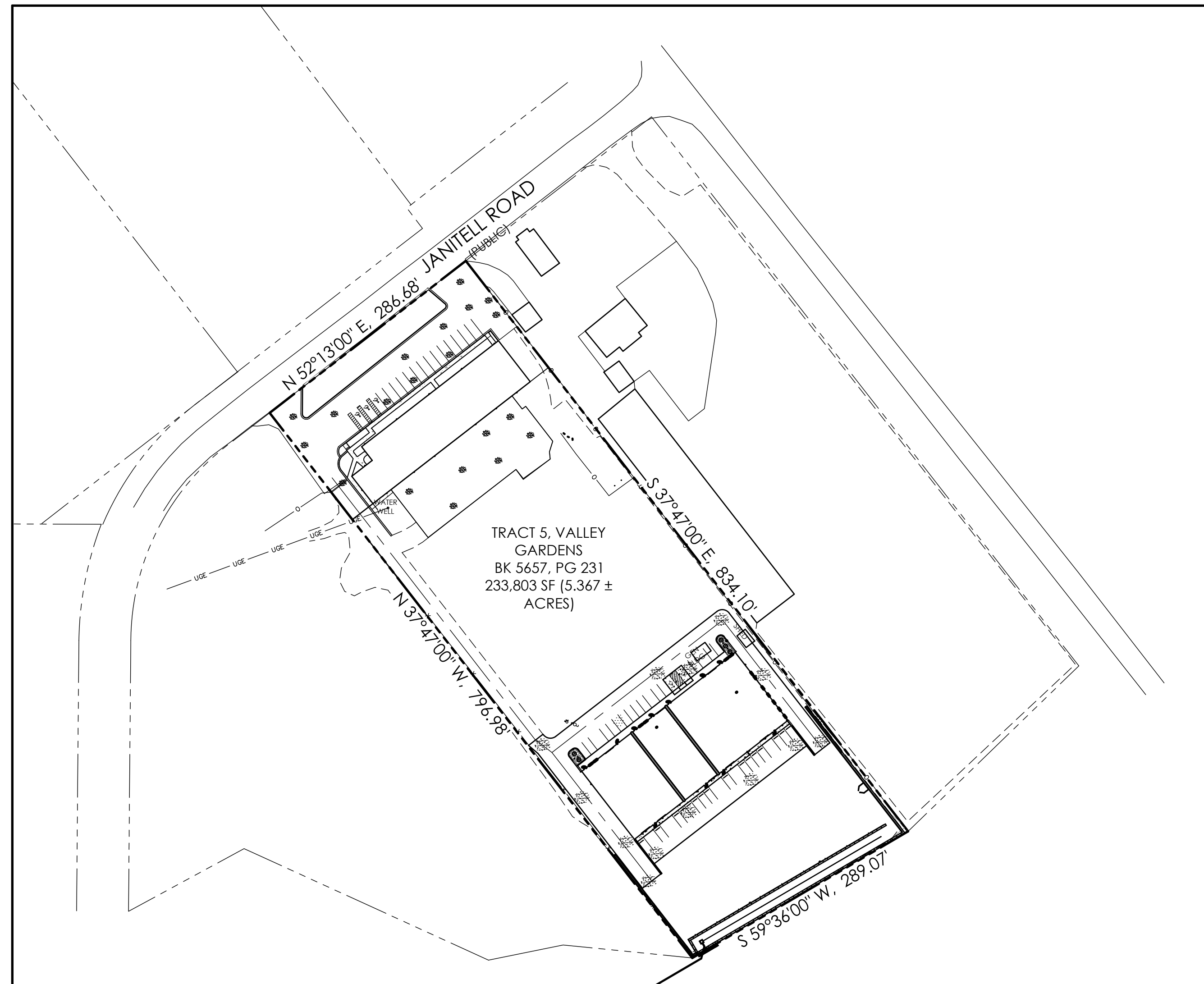


SITE DEVELOPMENT PLAN

FOR

2165 JANITELL ROAD

Tract 5 → LOT 5, VALLEY GARDENS, LOCATED IN SECTION 28, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO



SITE DATA

OWNER/DEVELOPER
SOMBERS INVESTMENTS LLC
5565 PIEDRA VISTA
COLORADO SPRINGS, CO 80908

CONSULTANT/ENGINEER
M.V.E., INC.
1903 LELARAY STREET, SUITE 200
COLORADO SPRINGS, CO 80909
(719) 635-5736

SURVEYOR
POLARIS SURVEYING, INC.
1903 LELARAY STREET, SUITE 102
COLORADO SPRINGS, CO 80909
(719) 448-0844

ZONING
INDUSTRIAL (M 1)

USE
PROPOSED OFFICE/WAREHOUSE
22,500 SF

TAX SCHEDULE NO.
64283 01 005

PROPERTY ADDRESS
2165 JANITELL ROAD

COVERAGE DATA	
BUILDINGS	= 30,362 SF
PAVED	= 34,712 SF
GRAVEL	= 155,510 SF
OPEN SPACE / LANDSCAPE	= 9,462 SF
TOTAL	= 233,046 SF
	100.0%

PARKING SCHEDULE

REQUIRED PARKING	
WAREHOUSE - 19,090 SF @ 1 SPACE / 1000 SF	= 20 SPACES
OFFICE - 3410 SF @ 1 SPACE / 400 SF	= 9 SPACES

PROVIDED PARKING	
BUILDING 1	- 14 SPACES + 3 ADA
BUILDING 2	- 31 SPACES + 2 ADA

BUILDING CONSTRUCTION TYPE IIB

BUILDING HEIGHT

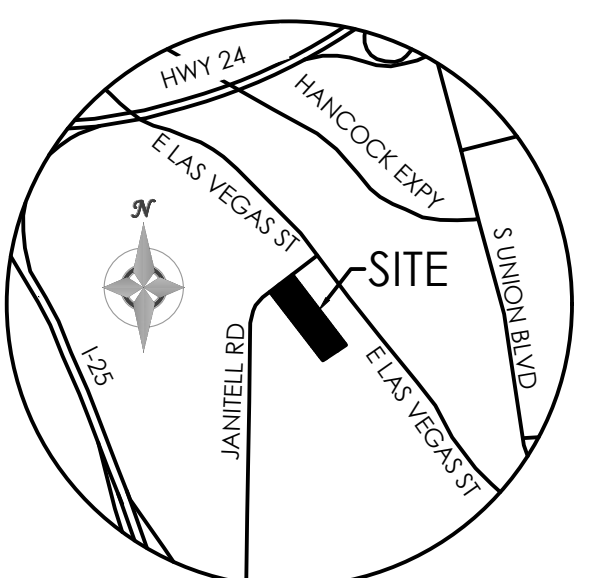
MAXIMUM HEIGHT: 50'

SETBACKS

FRONT: 15'
REAR: 15'
SIDE: N/A

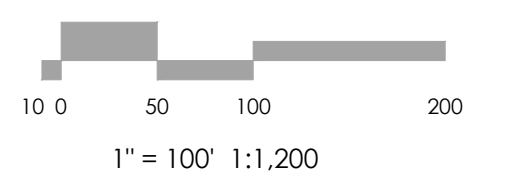
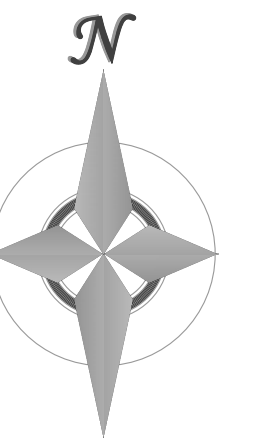
LIGHTING

LIGHTING TO BE BUILDING MOUNTED FULL CUTOFF LIGHTS. NO AREA MAST LIGHTING PROPOSED.



VICINITY MAP
NOT TO SCALE

BENCHMARK



REVISIONS

DESIGNED BY _____
DRAWN BY _____
CHECKED BY _____
AS-BUILTS BY _____
CHECKED BY _____

2165 JANTELL RD

SITE PLAN

COVER SHEET

DP 1.1 MVE PROJECT 61195
MVE DRAWING DP-CS

DECEMBER 6, 2024
SHEET 1 OF 11

LEGEND

- PROPERTY LINE
- EASEMENT LINE
- LOT LINE
- BUILDING SETBACK LINE
- ADJACENT PROPERTY LINE

EXISTING

- 5985--- INDEX CONTOUR
- 84--- INTERMEDIATE CONTOUR
- CONCRETE AREA
- ASPHALT AREA
- CURB AND GUTTER
- BUILDING/
BUILDING OVERHANG
- DECK
- RETAINING WALL - SOLID/
ROCK
- SIGN
- BOLLARD
- WOOD FENCE
- CHAIN LINK FENCE
- BARBED WIRE FENCE
- TREE (EVERGREEN/DECIDUOUS)
- SHRUB
- ROCK

PROPOSED

- 5985--- INDEX CONTOUR
- 84--- INTERMEDIATE CONTOUR
- CONCRETE AREA
- ASPHALT AREA
- CURB AND GUTTER
- BUILDING/
BUILDING OVERHANG
- DECK
- RETAINING WALL - SOLID/
ROCK
- SIGN
- BOLLARD
- 2515 LARAMIE DRIVE
(100) BUILDING ADDRESS
- UNIT ADDRESS
- FIRE LANE

ABBREVIATION LEGEND

- | | |
|-----------|------------------|
| ASPH | ASPHALT |
| CONC | CONCRETE |
| C & G | CURB & GUTTER |
| DET. | DETAIL |
| ESMT | EASEMENT |
| ME | MATCH EXISTING |
| P.B., PG. | PLAT BOOK, PAGE |
| PVMT | PAVEMENT |
| RET. WALL | RETAINING WALL |
| REC. NO. | RECEPTION NUMBER |
| R.O.W. | RIGHT-OF-WAY |
| SF | SQUARE FOOT |
| STBK | SETBACK |
| SW | SIDEWALK |
| UTIL | UTILITY |
| Ⓢ | CATCH CURB |
| Ⓣ | SPILL CURB |

ADA NOTE

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

FLOODPLAIN STATEMENT

NO PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN FEMA DESIGNATED SPECIAL FLOOD HAZARD AREA (SFHA'S) AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR EL PASO COUNTY, COLORADO AND INCORPORATED AREAS - MAP NUMBER 08041C0763G, EFFECTIVE DECEMBER 7, 2018.

MAP NOTES

- BOUNDARY BEARINGS AND DISTANCES SHOWN ON THIS MAP ARE RELATIVE TO TRACT 5, VALLEY GARDENS, OF THE PUBLIC RECORDS OF EL PASO COUNTY, COLORADO.
- THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED AND PROVIDED BY POLARIS SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO THE NAVD '88.
- ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE FROM UTILITY MAIN RECORD MAPS AND UTILITY SERVICE LOCATION MAPS. THE LOCATION OF UTILITIES AS SHOWN ARE APPROXIMATE. ALL UTILITIES MAY NOT BE SHOWN OR MAY NOT HAVE BEEN LOCATED. BELOW GROUND UTILITY LOCATIONS WERE NOT PERFORMED.
- THE OWNER AGREES ON BEHALF OF HIM/HERSELF AND ANY DEVELOPER OR BUILDER SUCCESSORS AND ASSIGNS THAT SUBDIVIDER AND/OR SAID SUCCESSORS AND ASSIGNS SHALL BE REQUIRED TO PAY TRAFFIC IMPACT FEES IN ACCORDANCE WITH THE EL PASO COUNTY ROAD IMPACT FEE PROGRAM RESOLUTION (RESOLUTION NO. 19-471), OR ANY AMENDMENTS THERETO, AT OR PRIOR TO THE TIME OF BUILDING PERMIT SUBMITTALS. THE FEE OBLIGATION, IF NOT PAID AT TIME OF FINAL PLAT RECORDING, SHALL BE DOCUMENTED ON ALL SALES DOCUMENTS AND ON PLAT NOTES TO INSURE THAT A TITLE SEARCH WOULD FIND THE FEE OBLIGATION BEFORE SALE OF PROPERTY.

LEGAL DESCRIPTION

TRACT 5, VALLEY GARDENS, EL PASO COUNTY ASSESSORS SCHEDULE NUMBER 64283-01-005, EL PASO COUNTY COLORADO.

DEVELOPMENT NOTES

- WATER SERVICE PROVIDED BY EXISTING WELL.
- SEWER SERVICE PROVIDED BY EXISTING OWTS.
- FIRE SERVICE PROVIDED BY COLORADO SPRINGS FIRE DEPARTMENT.
- NATURAL GAS SERVICE PROVIDED BY CITY OF COLORADO SPRINGS.
- ELECTRIC SERVICE PROVIDED BY CITY OF COLORADO SPRINGS.
- THEIR ARE NO EXISTING OR PROPOSED BUILDING OR FREESTANDING SIGNAGE.
- THE OWNER AGREES ON BEHALF OF HIM/HERSELF AND ANY DEVELOPER OR BUILDER SUCCESSORS AND ASSIGNEES THAT SUBDIVIDER AND/OR SAID SUCCESSORS AND ASSIGNS SHALL BE REQUIRED TO PAY TRAFFIC IMPACT FEES IN ACCORDANCE WITH THE EL PASO COUNTY ROAD IMPACT FEE PROGRAM RESOLUTION (RESOLUTION NO. 19-471), OR ANY AMENDMENTS THERETO, AT OR PRIOR TO THE TIME OF BUILDING PERMIT SUBMITTALS. THE FEE OBLIGATION, IF NOT PAID AT TIME OF FINAL PLAT RECORDING, SHALL BE DOCUMENTED ON ALL SALES DOCUMENTS AND ON PLAT NOTES TO INSURE THAT A TITLE SEARCH WOULD FIND THE FEE OBLIGATION BEFORE SALE OF PROPERTY.

