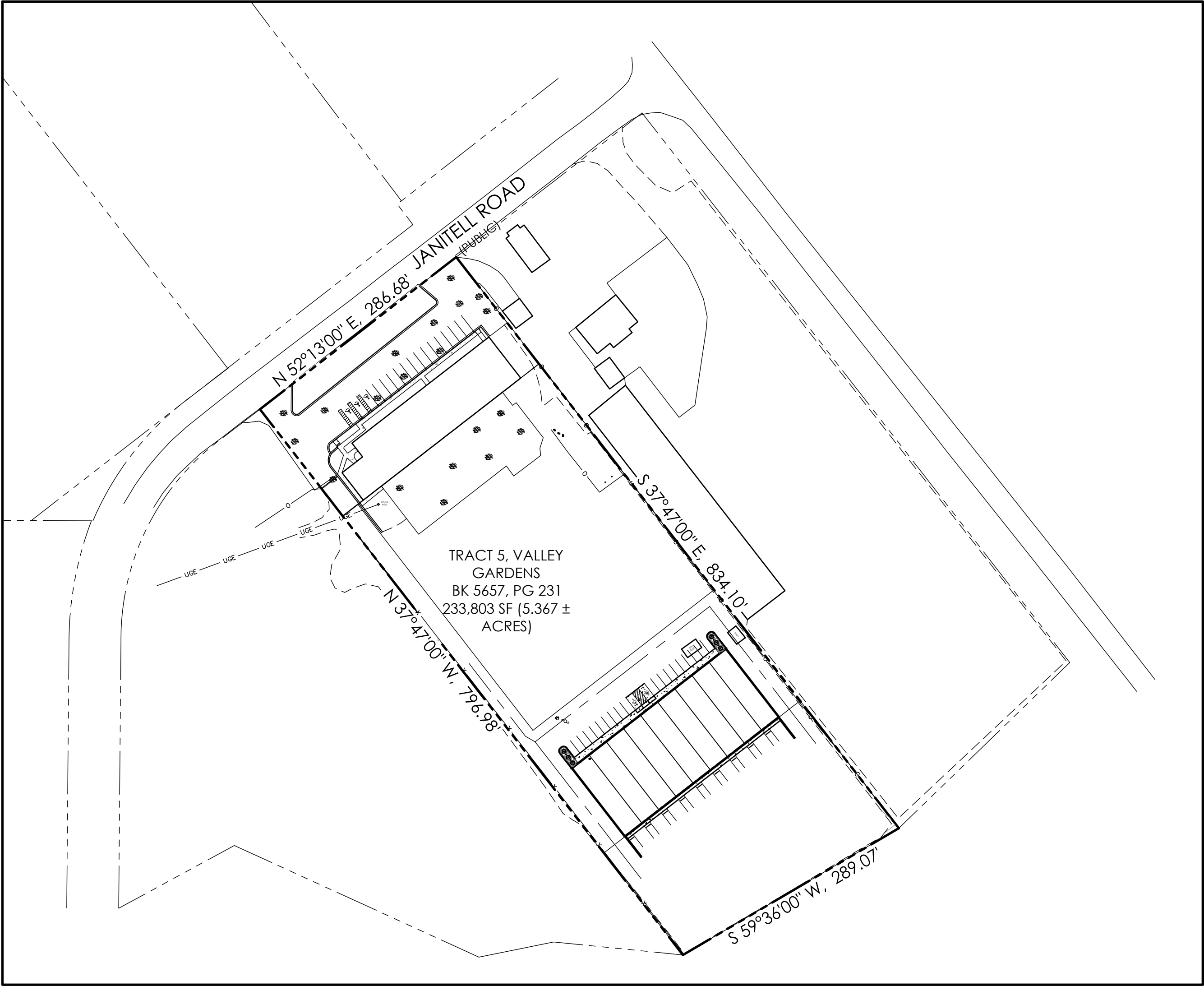


SITE DEVELOPMENT PLAN  
FOR  
2165 JANITELL ROAD

LOT 5, VALLEY GARDENS, LOCATED IN SECTION 28, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
EL PASO COUNTY, COLORADO



Provide location and dimensions of all existing and proposed signage on site including building signage or freestanding signs.

SITE DATA

OWNER/DEVELOPER  
SOMBERS INVESTMENTS LLC  
5565 PIEDRA VISTA  
COLORADO SPRINGS, CO 80908

CONSULTANT/ENGINEER  
M.V.E., INC.  
1903 LELARAY STREET, SUITE 200  
COLORADO SPRINGS, CO 80909  
(719) 635-5736

SURVEYOR  
POLARIS SURVEYING, INC.  
1903 LELARAY STREET, SUITE 102  
COLORADO SPRINGS, CO 80909  
(719) 448-0844

ZONING  
INDUSTRIAL (M 1)

USE  
PROPOSED OFFICE/WAREHOUSE  
22,500 SF

TAX SCHEDULE NO.  
64283 01 005

PROPERTY ADDRESS  
2165 JANITELL ROAD

COVERAGE DATA

BUILDINGS	=	30,362 SF
PAVED	=	34,712 SF
GRAVEL	=	155,510 SF
OPEN SPACE / LANDSCAPE	=	9,462 SF
TOTAL	=	233,046 SF
100.0%		

PARKING SCHEDULE

REQUIRED PARKING

WAREHOUSE - 25,162 SF @ 1 SPACE / 1000 SF = 26 SPACES  
OFFICE - 4,000 SF @ 1 SPACE / 400 SF = 10 SPACES

PROVIDED PARKING

BUILDING 1	-	14 SPACES + 3 ADA
BUILDING 2	-	20 SPACES + 2 ADA

BUILDING CONSTRUCTION TYPE

IIB

BUILDING HEIGHT

MAXIMUM HEIGHT: 50'

SETBACKS

FRONT:	15'
REAR:	15'
SIDE:	N/A

LIGHTING

LIGHTING TO BE BUILDING MOUNTED FULL CUTOFF LIGHTS. NO AREA MAST LIGHTING PROPOSED.

LEGEND

----- PROPERTY LINE  
----- EASEMENT LINE  
----- LOT LINE  
----- BUILDING SETBACK LINE  
----- ADJACENT PROPERTY LINE

EXISTING

---5985--- INDEX CONTOUR  
---84--- INTERMEDIATE CONTOUR  
CONCRETE AREA  
ASPHALT AREA  
CURB AND GUTTER  
BUILDING/  
BUILDING OVERHANG  
DECK  
RETAINING WALL - SOLID/  
ROCK  
SIGN  
BOLLARD  
WOOD FENCE  
CHAIN LINK FENCE  
BARBED WIRE FENCE  
TREE (EVERGREEN/DECIDUOUS)  
SHRUB  
ROCK

PROPOSED

---5985--- INDEX CONTOUR  
---84--- INTERMEDIATE CONTOUR  
CONCRETE AREA  
ASPHALT AREA  
CURB AND GUTTER  
BUILDING/  
BUILDING OVERHANG  
DECK  
RETAINING WALL - SOLID/  
ROCK  
SIGN  
BOLLARD  
2515 LARAMIE DRIVE  
(100 )  
UNIT ADDRESS  
FIRE LANE

ABBREVIATION LEGEND

ASPH ASPHALT  
CONC CONCRETE  
C & G CURB & GUTTER  
DET. DETAIL  
ESMT EASEMENT  
ME MATCH EXISTING  
P.B., PG. PLAT BOOK, PAGE  
PVMT PAVEMENT  
RET. WALL RETAINING WALL  
REC. NO. RECEPTION NUMBER  
R.O.W. RIGHT-OF-WAY  
SF SQUARE FOOT  
STBK SETBACK  
SW SIDEWALK  
UTIL UTILITY  
C CATCH CURB  
S SPILL CURB

Add note: The owner agrees on behalf of him/herself and any developer or builder successors and assignees that Subdivider and/or said successors and assigns shall be required to pay traffic impact fees in accordance with the El Paso County Road Impact Fee Program Resolution (Resolution No. 19-471), or any amendments thereto, at or prior to the time of building permit submittals. The fee obligation, if not paid at final plat recording, shall be documented on all sales documents and on plat notes to ensure that a title search would find the fee obligation before sale of the property.

