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EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) EL PASO COUNTY APPLICATION AND PERMIT

EPC Project Number: add text: PPR2225

APPLICANT INFORMATION

PERMIT NUMBER

Owner Information	
Property Owner	
Applicant Name (Permit Holder)	
Company/Agency	
Position of Applicant	
Address (physical address, not PO Box)	
City	
State	
Zip Code	
Mailing address, if different from above	
Telephone	
FAX number	
Email Address	
Cellular Phone number	
Contractor/Operator Information	
Name (person of responsibility)	
Company	
Address (physical address, not PO Box)	
City	
State	
Zip Code	
Mailing address, if different from above	
Telephone	
FAX number	
Email Address	
Cellular Phone number	
Erosion Control Supervisor (ECS)*	
ECS Phone number*	
ECS Cellular Phone number*	

*Required for all applicants. May be provided at later date pending securing a contract when applicable.

PROJECT INFORMATION

Project Information	
Project Name	
Legal Description	
Address (or nearest major cross streets)	
Acreage (total and disturbed)	Total: acres Disturbed: acres
Schedule	Start of Construction: Completion of Construction: Final Stabilization:
Project Purpose	
Description of Project	
Tax Schedule Number	

FOR OFFICE USE ONLY

The following signature from the ECM Administrator signifies the approval of this ESQCP. All work shall be performed in accordance with the permit, the El Paso County Engineering Criteria Manual (ECM) Standards, City of Colorado Springs Drainage Criteria Manual, Volume 2 (DCM2) as adopted by El Paso County Addendum, approved plans, and any attached conditions. The approved plans are an enforceable part of the ESQCP. Construction activity, except for the installation of initial construction BMPs, is not permitted until issuance of a Construction Permit and Notice to Proceed.

Signature of ECM Administrator: _____

Date _____

1.1 REQUIRED SUBMISSIONS

In addition to this completed and signed application, the following items must be submitted to obtain an ESQCP:

- Permit fees;
- Stormwater Management Plan (SWMP) meeting the requirements of DCM2 and ECM either as part of the plan set or as a separate document;
- Operation and Maintenance Plan for any proposed permanent stormwater control measures; and
- Signed Private Detention Basin/Stormwater Quality Best Management Practice Maintenance Agreement and Easement, if any permanent stormwater control measures are to be constructed.

1.2 RESPONSIBILITY FOR DAMAGE

The County and its officers and employees, including but not limited to the ECM Administrator, shall not be answerable or accountable in any manner for damage to property or for injury to or death of any person, including but not limited to a permit holder, persons employed by the permit holder, or persons acting in behalf of the permit holder, from any cause. The permit holder shall be responsible for any liability imposed by law and for damage to property or injuries to or death of any person, including but not limited to the permit holder, persons employed by the permit holder, persons acting in behalf of the permit holder, arising out of work or other activity permitted and done under a permit, or arising out of the failure to perform the obligations under any permit with respect to maintenance or any other obligations, or resulting from defects or obstructions, or from any cause whatsoever during the progress of the work or other activity, or at any subsequent time work or other activity is being performed under the obligations provided by and contemplated by the permit.

The permit holder shall indemnify, save, and hold harmless the County and its officers and employees, including but not limited to the BOCC and ECM Administrator, from all claims, suits or actions of every name, kind and description brought for or on account of damage to property or injuries to or death of any person, including but not limited to the permit holder, persons employed by the permit holder, persons acting in behalf of the permit holder and the public, resulting from the performance of work or other activity under the permit, or arising out of the failure to perform obligations under any permit with respect to maintenance or any other obligations, or resulting from defects or obstructions, or from any cause whatsoever during the progress of the work or other activity, or at any subsequent time work or other activity is being performed under the obligations provided by and contemplated by the permit, except as otherwise provided by state law. The permit holder waives any and all rights to any type of expressed or implied indemnity against the County, its officers or employees. It is the intent of the parties that the permit holder will indemnify, save, and hold harmless the County, its officers and employees from any and all claims, suits or actions as set forth above regardless of the existence or degree of fault of or negligence, whether active or passive, primary or secondary, on the part of the County, the permit holder, persons employed by the permit holder, or persons acting in behalf of the permit holder

1.3 APPLICATION CERTIFICATION

We, as the Applicants or the representative of the Applicants, hereby certify that this application is correct and complete as per the requirements presented in this application, the El Paso County Engineering Criteria Manual, and Drainage Criteria Manual, Volume 2 and El Paso County Addendum.