SHEET INDEX

SITE DEVELOPMENT PLAN	
DP-1.1	COVER SHEET
DP-2.1	SITE PLAN
DP-3.1	LANDSCAPING
DP-4.1	DETAILS
DP-4.1A	POND PLAN/DETAILS
EL -5.1	EXTERIOR ELEVATIONS
FP -6.1	FLOOR PLAN
PM -1, 2, & 3	PHOTOMETRIC PLAN
PM -4	PHOTOMETRIC SCHEDULES

PRELIMINARY

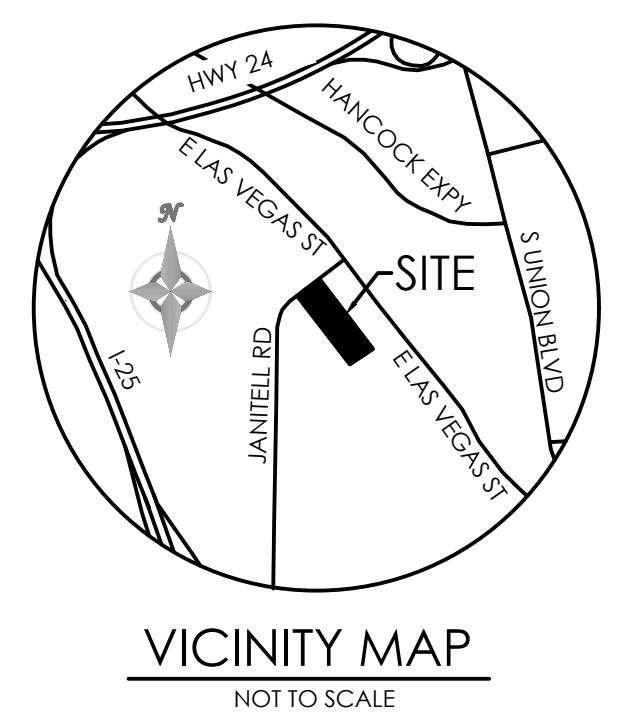
NOT TO BE USED FOR CONSTRUCTION

PPR2417

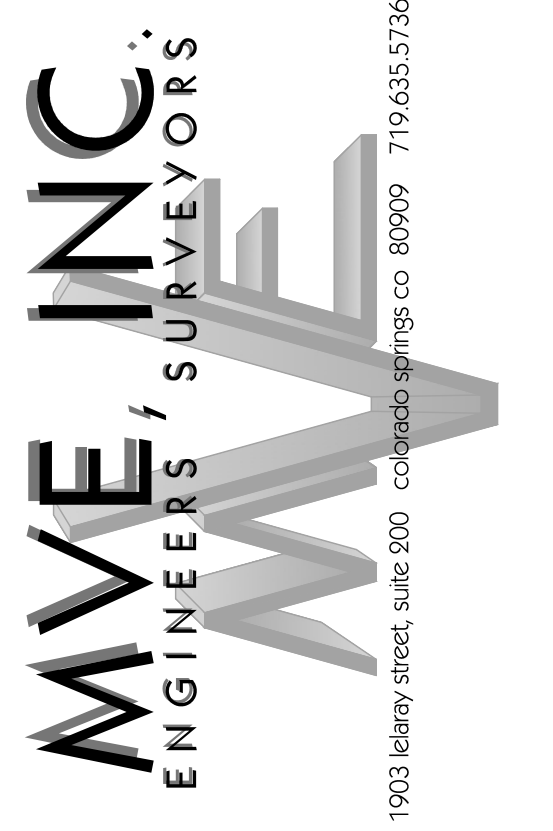
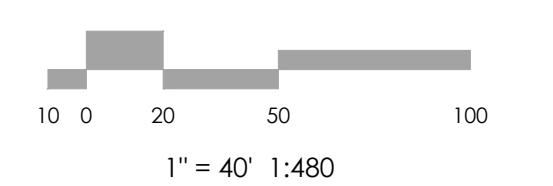
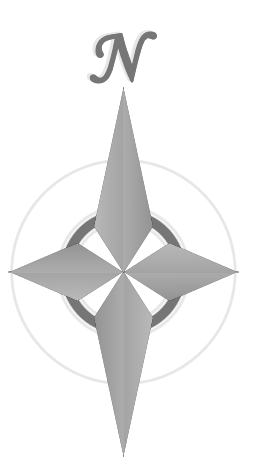
4428201008
TRACT 6, VALLEY GARDENS
JANITELL RD
ZONE: M
USE: WAREHOUSE/STORAGE
OWNER(S): UNITED LAND HOLDING, LLC

On the last version, you were requested to detail sign type and size. Have you eliminated the future signs?

- SITE PLAN SPECIFIC NOTES**
- 1 INSTALL CONCRETE PAVEMENT
 - 2 INSTALL CONCRETE SIDEWALK
 - 3 INSTALL PARKING STOPS
 - 4 INSTALL HANDICAP SIGNAGE ON BLDG
 - 5 INSTALL PARKING STRIPING
 - 6 INSTALL 4" THK ASPHALT SURFACE DRIVEWAYS & PARKING AREAS
 - 7 INSTALL 2" THK RECYCLED ASPHALT SURFACE ON DRIVABLE AREAS & PARKING AREAS
 - 8 INSTALL FULL SPECTRUM SAND FILTER BASIN (FS-SFB)



BENCHMARK



REVISIONS

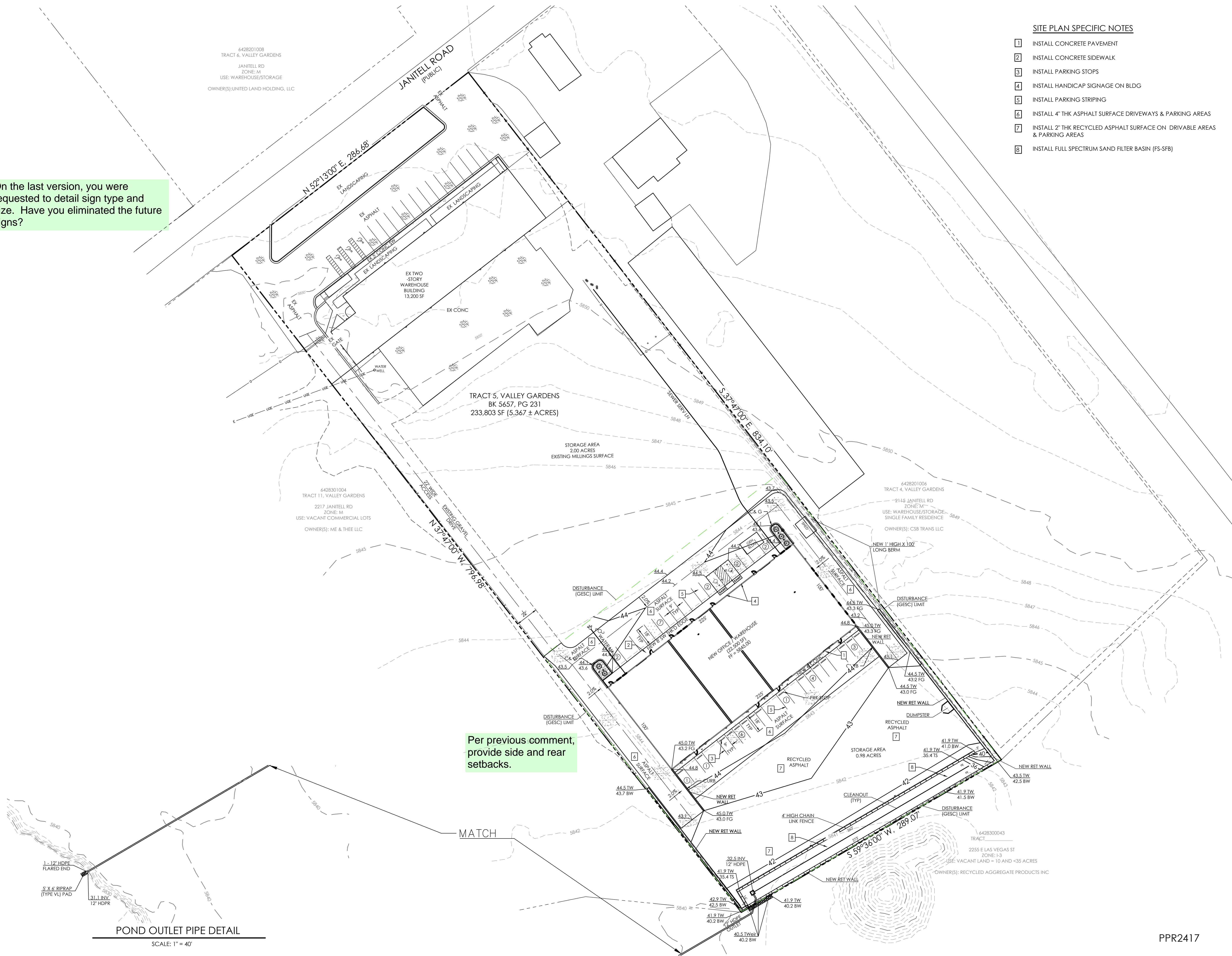
DESIGNED BY _____
DRAWN BY _____
CHECKED BY _____
AS-BUILTS BY _____
CHECKED BY _____

2165 JANITELL RD
SITE DEVELOPMENT
PLAN

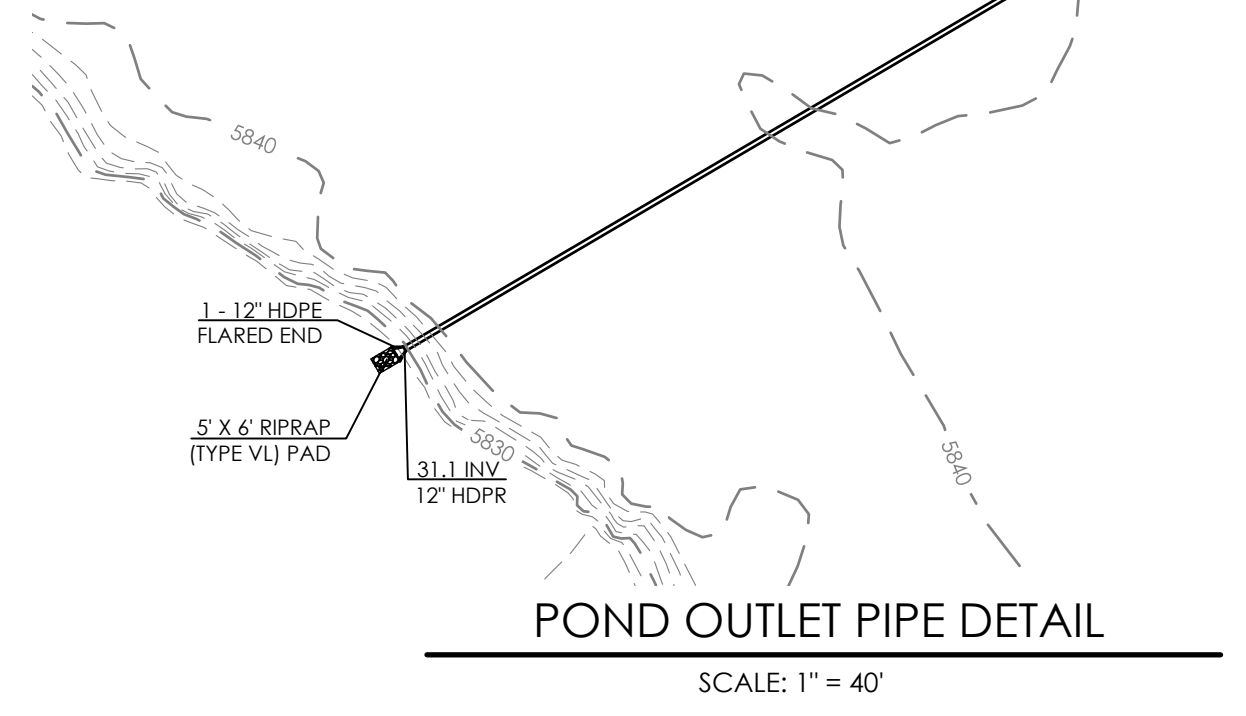
PLAN SHEET
DP 2.1 MVE PROJECT: **61195**
MVE DRAWING **DP-PS**

PPR2417

DECEMBER 6,, 2024
SHEET 2 OF 11

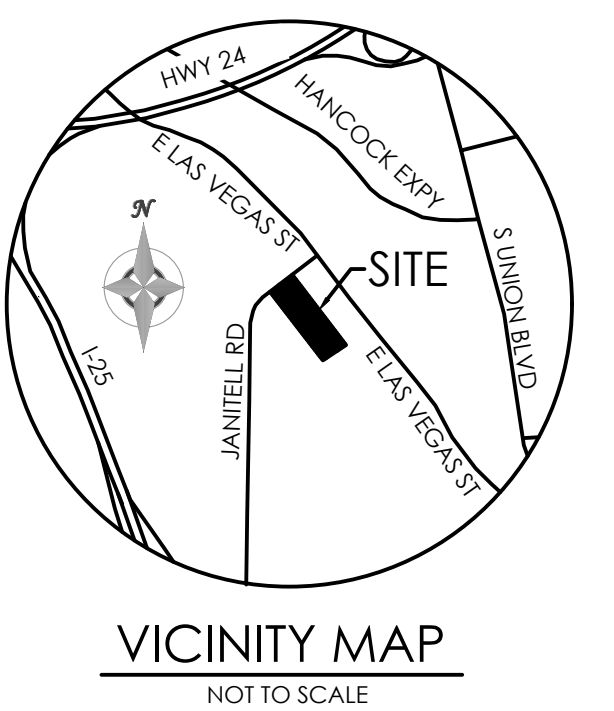
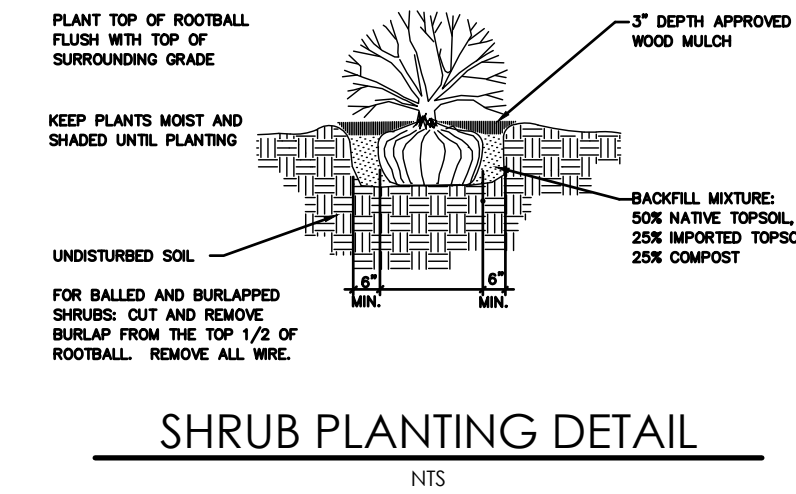


Per previous comment, provide side and rear setbacks.