ADA NOTE

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

FLOODPLAIN STATEMENT

NO PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN FEMA DESIGNATED SPECIAL FLOOD HAZARD AREA (SFHA'S) AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR EL PASO COUNTY, COLORADO AND INCORPORATED AREAS - MAP NUMBER 08041C0763G, EFFECTIVE DECEMBER 7, 2018.

MAP NOTES

- BOUNDARY BEARINGS AND DISTANCES SHOWN ON THIS MAP ARE RELATIVE TO TRACT 5, VALLEY GARDENS, OF THE PUBLIC RECORDS OF EL PASO COUNTY, COLORADO.
- THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED AND PROVIDED BY POLARIS SURVEYING, INC. ELEVATIONS SHOWN ARE RELATIVE TO THE NAVD '88.
- ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE FROM UTILITY MAIN RECORD MAPS AND UTILITY SERVICE LOCATION MAPS. THE LOCATION OF UTILITIES AS SHOWN ARE APPROXIMATE. ALL UTILITIES MAY NOT BE SHOWN OR MAY NOT HAVE BEEN LOCATED. BELOW GROUND UTILITY LOCATIONS WERE NOT PERFORMED.

LEGAL DESCRIPTION

LOT 3, BLOCK A, A RESUBDIVISION OF LOTS 4 AND 5, BLOCK 1, "CLEAR VIEW INDUSTRIAL PARK FILING NO. 1"

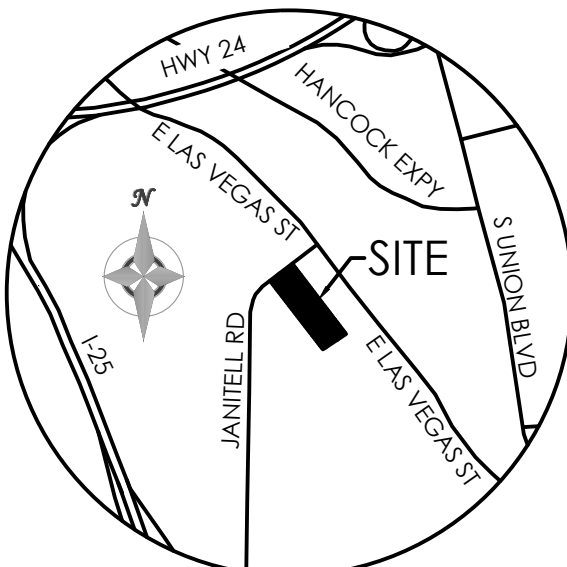
DEVELOPMENT NOTES

- WATER SERVICE PROVIDED BY EXISTING WELL.
- SEWER SERVICE PROVIDED BY EXISTING OWTS.
- FIRE SERVICE PROVIDED BY COLORADO SPRINGS FIRE DEPARTMENT.
- NATURAL GAS SERVICE PROVIDED BY CITY OF COLORADO SPRINGS.
- ELECTRIC SERVICE PROVIDED BY CITY OF COLORADO SPRINGS.

SHEET INDEX

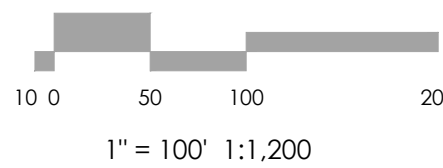
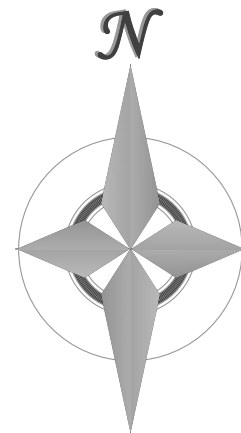
SITE DEVELOPMENT PLAN

DP-1.1	COVER SHEET
DP-2.1	SITE PLAN
DP-3.1	LANDSCAPING
DP-4.1	DETAILS
EL -5.1	EXTERIOR ELEVATIONS
FP -6.1	FLOOR PLAN
PM -1, 2, & 3	PHOTOMETRIC PLAN
PM - 4	PHOTOMETRIC SCHEDULES



VICINITY MAP  
NOT TO SCALE

BENCHMARK



MVE, INC.  
ENGINEERS / SURVEYORS  
1903 Lelaray Street, Suite 200 Colorado Springs, CO 80909 719.635.5736

REVISIONS

DESIGNED BY  
DRAWN BY  
CHECKED BY  
AS-BUILT BY  
CHECKED BY

2165 JANTELL RD

SITE PLAN

COVER SHEET

DP 1.1 MVE PROJECT 61195  
MVE DRAWING DP-CS

MAY 2, 2024  
SHEET 1 OF 10

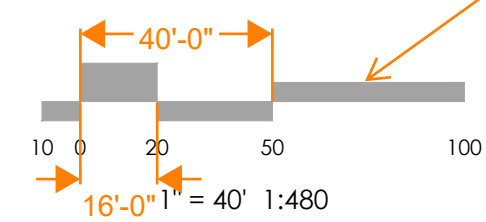
PCD FILE #

PPR2417









REVISIONS

DESIGNED BY \_\_\_\_\_  
 DRAWN BY \_\_\_\_\_  
 CHECKED BY \_\_\_\_\_  
 AS-BUILTS BY \_\_\_\_\_  
 CHECKED BY \_\_\_\_\_