We, as the Applicants or the representatives of the Applicants, have read and will comply with all of the requirements of the specified Stormwater Management Plan and any other documents specifying stormwater best management practices to be used on the site, including permit conditions that may be required by the ECM Administrator. We understand that the stormwater control measures are to be maintained on the site and revised as necessary to protect stormwater quality as the project progresses. We further understand that a Construction Permit must be obtained and all necessary stormwater quality control measures are to be installed in accordance with the SWMP, the El Paso County Engineering Criteria Manual, Drainage Criteria Manual, Volume 2 and El Paso County Addendum before land disturbance begins and that failure to comply will result in a Stop Work Order and may result in other penalties as allowed by law. We further understand and agree to indemnify, save, and hold harmless the County and its officers and employees, including but not limited to the BOCC and ECM Administrator, from all claims, suits or actions of every name, kind and description as outlined in Section 1.2 Responsibility for Damage

Signature of Owner or Representative

Date: _____

Print Name of Owner or Representative

Signature of Operator or Representative

Date: _____

Print Name of Operator or Representative

Permit Fee \$ _____

Surcharge \$ _____

Financial Surety \$ _____

Type of Surety _____

Total \$ _____

Erosion and Stormwater Quality Control Permit_V2.pdf Markup Summary

Glenn Reese - EPC Stormwater (1)

QUALITY CONTROL P
PLICATION AND PE

ser: add text: PPR2225

PERMIT NUM

██████████

added text

Subject: SW - Textbox

Page Label: 1

Author: Glenn Reese - EPC Stormwater

Date: 11/7/2022 1:35:50 PM

Status:

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2022 Financial Assurance Estimate Form
(with pre-plat construction)

Updated: 11/4/2021

PROJECT INFORMATION		
Project Name: Kum and Go Gas and C-Store	Date: 10-03-2022	PPR-2225 PCD File No.