6428201008
TRACT 6, VALLEY GARDENS
JANITELL RD
ZONE: M
USE: WAREHOUSE/STORAGE
OWNER(S): UNITED LAND HOLDING, LLC

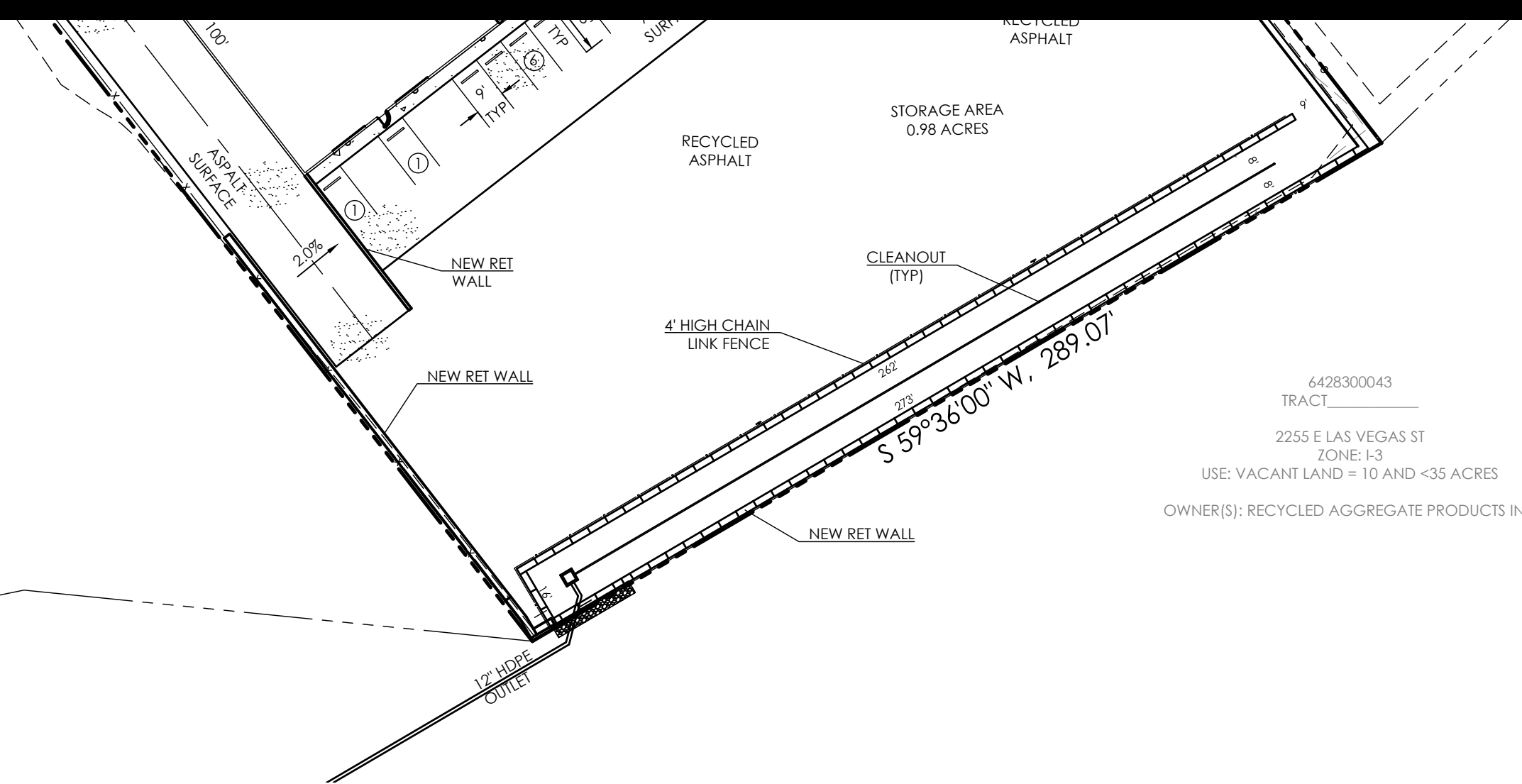
6429101011
TRACT 10, VALLEY GARDENS
JANITELL RD
ZONE: M
USE: VACANT COMMERCIAL LOTS
OWNER(S): 2104 LLC



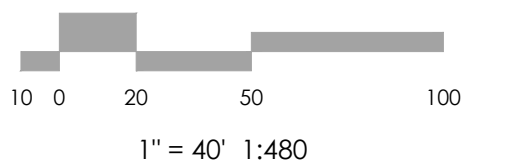
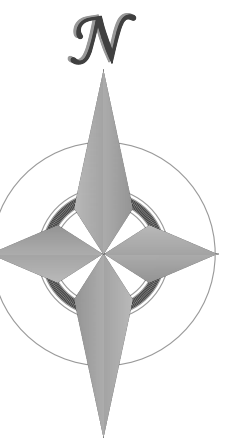
DO NOT INCLUDE THIS SHEET AS IT HAS BEEN SUBMITTED SEPARATELY

LANDSCAPE NOTES

- OWNERS WELL WATER IS NOT DESIGNATED FOR IRRIGATION. WATERING OF ALL LANDSCAPE AREAS TO BE PERFORMED BY OWNER UNTIL PLANTS ARE ESTABLISHED.
- CONTRACTOR IS RESPONSIBLE FOR GETTING ALL UTILITY LOCATES PRIOR TO STARTING ANY WORK ON SITE AND ALSO HAVING UTILITIES RELOCATED AS NECESSARY FOR THE DURATION OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF MATERIALS NEEDED TO COMPLETE THIS PLAN IN THE FIELD. NOTIFY OWNERS REPRESENTATIVE OF DISCREPANCIES BETWEEN THE DRAWINGS AND CONDITIONS IN THE FIELD. SUBSTITUTIONS OF LANDSCAPE MATERIALS ARE NOT ALLOWED WITHOUT APPROVAL FROM OWNER GIVEN PRIOR TO INSTALLATION. NOTIFY OWNER PRIOR TO CONSTRUCTION IF LANDSCAPE MATERIAL LOCATIONS NEED TO BE ALTERED DUE TO ON-SITE CONDITIONS.
- CONTRACTOR IS TO PROVIDE A ONE YEAR WARRANTY ON ALL PLANT MATERIALS, IRRIGATION COMPONENTS, NATIVE GRASS, AND WORKMANSHIP. CONTRACTOR IS TO PROVIDE OWNER WITH WARRANTY CONDITIONS AND COMMENCE WARRANTY PERIOD UPON FINAL ACCEPTANCE OF LANDSCAPE INSTALLATION.
- THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER LANDSCAPE MAINTENANCE OF THIS SITE. MAINTENANCE OF THIS SITE INCLUDES, BUT IS NOT LIMITED TO, LANDSCAPE WEEDING, FERTILIZATION, PRUNING, AND PLANT MATERIAL REPLACEMENT.
- COBBLE: TO BE 2" - 4" WHOLE WASHED RIVER COBBLES INSTALLED AT A 6" DEPTH ON FABRIC UNDERLAYMENT. PROVIDE REPRESENTATIVE SAMPLE OF COBBLE TO BE USED TO OWNER FOR APPROVAL PRIOR TO JOB SITE DELIVERY.



BENCHMARK



REVISIONS

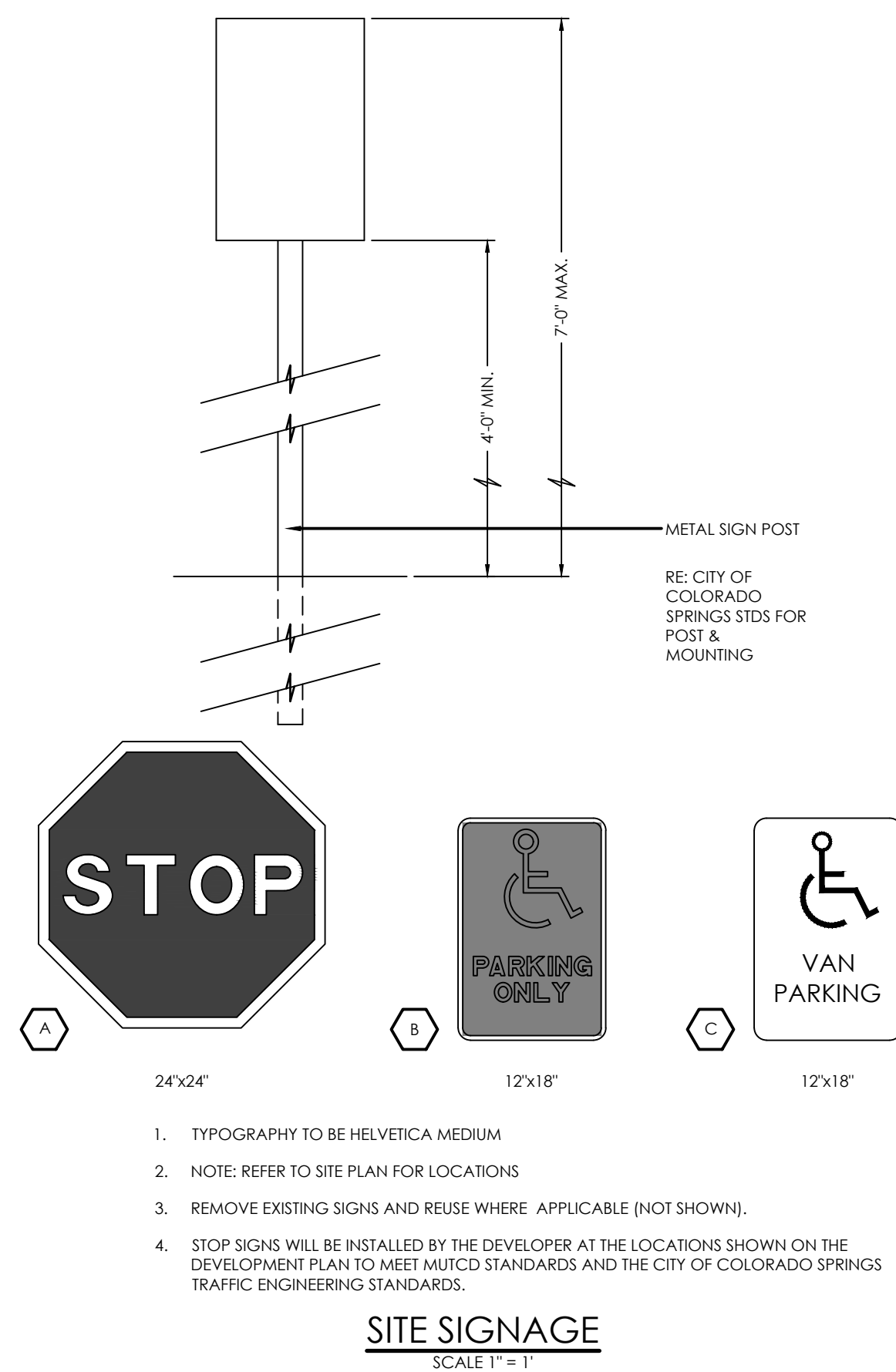
DESIGNED BY _____
DRAWN BY _____
CHECKED BY _____
AS-BUILTS BY _____
CHECKED BY _____

2165 JANITELL RD
LANDSCAPE PLAN
PLAN SHEET

DP 3.1 MVE PROJECT 61195
MVE DRAWING DP-PS

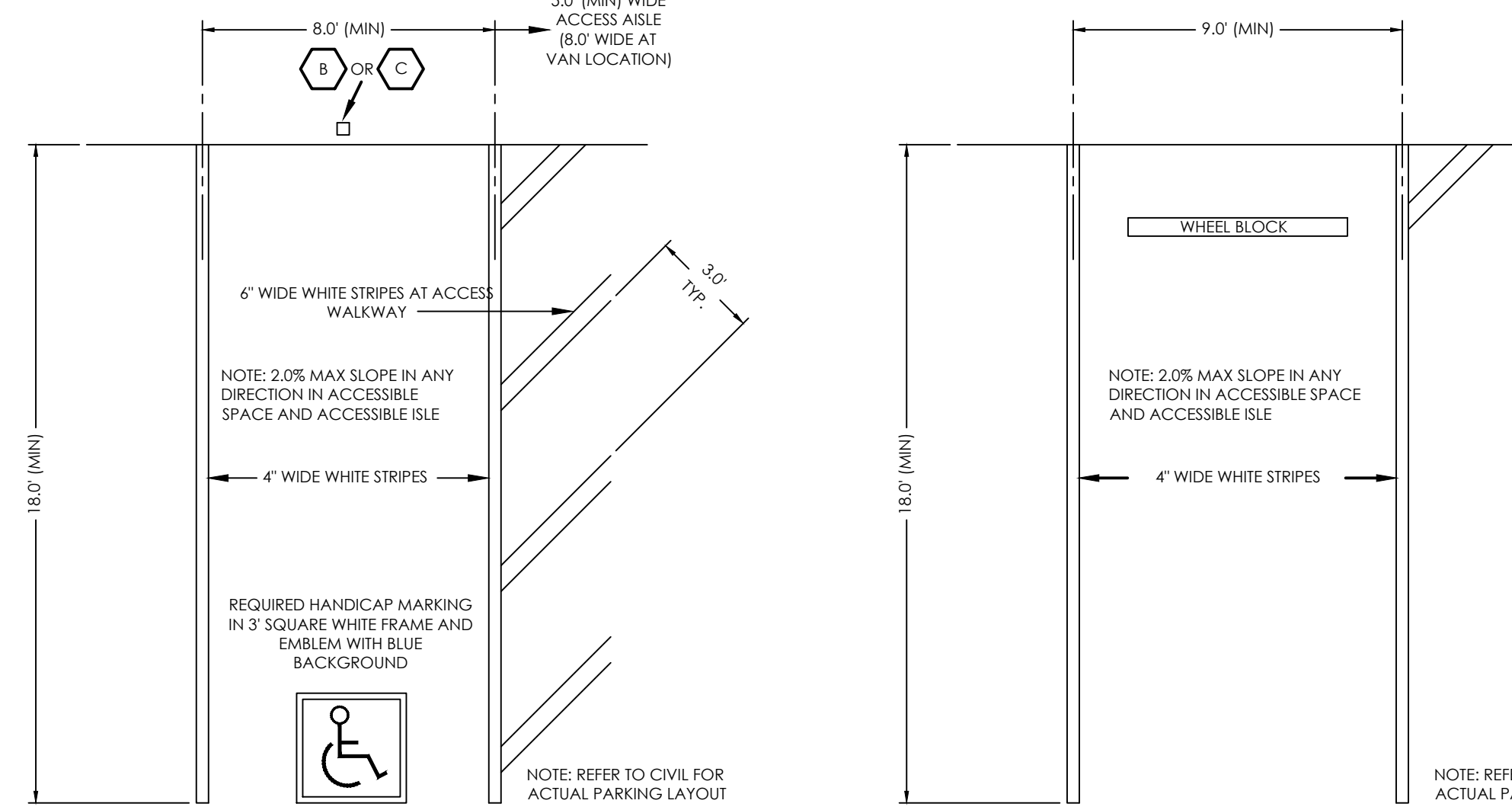
DECEMBER 6, 2024
SHEET 3 OF 11

PPR2417

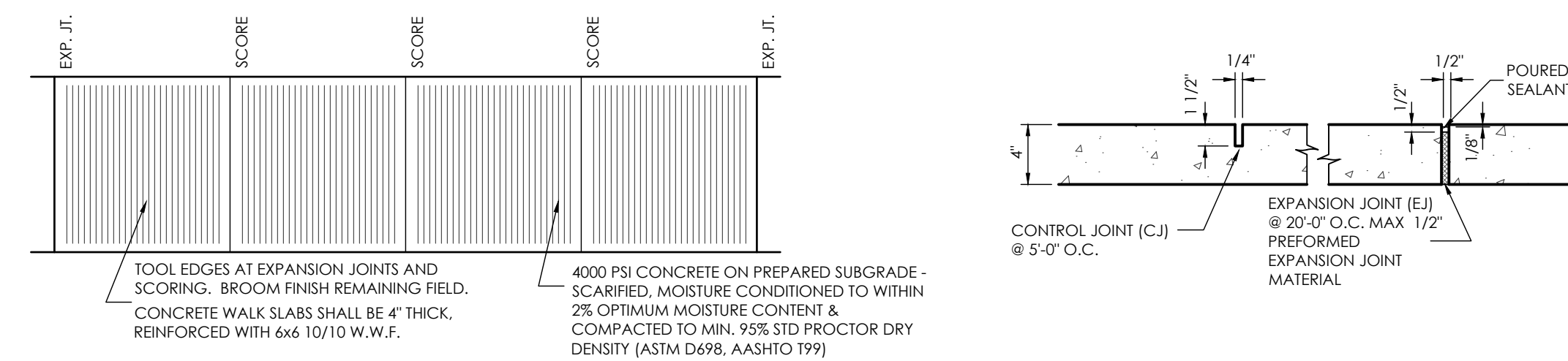


SITE SIGNAGE
SCALE 1" = 1'