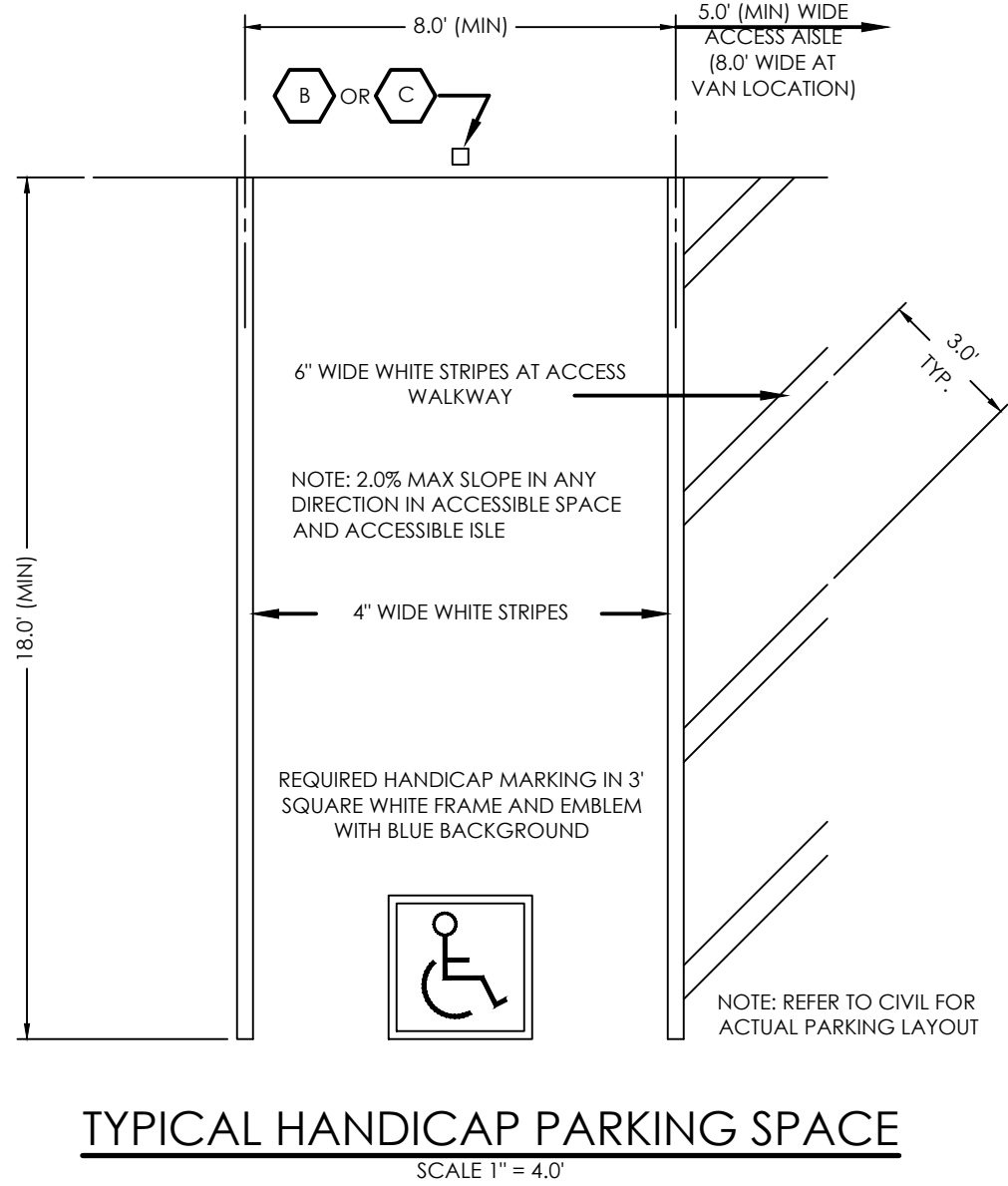
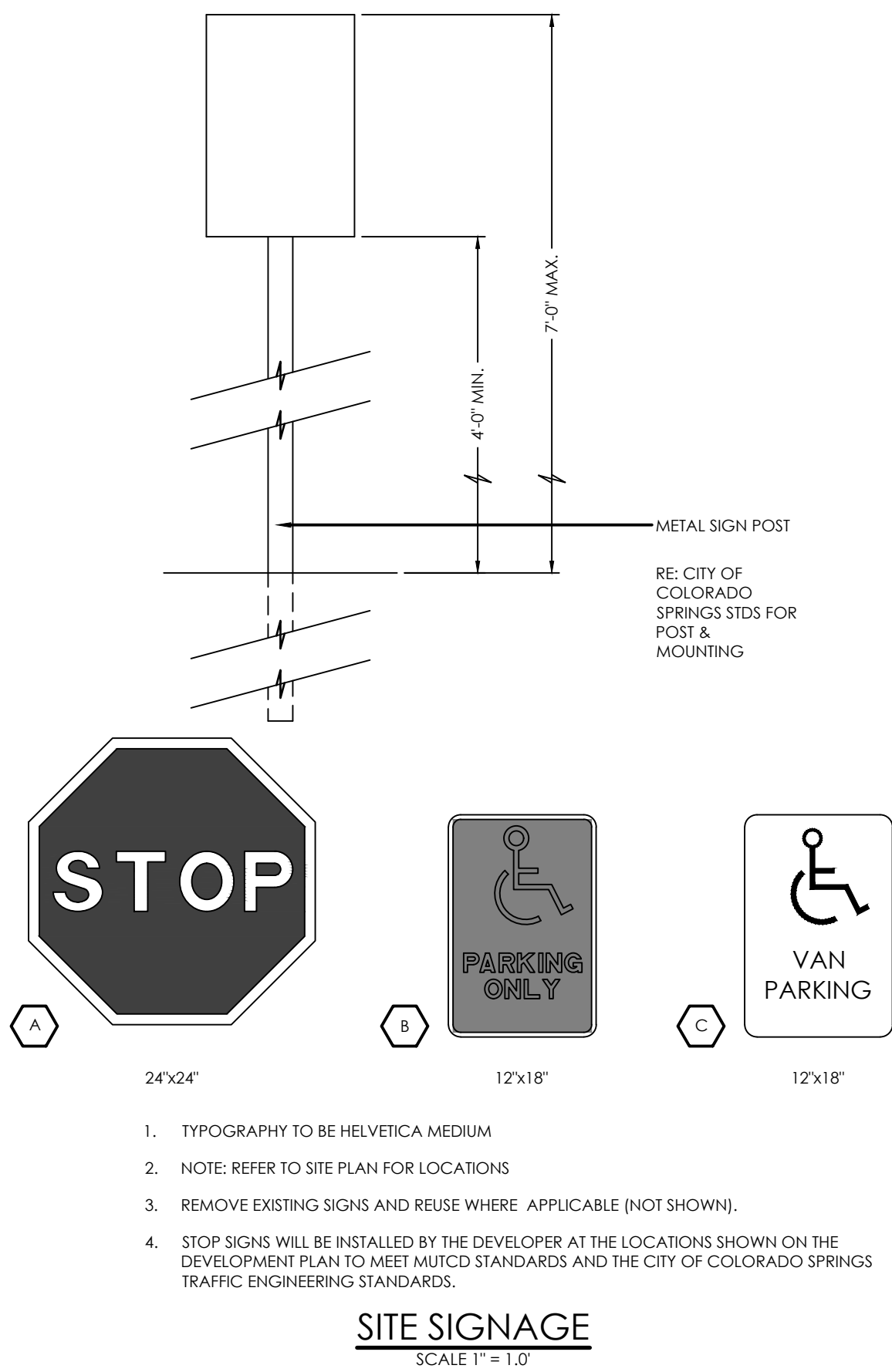
**MAY 2, 2024**  
**SHEET 3 OF 10**

