15

PLANNED UNIT DEVELOPMENT & PRELIMINARY PLAN FOR MAYBERRY APARTMENTS & TOWNHOMES, A PORTION OF MAYBERRY, COLORADO SPRINGS, FILING NO. 1A, LOCATED IN THE NORTHWEST CORNER OF SECTION 14, TOWNSHIP 14 SOUTH, RANGE 63 WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO. PREPARED BY: R&R ENGINEERS-SURVEYORS, INC. DATE: 06/xx/2022.



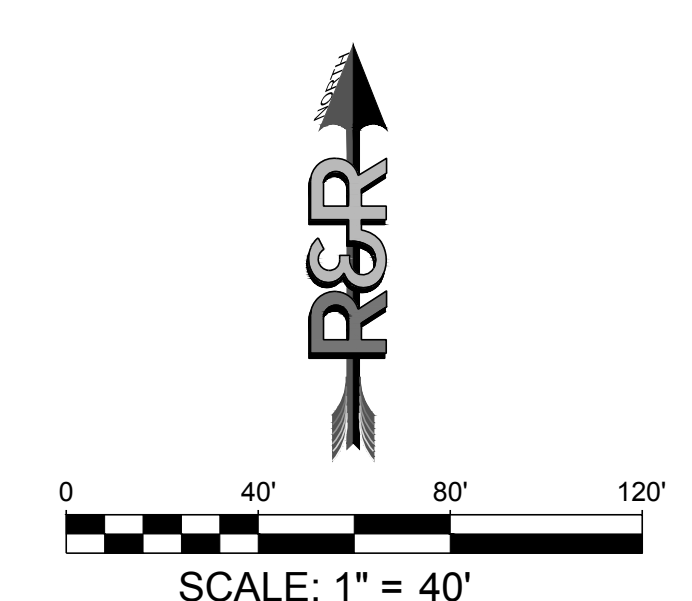
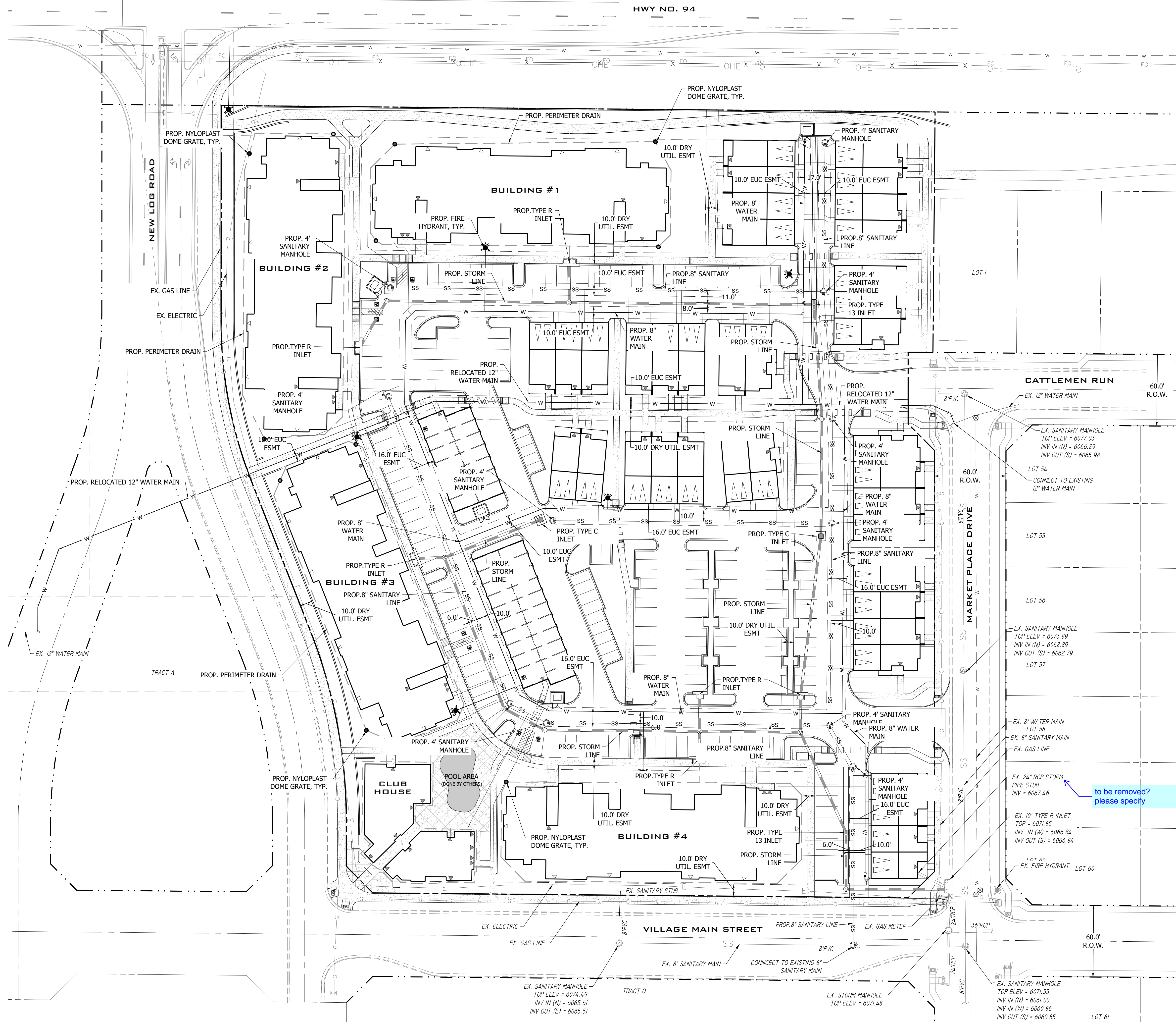




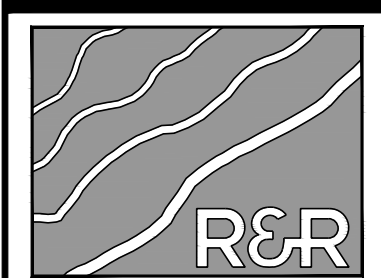
# MAYBERRY APARTMENTS & TOWNHOMES

PLANNED UNIT DEVELOPMENT & PRELIMINARY PLAN  
A PORTION OF MAYBERRY, COLORADO SPRINGS, FILING NO. 1A

LOCATED IN THE NORTHWEST CORNER OF SECTION 14, TOWNSHIP 14 SOUTH, RANGE 63 WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO



NO.	REVISION	BY	DATE



ENGINEERS  
SURVEYORS

**R&R ENGINEERS-SURVEYORS, INC.**  
1635 WEST 13TH AVENUE, SUITE 310  
DENVER, COLORADO 80204  
PHONE: 303-753-6730

WWW.RRENTERS.COM

**MAYBERRY APARTMENTS & TOWNHOMES**  
SITE ADDRESS: SEC OF HIGHWAY 94 & NEW LOG ROAD  
EL PASO COUNTY, COLORADO  
PREPARED FOR: MAYBERRY COMMUNITIES, LLC  
3296 DIVINE HEIGHTS, #207  
COLORADO SPRINGS, CO 80922

PLANNED UNIT DEVELOPMENT & PRELIMINARY PLAN  
JOB NO. MC22068  
ORG. SUBM. DATE 06/xx/2022  
DWN: ISL CHKD: CJD  
NAME

OVERALL UTILITY PLAN

SHEET 05  
OF 15

PLANNED UNIT DEVELOPMENT & PRELIMINARY PLAN  
 MAYBERRY APARTMENTS & TOWNHOMES  
 1635 WEST 13TH AVENUE, SUITE 310  
 DENVER, COLORADO 80204  
 PHONE: 303-753-6730  
 WWW.RRENTERS.COM  
 DATE: 06/xx/2022  
 BY: ISL  
 CHECKED: CJD

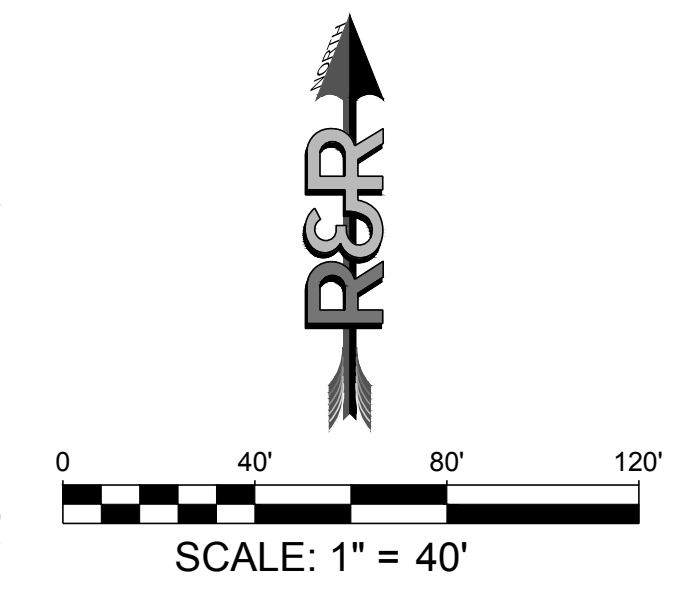
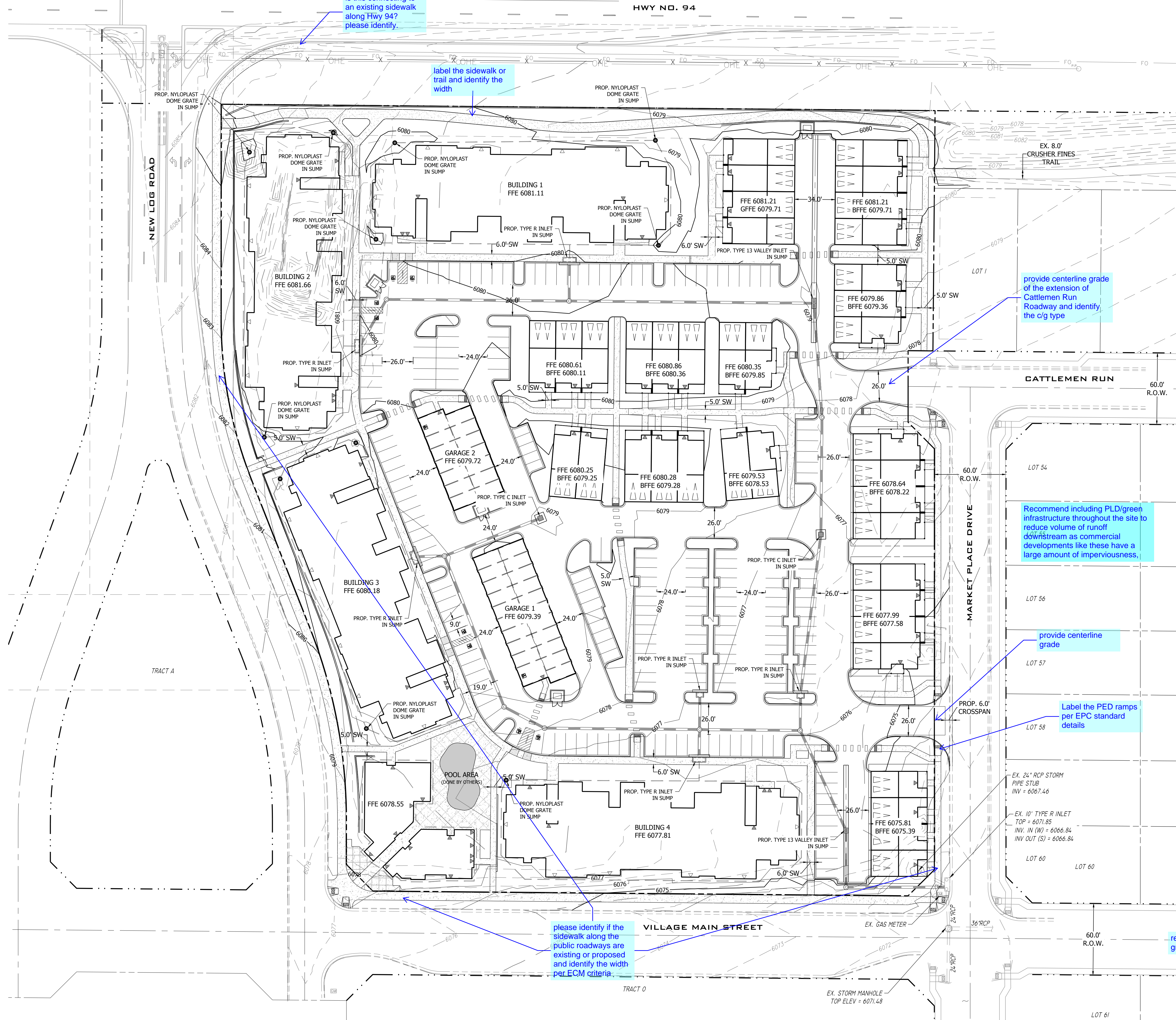


# MAYBERRY APARTMENTS & TOWNHOMES

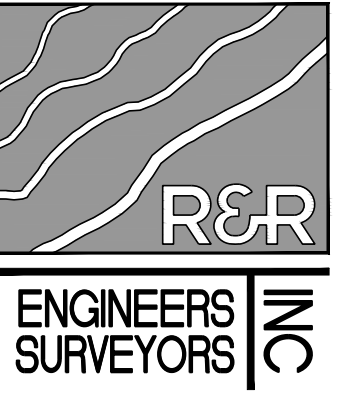
PLANNED UNIT DEVELOPMENT & PRELIMINARY PLAN

A PORTION OF MAYBERRY, COLORADO SPRINGS, FILING NO. 1A

LOCATED IN THE NORTHWEST CORNER OF SECTION 14, TOWNSHIP 14 SOUTH, RANGE 63 WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO



NO.	REVISION	BY	DATE



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**MAYBERRY APARTMENTS & TOWNHOMES**  
 SITE ADDRESS: SEC OF HIGHWAY 94 & NEW LOG ROAD  
 EL PASO COUNTY, COLORADO  
 PREPARED FOR: MAYBERRY COMMUNITIES, LLC  
 3296 DIVINE HEIGHTS, #207  
 COLORADO SPRINGS, CO 80922

PLANNED UNIT DEVELOPMENT & PRELIMINARY PLAN  
 JOB NO. MC22068  
 ORG. SUBM. DATE 06/xx/2022  
 DWN: ISL CHKD: CJD  
 NAME