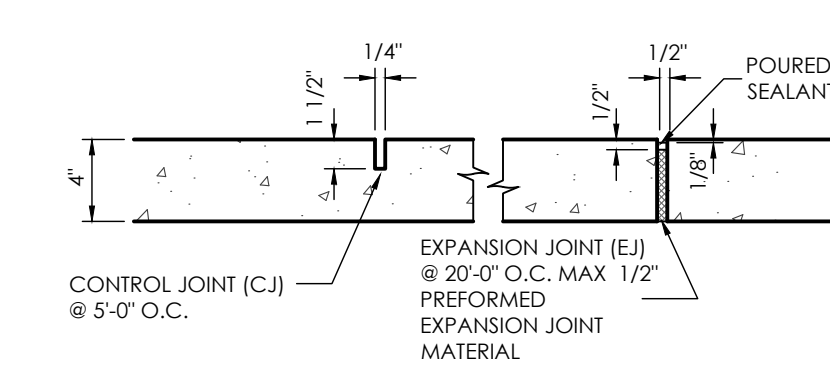
1. TYPOGRAPHY TO BE HELVETICA MEDIUM
2. NOTE: REFER TO SITE PLAN FOR LOCATIONS
3. REMOVE EXISTING SIGNS AND REUSE WHERE APPLICABLE (NOT SHOWN).
4. STOP SIGNS WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATIONS SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS AND THE CITY OF COLORADO SPRINGS TRAFFIC ENGINEERING STANDARDS.



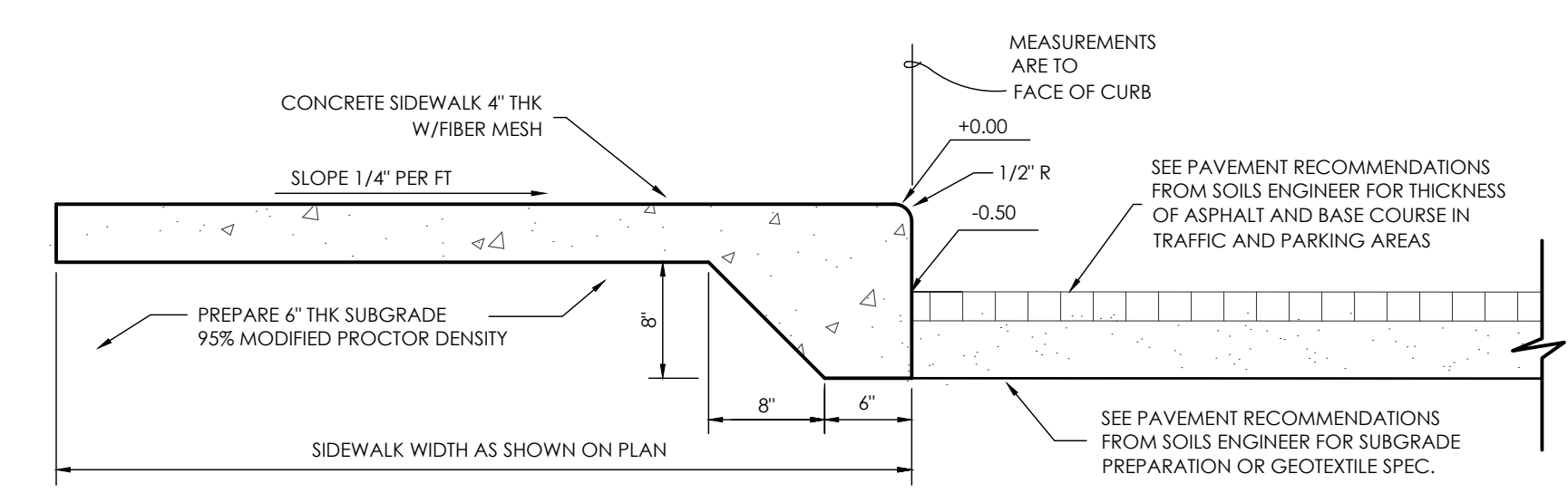
TYPICAL HANDICAP PARKING SPACE SCALE 1" = 4'
STANDARD PARKING SPACE SCALE 1" = 4'



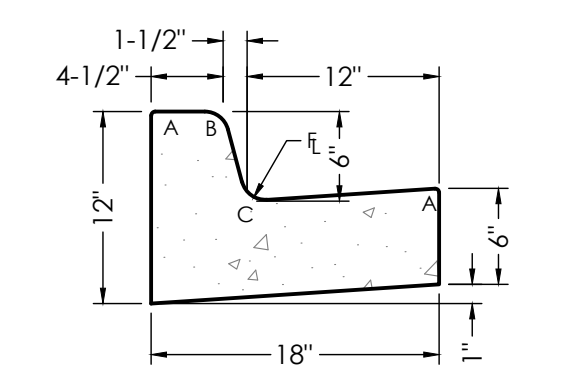
TYPICAL SIDEWALK DETAIL
SCALE 1" = 4.0'



CONCRETE SIDEWALK DETAIL
NOT TO SCALE



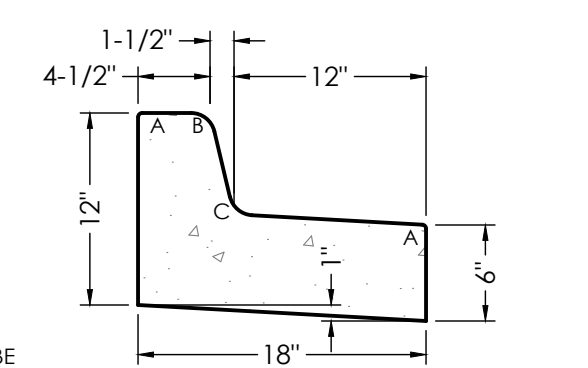
THICKENED EDGE SIDEWALK
SCALE 1" = 1'



18" CATCH CURB & GUTTER (C)
SCALE 1" = 1'

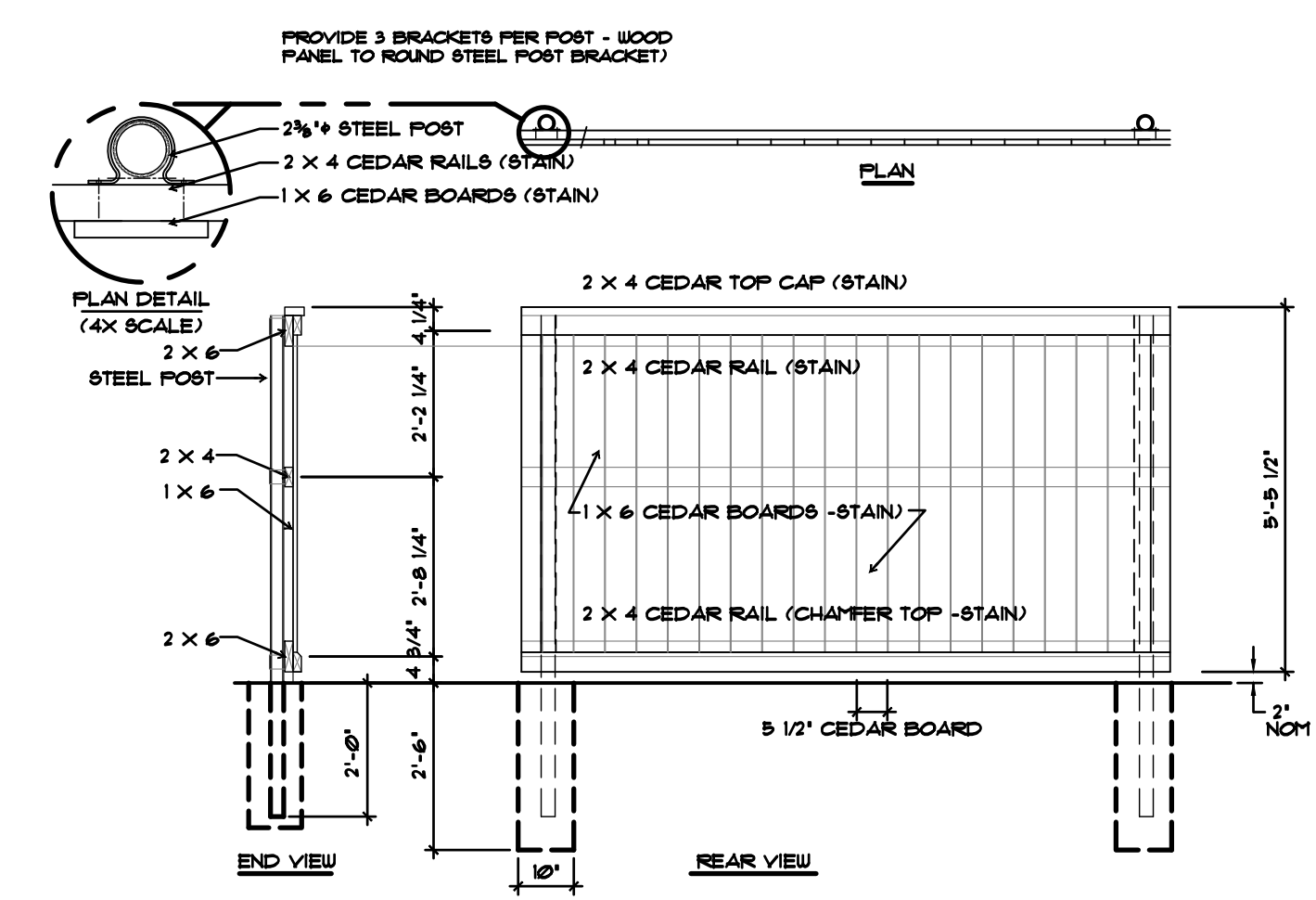
RADI	
A	1/8" TO 1/4"
B	1-1/2"
C	1-1/2" TO 2"

NOTE: CURB & GUTTER CONCRETE SHALL BE CITY OF COLORADO SPRINGS ENGINEERING DIVISION STANDARD SPECIFICATIONS.



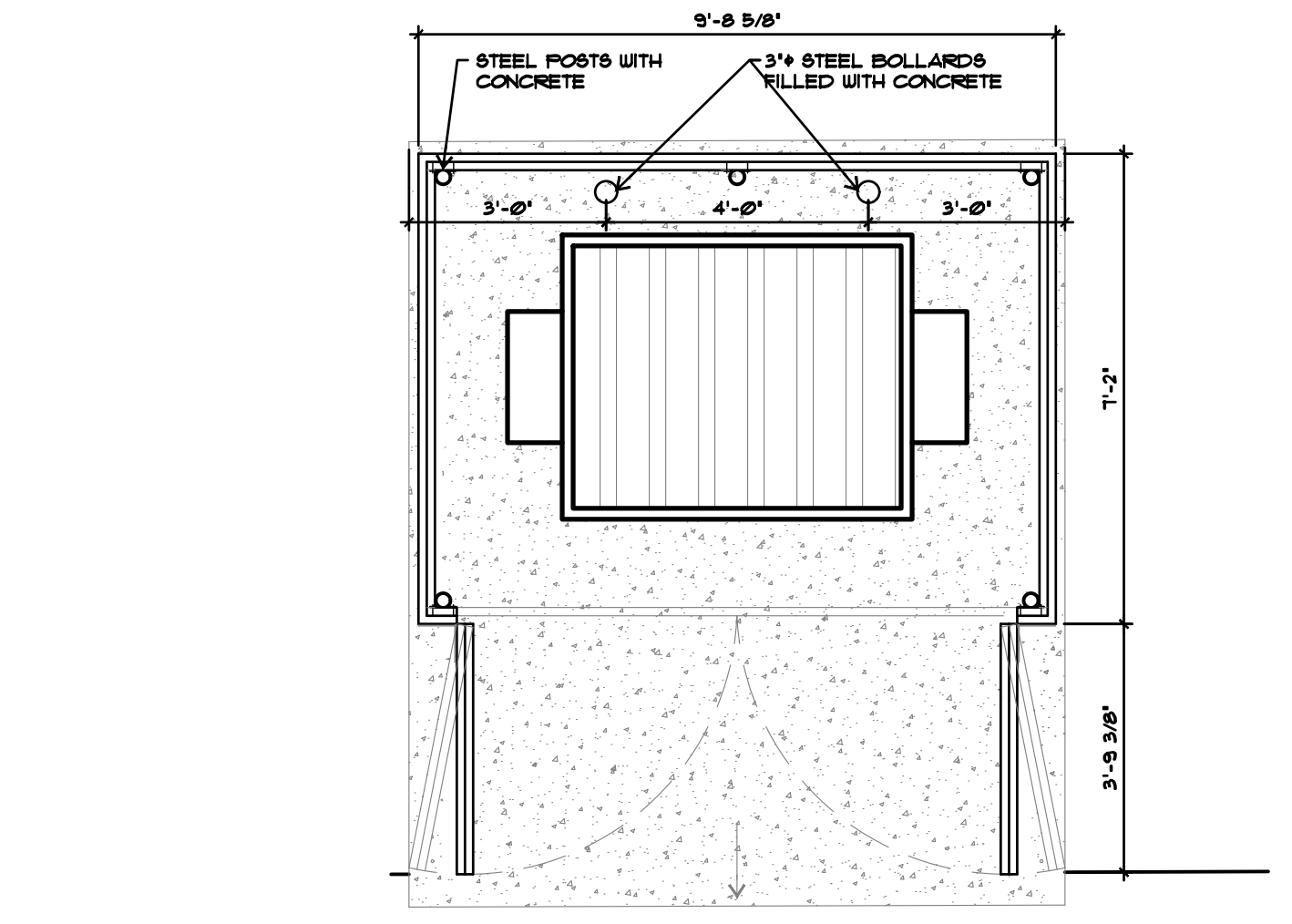
18" SPILL CURB & GUTTER (S)
SCALE 1" = 1'

NOTE: CURB AND GUTTER SHOWN ON THESE PLANS ARE PRIVATE. NO PUBLIC (EPC) CURB AND GUTTER IS PROPOSED.