PCD FILE #

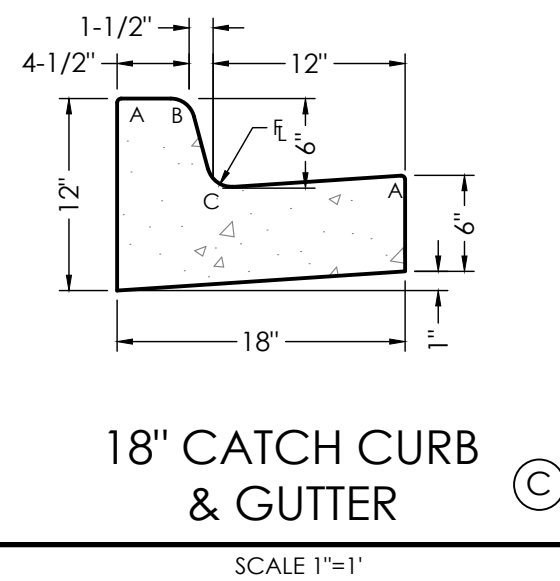
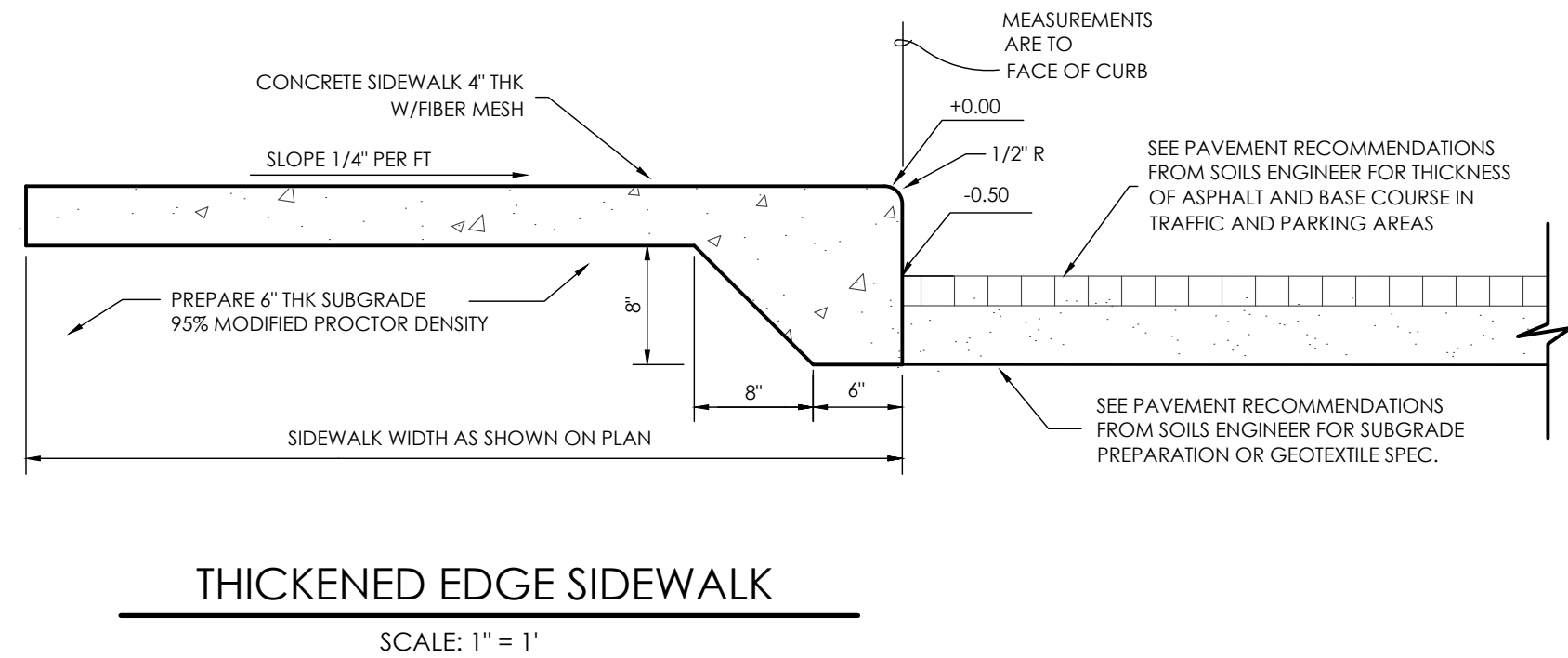
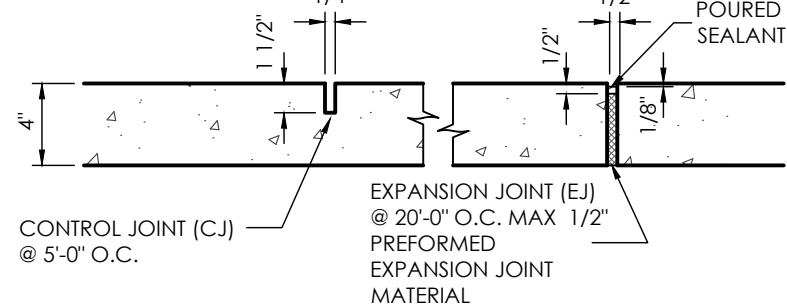
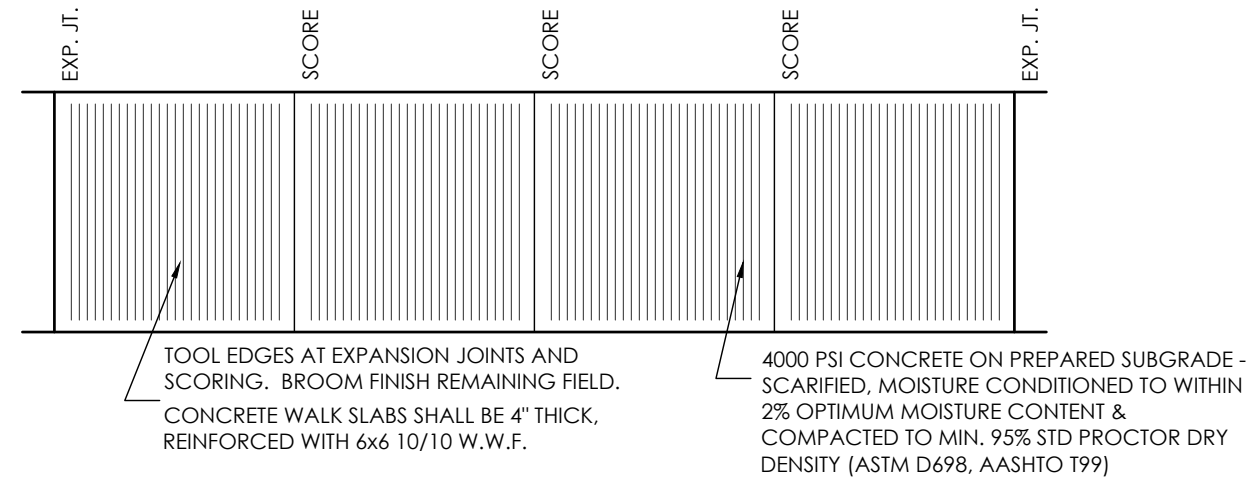
LANDSCAPE NOTES

1. OWNERS WELL WATER IS NOT DESIGNATED FOR IRRIGATION. WATERING OF ALL LANDSCAPE AREAS TO BE PERFORMED BY OWNER UNTIL PLANTS ARE ESTABLISHED.
2. CONTRACTOR IS RESPONSIBLE FOR GETTING ALL UTILITY LOCATES PRIOR TO STARTING ANY WORK ON SITE AND ALSO HAVING UTILITIES LOCATED AS NECESSARY FOR THE DURATION OF CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF MATERIALS HEREIN TO BE COMPLETED IN THIS PLAN IN THE FIELD. NOTIFY OWNERS REPRESENTATIVE OF DISCREPANCIES BETWEEN THE DRAWINGS AND CONDITIONS IN THE FIELD. SUBSTITUTIONS OF LANDSCAPE MATERIALS ARE NOT ALLOWED WITHOUT APPROVAL FROM OWNER GIVEN PRIOR TO INSTALLATION. NOTIFY OWNER PRIOR TO CONSTRUCTION IF LANDSCAPE MATERIALS NEED TO BE ALTERED DUE TO UNAVAILABLE MATERIALS.
4. CONTRACTOR IS TO PROVIDE A ONE YEAR WARRANTY ON ALL PLANT MATERIALS, IRRIGATION COMPONENTS, NATIVE GRASS, AND WORKSMANSHIP. CONTRACTOR IS TO PROVIDE OWNER WITH WARRANTY CONDITIONS AND COMMENCE WARRANTY PERIOD UPON FINAL ACCEPTANCE OF LANDSCAPE INSTALLATION.
5. THE OWNER OF THIS PROJECT AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER LANDSCAPE MAINTENANCE OF THIS SITE. MAINTENANCE OF THIS SITE INCLUDES, BUT IS NOT LIMITED TO, LANDSCAPE WEEDING, FERTILIZATION, PRUNING, AND PLANT MATERIAL REPLACEMENT.
6. COBBLE TO BE 2' - 4" WHOLE WASHED RIVER COBBLES INSTALLED AT A 6" DEPTH ON FABRIC UNDERLAMENT. PROVIDE REPRESENTATIVE SAMPLE OF COBBLE TO BE USED TO OWNER FOR APPROVAL PRIOR TO JOB SITE DELIVERY.



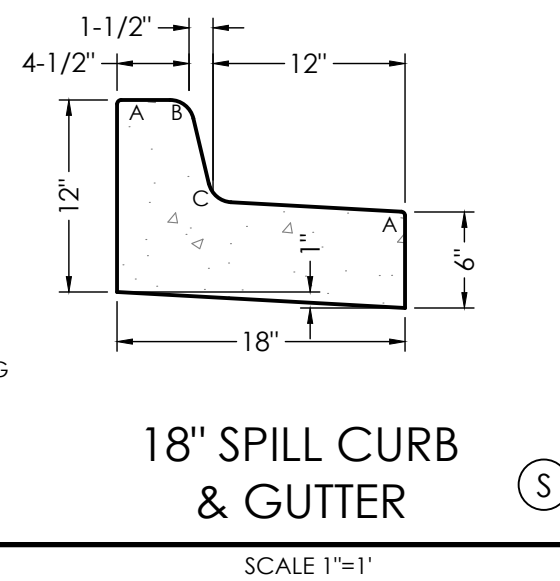


Provide standard parking space dimension detail (detail11?)