OVERALL GRADING PLAN

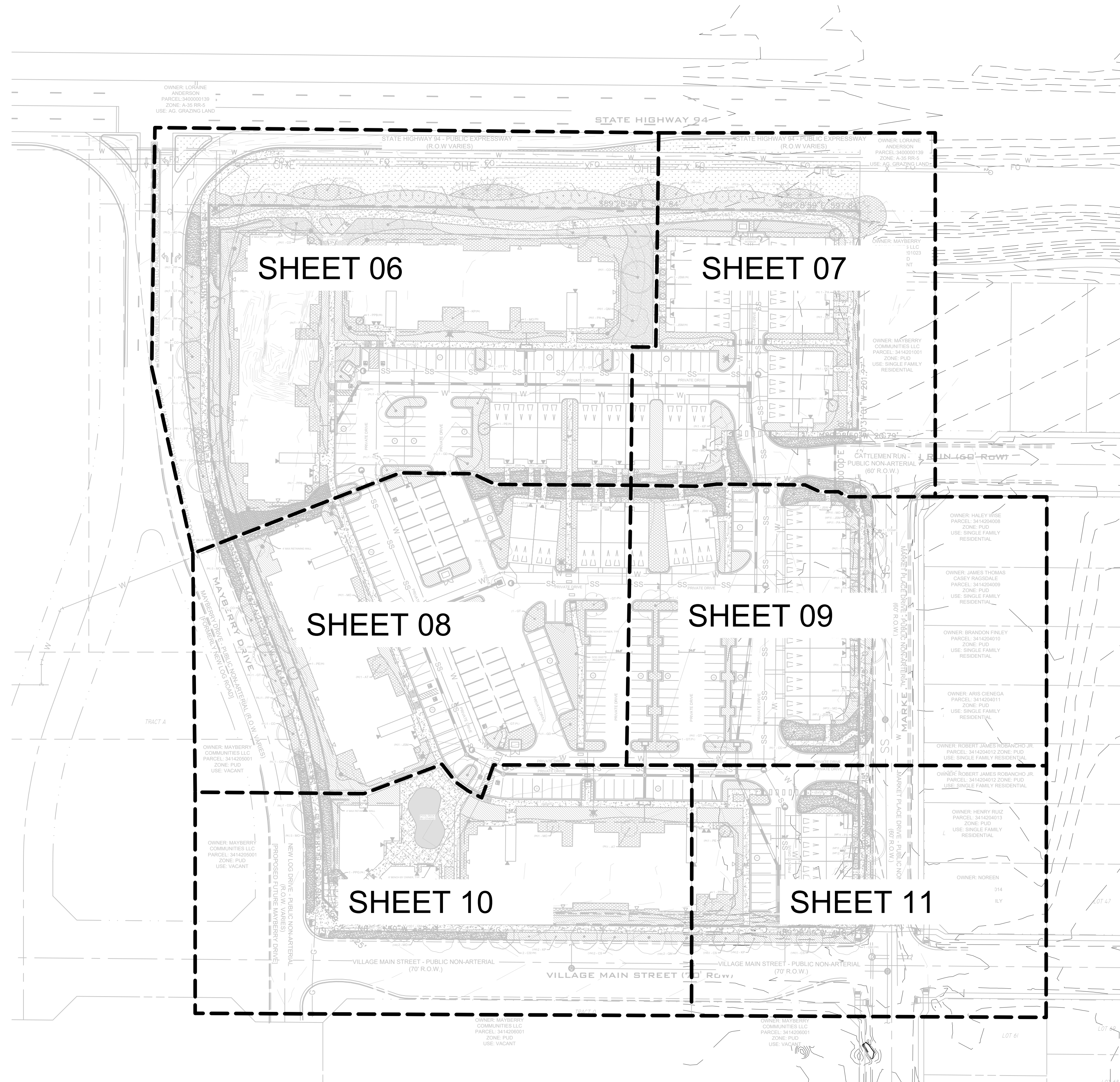
SHEET 06 OF 15

PLANNED UNIT DEVELOPMENT & PRELIMINARY PLAN, MAYBERRY APARTMENTS & TOWNHOMES, EL PASO COUNTY, COLORADO, FILING NO. 1A, SECTION 14, TOWNSHIP 14 SOUTH, RANGE 63 WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO.



**MAYBERRY FILING 5**  
**LANDSCAPE PLAN**  
**TRACT K OF MAYBERRY COLORADO SPRINGS FILING NO. 1**  
 SITUATED IN THE NORTHWEST QUARTER OF SECTION 14, TOWNSHIP 14 SOUTH, RANGE 63 WEST OF THE 6TH P.M.  
 COUNTY OF EL PASO, STATE OF COLORADO

SHEET INDEX MAP (N.T.S.)



SHEET INDEX	
SHEET NUMBER	SHEET TITLE
05	LANDSCAPE SHEET INDEX
06	PRELIMINARY LANDSCAPE PLAN
07	PRELIMINARY LANDSCAPE PLAN
09	PRELIMINARY LANDSCAPE PLAN
08	PRELIMINARY LANDSCAPE PLAN
10	PRELIMINARY LANDSCAPE PLAN
11	PRELIMINARY LANDSCAPE PLAN
12	LANDSCAPE NOTES
13	LANDSCAPE DETAILS

What is meant by this? Required buffer width is 10 ft. for non-arterial and you are proposing 2 ft?

LANDSCAPE SETBACKS AND BUFFERS				
STREET NAME OR BOUNDARY:	STATE HIGHWAY 94	MARKET PLACE DRIVE	VILLAGE MAIN STREET	MAYBERRY DRIVE
ZONE DISTRICT BOUNDARY:	NO	NO	NO	NO
STREET CLASSIFICATION:	EXPRESSWAY	NON-ARTERIAL	NON-ARTERIAL	NON-ARTERIAL
SETBACK DEPTH REQUIRED / PROVIDED:	25' / 25'	15' / 2'-15'	10' / 10'	10' / 10'
LINEAR FOOTAGE:	598'	228'	480'	669'
TREE PER FEET REQ.:	1 TREE PER 20 LF	1 TREE PER 25 LF	1 TREE PER 30 LF	1 TREE PER 30 LF
NUMBER OF TREES REQ. / PROV.	30 / 30	18 / 18	16 / 16	23 / 23
EVERGREEN TREES REQ. / PROV.	N/A	6 / 6	N/A	N/A
SHRUB SUBSTITUTES REQ. / PROV.	N/A	N/A	N/A	N/A
ORN. GRASS SUBSTITUTES REQ. / PROV.	N/A	N/A	N/A	N/A
OPAQUE SCREEN REQ. / PROV.	N/A	N/A	N/A	N/A
PLANT ABBREVIATION DENOTED ON PLAN:	HW	MP	VM	NL

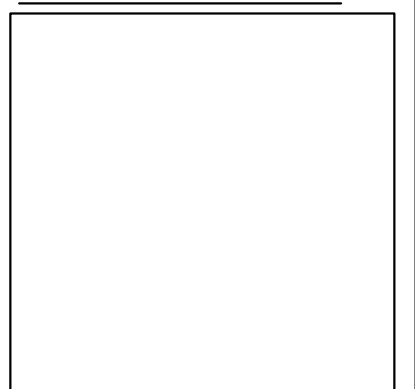
INTERNAL LANDSCAPING	
NET SITE AREA:	362,156 SF (8.31 AC)
PERCENT MINIMUM INTERNAL AREA:	15%
INTERNAL LANDSCAPE AREA REQ. / PROV.	54,324 SF / 133,272 SF
TREE PER FEET REQ.	1 TREE PER 500 SF
INTERNAL TREES REQ. / PROV.	109 / 73
SHRUB SUBSTITUTES REQ. / PROV.	380 / XX
ORN. GRASS SUBSTITUTES REQ. / PROV.	N/A
PLANT ABBREVIATION DENOTED ON PLAN:	IN
% GROUND PLANE VEG. REQ. / PROV.	75% / 75%

This doesn't meet the requirement.

This needs to be completed. Are you proposing any shrub substitutions?

PARKING LOT LANDSCAPING	
NUMBER OF VEHICLE SPACES PROVIDED:	218
SHADE TREES REQUIRED:	1 TREE PER 15 STALLS
SHADE TREES REQ. / PROV.:	15 / 15
PARKING LOT FRONTAGES:	N/A
LENGTH OF FRONTAGE:	N/A
LENGTH OF 3' TALL SCREENING PLANTS REQ. / PROV.:	N/A
LENGTH OF BERM OR FENCE REQ. / PROV.:	N/A
PLANT ABBREVIATION DENOTED ON PLAN:	PL

EPC APPROVAL:





OWNER: LORAIN  
ANDERSON  
PARCEL: 3400000139  
ZONE: A-35 RR-5  
USE: AG. GRAZING LAND

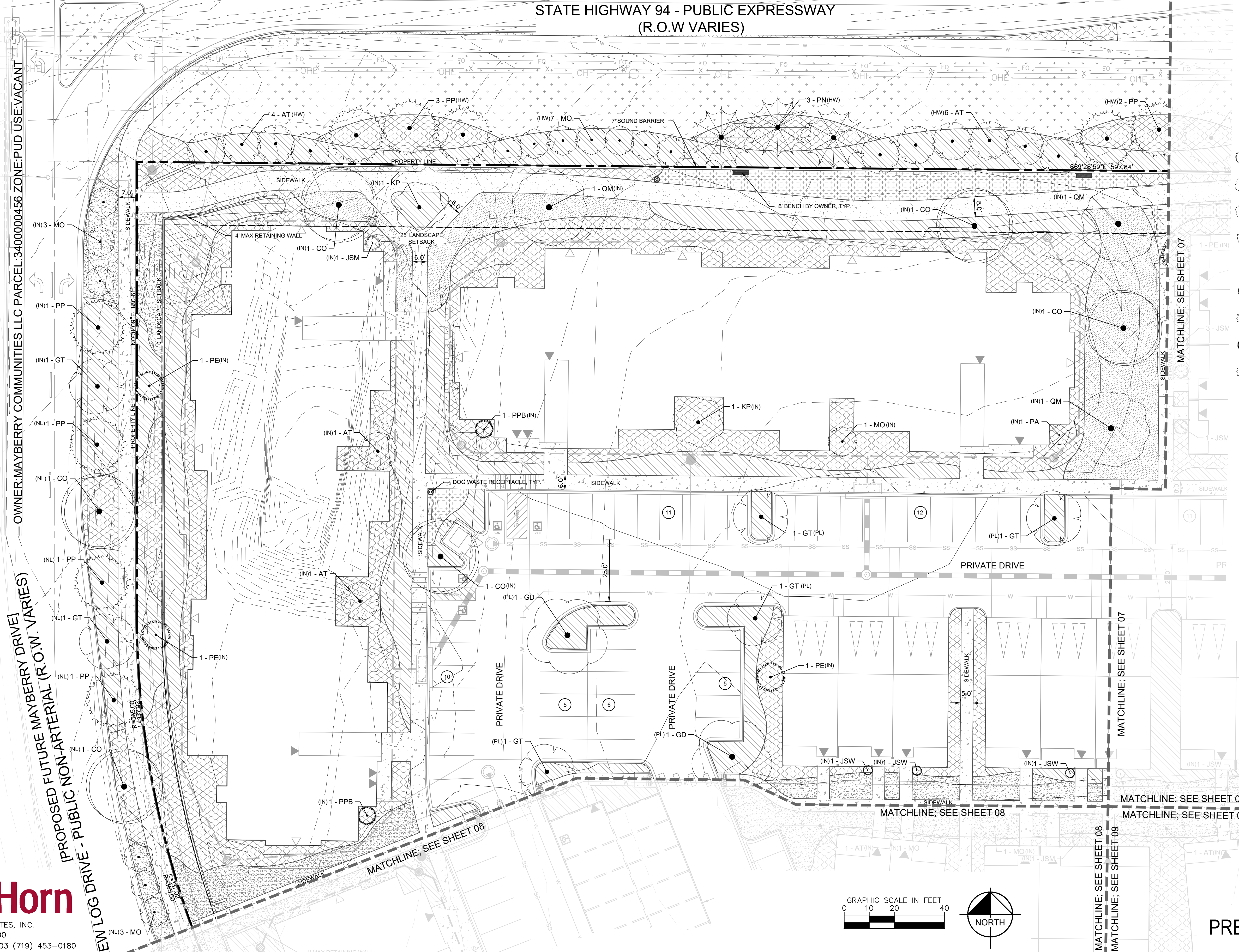
# MAYBERRY FILING 5 LANDSCAPE PLAN TRACT K OF MAYBERRY COLORADO SPRINGS FILING NO. 1 SITUATED IN THE NORTHWEST QUARTER OF SECTION 14, TOWNSHIP 14 SOUTH, RANGE 63 WEST OF THE 6TH P.M. COUNTY OF EL PASO, STATE OF COLORADO

STATE HIGHWAY 94 - PUBLIC EXPRESSWAY  
(R.O.W VARIES)

OWNER: MAYBERRY COMMUNITIES LLC PARCEL: 3400000456 ZONE: PUD USE: VACANT

PROPOSED FUTURE MAYBERRY DRIVE  
[PROPOSED FUTURE MAYBERRY DRIVE] - PUBLIC NON-ARTERIAL (R.O.W. VARIES)

NEW LOG DRIVE - PUBLIC LOG DRIVE - PUBLIC NON-ARTERIAL (R.O.W. VARIES)



### PLANT SCHEDULE

DECIDUOUS TREES		
CODE	QTY	BOTANICAL / COMMON NAME
AT	17	ACER TATARICUM / HOT WINGS / HOT WINGS TATARIAN MAPLE
CO	17	CELTIS OCCIDENTALIS / CHICAGO LAND / CHICAGO LAND WESTERN HACKBERRY
CS	6	CATALPA SPECIOSA / NORTHERN CATALPA
GD	6	GYMNOCALADUS DIOICA / ESPRESSO / KENTUCKY COFFEE TREE (BEEDESS)
GT	13	GLEDITSIA TRACANTHOS NERMS / SUNBURST / SUNBURST HONEY LOCUST
KP	8	KOELREUTERIA PANICULATA / GOLDEN RAIN TREE
MO	41	MALUS 'CORALBURST' / CORALBURST CRABAPPLE
PA	11	PRUNUS CERASIFERA CRIMSON POINT / COLLINAR PURPLE PLUM
QM	7	QUERCUS MACROCARPA / BURR OAK