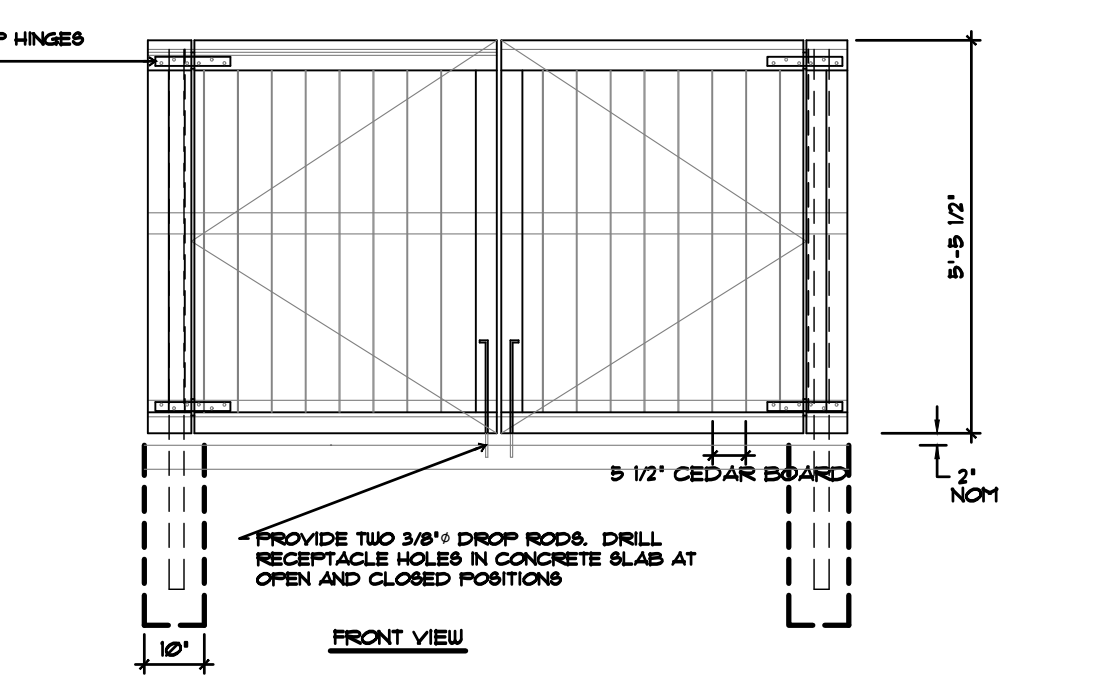


DUMPSTER SCREEN SECTION / ELEV.
SCALE: 3/8" = 1'-0"

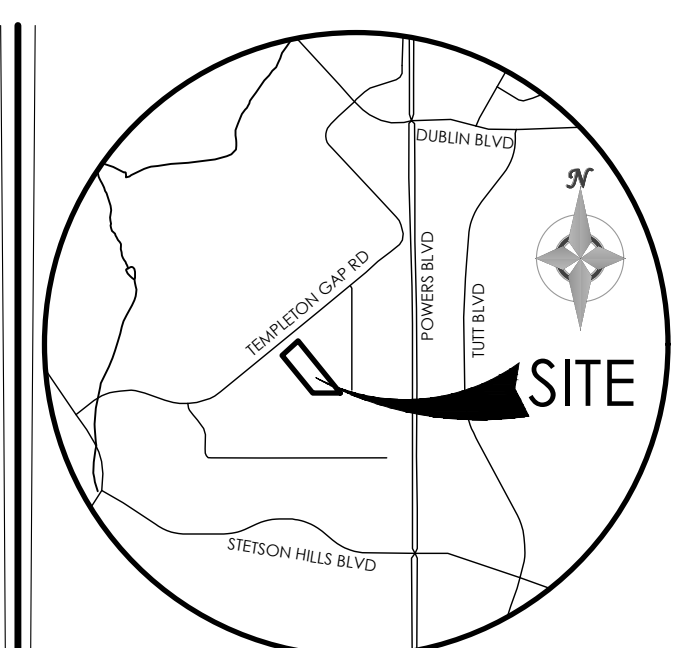
- NOTE:
- FILL STEEL POSTS WITH CONCRETE
 - FASTEN EACH RAIL END USING THREE #8 x 1-1/4" RAIL SCREWS
 - ATTACH RAILS TO CORNER POSTS USING ONE POGGCLIP PER RAIL END
 - ATTACH CEDAR BOARDS TO RAILS WITH COATED SCREWS



DUMPSTER SCREEN PLAN
SCALE: 3/8" = 1'-0"

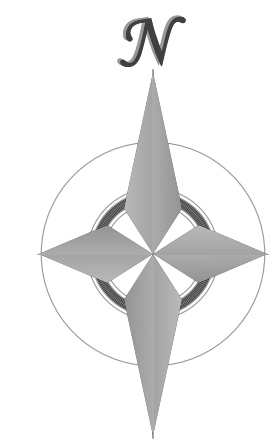


DUMPSTER SCREEN GATE ELEV.
SCALE: 3/8" = 1'-0"



VICINITY MAP
NOT TO SCALE

BENCHMARK



REVISIONS

DESIGNED BY _____
DRAWN BY _____
CHECKED BY _____
AS-BUILT BY _____
CHECKED BY _____

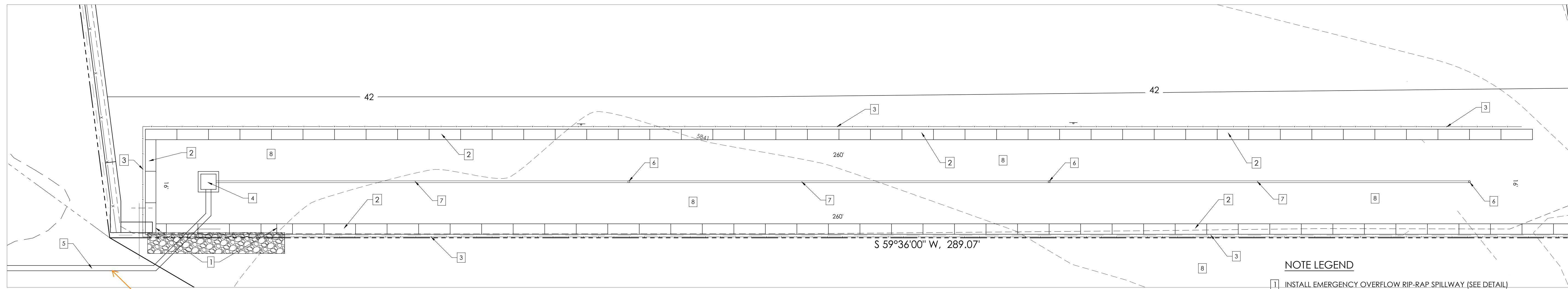
5935 TEMPLETON
GAP ROAD

SITE PLAN
DETAIL SHEET

DP 4.1 MVE PROJECT 61206
MVE DRAWING DP-DS

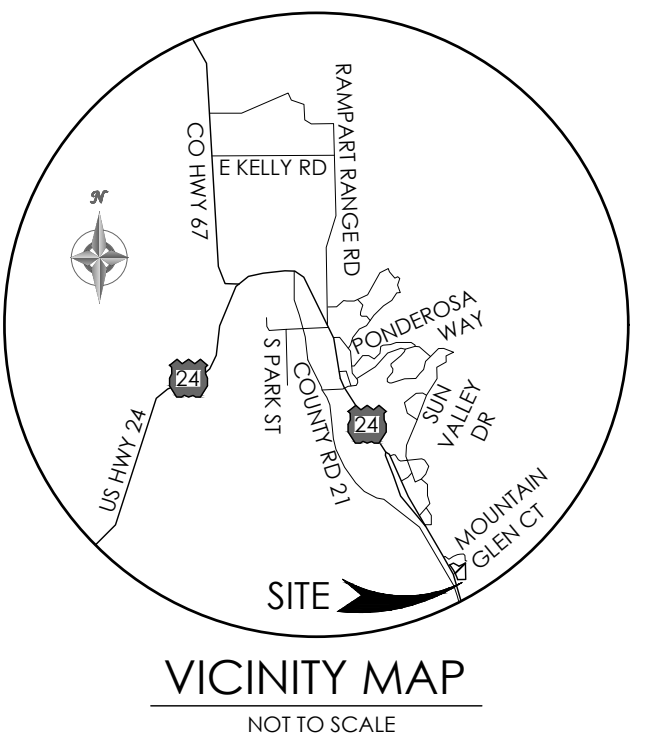
PPR2417

DECEMBER 6, 2024
SHEET 4 OF 11

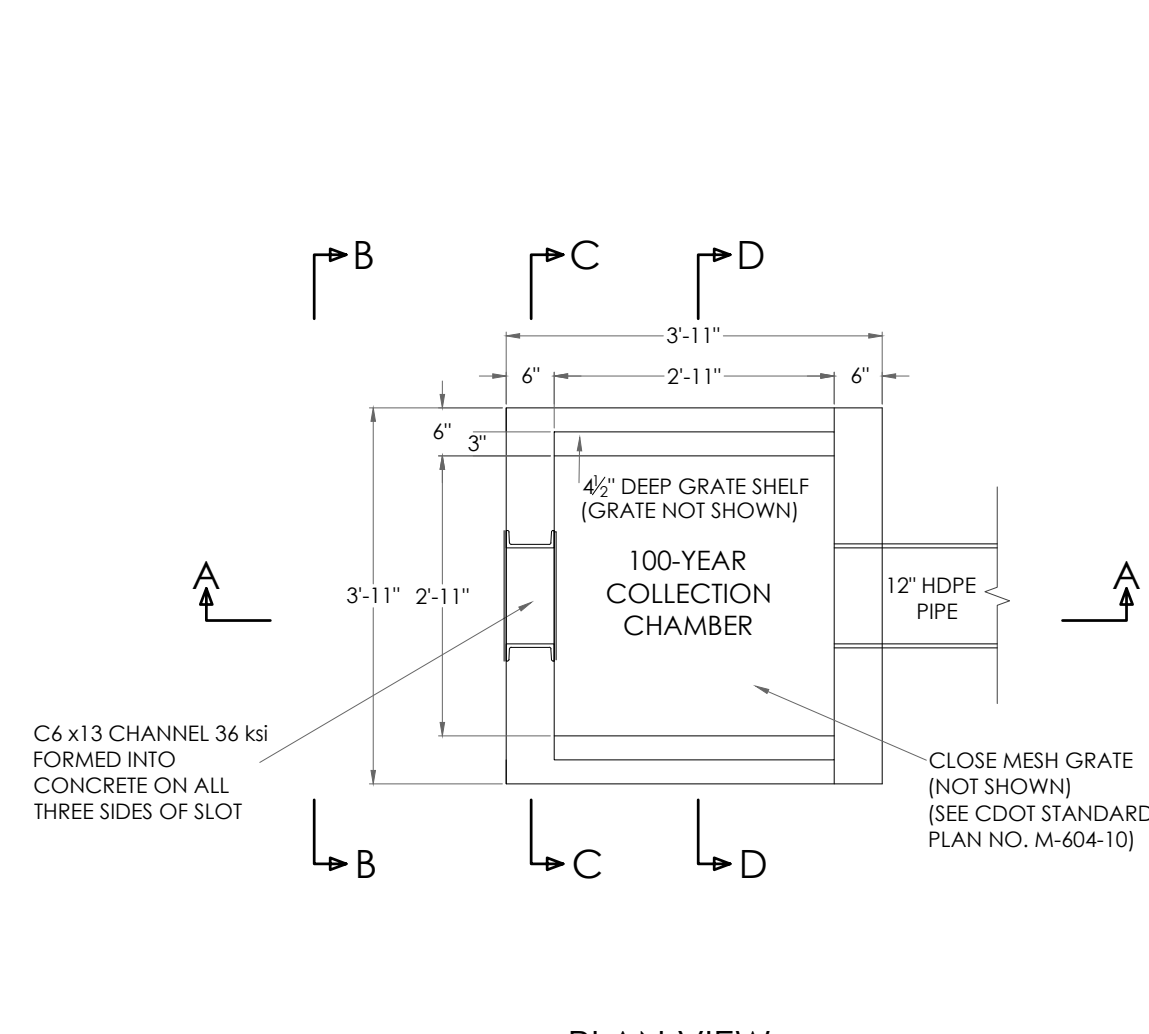
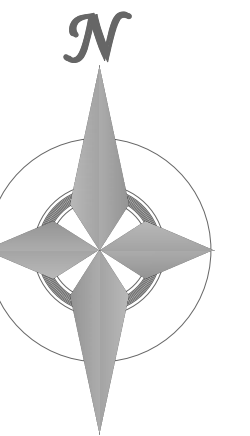


FULL SPECTRUM SAND FILTER DETAIL
SCALE 1" = 20'