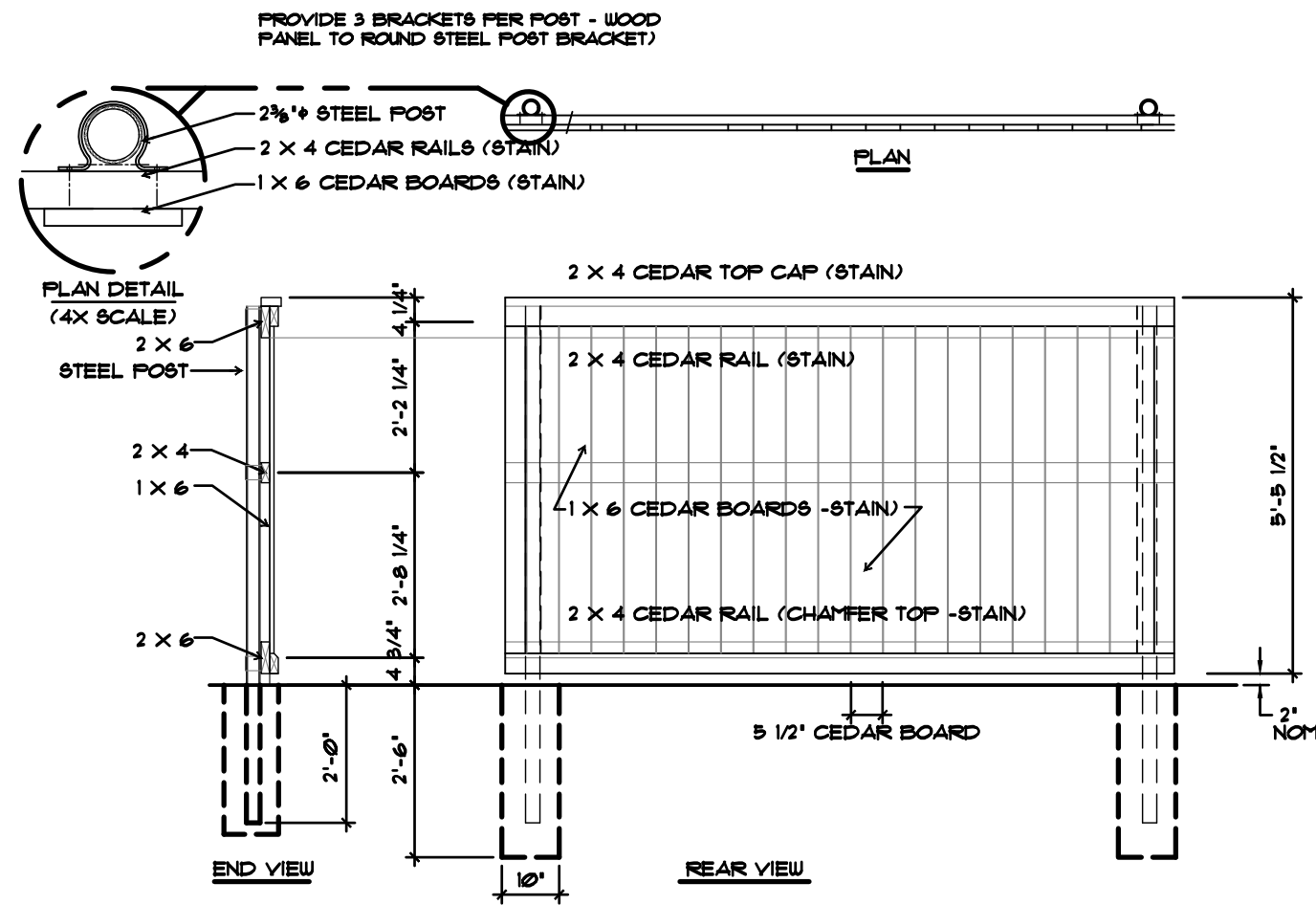


RADII	
A	1/8" TO 1/4"
B	1-1/2"
C	1-1/2" TO 2"

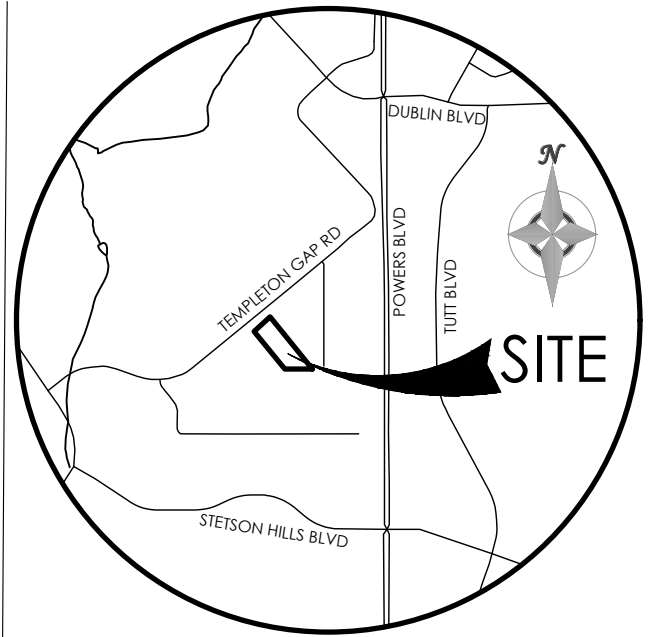
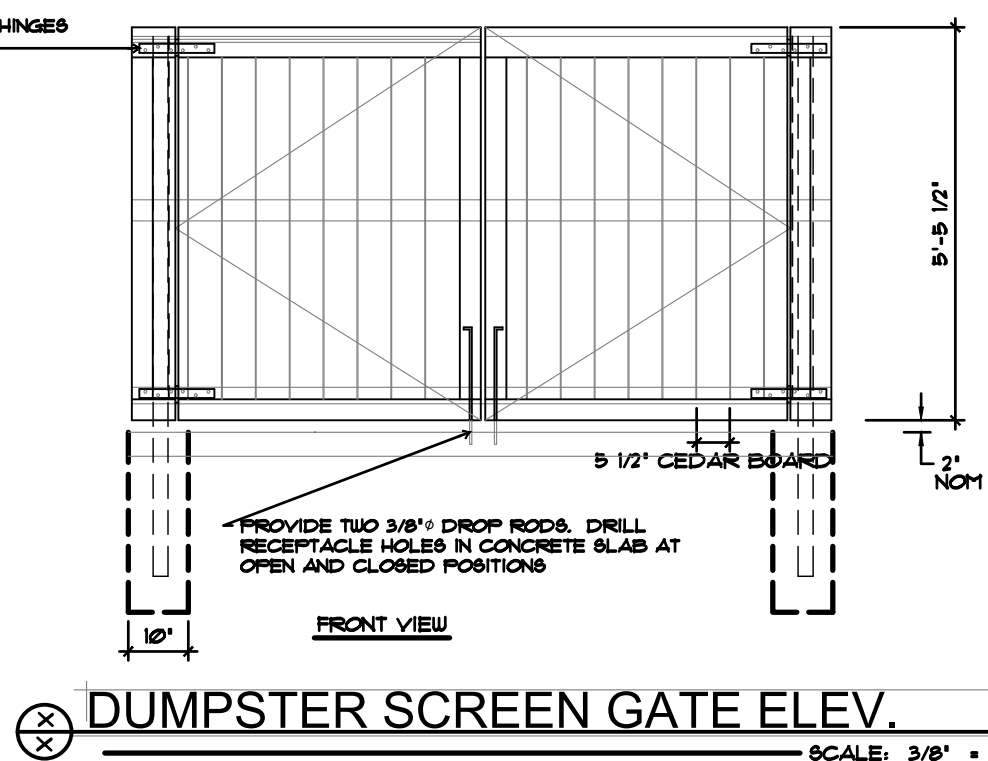
NOTE: CURB & GUTTER CONCRETE SHALL BE CITY OF COLORADO SPRINGS ENGINEERING DIVISION STANDARD SPECIFICATIONS.



NOTE: CURB AND GUTTER SHOWN ON THESE PLANS ARE PRIVATE. NO PUBLIC (EPC) CURB AND GUTTER IS PROPOSED.