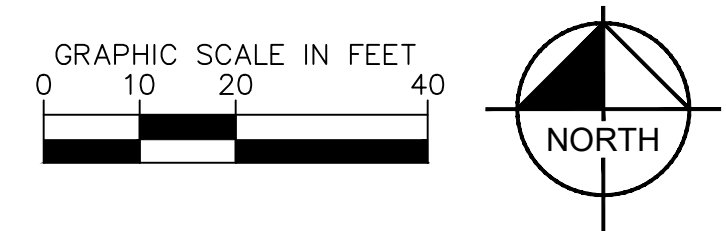
  

EVERGREEN TREES		
CODE	QTY	BOTANICAL / COMMON NAME
JSM	10	JUNIPERUS SCOPULORUM / MOONGLOW / MOONGLOW JUNIPER LOW ROOT DAMAGE POTENTIAL
JSW	8	JUNIPERUS SCOPULORUM 'WICHTA BLUE' / WICHTA BLUE JUNIPER
PE	8	PINUS EDULIS / PINON PINE
PN	6	PINUS NIGRA / AUSTRIAN BLACK PINE
PP	12	PINUS PONDEROSA / PONDEROSA PINE
PPB	2	PICEA PUNGENS 'BLUE DIAMOND' / BLUE DIAMOND DWARF SPRUCE
PPF	1	PICEA PUNGENS 'FASTIGIATA' / FASTIGIATE BLUE SPRUCE
PPG	2	PICEA PUNGENS 'GLAUKA' / COLORADO BLUE SPRUCE

GROUND COVERS		
CODE	QTY	BOTANICAL / COMMON NAME
BREEZE	4.641 SF	BREEZE / CRUISER FINES BREEZE COLOR TO VARY FROM TRAIL AND TO BE SELECTED BY OWNER/CONTRACTOR
ROCK-A	43.013 SF	ROCK MULCH A / ROCK MULCH AND PLANTINGS ROCK MULCH TYPE TO BE DECIDED BY OWNER/CONTRACTOR. ROCK MULCH TO BE PLANTED WITH SHRUBS AND GRASSES.
ROCK-B	43.318 SF	ROCK MULCH B / ROCK MULCH AND PLANTINGS ROCK MULCH TYPE TO BE DECIDED BY OWNER/CONTRACTOR. ROCK MULCH TO BE PLANTED WITH SHRUBS AND GRASSES.
SEED	4.825 SF	EPC LOW GROW MIX INSTALL PER TABLE 5-1. SUBMIT SUPPLIER CUT-SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
SEED2	20.170 SF	EPC ALL PURPOSE MIX INSTALL PER DETAIL - 47N GRAND H TALL FESCUE, 47S 99850 TALL FESCUE, 6N BRITISH BROOMSHIRE
SOD	18.175 SF	SURVIVALSET TALL FESCUE INSTALL PER DETAIL - 47N GRAND H TALL FESCUE, 47S 99850 TALL FESCUE, 6N BRITISH BROOMSHIRE

NOTE: SEE SHEET L-109 FOR FULL PLANT LIST AND SPECIFICATIONS



MATCHLINE: SEE SHEET 07  
MATCHLINE: SEE SHEET 08  
MATCHLINE: SEE SHEET 09

EPC APPROVAL:

PRELIMINARY LANDSCAPE PLAN  
SHEET 08 OF 15



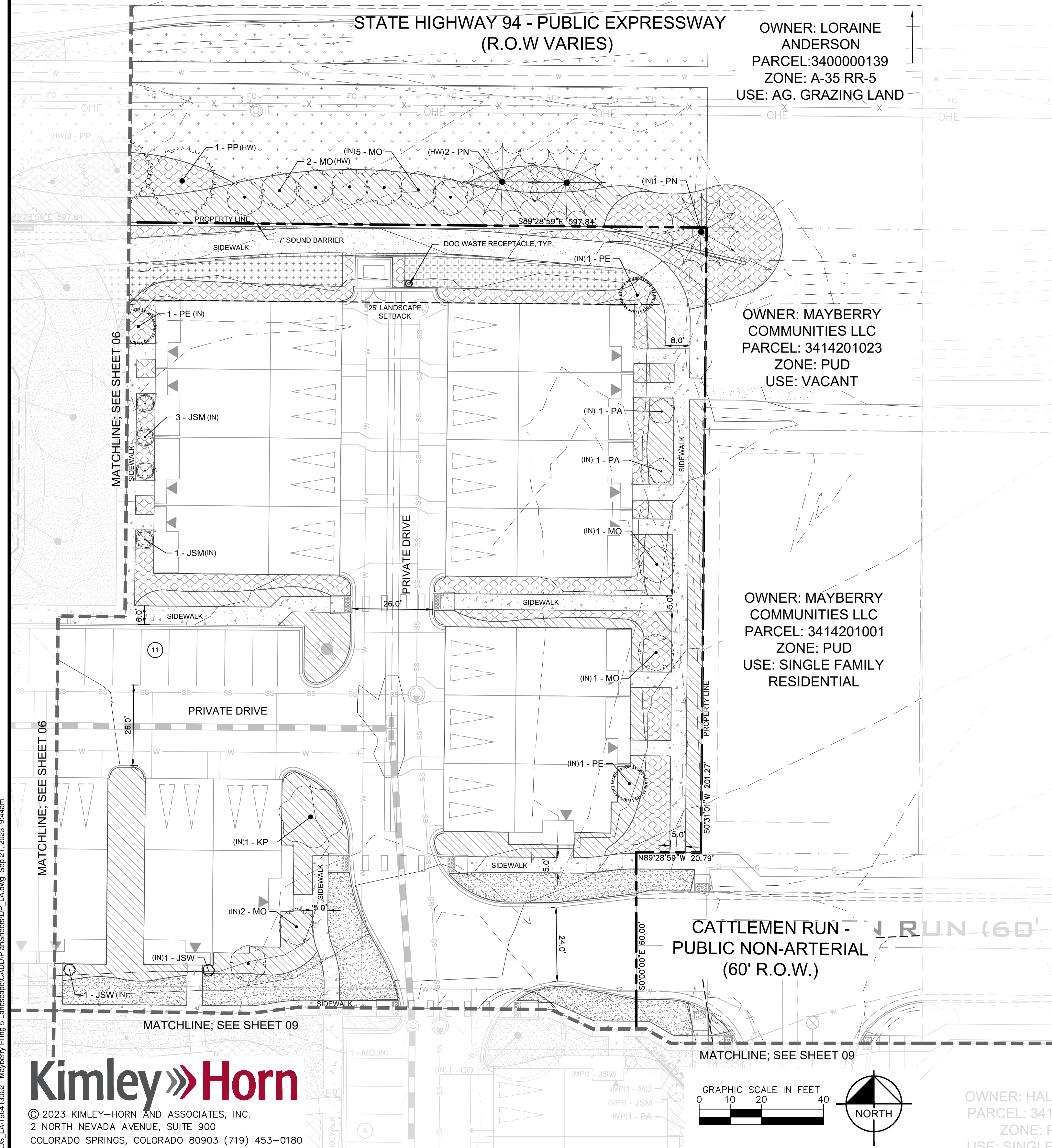
# MAYBERRY FILING 5

## LANDSCAPE PLAN

### TRACT K OF MAYBERRY COLORADO SPRINGS FILING NO. 1

SITUATED IN THE NORTHWEST QUARTER OF SECTION 14, TOWNSHIP 14 SOUTH, RANGE 63 WEST OF THE 6TH P.M.  
COUNTY OF EL PASO, STATE OF COLORADO

TE HIGHWAY 94



OWNER: LORAIN  
ANDERSON  
PARCEL: 3400000139  
ZONE: A-35 RR-5  
USE: AG. GRAZING LAND

OWNER: MAYBERRY  
COMMUNITIES LLC  
PARCEL: 3414201023  
ZONE: PUD  
USE: VACANT

OWNER: MAYBERRY  
COMMUNITIES LLC  
PARCEL: 3414201001  
ZONE: PUD  
USE: SINGLE FAMILY  
RESIDENTIAL

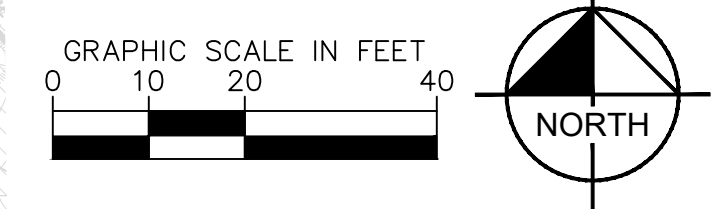
CATTLEMAN RUN -  
PUBLIC NON-ARTERIAL  
(60' R.O.W.)

### PLANT SCHEDULE

DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME
	AT	17	ACER TATARICUM 'HOT WINGS' / HOT WINGS TATARIAN MAPLE
	CO	17	CELTIS OCCIDENTALIS 'CHICAGOLAND' / CHICAGOLAND WESTERN HACKBERRY
	CS	6	CATALPA SPECIOSA / NORTHERN CATALPA
	GD	6	GYMNOCLADUS DIOICA 'ESPRESSO' / KENTUCKY COFFEE TREE (SEEDLESS)
	GT	13	GLEDITSIA TRIACANTHOS INERMIS 'SUNBURST' / SUNBURST HONEY LOCUST
	KP	8	KOELREUTERIA PANICULATA / GOLDEN RAIN TREE
	MO	41	MALUS 'CORALBURST' / CORALBURST CRABAPPLE
	PA	11	PRUNUS CERASIFERA CRIMSON POINTE / COLUMNAR PURPLE PLUM
	QM	7	QUERCUS MACROCARPA / BURR OAK
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME
	JSM	10	JUNIPERUS SCOPULORUM 'MOONGLOW' / MOONGLOW JUNIPER LOW ROOT DAMAGE POTENTIAL
	JSW	8	JUNIPERUS SCOPULORUM 'WICHITA BLUE' / WICHITA BLUE JUNIPER
	PE	8	PINUS EDULIS / PINON PINE
	PN	6	PINUS NIGRA / AUSTRIAN BLACK PINE
	PP	12	PINUS PONDEROSA / PONDEROSA PINE
	PPB	2	PICEA PUNGENS 'BLUE DIAMOND' / BLUE DIAMOND DWARF SPRUCE
	PPF	1	PICEA PUNGENS 'FASTIGIATA' / FASTIGIATE BLUE SPRUCE
	PPG	2	PICEA PUNGENS 'GLAUCA' / COLORADO BLUE SPRUCE
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME
	BREEZE	4,641 SF	BREEZE / CRUSHER FINE'S BREEZE COLOR TO VARY FROM TRAIL AND TO BE SELECTED BY OWNER/CONTRACTOR.
	ROCK-A	43,013 SF	ROCK MULCH A / ROCK MULCH AND PLANTINGS ROCK MULCH TYPE TO BE DECIDED BY OWNER/CONTRACTOR. ROCK MULCH TO BE PLANTED WITH SHRUBS AND GRASSES.
	ROCK-B	43,318 SF	ROCK MULCH B / ROCK MULCH AND PLANTINGS ROCK MULCH TYPE TO BE DECIDED BY OWNER/CONTRACTOR. ROCK MULCH TO BE PLANTED WITH SHRUBS AND GRASSES.
	SEED	4,825 SF	EPC LOW GROW MIX INSTALL PER TABLE 5-2. SUBMIT SUPPLIER CUT-SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
	SEED2	20,170 SF	EPC ALL PURPOSE MIX INSTALL PER TABLE 5-1. SUBMIT SUPPLIER CUT-SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
	SOD	18,175 SF	SURVIVALIST TALL FESCUE INSTALL PER DETAIL - 47% GRAND II TALL FESCUE, 47% SR8650 TALL FESCUE, 6% SPITFIRE TEXAS HYBRID

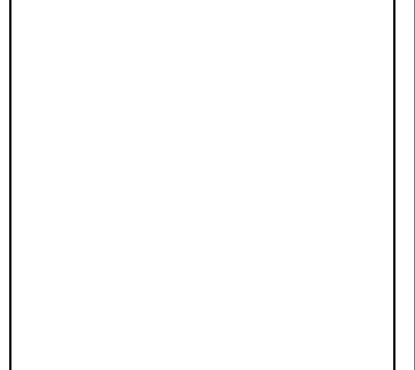
NOTE: SEE SHEET I-109 FOR FULL PLANT LIST AND SPECIFICATIONS

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2 NORTH NEVADA AVENUE, SUITE 900  
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180



OWNER: HALE  
PARCEL: 3414  
ZONE: PL  
USE: SINGLE I

EPC APPROVAL:



PRELIMINARY LANDSCAPE PLAN  
SHEET 09 OF 15





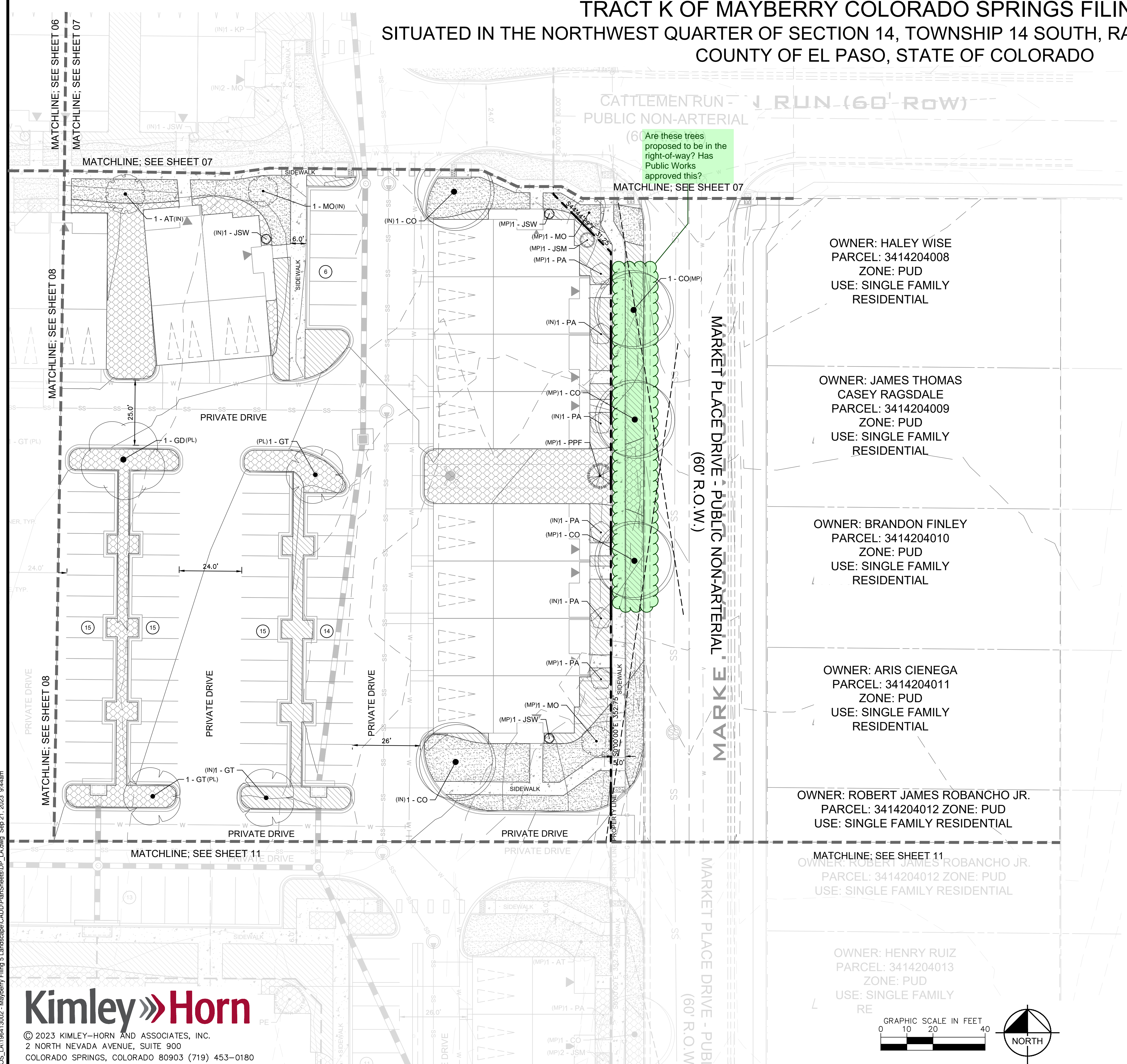


# MAYBERRY FILING 5

## LANDSCAPE PLAN

### TRACT K OF MAYBERRY COLORADO SPRINGS FILING NO. 1

SITUATED IN THE NORTHWEST QUARTER OF SECTION 14, TOWNSHIP 14 SOUTH, RANGE 63 WEST OF THE 6TH P.M.  
COUNTY OF EL PASO, STATE OF COLORADO



OWNER: HALEY WISE  
PARCEL: 3414204008  
ZONE: PUD  
USE: SINGLE FAMILY RESIDENTIAL

OWNER: JAMES THOMAS  
CASEY RAGSDALE  
PARCEL: 3414204009  
ZONE: PUD  
USE: SINGLE FAMILY RESIDENTIAL

OWNER: BRANDON FINLEY  
PARCEL: 3414204010  
ZONE: PUD  
USE: SINGLE FAMILY RESIDENTIAL

OWNER: ARIS CIENEGA  
PARCEL: 3414204011  
ZONE: PUD  
USE: SINGLE FAMILY RESIDENTIAL

OWNER: ROBERT JAMES ROBANCHO JR.  
PARCEL: 3414204012 ZONE: PUD  
USE: SINGLE FAMILY RESIDENTIAL

OWNER: ROBERT JAMES ROBANCHO JR.  
PARCEL: 3414204012 ZONE: PUD  
USE: SINGLE FAMILY RESIDENTIAL

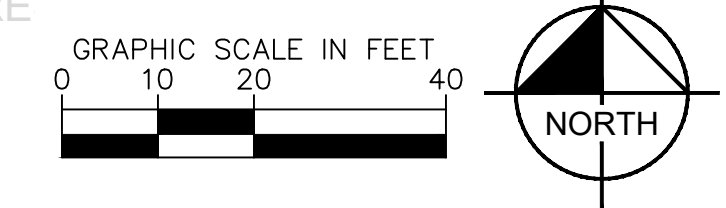
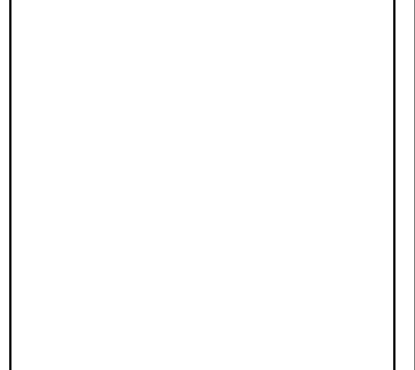
OWNER: HENRY RUIZ  
PARCEL: 3414204013  
ZONE: PUD  
USE: SINGLE FAMILY RESIDENTIAL

### PLANT SCHEDULE

DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME
	AT	17	ACER TATARICUM 'HOT WINGS' / HOT WINGS TATARIAN MAPLE
	CO	17	CELTIS OCCIDENTALIS 'CHICAGOLAND' / CHICAGOLAND WESTERN HACKBERRY
	CS	6	CATALPA SPECIOSA / NORTHERN CATALPA
	GD	6	GYMNOCLADUS DIOICA 'ESPRESSO' / KENTUCKY COFFEE TREE (SEEDLESS)
	GT	13	GLEDITSIA TRIACANTHOS INERMIS 'SUNBURST' / SUNBURST HONEY LOCUST
	KP	8	KOELREUTERIA PANICULATA / GOLDEN RAIN TREE
	MO	41	MALUS 'CORALBURST' / CORALBURST CRABAPPLE
	PA	11	PRUNUS CERASIFERA CRIMSON POINTE / COLUMNAR PURPLE PLUM
	QM	7	QUERCUS MACROCARPA / BURR OAK
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME
	JSM	10	JUNIPERUS SCOPULORUM 'MOONGLOW' / MOONGLOW JUNIPER LOW ROOT DAMAGE POTENTIAL
	JSW	8	JUNIPERUS SCOPULORUM 'WICHITA BLUE' / WICHITA BLUE JUNIPER
	PE	8	PINUS EDULIS / PINON PINE
	PN	6	PINUS NIGRA / AUSTRIAN BLACK PINE
	PP	12	PINUS PONDEROSA / PONDEROSA PINE
	PPB	2	PICEA PUNGENS 'BLUE DIAMOND' / BLUE DIAMOND DWARF SPRUCE
	PPF	1	PICEA PUNGENS 'FASTIGIATA' / FASTIGIATE BLUE SPRUCE
	PPG	2	PICEA PUNGENS 'GLAUCA' / COLORADO BLUE SPRUCE
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME
	BREEZE	4,641 SF	BREEZE / CRUSHER FINES BREEZE COLOR TO VARY FROM TRAIL AND TO BE SELECTED BY OWNER/CONTRACTOR.
	ROCK-A	43,013 SF	ROCK MULCH A / ROCK MULCH AND PLANTINGS ROCK MULCH TYPE TO BE DECIDED BY OWNER/CONTRACTOR. ROCK MULCH TO BE PLANTED WITH SHRUBS AND GRASSES.
	ROCK-B	43,318 SF	ROCK MULCH B / ROCK MULCH AND PLANTINGS ROCK MULCH TYPE TO BE DECIDED BY OWNER/CONTRACTOR. ROCK MULCH TO BE PLANTED WITH SHRUBS AND GRASSES.
	SEED	4,825 SF	EPC LOW GROW MIX INSTALL PER TABLE 5-2. SUBMIT SUPPLIER CUT-SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
	SEED2	20,170 SF	EPC ALL PURPOSE MIX INSTALL PER TABLE 5-1. SUBMIT SUPPLIER CUT-SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
	SOD	18,175 SF	SURVIVALIST TALL FESCUE INSTALL PER DETAIL - 47% GRAND II TALL FESCUE, 47% SR8650 TALL FESCUE, 6% SPITFIRE TEXAS HYBRID

NOTE: SEE SHEET L-109 FOR FULL PLANT LIST AND SPECIFICATIONS

EPC APPROVAL:



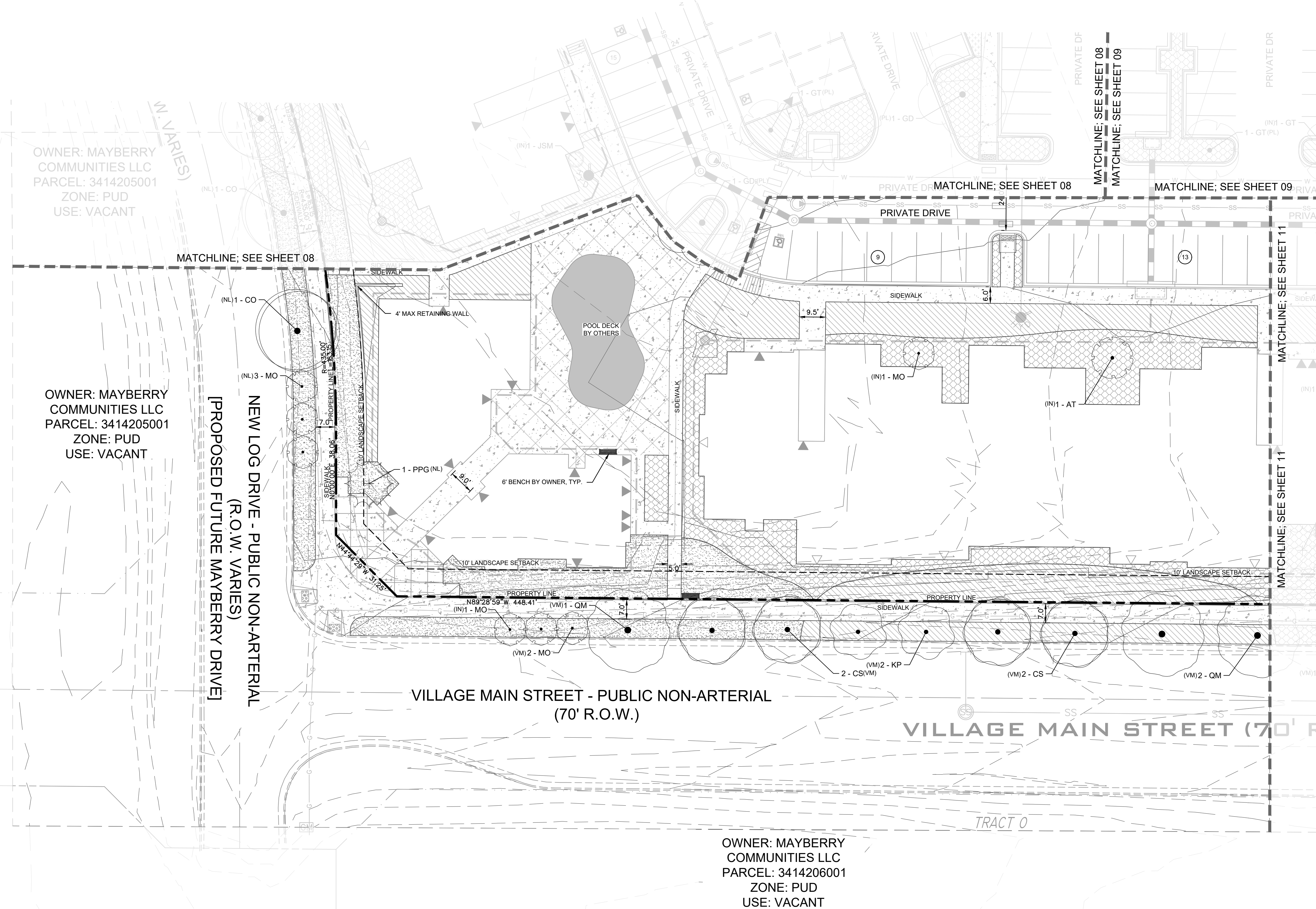
**Kimley»Horn**  
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2 NORTH NEVADA AVENUE, SUITE 900  
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180



# MAYBERRY FILING 5 LANDSCAPE PLAN

## TRACT K OF MAYBERRY COLORADO SPRINGS FILING NO. 1

SITUATED IN THE NORTHWEST QUARTER OF SECTION 14, TOWNSHIP 14 SOUTH, RANGE 63 WEST OF THE 6TH P.M.  
COUNTY OF EL PASO, STATE OF COLORADO



OWNER: MAYBERRY  
COMMUNITIES LLC  
PARCEL: 3414205001  
ZONE: PUD  
USE: VACANT

OWNER: MAYBERRY  
COMMUNITIES LLC  
PARCEL: 3414205001  
ZONE: PUD  
USE: VACANT

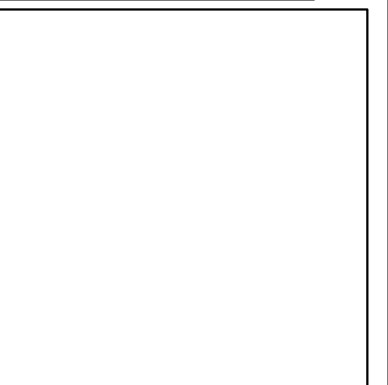
OWNER: MAYBERRY  
COMMUNITIES LLC  
PARCEL: 3414206001  
ZONE: PUD  
USE: VACANT