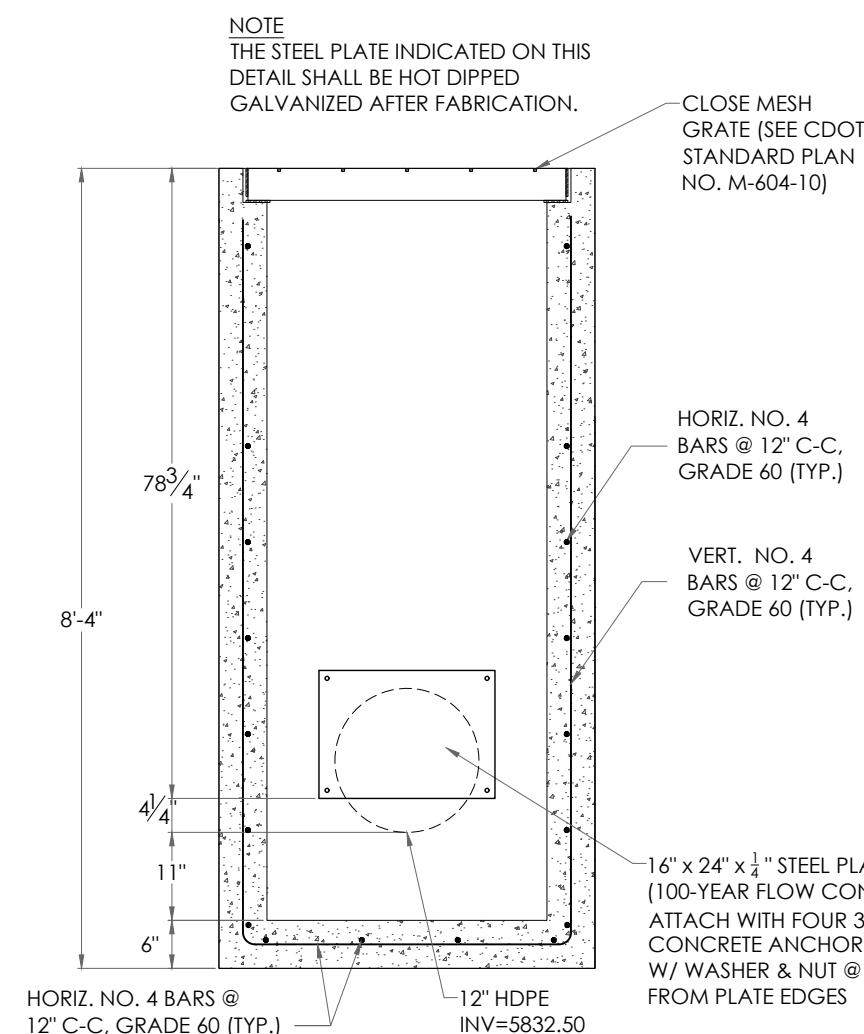
- NOTE LEGEND**
- 1] INSTALL EMERGENCY OVERFLOW RIP-RAP SPILLWAY (SEE DETAIL)
 - 2] INSTALL DETENTION BASIN CONCRETE BLOCK WALL (SEE DETAIL)
 - 3] INSTALL 4' CHAIN LINK FENCE (SEE DETAIL)
 - 4] INSTALL OUTLET STRUCTURE (SEE OUTLET DETAIL)
 - 5] INSTALL 12" HDPE OUTLET STORM PIPE
 - 6] INSTALL CLEANOUT (TYP)
 - 7] INSTALL 4" DIA SLOTTED DRAIN PIPE (SEE DETAIL)
 - 8] INSTALL SAND FILTER MATERIAL (SEE SPECIFICATIONS)



BENCHMARK
THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED BY MVE, INC. USING DATA PROVIDED BY RAMPART SURVEYS, LLC (FIMS DATUM, NGVD '29)

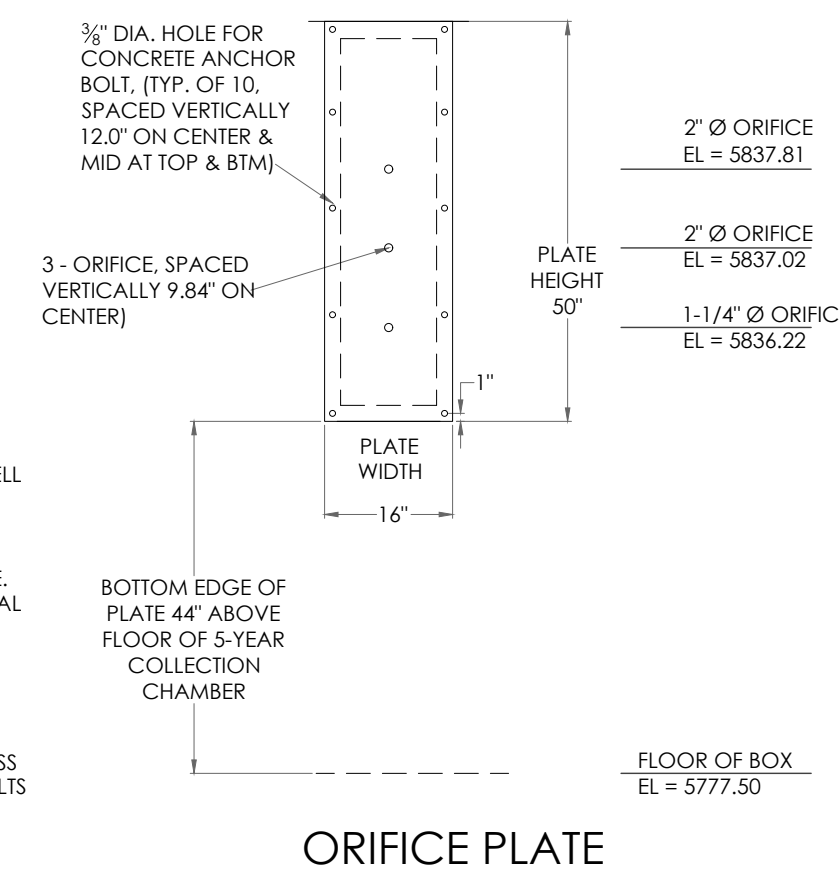


PLAN VIEW

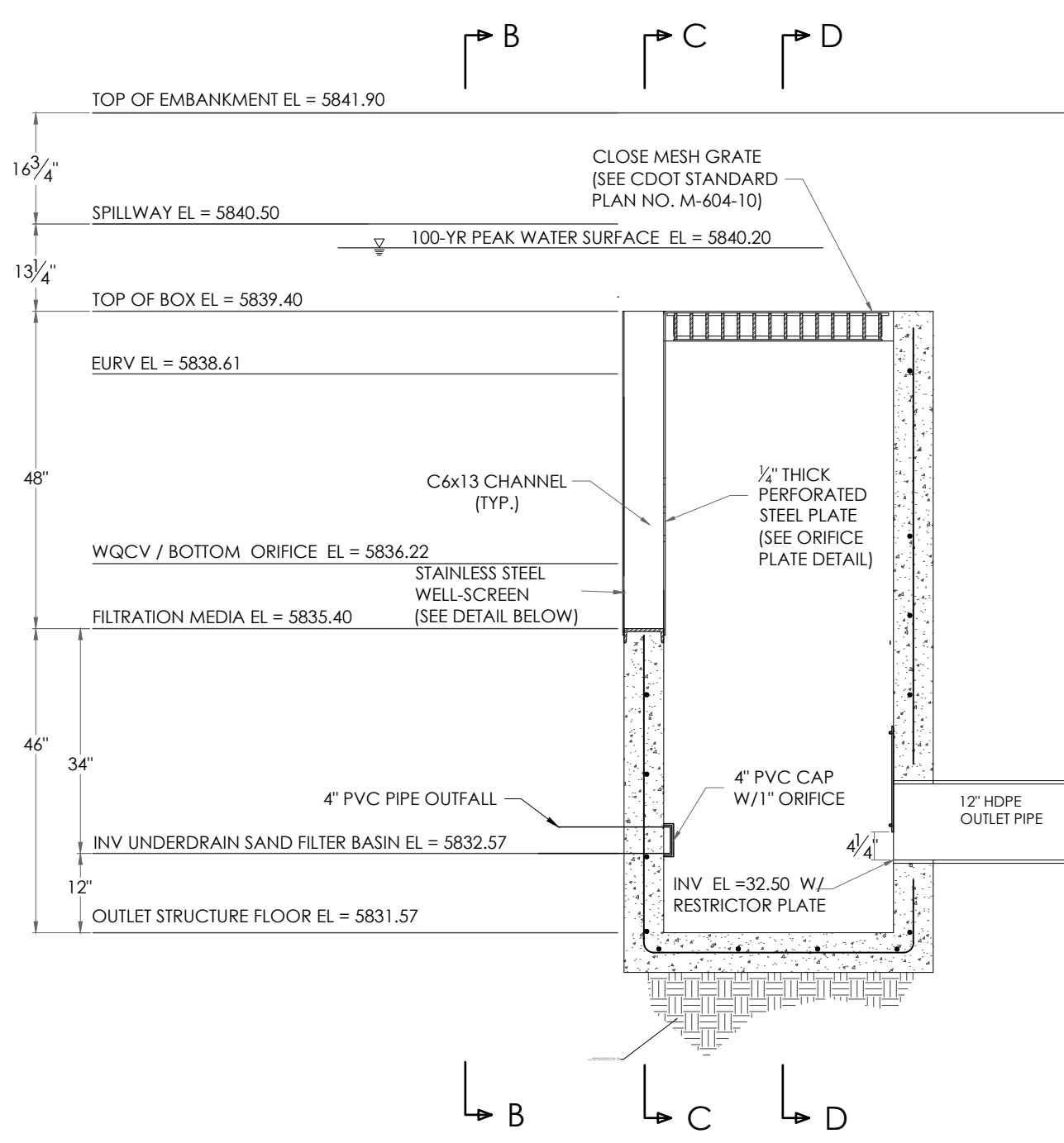


SECTION D-D

- NOTES:**
1. INSTALL NEOPRENE CLOSED CELL MEDIUM GASKETS WITH ADHESIVE ON ONE SIDE. 1/4" THICK x 2" WIDE BETWEEN ORIFICE PLATE AND STRUCTURE.
 2. ALL ORIFICE PLATES, STRUCTURAL STEEL CHANNEL, AND CLOSE MESH GRATES SHALL BE HOT DIPPED GALVANIZED AFTER FABRICATION.
 3. ALL ORIFICE PLATES SHALL BE MOUNTED WITH 3" x 1/2" STAINLESS STEEL CONCRETE ANCHOR BOLTS W/ WASHERS, AND NUTS AS SHOWN.