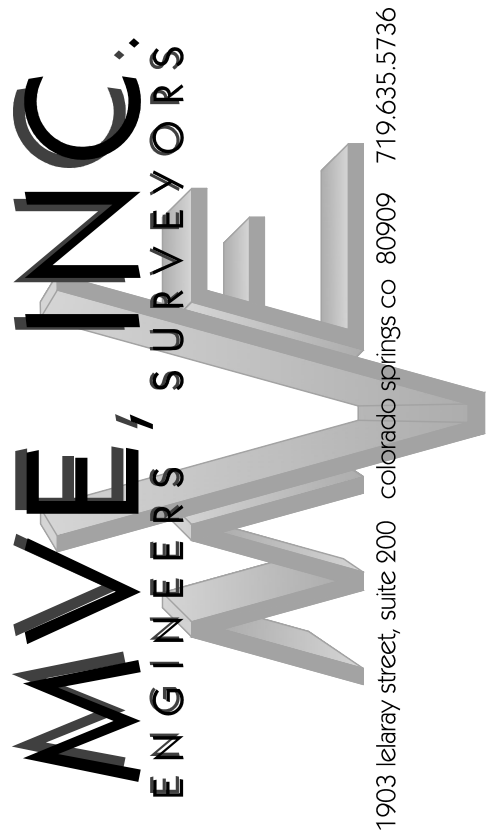
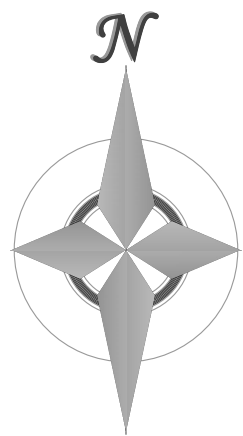


NOTE:  
-FILL STEEL POSTS WITH CONCRETE  
-FASTEN EACH RAIL END USING THREE #8 x 1-1/4" RAIL SCREWS  
-ATTACH RAILS TO CORNER POSTS USING ONE HOECLIP PER RAIL END  
-ATTACH CEDAR BOARDS TO RAILS WITH COATED SCREWS



**VICINITY MAP**  
NOT TO SCALE

BENCHMARK



REVISIONS

DESIGNED BY \_\_\_\_\_  
DRAWN BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_  
AS-BUILTS BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_