### PLANT SCHEDULE

DECIDUOUS TREES			
CODE	QTY	BOTANICAL / COMMON NAME	
AT	17	ACER TATARICUM 'HOT WINGS' / HOT WINGS TATARIAN MAPLE	
CO	17	CELTIS OCCIDENTALIS 'CHICAGOLAND' / CHICAGOLAND WESTERN HACKBERRY	
CS	6	CATALPA SPECIOSA / NORTHERN CATALPA	
GD	6	GYMNOCLADUS DIOICA 'ESPRESSO' / KENTUCKY COFFEE TREE (SEEDLESS)	
GT	13	GLEDTISIA TRIACANTHOS INERMIS 'SUNBURST' / SUNBURST HONEY LOCUST	
KP	8	KOELREUTERIA PANICULATA / GOLDEN RAIN TREE	
MO	41	MALUS 'CORALBURST' / CORALBURST CRABAPPLE	
PA	11	PRUNUS CERASIFERA CRIMSON POINTE / COLUMNAR PURPLE PLUM	
QM	7	QUERCUS MACROCARPA / BURR OAK	
EVERGREEN TREES			
CODE	QTY	BOTANICAL / COMMON NAME	
JSM	10	JUNIPERUS SCOPULORUM 'MOONGLOW' / MOONGLOW JUNIPER LOW ROOT DAMAGE POTENTIAL	
JSW	8	JUNIPERUS SCOPULORUM 'WICHITA BLUE' / WICHITA BLUE JUNIPER	
PE	8	PINUS EDULIS / PINON PINE	
PN	6	PINUS NIGRA / AUSTRIAN BLACK PINE	
PP	12	PINUS PONDEROSA / PONDEROSA PINE	
PPB	2	PICEA PUNGENS 'BLUE DIAMOND' / BLUE DIAMOND DWARF SPRUCE	
PPF	1	PICEA PUNGENS 'FASTIGIATA' / FASTIGIATE BLUE SPRUCE	
PPG	2	PICEA PUNGENS 'GLAUCIA' / COLORADO BLUE SPRUCE	
GROUND COVERS			
CODE	QTY	BOTANICAL / COMMON NAME	
BREEZE	4,641 SF	BREEZE / CRUSHER FINES BREEZE COLOR TO VARY FROM TRAIL AND TO BE SELECTED BY OWNER/CONTRACTOR.	
ROCK-A	43,013 SF	ROCK MULCH A / ROCK MULCH AND PLANTINGS ROCK MULCH TYPE TO BE DECIDED BY OWNER/CONTRACTOR. ROCK MULCH TO BE PLANTED WITH SHRUBS AND GRASSES.	
ROCK-B	43,318 SF	ROCK MULCH B / ROCK MULCH AND PLANTINGS ROCK MULCH TYPE TO BE DECIDED BY OWNER/CONTRACTOR. ROCK MULCH TO BE PLANTED WITH SHRUBS AND GRASSES.	
SEED	4,825 SF	EPC LOW GROW MIX INSTALL PER TABLE 5-2. SUBMIT SUPPLIER CUT-SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.	
SEED2	20,170 SF	EPC ALL PURPOSE MIX INSTALL PER TABLE 5-1. SUBMIT SUPPLIER CUT-SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.	
SOD	18,175 SF	SURVIVALIST TALL FESCUE INSTALL PER DETAIL - 47% GRAND II TALL FESCUE, 47% SR8650 TALL FESCUE, 6% SPITFIRE TEXAS HYBRID	

NOTE: SEE SHEET L-109 FOR FULL PLANT LIST AND SPECIFICATIONS

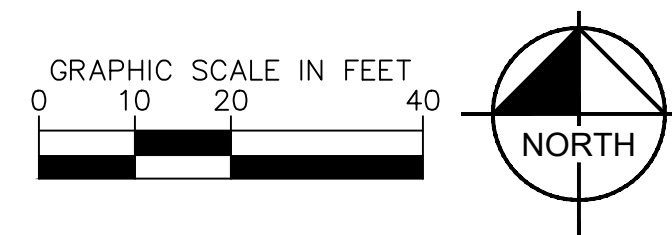
EPC APPROVAL:



PRELIMINARY LANDSCAPE PLAN  
SHEET 12 OF 15



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2 NORTH NEVADA AVENUE, SUITE 900  
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180



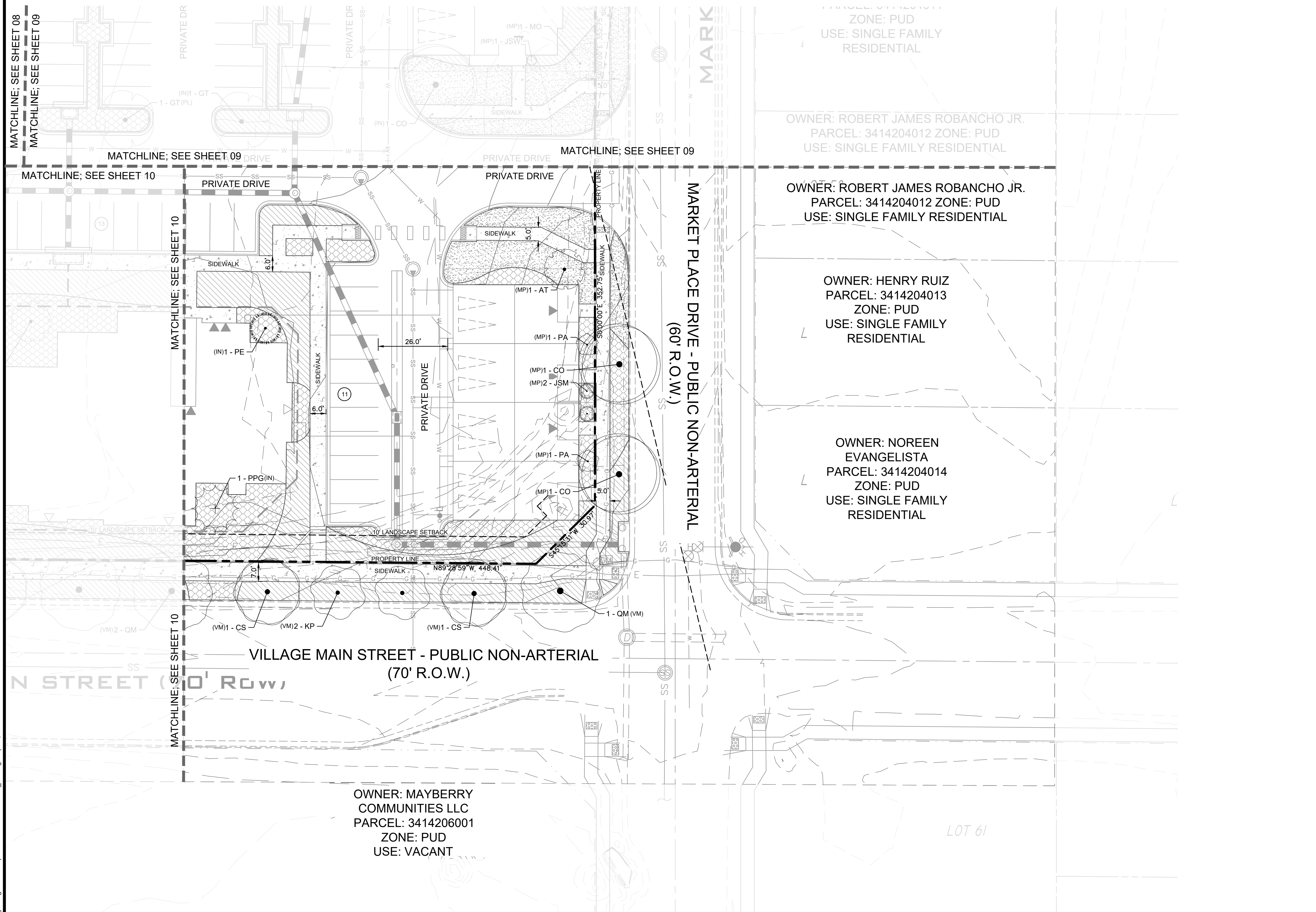


# MAYBERRY FILING 5

## LANDSCAPE PLAN

### TRACT K OF MAYBERRY COLORADO SPRINGS FILING NO. 1

SITUATED IN THE NORTHWEST QUARTER OF SECTION 14, TOWNSHIP 14 SOUTH, RANGE 63 WEST OF THE 6TH P.M.  
COUNTY OF EL PASO, STATE OF COLORADO



### PLANT SCHEDULE

DECIDUOUS TREES			
CODE	QTY	BOTANICAL / COMMON NAME	
AT	17	ACER TATARICUM 'HOT WINGS' / HOT WINGS TATARIAN MAPLE	
CO	17	CELTIS OCCIDENTALIS 'CHICAGOLAND' / CHICAGOLAND WESTERN HACKBERRY	
CS	6	CATALPA SPECIOSA / NORTHERN CATALPA	
GD	6	GYMNOCLADUS DIOICA 'ESPRESSO' / KENTUCKY COFFEE TREE (SEEDLESS)	
GT	13	GLEDTISIA TRIACANTHOS INERMIS 'SUNBURST' / SUNBURST HONEY LOCUST	
KP	8	KOELREUTERIA PANICULATA / GOLDEN RAIN TREE	
MO	41	MALUS 'CORALBURST' / CORALBURST CRABAPPLE	
PA	11	PRUNUS CERASIFERA CRIMSON POINTE / COLUMNAR PURPLE PLUM	
QM	7	QUERCUS MACROCARPA / BURR OAK	
EVERGREEN TREES			
CODE	QTY	BOTANICAL / COMMON NAME	
JSM	10	JUNIPERUS SCOPULORUM 'MOONGLOW' / MOONGLOW JUNIPER LOW ROOT DAMAGE POTENTIAL	
JSW	8	JUNIPERUS SCOPULORUM 'WICHITA BLUE' / WICHITA BLUE JUNIPER	
PE	8	PINUS EDULIS / PINON PINE	
PN	6	PINUS NIGRA / AUSTRIAN BLACK PINE	
PP	12	PINUS PONDEROSA / PONDEROSA PINE	
PPB	2	PICEA PUNGENS 'BLUE DIAMOND' / BLUE DIAMOND DWARF SPRUCE	
PPF	1	PICEA PUNGENS 'FASTIGIATA' / FASTIGIATE BLUE SPRUCE	
PPG	2	PICEA PUNGENS 'GLAUCA' / COLORADO BLUE SPRUCE	
GROUND COVERS			
CODE	QTY	BOTANICAL / COMMON NAME	
BREEZE	4,641 SF	BREEZE / CRUSHER FINES BREEZE COLOR TO VARY FROM TRAIL AND TO BE SELECTED BY OWNER/CONTRACTOR.	
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ROCK-B	43,318 SF	ROCK MULCH B / ROCK MULCH AND PLANTINGS ROCK MULCH TYPE TO BE DECIDED BY OWNER/CONTRACTOR. ROCK MULCH TO BE PLANTED WITH SHRUBS AND GRASSES.	
SEED	4,825 SF	EPC LOW GROW MIX INSTALL PER TABLE 5-2. SUBMIT SUPPLIER CUT-SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.	
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SOD	18,175 SF	SURVIVALIST TALL FESCUE INSTALL PER DETAIL - 47% GRAND II TALL FESCUE, 47% SR8650 TALL FESCUE, 6% SPITFIRE TEXAS HYBRID	

NOTE: SEE SHEET L-109 FOR FULL PLANT LIST AND SPECIFICATIONS

OWNER: MAYBERRY COMMUNITIES LLC  
PARCEL: 3414206001  
ZONE: PUD  
USE: VACANT

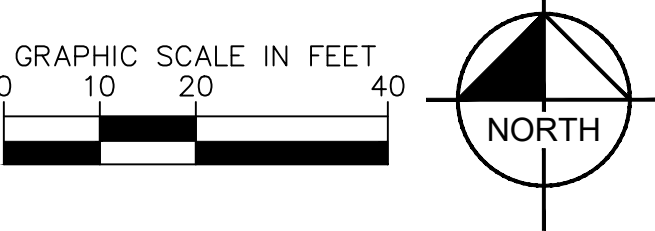
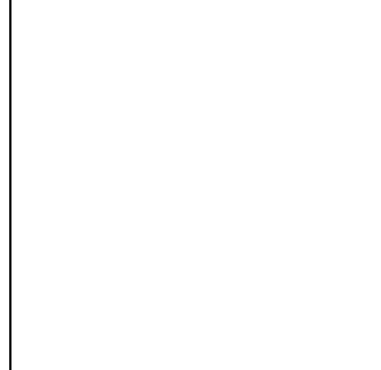
OWNER: ROBERT JAMES ROBANCHO JR.  
PARCEL: 3414204012 ZONE: PUD  
USE: SINGLE FAMILY RESIDENTIAL

OWNER: ROBERT JAMES ROBANCHO JR.  
PARCEL: 3414204012 ZONE: PUD  
USE: SINGLE FAMILY RESIDENTIAL

OWNER: HENRY RUIZ  
PARCEL: 3414204013  
ZONE: PUD  
USE: SINGLE FAMILY RESIDENTIAL

OWNER: NOREEN EVANGELISTA  
PARCEL: 3414204014  
ZONE: PUD  
USE: SINGLE FAMILY RESIDENTIAL

EPC APPROVAL:



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2 NORTH NEVADA AVENUE, SUITE 900  
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

PRELIMINARY LANDSCAPE PLAN  
SHEET 13 OF 15

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# MAYBERRY FILING 5

## LANDSCAPE PLAN

### TRACT K OF MAYBERRY COLORADO SPRINGS FILING NO. 1

SITUATED IN THE NORTHWEST QUARTER OF SECTION 14, TOWNSHIP 14 SOUTH, RANGE 63 WEST OF THE 6TH P.M.  
COUNTY OF EL PASO, STATE OF COLORADO

#### GENERAL LANDSCAPE SPECIFICATIONS

- A. SCOPE OF WORK
- THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN.
  - WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER.
- B. PROTECTION OF EXISTING STRUCTURES
- ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED AND DESIGNATED TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY BEST MANAGEMENT PRACTICES (BMP) DEVICES ACCORDING TO ALL REGULATORY AGENCY'S STANDARDS THROUGHOUT THE DURATION OF ALL CONSTRUCTION ACTIVITIES.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MAINTENANCE OF TRAFFIC (MOT) THAT MAY BE REQUIRED FOR THE PROJECT.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, PRIOR TO EXCAVATION. THE OWNER AND DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF ANY SUCH INFORMATION OR DATA. THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR: REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA; LOCATING ALL UNDERGROUND FACILITIES DURING CONSTRUCTION; THE SAFETY AND PROTECTION THEREOF; REPAIRING ANY DAMAGE THERETO RESULTING FROM THE WORK. THE COST OF ALL WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. THE CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES IN WRITING AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
- C. PROTECTION OF EXISTING PLANT MATERIALS
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPIPING, ETC.. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED ON SITE. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPE AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF FOUR HUNDRED DOLLARS (\$400) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.
  - SEE TREE MITIGATION PLAN AND NOTES, IF APPLICABLE.
- D. MATERIALS
- GENERAL
 

MATERIAL SAMPLES LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON SITE OR AS DETERMINED BY THE OWNER UPON APPROVAL. DELIVERY OF MATERIALS MAY COMMENCE.