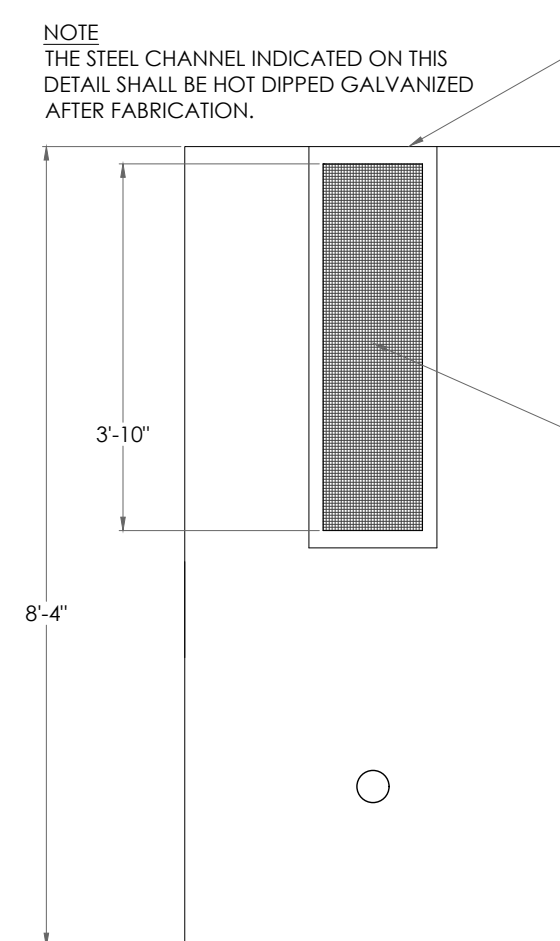


ORIFICE PLATE

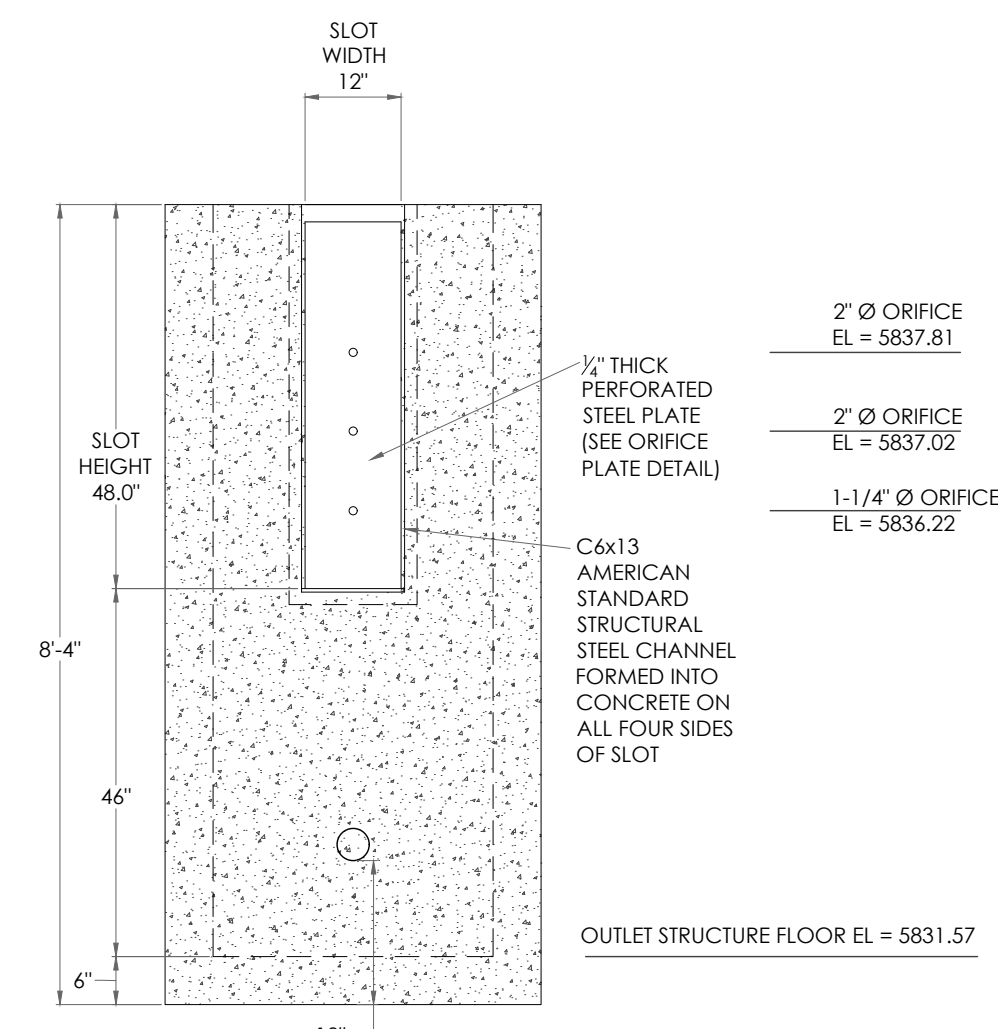


SECTION A-A

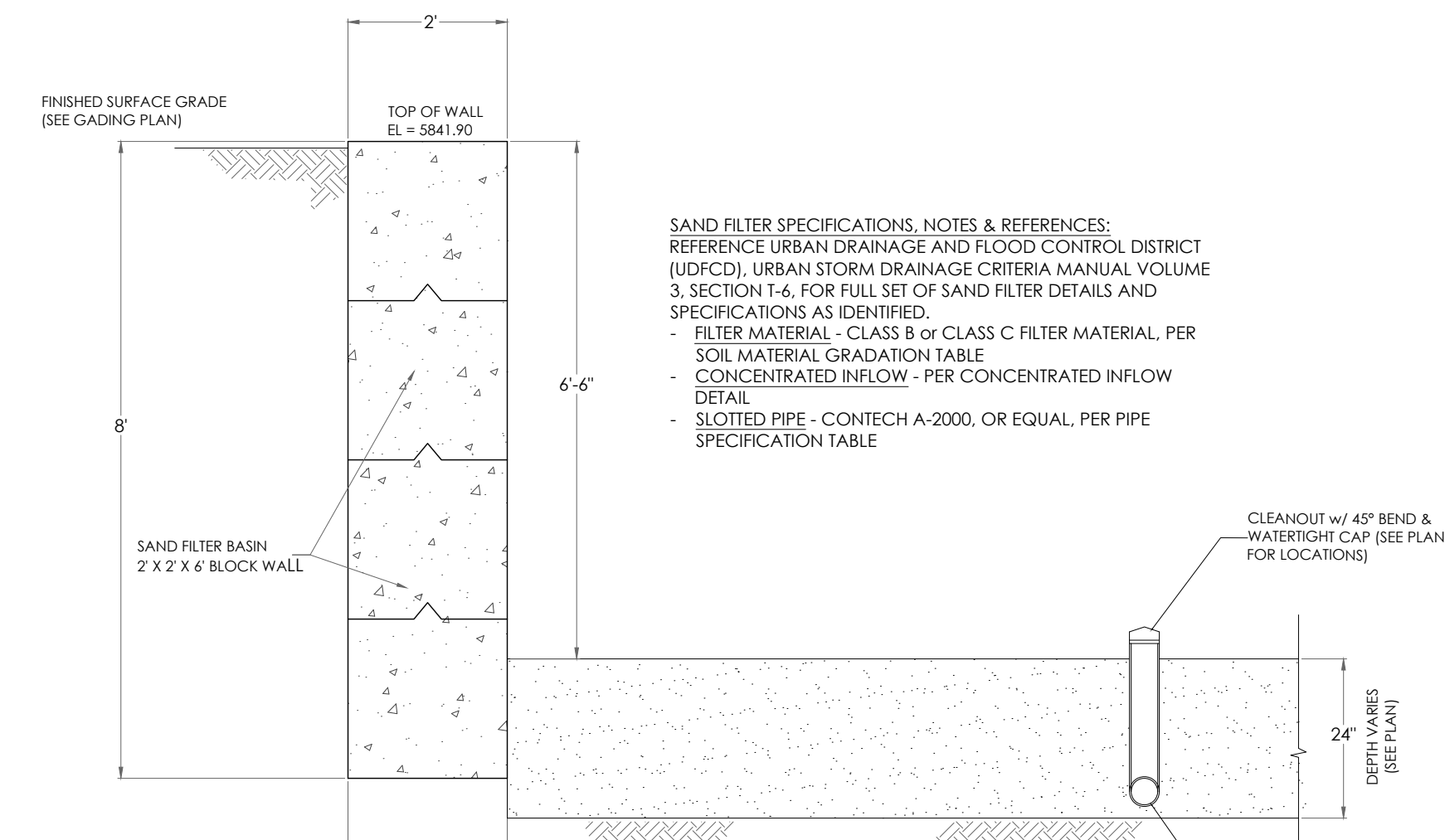
SAND FILTER BASIN OUTLET STRUCTURE DETAILS (POND A)
SCALE: 1" = 2'



SECTION B-B



SECTION C-C



SAND FILTER BASIN BLOCK WALL DETAIL
SCALE: 1" = 2'

REVISIONS

DESIGNED BY _____
DRAWN BY _____
CHECKED BY _____
AS-BUILTS BY _____
CHECKED BY _____

2165 JANITELL ROAD

SITE DEVELOPMENT
POND PLAN / DETAILS

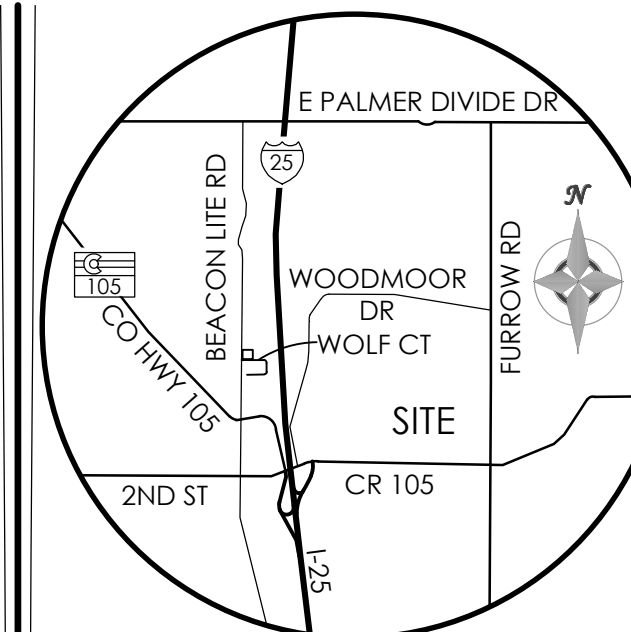
DP-4.1A
MVE PROJECT 61195
CON-PP

MVE DRAWING

DECEMBER 6, 2024
SHEET 5 OF 11

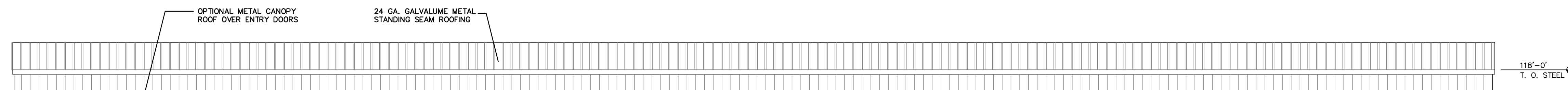


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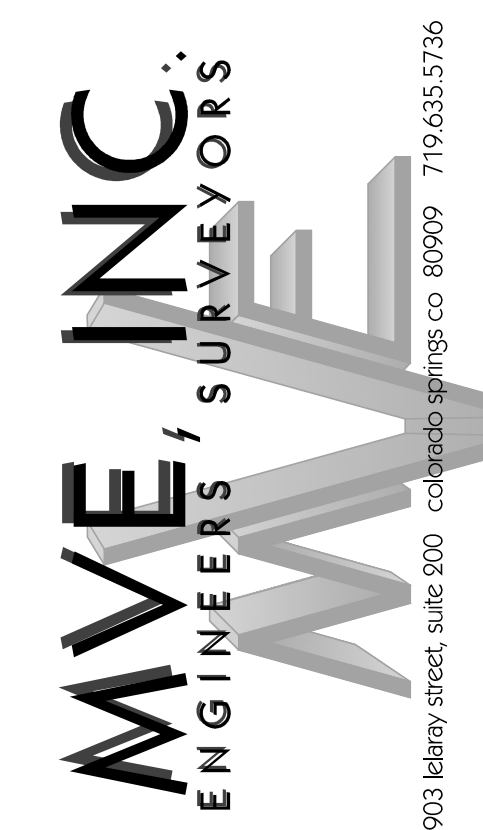


VICINITY MAP
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BENCHMARK



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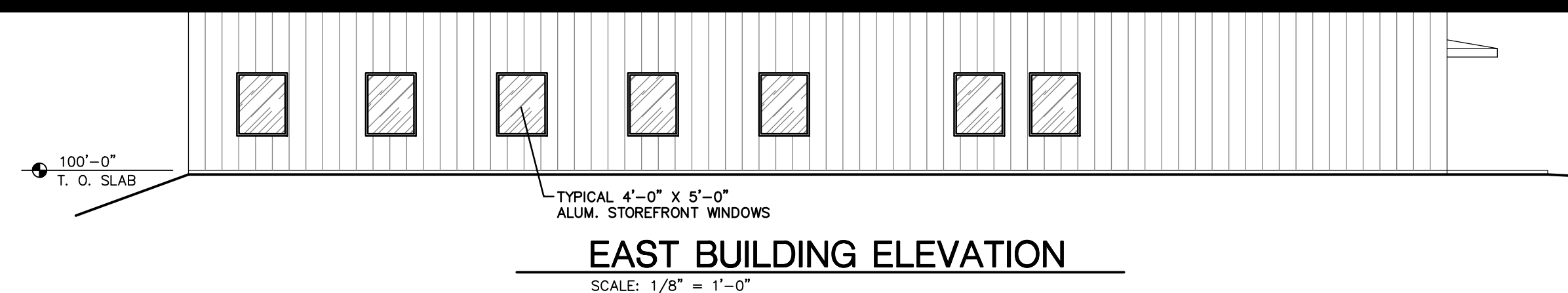
2217 JANITELL ROAD

SITE PLAN

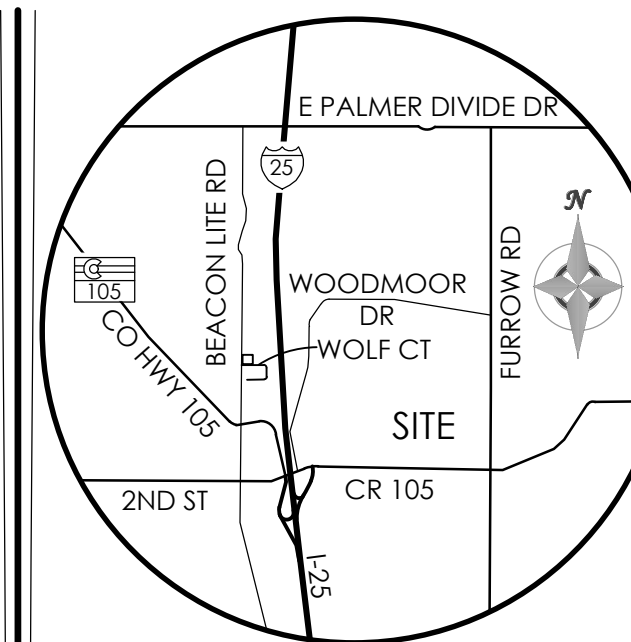
BUILDING ELEVATIONS

DP 5.1 MVE PROJECT **61195**
MVE DRAWING DP-EL

DECEMBER 6, 2024
SHEET 6 OF 11

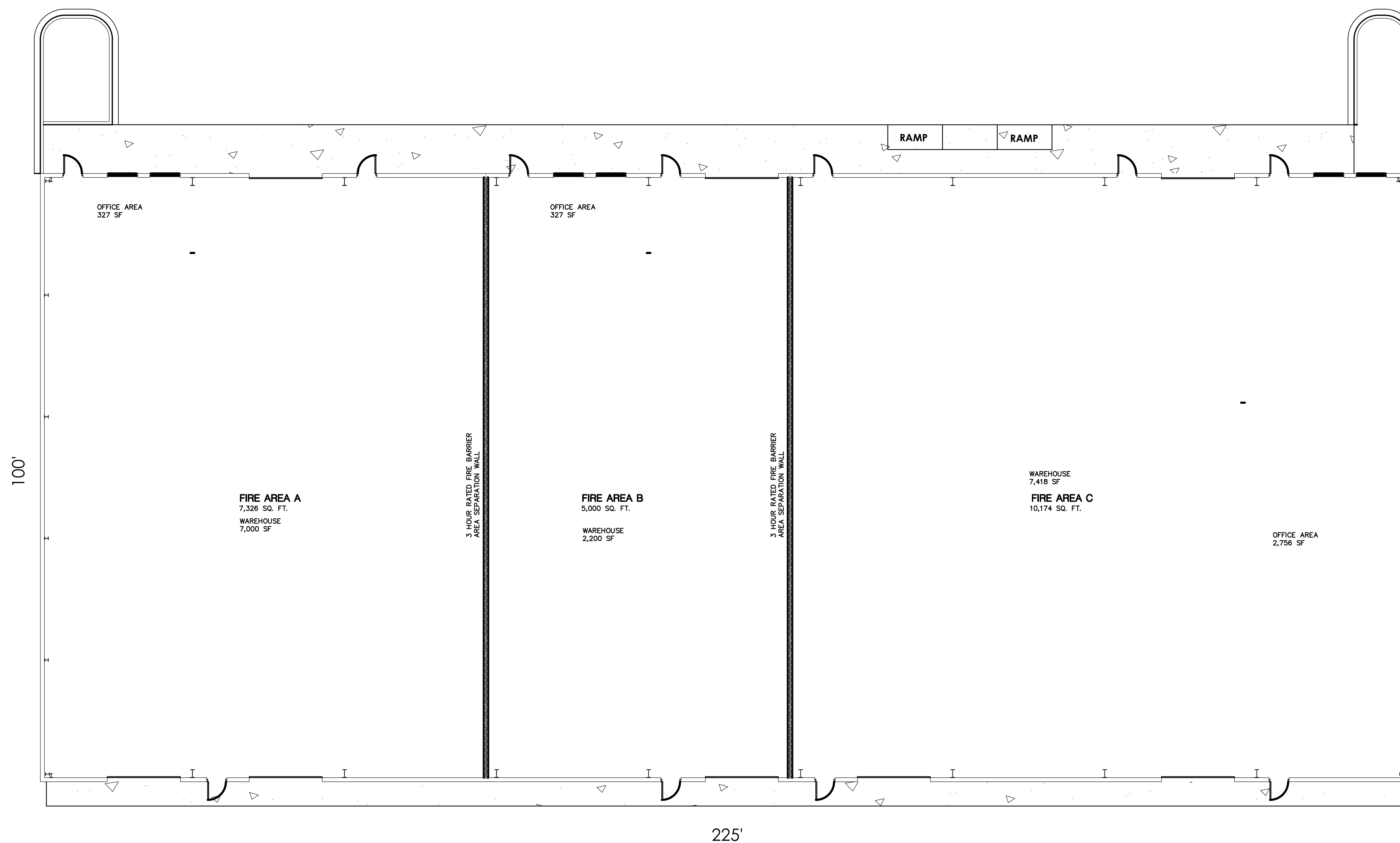


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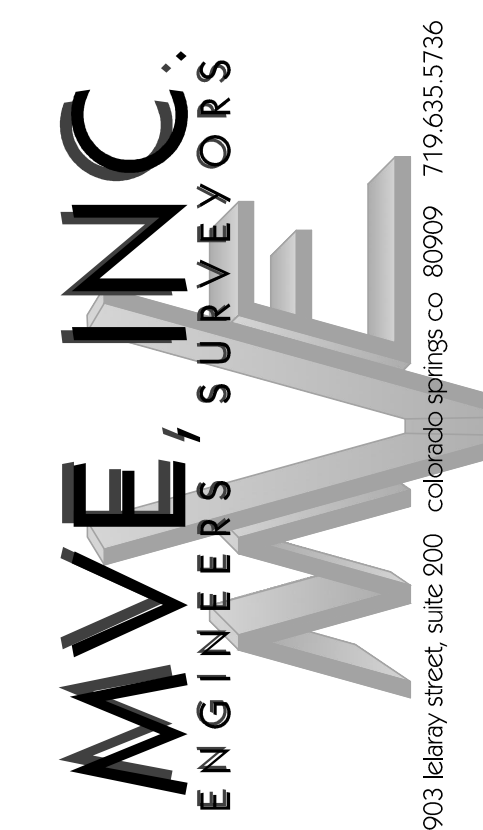
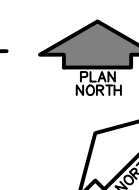