5935 TEMPLETON  
GAP ROAD

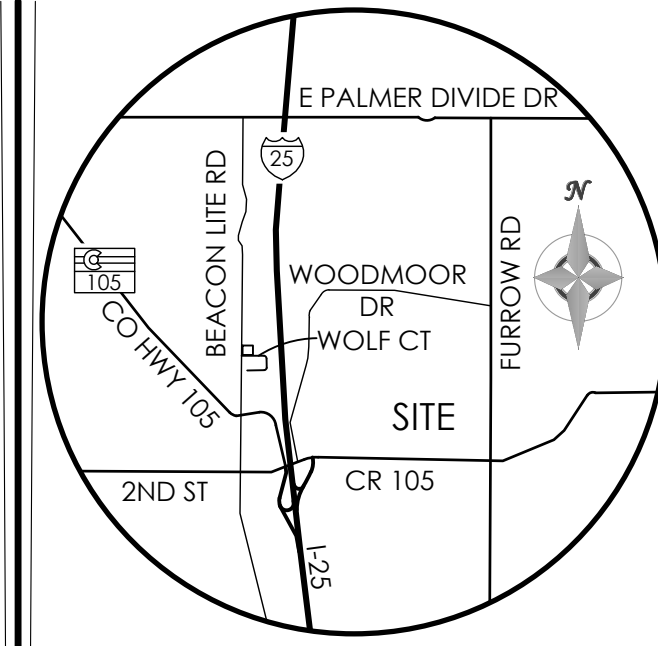
SITE PLAN  
DETAIL SHEET

DP 4.1 MVE PROJECT 61206  
MVE DRAWING DP-DS

MAY 2, 2024  
SHEET 4 OF 10

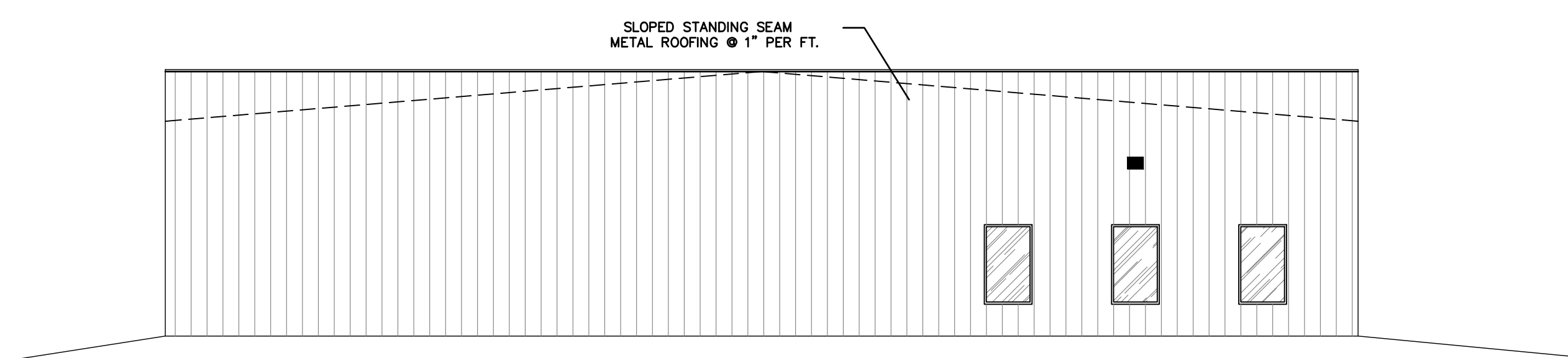
PPR



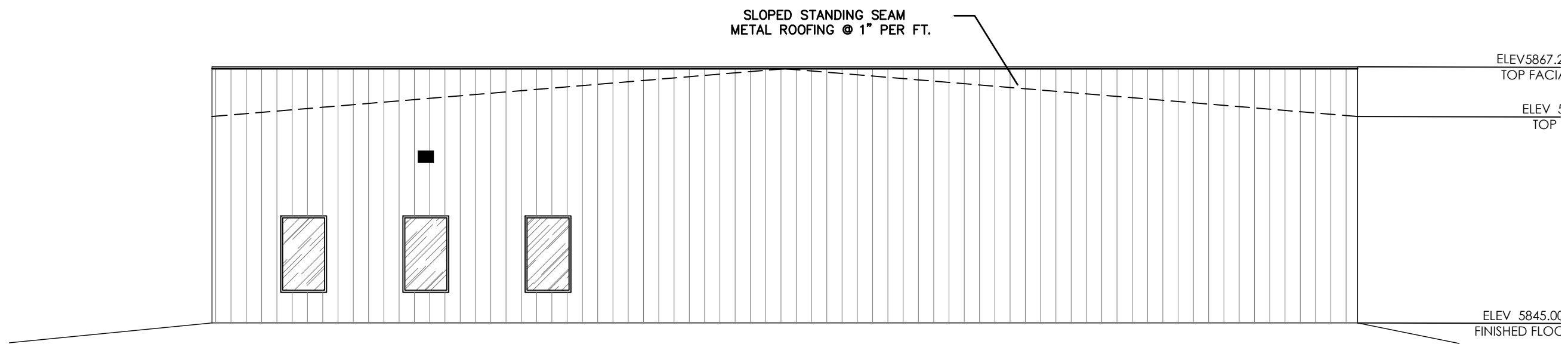


VICINITY MAP  
NOT TO SCALE

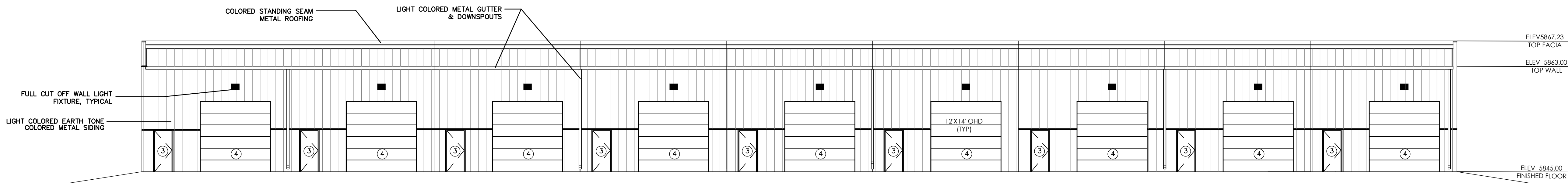
BENCHMARK



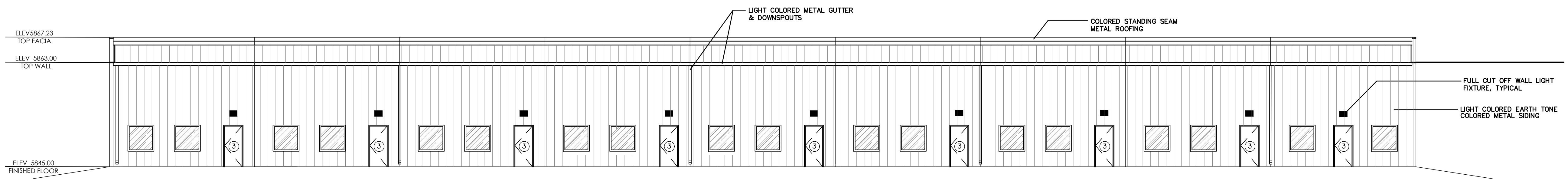
**SOUTHWEST ELEVATION**  
SCALE: 1" = 10'



**NORTHEAST ELEVATION**  
SCALE: 1" = 10'



**SOUTHEAST ELEVATION**  
SCALE: 1" = 10'



**NORTHWEST ELEVATION**  
SCALE: 1" = 10'



REVISIONS

DESIGNED BY \_\_\_\_\_  
DRAWN BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_  
AS-BUILT BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_

2217 JANITELL ROAD

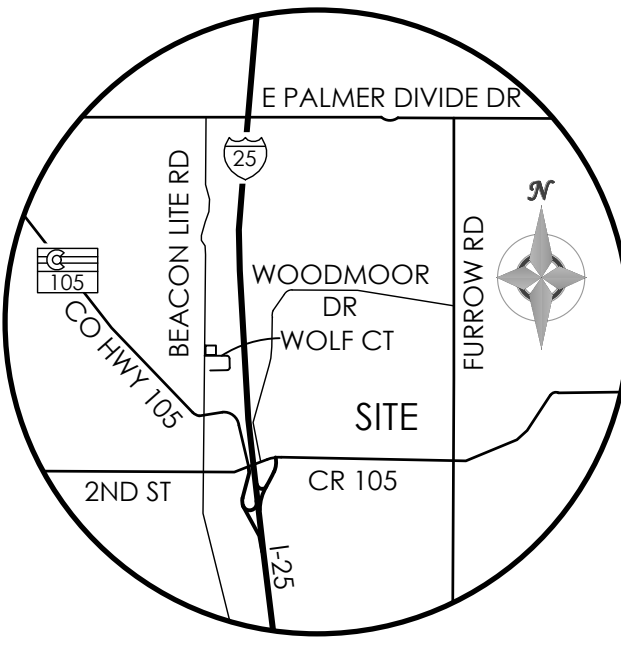
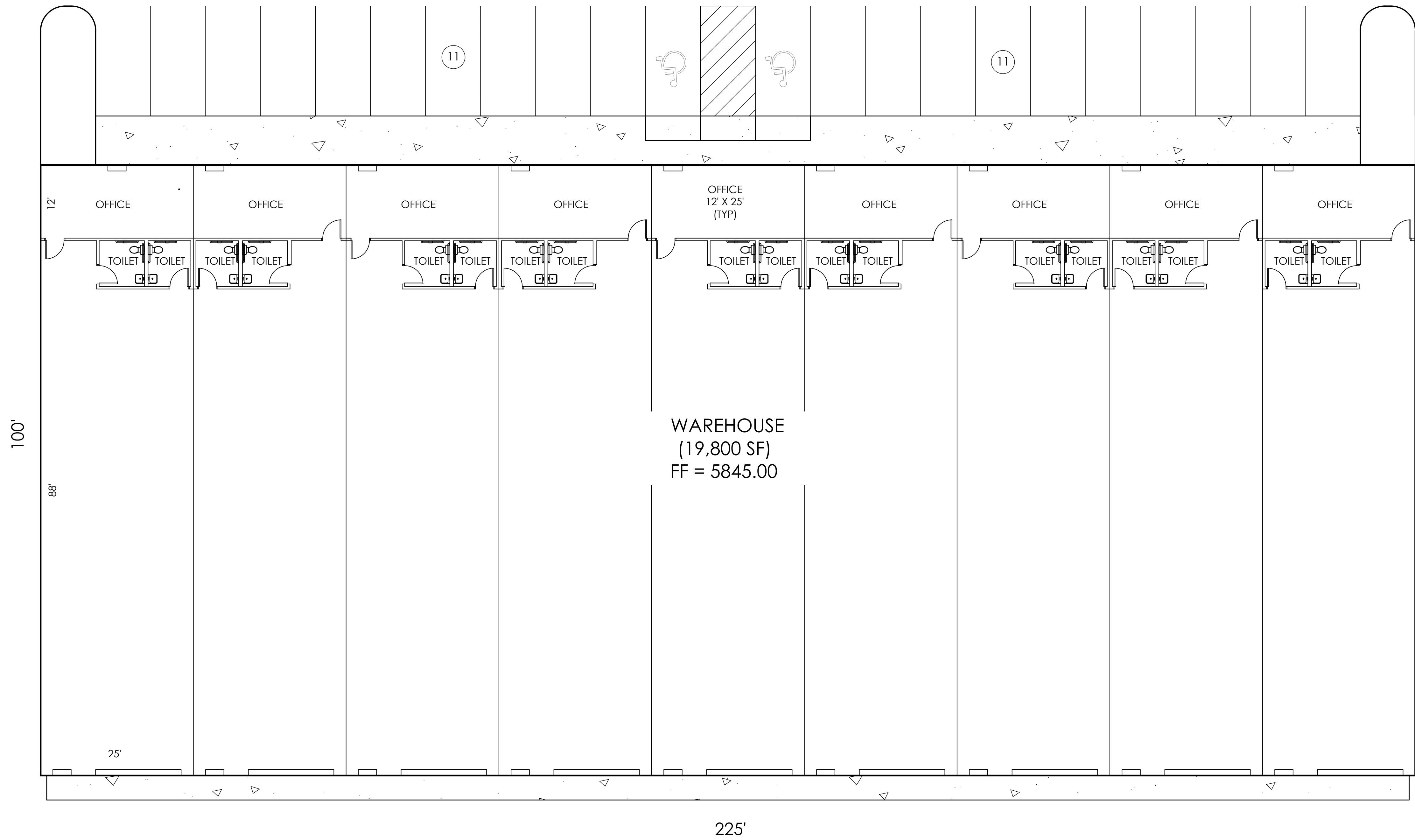
SITE PLAN