MATERIAL	SAMPLE SIZE
MULCH	ONE (1) CUBIC FOOT
TOPSOIL MIX	ONE (1) CUBIC FOOT
PLANTS	ONE (1) OF EACH VARIETY (OR TAGGED IN NURSERY)
  - PLANT MATERIALS
    - FURNISH NURSERY-GROWN PLANTS TRUE TO GENUS, SPECIES, VARIETY, CULTIVAR, STEM FORM, SHEARING, AND OTHER FEATURES INDICATED IN PLANT SCHEDULE SHOWN ON DRAWINGS AND COMPLYING WITH ANSI Z60.1 AND THE COLORADO NURSERY ACT, AND WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, DENSELY FOLIATED WHEN IN LEAF AND FREE OF DISEASE, PESTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.
    - TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE.
    - NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE PROJECT LANDSCAPE ARCHITECT. ANY ROW TREES MUST BE APPROVED BY OFFICE OF THE CITY FORESTER.
    - PROVIDE PLANTS OF SIZES, GRADES, AND BALL OR CONTAINER SIZES COMPLYING WITH ANSI Z60.1 AND COLORADO NURSERY ACT FOR TYPES AND FORM OF PLANTS REQUIRED. PLANTS OF A LARGER SIZE MAY BE USED IF ACCEPTABLE TO PROJECT LANDSCAPE ARCHITECT WITH A PROPORTIONATE INCREASE IN SIZE OF ROOTS OR BALLS.
    - PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER, FOR QUALITY, SIZE, AND VARIETY. SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTED INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.
    - TREES WITH DAMAGED, CROOKED, OR MULTIPLE LEADERS; TIGHT VERTICAL BRANCHES WHERE BARK IS SQUEEZED BETWEEN TWO BRANCHES OR BETWEEN BRANCH AND TRUNK ("INCLUDED BARK"); CROSSING TRUNKS; CUT-OFF LIMBS MORE THAN ½ INCH (19 MM) IN DIAMETER; OR WITH STEM GIRDLING ROOTS WILL BE REJECTED.
    - FURNISH TREES AND SHRUBS WITH ROOTS BALLS MEASURED FROM TOP OF ROOT BALL, WHICH SHALL BEGIN AT ROOT FLARE ACCORDING TO ANSI Z60.1 AND COLORADO NURSERY ACT. ROOT FLARE SHALL BE VISIBLE BEFORE PLANTING.
    - LABEL AT LEAST ONE PLANT OF EACH VARIETY, SIZE, AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF COMMON NAME AND FULL SCIENTIFIC NAME, INCLUDING GENUS AND SPECIES. INCLUDE NOMENCLATURE FOR HYBRID, VARIETY, OR CULTIVAR, IF APPLICABLE FOR THE PLANT AS SHOWN ON DRAWINGS.
    - IF FORMAL ARRANGEMENTS OR CONSECUTIVE ORDER OF PLANTS IS SHOWN ON DRAWINGS, SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD, AND NUMBER THE LABELS TO ASSURE SYMMETRY IN PLANTING.
- E. SOIL MIXTURE
- CONTRACTOR SHALL TEST EXISTING SOIL AND AMEND AS NECESSARY IN ACCORDANCE WITH THE GUIDELINES BELOW:
  - SOIL MIXTURE SHALL CONSIST OF TWO PARTS OF TOPSOIL AND ONE PART SAND, AS DESCRIBED BELOW. CONTRACTOR TO SUBMIT SAMPLES AND PH TESTING RESULTS OF SOIL MIXTURE FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.
    - TOPSOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT OPENINGS SHALL BE FERTILE, FRIABLE, AND OF A LOAMY CHARACTER, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER, FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEIOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER, HAVE A PH BETWEEN 5.5 AND 8.0, AND SOLUBLE SALTS LESS THAN 3.0 MMHOS/CM. SUBMIT SOIL SAMPLE AND PH TESTING RESULTS FOR APPROVAL.
    - SAND SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND.
  - TREES SHALL BE PLANTED IN THE EXISTING NATIVE SOIL ON SITE, UNLESS DETERMINED TO BE UNSUITABLE - AT WHICH POINT THE CONTRACTOR SHALL CONTACT THE PROJECT LANDSCAPE ARCHITECT TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING.
- F. WATER
- WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC... IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.
 

\* WATERING/IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.
- G. FERTILIZER
- CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED.
 

\* FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

- H. MULCH
- MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF THREE (3) INCHES CLEAR MULCH FROM EACH PLANTS' GROWN (BASE) OR AS SHOWN IN PLANTING DETAILS. MULCH SHALL BE DOUBLE SHREDDED HARDWOOD MULCH. DYED MULCH IS NOT ACCEPTABLE. SUBMIT SAMPLES TO PROJECT LANDSCAPE ARCHITECT FOR APPROVAL. MULCH SHALL BE PROVIDED OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, VINE BED, AND TREE RINGS (IF MINIMUM) PLANTED UNDER THIS CONTRACT, AS WELL AS FOR ANY EXISTING LANDSCAPE AREAS AS SHOWN ON PLANS.
- I. DIGGING AND HANDLING
- ALL TREES SPECIFIED SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE APPROVED BY PROJECT LANDSCAPE ARCHITECT.
  - PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO THE SITE SHALL BE SPRAYED WITH AN ANTI-TRANSPIRANT PRODUCT ("WILT-TRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.
  - B&B AND FIELD GROWN (FG) PLANTS SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS SHALL NOT BE HANDLED BY STEMS.
- J. CONTAINER GROWN STOCK
- ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
  - AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.
  - ROOT BOUND PLANTS ARE NOT ACCEPTABLE AND WILL BE REJECTED.
- K. MATERIALS LIST
- QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE PLANS SHALL GOVERN. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.
- L. FINE GRADING
- FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN DISTURBED DURING CONSTRUCTION.
  - THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH.
  - ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES, IF APPLICABLE.
- M. PLANTING PROCEDURES
- THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER DAILY. ALL MORTAR, CEMENT, BUILDING MATERIALS, AND TOXIC MATERIAL SHALL BE COMPLETELY REMOVED FROM PLANTING AREAS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS IN PLANTING AREAS WHICH WILL ADVERSELY AFFECT THE PLANT GROWTH, THE CONTRACTOR SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.
  - VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CALL COLORADO (811) TO LOCATE UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
  - CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL PLANTING AREAS TO A MINIMUM DEPTH OF 36" OR TO NATIVE SOIL. CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTING AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE POOR DRAINAGE CONDITION PLANTING DETAIL.
  - FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS SPECIFIED HEREIN. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.
  - COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ON SITE SHALL NOT REMAIN UNPLANTED OR APPROPRIATELY HEATED IN FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE SHALL BE EXERCISED.
  - WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS.
  - ALL PLANTING OPENINGS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH ANSI Z60.1-2014 AMERICAN STANDARD FOR NURSERY STOCK.
  - TEST ALL TREE OPENINGS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, UTILIZE "POOR DRAINAGE CONDITION" PLANTING DETAIL.
  - TREES SHALL BE SET PLUMBS AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW-FLOW HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMAN.
  - PRIOR TO EXCAVATION OF TREE OPENINGS, AN AREA EQUAL TO TWO TIMES THE DIAMETER OF THE ROOT BALL SHALL BE ROTO-TILLED TO A DEPTH EQUAL TO THE DEPTH OF THE ROOT BALL.
  - EXCAVATION OF TREE OPENINGS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB-BASES.
  - IN CONTINUOUS SHRUB AND GROUND COVER BEDS, THE ROTO-TILLED PERIMETER SHOULD EXTEND TO A DISTANCE OF ONE FOOT BEYOND THE DIAMETER OF A SINGLE ROOT BALL. THE BED SHALL BE TILLED TO A DEPTH EQUAL TO THE ROOT BALL DEPTH PLUS 4".
  - TREE OPENINGS FOR WELL DRAINED SOILS SHALL BE DUG SO THAT THE BOTTOM OF THE ROOT BALL WILL REST ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL WILL BE FLUSH WITH FINISH GRADE. IN POORLY DRAINED SOILS THE TREE OPENING SHALL BE DUG SO THAT THE ROOT BALL RESTS ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL IS 1" ABOVE FINISH GRADE. PLANT PIT WALLS SHALL BE SCARIFIED PRIOR TO PLANT INSTALLATION.
  - TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.
  - SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION "E".
  - TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. SOIL MIXTURE SHALL BE BACK-FILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMPING).
  - AMEND PINE AND OAK PLANT OPENINGS WITH ECTOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. ALL OTHER PLANT OPENINGS SHALL BE AMENDED WITH ENDOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. PROVIDE PRODUCT INFORMATION SUBMITTAL PRIOR TO INOCULATION.

- FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET. ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE.
  - ALL BURLAP, ROPE, WIRES, BASKETS, ETC., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.
  - TREES SHALL BE PRUNED, IN ACCORDANCE WITH ANSI A-300, TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. ALL PRUNING TO BE PERFORMED BY CERTIFIED ARBORIST.
  - SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. MATERIALS INSTALLED SHALL MEET MINIMUM SPECIMEN REQUIREMENTS OR QUANTITIES SHOWN ON PLANS, WHICHEVER IS GREATER. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6"; REMOVE AND DISPOSE ALL DEBRIS. MIX TOP 4" OF THE PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION "E". THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.
  - TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE PROJECT LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.
  - ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S RECOMMENDATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER. (AS ALLOWED BY JURISDICTIONAL AUTHORITY).
- N. LAWN SODDING
- THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER.
  - ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS BY MEANS OF A SOD CUTTER TO A DEPTH OF THREE (3) INCHES, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.
  - PREPARE LOOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.
  - SODDING
    - THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.
    - SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS. PAVED AND PLANTED AREAS. ADJACENT TO BUILDINGS, A 24 INCH STONE MULCH STRIP SHALL BE PROVIDED. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.
    - DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.
  - LAWN MAINTENANCE
    - WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12"x12") UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK, INCLUDING REGRAIDING IF NECESSARY.
    - CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.
- O. EDGING
- CONTRACTOR SHALL INSTALL 4"x4" ROLLED TOP STEEL EDGING BETWEEN ALL SOD/SEED AREAS AND PLANTING BEDS.
- P. CLEANUP
- UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM CONTRACTORS WORK. ALL PAVED AREAS SHALL BE CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S REPRESENTATIVE.
- Q. PLANT MATERIAL MAINTENANCE
- ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, PRUNING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.
- R. FINAL INSPECTION AND ACCEPTANCE OF WORK
- FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.
- S. WARRANTY
- THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED (INCLUDING SOD) BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.
  - ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.
  - IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE AND IRRIGATION MAINTENANCE, THE CONTRACTOR SHOULD VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE (1) YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER. CONTRACTOR OR SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH.
- T. PARKING LOT ISLAND NOTE
- THE SOIL OF ANY PLANTER WITHIN THE PARKING LOT SHALL BE STRUCTURALLY RENOVATED (TILLED) OR REMOVED TO A DEPTH OF THIRTY INCHES (30") AND REPLACED WITH AN ACCEPTABLE GROWING MEDIUM FOR THE SPECIES INDICATED FOR INSTALLATION.
- U. MAINTENANCE
- LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF MAYBERRY METROPOLITAN DISTRICT NO. 1.
  - ALL STREET TREES AND STREETSCAPE IMPROVEMENTS LOCATED IN THE R.O.W. WILL BE MAINTAINED BY THE ABUTTING PROPERTY OWNER.

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EPC APPROVAL:



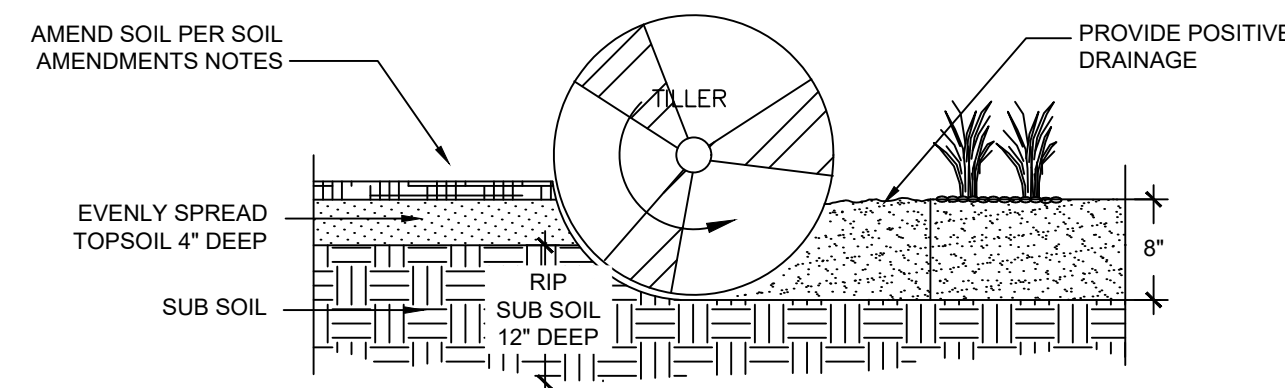


# MAYBERRY FILING 5

## LANDSCAPE PLAN

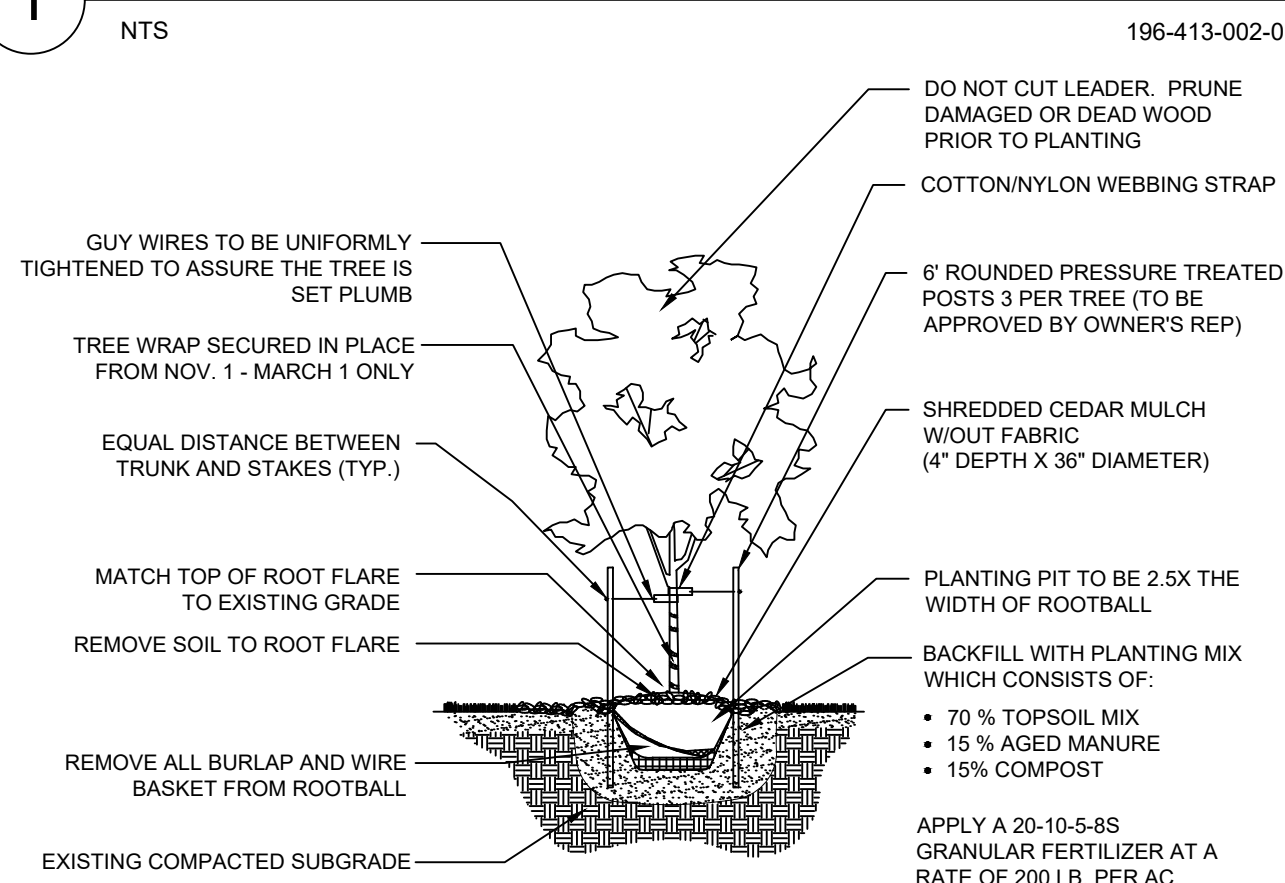
### TRACT K OF MAYBERRY COLORADO SPRINGS FILING NO. 1

SITUATED IN THE NORTHWEST QUARTER OF SECTION 14, TOWNSHIP 14 SOUTH, RANGE 63 WEST OF THE 6TH P.M. COUNTY OF EL PASO, STATE OF COLORADO