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1 FLOOR PLAN
A1.1 SCALE: 1/8" = 1'-0"



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SITE PLAN

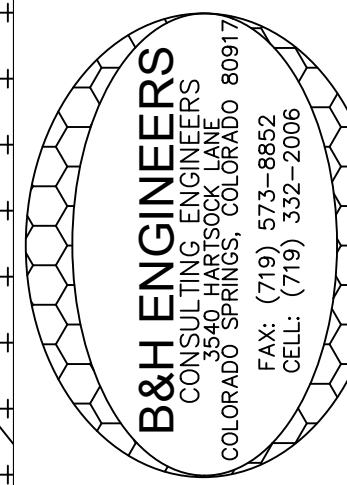
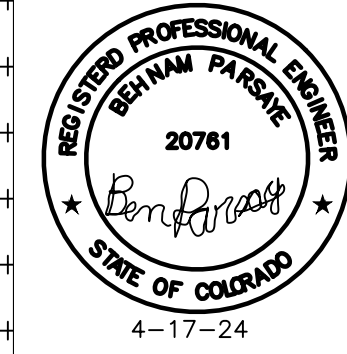
BUILDING FLOOR PLAN

DP 6.1 MVE PROJECT 61195
MVE DRAWING DP-FP

DECEMBER 6, 2024
SHEET 7 OF 11

PPR2417

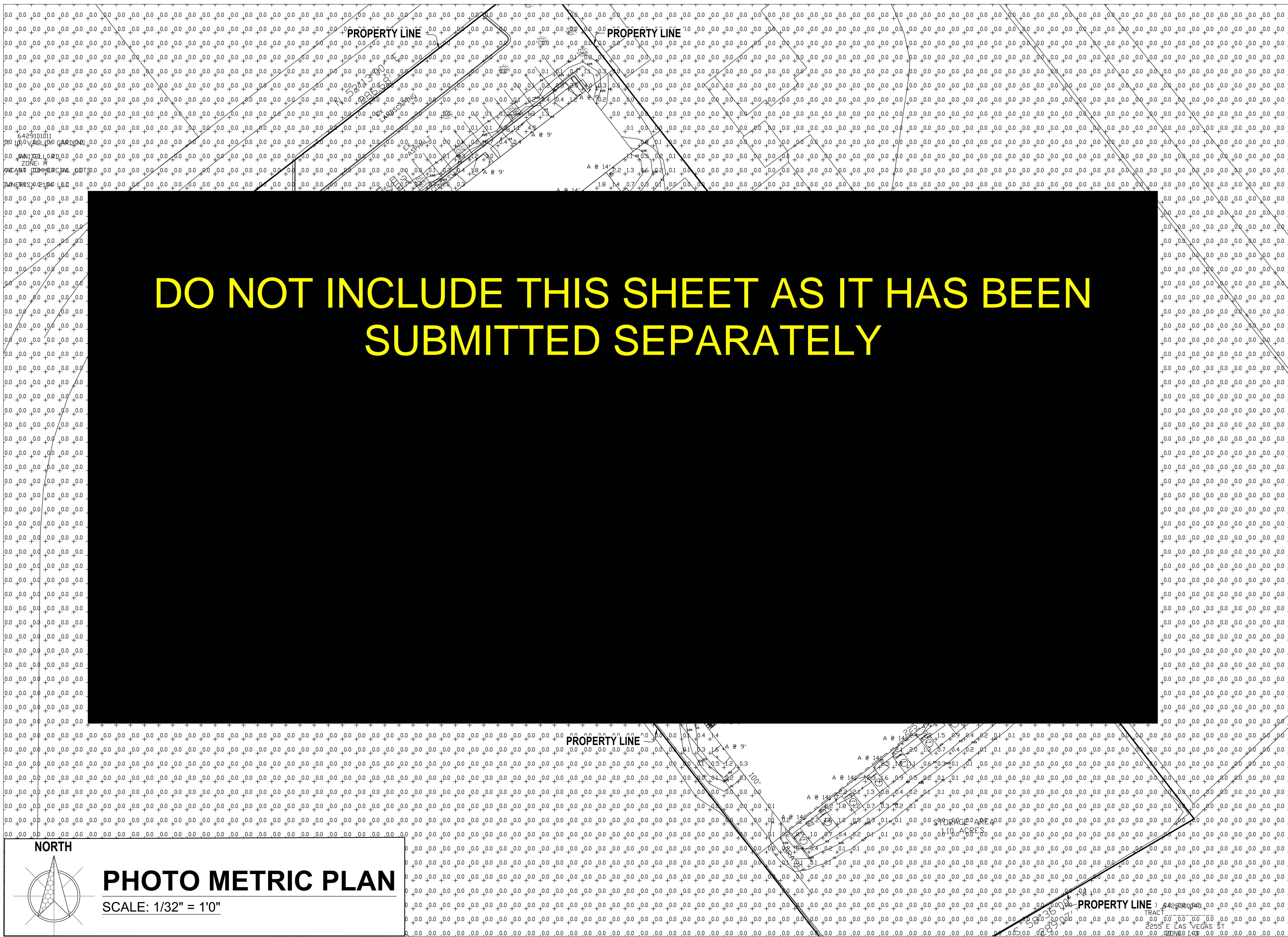
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(719) 332-2006
REVISION/DATE
FILE NAME: Photo-Metric-2217-Janitell-80906.dwg

2217 JANITELL ROAD
COLORADO SPRINGS, COLORADO 80906

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PHOTO METRIC PLAN
PM1



NORTH

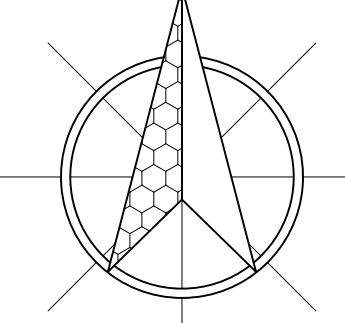


PHOTO METRIC PLAN

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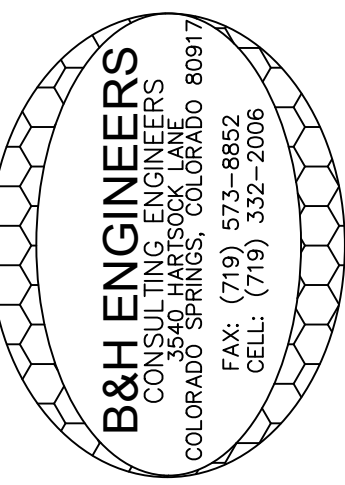
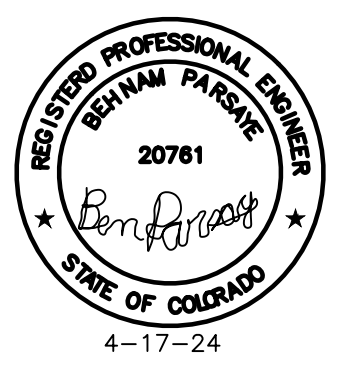


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NORTH

PHOTO METRIC PLAN

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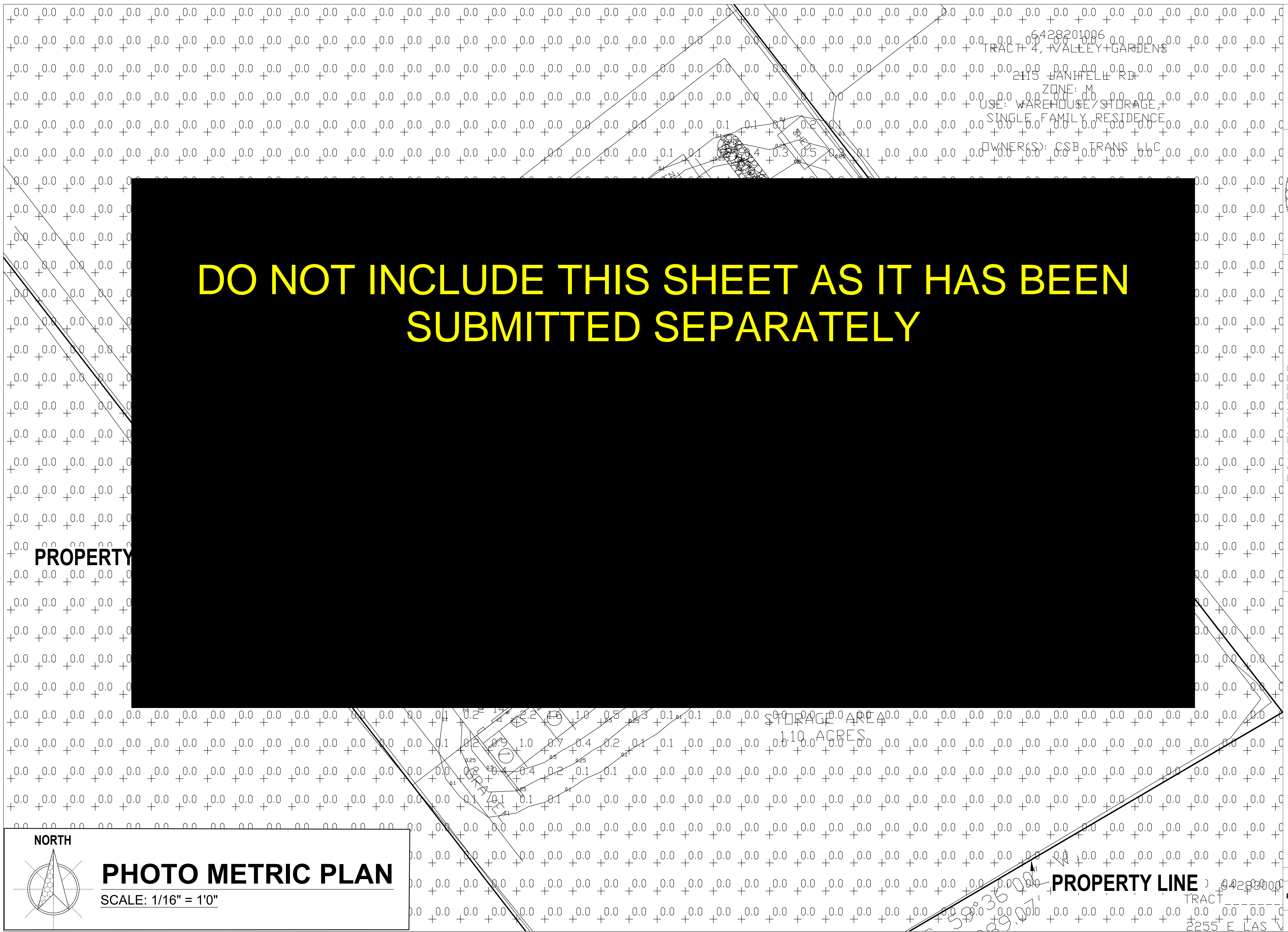


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PHOTO METRIC PLAN
PM2



6428201006
TRACT 4, VALLEY GARDENS
2115 JANITELL RD
ZONE: M
USE: WAREHOUSE/STORAGE,
SINGLE FAMILY RESIDENCE
OWNER(S): CSB TRANS LLC

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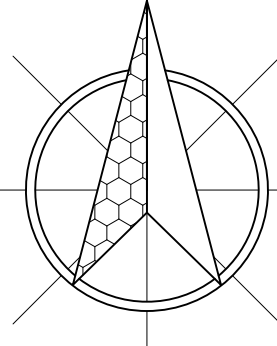
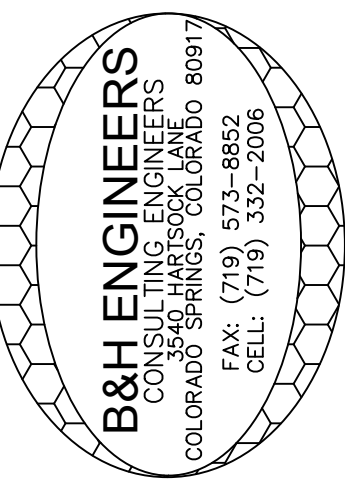


PHOTO METRIC PLAN

SCALE: 1/16" = 1'0"



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COLORADO SPRINGS, COLORADO 80906

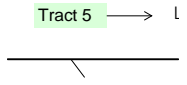
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PHOTO METRIC PLAN

PM3

V3 - Site Development Plan - RLR.pdf Markup Summary


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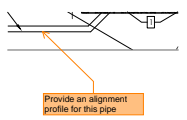
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SW - Textbox with Arrow (1)



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Text Box (7)



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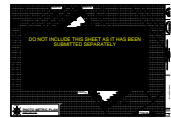
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