BUILDING ELEVATIONS

DP 5.1 MVE PROJECT **61195**  
MVE DRAWING DP-EL

**MAY 2, 2024**  
**SHEET 5 OF 10**





VICINITY MAP  
NOT TO SCALE

BENCHMARK



REVISIONS

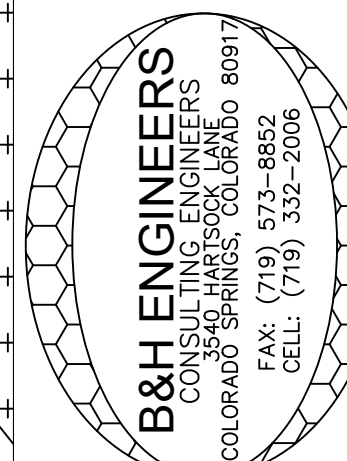
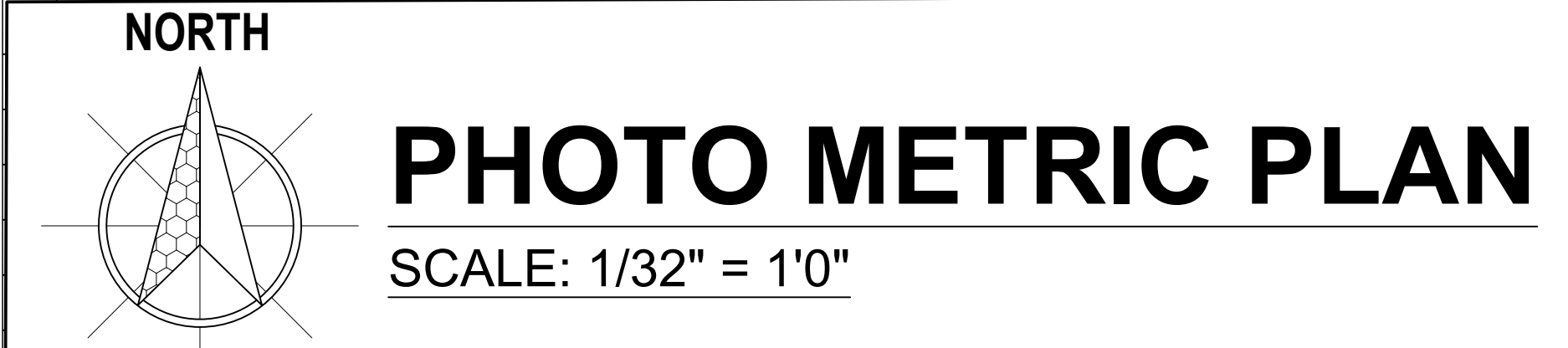
DESIGNED BY \_\_\_\_\_  
DRAWN BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_  
AS-BUILTS BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_

2217 JANITELL ROAD  
  
SITE PLAN  
  
BUILDING FLOOR PLAN

DP 6.1 MVE PROJECT **61195**  
MVE DRAWING DP-FP

**MAY 2, 2024**  
**SHEET 6 OF 10**





3540 HARTSOCK LANE  
COLORADO SPRINGS, COLORADO 80917  
(719) 332-2006

REVISION/DATE

---

1000 JOURNAL OF CLIMATE

DRAWN BY: B&amp;H

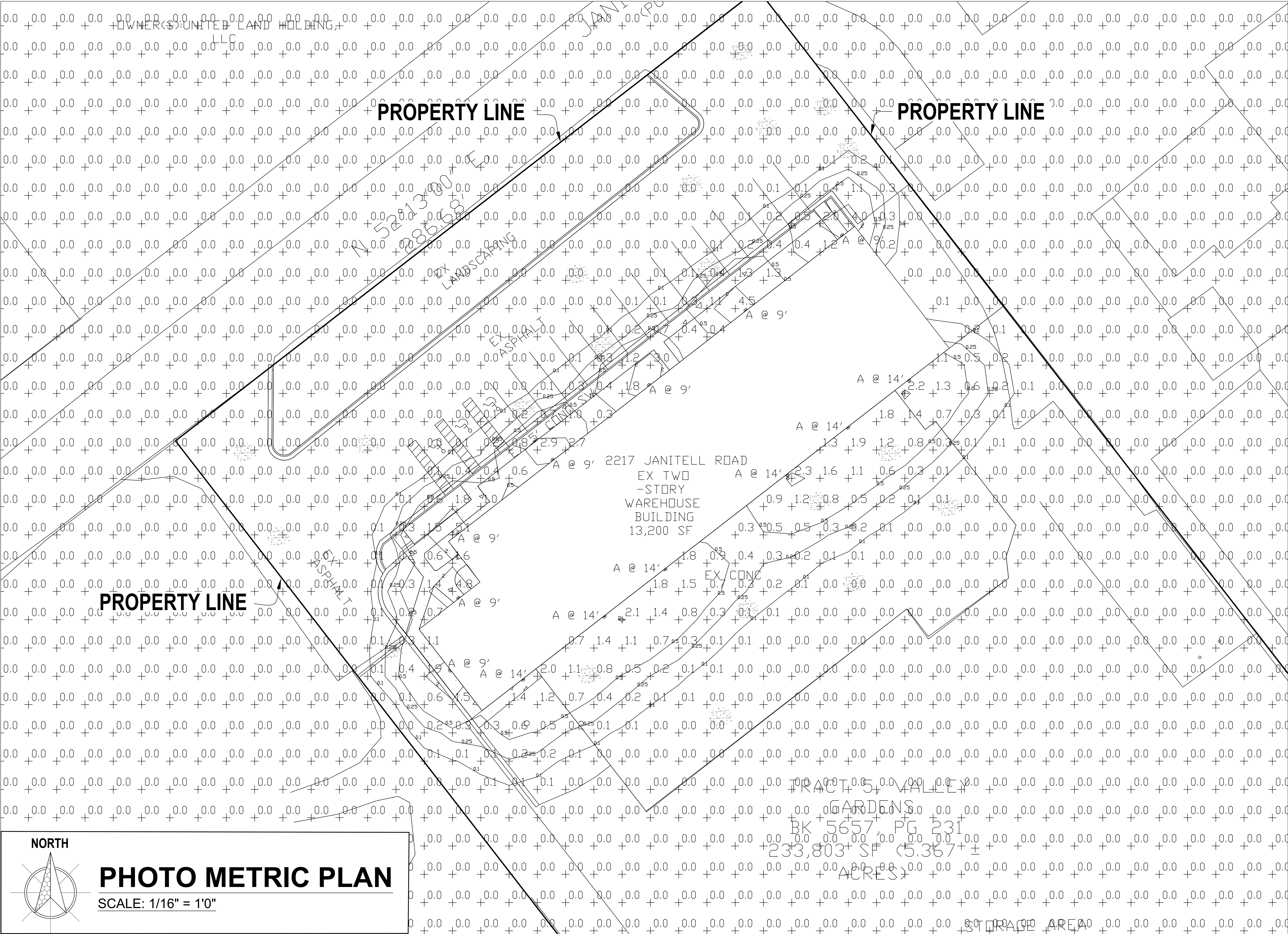
2217 JANITELL ROAD  
COLORADO SPRINGS, COLORADO 80906

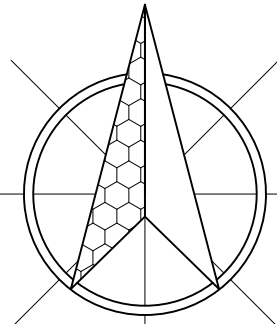
**B&H ENGINEERS**

PHOTO METRIC PLAN

**PM1**



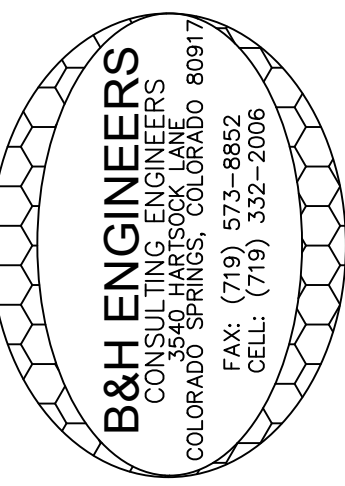





**NORTH**

**PHOTO METRIC PLAN**

SCALE: 1/16" = 1'0"



CONSULTING ELECTRICAL, MECHANICAL, & PLUMBING ENGINEERS

**B&H ENGINEERS**

3540 JANITELL LANE  
COLORADO SPRINGS, COLORADO 80917  
(719) 332-2006

REVISION/DATE

FILE NAME: Photo-Metric-2217-Janitell-80906.dwg

**2217 JANITELL ROAD**

**COLORADO SPRINGS, COLORADO 80906**

**B&H ENGINEERS**

**PHOTO METRIC PLAN**

**PM2**