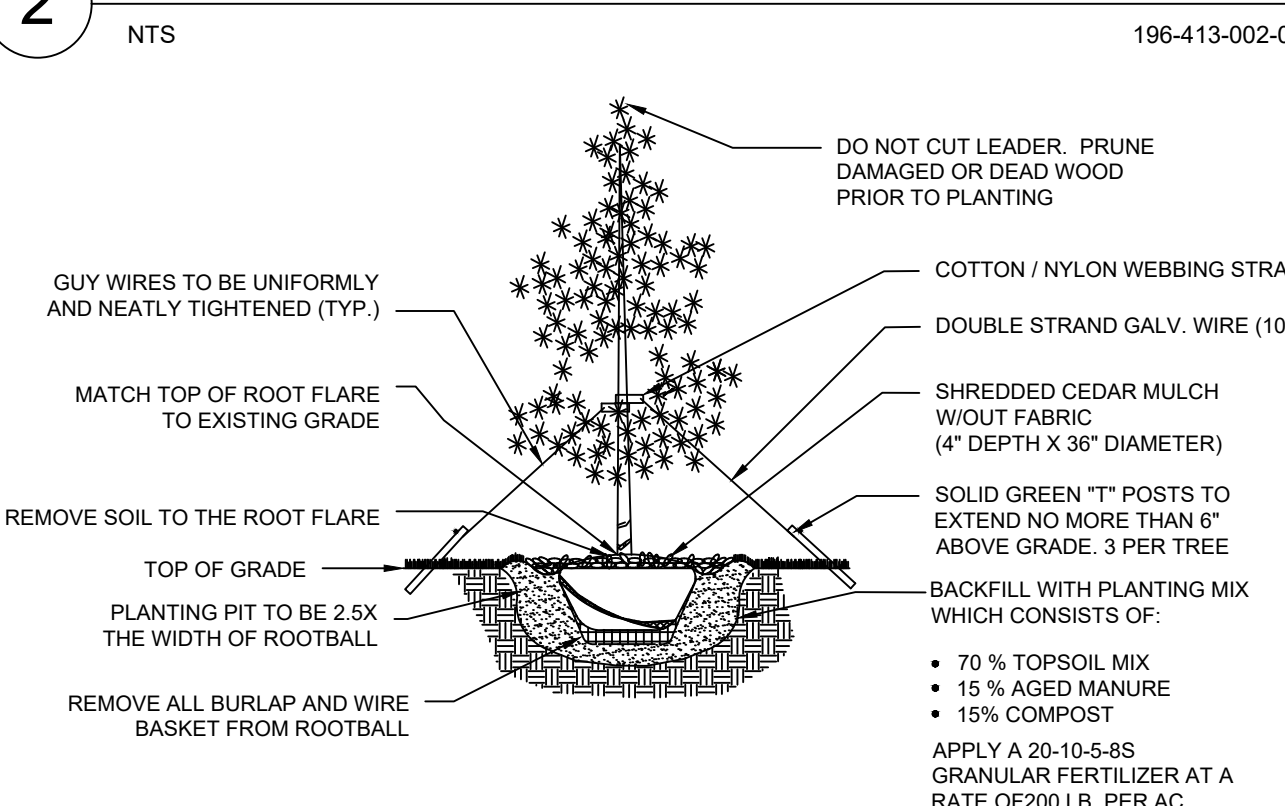


- NOTES:**
1. TOPSOIL TO CONSIST OF DARK, LIGHT LOAM SOIL FREE OF ROCKS, ROOTS, AND FOREIGN MATERIALS.
  2. THE FERTILIZER APPLICATION SHOULD BE DELAYED IF PLANTING DOES NOT OCCUR WITHIN 2-3 DAYS OF FERTILIZING.
  3. COMPOST TO CONSIST OF 1 YEAR OLD ORGANIC MATERIAL AND SHOULD NOT INCLUDE CHICKEN MANURE.
  4. FROZEN MATERIALS OR MATERIALS GREATER THAN 1" DIA. SHOULD BE REMOVED.
  5. REFER TO SPECS FOR COMPLETE SOIL PREPARATION REQUIREMENTS.
  6. THE ROTO-TILLED PERIMETER SHOULD EXTEND TO A DISTANCE OF 1 FOOT BEYOND THE DIAMETER OF A SINGLE ROOT BALL.

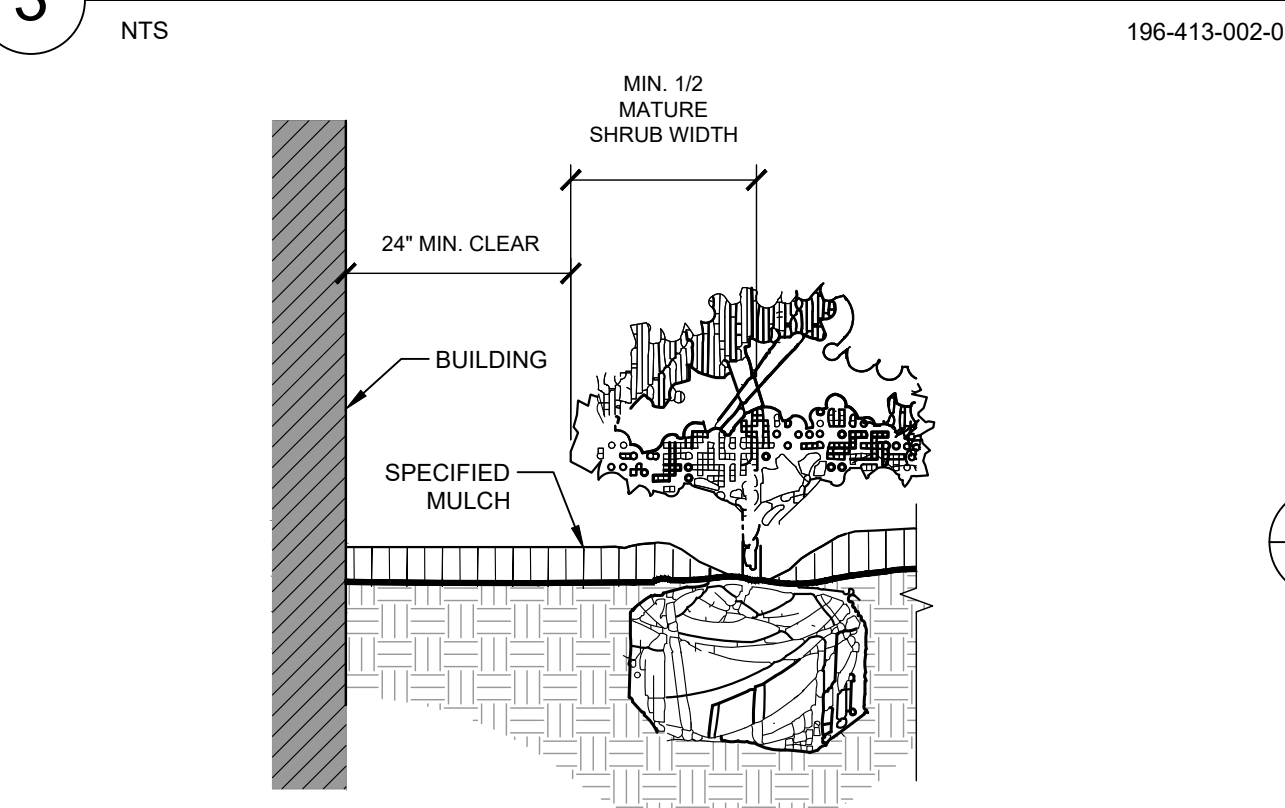
#### 1 SOIL PREP



#### 2 DECIDUOUS TREE PLANTING

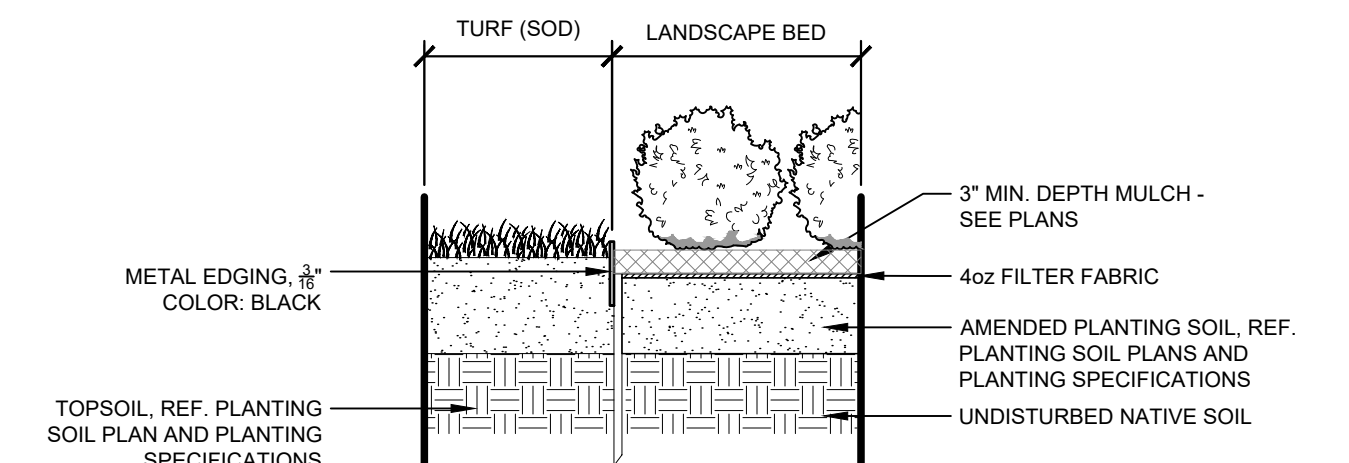


#### 3 EVERGREEN TREE PLANTING

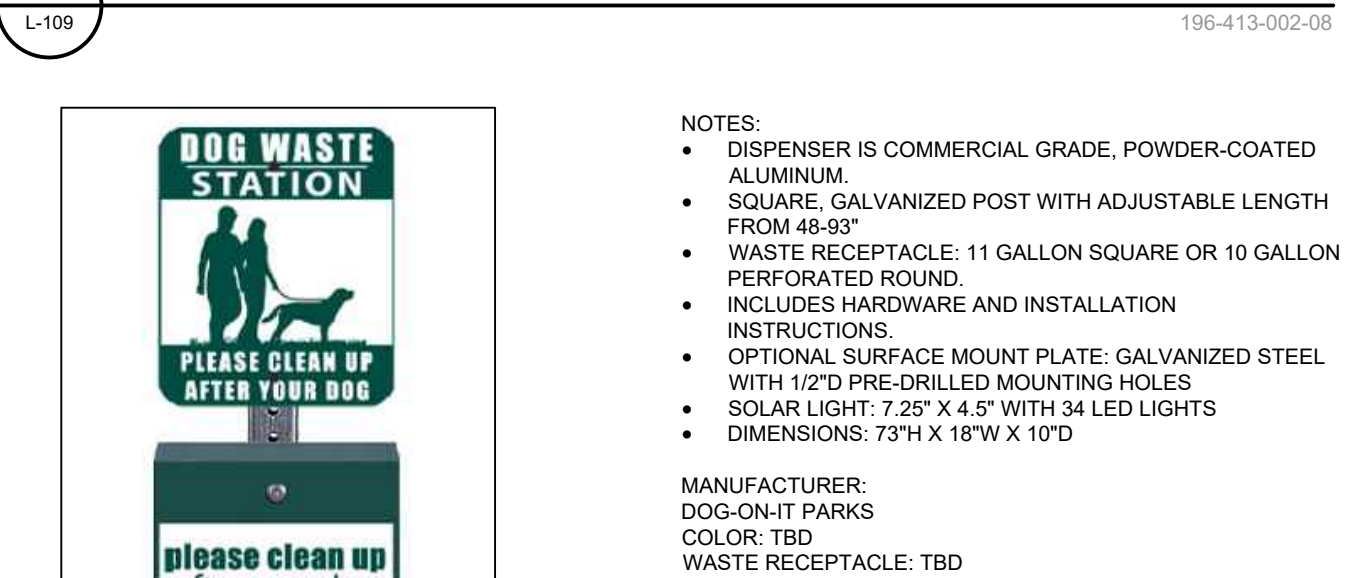


- NOTES:**
1. CLEAR ZONE: 36" MIN. FROM BUILDING TO CENTER OF NEAREST SHRUB.
  2. INSTALL SPECIFIED MULCH: 24" MIN. FROM BUILDING. SPECIFIED MULCH TO BE INSTALLED AT A DEPTH OF 3" (MIN.)

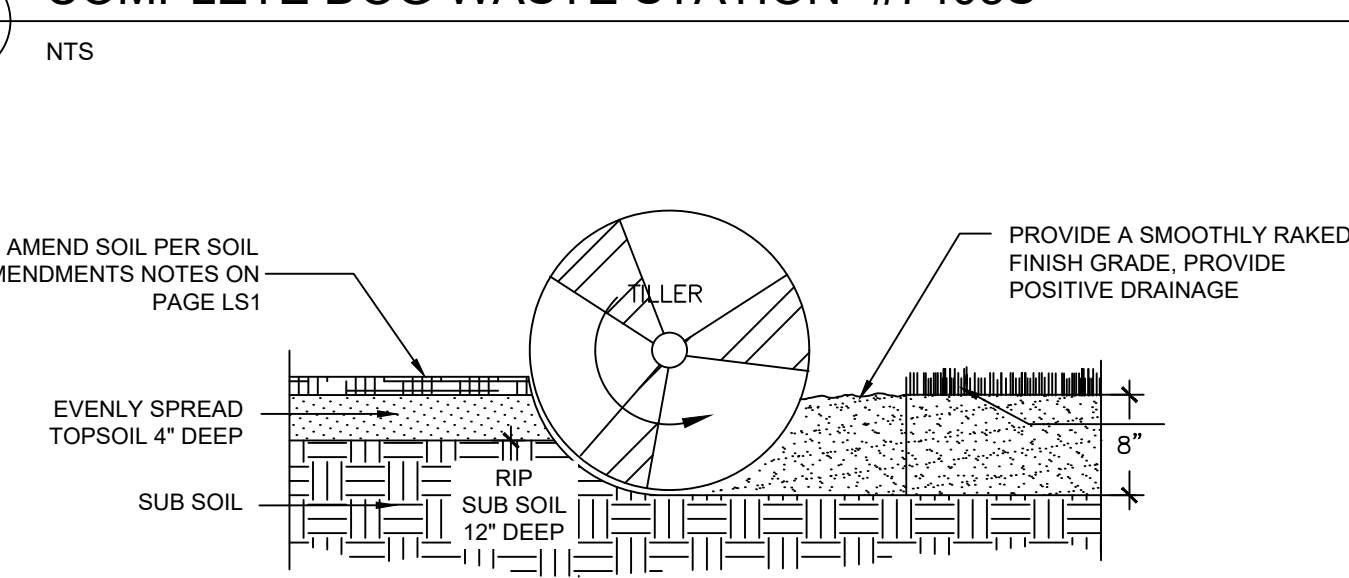
#### 4 PLANTINGS ADJACENT TO BUILDINGS



#### 5 METAL EDGER AT PLANTING BED

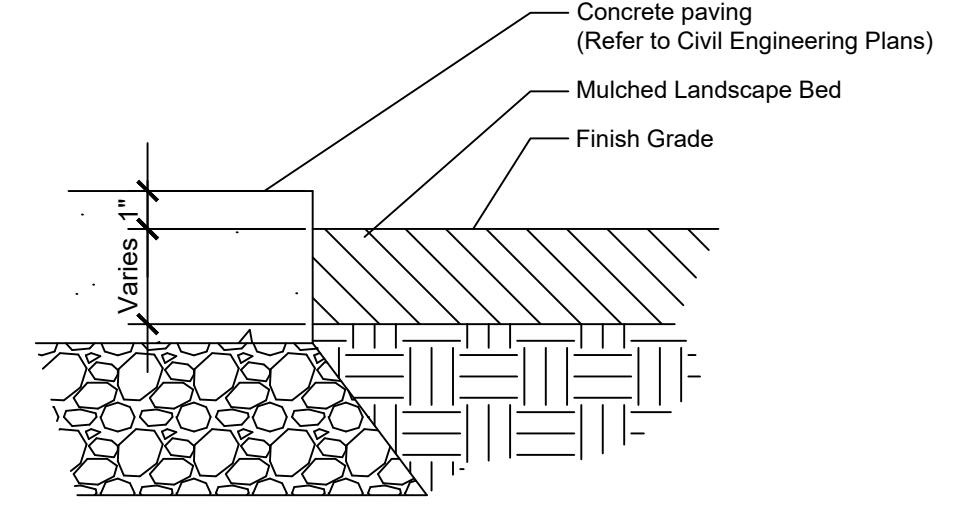


#### 6 COMPLETE DOG WASTE STATION- #7408S

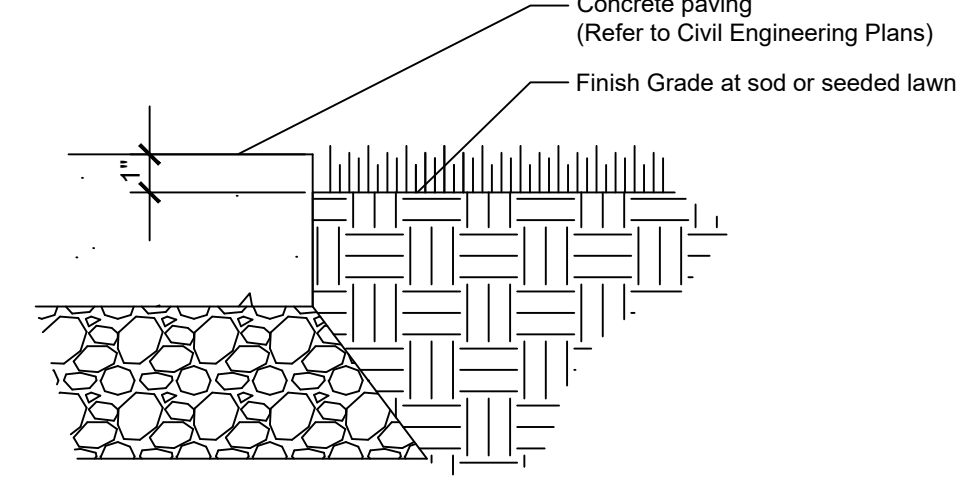


- NOTES:**
1. TOPSOIL TO CONSIST OF DARK, LIGHT LOAM SOIL FREE OF ROCKS, ROOTS, AND FOREIGN MATERIALS.
  2. THE FERTILIZER APPLICATION SHOULD BE DELAYED IF PLANTING DOES NOT OCCUR WITHIN 2-3 DAYS OF FERTILIZING.
  3. COMPOST TO CONSIST OF 1 YEAR OLD ORGANIC MATERIAL AND SHOULD NOT INCLUDE CHICKEN MANURE.
  4. FROZEN MATERIALS OR MATERIALS GREATER THAN 1" DIA. SHOULD BE REMOVED.
  5. REFER TO SPECS FOR COMPLETE SOIL PREPARATION REQUIREMENTS.

#### 7 SOIL PREPARATION - SOD AREAS



#### 8 PAVING TO GRADE TRANSITION



#### 9 CRUSHER FINES AND TRANSITIONS

#### 8 PAVING TO GRADE TRANSITION

#### 9 CRUSHER FINES AND TRANSITIONS

#### PLANT SCHEDULE

DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT. SIZE	SIZE/CAL.	WIDTH	HEIGHT
	AT	17	ACER TATARICUM 'HOT WINGS' / HOT WINGS TATARIAN MAPLE	B & B	2" CAL MIN	15'-20'	18'-20'
	CO	17	CELTIS OCCIDENTALIS 'CHICAGOLAND' / CHICAGOLAND WESTERN HACKBERRY	B & B	1.5" CAL MIN	40'-50'	50'-60'
	CS	6	CATALPA SPECIOSA / NORTHERN CATALPA	B & B	2.5" CAL MIN	30'-50'	40'-60'
	GD	6	GYMNOCLADUS DIOICA 'ESPRESSO' / KENTUCKY COFFEE TREE (SEEDLESS)	B & B	1.5" CAL MIN	40'-50'	50'-60'
	GT	13	GLEDITSIA TRIACANTHOS INERMIS 'SUNBURST' / SUNBURST HONEY LOCUST	B & B	1.5" CAL MIN	30'-35'	30'-35'
	KP	8	KOELREUTERIA PANICULATA / GOLDEN RAIN TREE	B & B	2" CAL MIN	20'-30'	20'-30'
	MO	41	MALUS 'CORALBURST' / CORALBURST CRABAPPLE	B & B	1.5" CAL MIN	12'-15'	12'-15'
	PA	11	PRUNUS CERASIFERA CRIMSON POINTE / COLUMNAR PURPLE PLUM	B & B	1.5" CAL MIN	8'-10'	20'-25'
	QM	7	QUERCUS MACROCARPA / BURR OAK	B & B	2" CAL MIN	50'-80'	50'-80'
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT. SIZE	SIZE/CAL.	WIDTH	HEIGHT
	JSM	10	JUNIPERUS SCOPULORUM 'MOONGLOW' / MOONGLOW JUNIPER LOW ROOT DAMAGE POTENTIAL	B & B	6" HGT.	6'-8'	12'-15'
	JSW	8	JUNIPERUS SCOPULORUM 'WICHITA BLUE' / WICHITA BLUE JUNIPER	B & B	6" HGT.	4'-6'	15'-20'
	PE	8	PINUS EDULIS / PINON PINE	B & B	6" HGT.	10'-20'	20'-30'
	PN	6	PINUS NIGRA / AUSTRIAN BLACK PINE	B & B	6" HGT.	30'-40'	40'-60'
	PP	12	PINUS PONDEROSA / PONDEROSA PINE	B & B	6" HGT.	30'-40'	60'+
	PPB	2	PICEA PUNGENS 'BLUE DIAMOND' / BLUE DIAMOND DWARF SPRUCE	B & B	6" HGT.	5'-10'	15'-20'
	PPF	1	PICEA PUNGENS 'FASTIGIATA' / FASTIGIATE BLUE SPRUCE	B & B	6" HGT.	10'-15'	25'-40'
	PPG	2	PICEA PUNGENS 'GLAUCA' / COLORADO BLUE SPRUCE	B & B	6" HGT.	20'-30'	40'-60'
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	TYPE	INSTALL RATE	WEED FABRIC	MFR.
	BREEZE	4,641 SF	BREEZE / CRUSHER FINES BREEZE COLOR TO VARY FROM TRAIL AND TO BE SELECTED BY OWNER/CONTRACTOR.	BREEZE	4"	YES	PIONEER SAND & GRAVEL
	ROCK-A	43,013 SF	ROCK MULCH A / ROCK MULCH AND PLANTINGS ROCK MULCH TYPE TO BE DECIDED BY OWNER/CONTRACTOR. ROCK MULCH TO BE PLANTED WITH SHRUBS AND GRASSES.	ROCK MULCH	4"	YES	C&C SAND
	ROCK-B	43,318 SF	ROCK MULCH B / ROCK MULCH AND PLANTINGS ROCK MULCH TYPE TO BE DECIDED BY OWNER/CONTRACTOR. ROCK MULCH TO BE PLANTED WITH SHRUBS AND GRASSES.	ROCK MULCH	4"	YES	C&C SAND
	SEED	4,825 SF	EPC LOW GROW MIX INSTALL PER TABLE 5-2. SUBMIT SUPPLIER CUT-SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.	SEED	PER CHART		PAWNEE BUTTES SEED INC.
	SEED2	20,170 SF	EPC ALL PURPOSE MIX INSTALL PER TABLE 5-1. SUBMIT SUPPLIER CUT-SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.	SEED	PER CHART		PAWNEE BUTTES SEED
	SOD	18,175 SF	SURVIVALIST TALL FESCUE INSTALL PER DETAIL - 47% GRAND II TALL FESCUE, 47% SR8650 TALL FESCUE, 6% SPITFIRE TEXAS HYBRID	SOD	PER MFR. SPECS		GREEN BELT TURF FARM

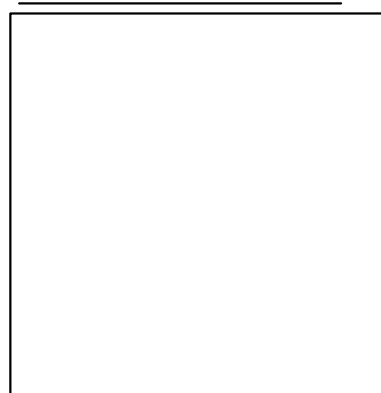
Table 5-1. El Paso County Conservation District All-Purpose Mix for Upland, Transition and Permanent Central Measure Areas

Common Name	Scientific Name	Growth Season / Form	% of Mix	Pounds PLS		
				Ingrated broadcast	Ingrated hydroseeded	Non-ingrated drilled
Bluestem, big	Andropogon gerardii	Warm, sod	20	4.4	2.2	1.1
Gramma, blue	Bouteloua gracilis	Warm, bunch	10	0.5	0.25	0.13
Green needlegrass	Asseillo viridula	Cool, bunch	10	2	1	0.5
Wheatgrass, western?	Panicum scribneri	Cool, sod	20	6.4	3.2	1.6
Gramma, sidecoats	Bouteloua curtipendula	Warm, bunch	10	2	1	0.5
Switchgrass	Panicum virgatum	Warm, bunch/sod	10	0.8	0.4	0.2
Prairie sandreed	Calamagrostis canyonsis	Warm, sod	10	1.2	0.6	0.3
Yellow indiangrass	Sorghastrum nutans	Warm, sod	10	2	1	0.5
Seed rate (lbs PLS/acre)				19.3	9.7	4.8

Table 5-2. El Paso County All-Purpose Low Grow Mix for Upland and Transition Areas

Common Name	Scientific Name	Growth Season / Form	% of Mix	Pounds PLS		
				Ingrated broadcast	Ingrated hydroseeded	Non-ingrated drilled
Buffalograss	Bouteloua dactyloides	Warm, sod	25	9.6	4.8	2.4
Gramma, blue	Bouteloua gracilis	Warm, bunch	20	10.8	5.4	2.7
Gramma, sidecoats	Bouteloua curtipendula	Warm, bunch	29	5.6	2.8	1.4
Green needlegrass	Asseillo viridula	Cool, bunch	5	3.2	1.6	0.8
Wheatgrass, western	Panicum scribneri	Cool, sod	20	12	6	3
Droopseed, sand	Sporobolus cryptandrus	Warm, bunch	1	0.8	0.4	0.2
Seed rate (lbs PLS/acre)				42	21	10.3

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