Description	Quantity	Units	Unit Cost		Total	(with Pre-Plat Construction)	
						% Complete	Remaining
SECTION 1 - GRADING AND EROSION CONTROL (Construction and Permanent BMPs)							
* Earthwork							
less than 1,000; \$5,300 min		CY	\$ 8.00	=	\$ -		\$ -
1,000-5,000; \$8,000 min	4,066	CY	\$ 6.00	=	\$ 24,396.00		\$ 24,396.00
5,001-20,000; \$30,000 min		CY	\$ 5.00	=	\$ -		\$ -
20,001-50,000; \$100,000 min		CY	\$ 3.50	=	\$ -		\$ -
50,001-200,000; \$175,000 min		CY	\$ 2.50	=	\$ -		\$ -
greater than 200,000; \$500,000 min		CY	\$ 2.00	=	\$ -		\$ -
* Permanent Seeding (inc. noxious weed mgmnt.)	0	AC	\$ 886.00	=	\$ 194.92		\$ 194.92
* Mulching	0	AC	\$ 831.00	=	\$ 182.82		\$ 182.82
* Permanent Erosion Control Blanket		SY	\$ 7.00	=	\$ -		\$ -
* Permanent Pond/BMP Construction		CY	\$ 22.00	=	\$ -		\$ -
* Permanent Pond/BMP (provide engineer's estimate)	1	EA	\$130,000.00	=	\$ 130,000.00		\$ 130,000.00
		EA		=	\$ -		\$ -
Safety Fence	284	LF	\$ 3.00	=	\$ 852.00		\$ 852.00
Temporary Erosion Control Blanket	0	SY	\$ 3.00	=	\$ -		\$ -
Vehicle Tracking Control	2	EA	\$ 2,625.00	=	\$ 5,250.00		\$ 5,250.00
Silt Fence	581	LF	\$ 3.00	=	\$ 1,743.00		\$ 1,743.00
Temporary Seeding	0	AC	\$ 695.00	=	\$ 152.90		\$ 152.90
Temporary Mulch	0	AC	\$ 831.00	=	\$ 182.82		\$ 182.82
Erosion Bales	0	EA	\$ 28.00	=	\$ -		\$ -
Erosion Logs/Straw Wattles	0	LF	\$ 6.00	=	\$ -		\$ -
Rock Check Dams	0	EA	\$ 554.00	=	\$ -		\$ -
Inlet Protection	3	EA	\$ 185.00	=	\$ 555.00		\$ 555.00
Sediment Basin	1	EA	\$ 1,952.00	=	\$ 1,952.00		\$ 1,952.00
Concrete Washout Basin	1	EA	\$ 997.00	=	\$ 997.00		\$ 997.00
				=	\$ -		\$ -
[insert items not listed but part of construction plans]				=	\$ -		\$ -
				=	\$ -		\$ -
MAINTENANCE (35% of Construction BMPs)					=	\$ 3,791.45	\$ 3,791.45
Section 1 Subtotal					=	\$ 170,249.91	\$ 170,249.91
SECTION 2 - PUBLIC IMPROVEMENTS *							
ROADWAY IMPROVEMENTS							
Construction Traffic Control		LS		=	\$ -		\$ -
Aggregate Base Course (135 lbs/cf)		Tons	\$ 31.00	=	\$ -		\$ -
Aggregate Base Course (135 lbs/cf)	175	CY	\$ 56.00	=	\$ 9,800.00		\$ 9,800.00
Asphalt Pavement (3" thick)		SY	\$ 16.00	=	\$ -		\$ -
Asphalt Pavement (4" thick)	141	SY	\$ 21.00	=	\$ 2,961.00		\$ 2,961.00
Concrete Pavement (6" thick)		SY	\$ 32.00	=	\$ -		\$ -
Asphalt Pavement (147 lbs/cf) _" thick		Tons	\$ 97.00	=	\$ -		\$ -
Raised Median, Paved		SF	\$ 9.00	=	\$ -		\$ -
Regulatory Sign/Advisory Sign		EA	\$ 333.00	=	\$ -		\$ -
Guide/Street Name Sign		EA		=	\$ -		\$ -
Epoxy Pavement Marking		SF	\$ 15.00	=	\$ -		\$ -
Thermoplastic Pavement Marking		SF	\$ 26.00	=	\$ -		\$ -
Barricade - Type 3		EA	\$ 221.00	=	\$ -		\$ -
Delineator - Type I		EA	\$ 27.00	=	\$ -		\$ -
Curb and Gutter, Type A (6" Vertical)	162	LF	\$ 32.00	=	\$ 5,184.00		\$ 5,184.00
Curb and Gutter, Type B (Median)		LF	\$ 32.00	=	\$ -		\$ -
Curb and Gutter, Type C (Ramp)		LF	\$ 32.00	=	\$ -		\$ -
4" Sidewalk (common areas only)		SY	\$ 53.00	=	\$ -		\$ -
5" Sidewalk	228	SY	\$ 66.00	=	\$ 15,048.00		\$ 15,048.00
6" Sidewalk		SY	\$ 80.00	=	\$ -		\$ -
8" Sidewalk		SY	\$ 106.00	=	\$ -		\$ -
Pedestrian Ramp		EA	\$ 1,273.00	=	\$ -		\$ -
Cross Pan, local (8" thick, 6' wide to include return)		LF	\$ 67.00	=	\$ -		\$ -
Cross Pan, collector (9" thick, 8' wide to include return)		LF	\$ 102.00	=	\$ -		\$ -
Curb Chase		EA	\$ 1,639.00	=	\$ -		\$ -
Guardrail Type 3 (W-Beam)		LF	\$ 55.00	=	\$ -		\$ -
Guardrail Type 7 (Concrete)		LF	\$ 80.00	=	\$ -		\$ -
Guardrail End Anchorage		EA	\$ 2,324.00	=	\$ -		\$ -
Guardrail Impact Attenuator		EA	\$ 4,172.00	=	\$ -		\$ -
Sound Barrier Fence (CMU block, 6' high)		LF	\$ 87.00	=	\$ -		\$ -
Sound Barrier Fence (panels, 6' high)		LF	\$ 89.00	=	\$ -		\$ -
Electrical Conduit, Size =		LF	\$ 18.00	=	\$ -		\$ -
Traffic Signal, complete intersection		EA	\$ 470,666	=	\$ -		\$ -

PROJECT INFORMATION

Project Name: Kum and Go Gas and C-Store Date: 10-03-2022 PCD File No. PPR-2225

Description	Quantity	Units	Unit Cost	=	\$	Total	(with Pre-Plat Construction)	
							% Complete	Remaining
[insert items not listed but part of construction plans]				=	\$	-		\$ -
[insert items not listed but part of construction plans]				=	\$	-		\$ -
STORM DRAIN IMPROVEMENTS								
Concrete Box Culvert (M Standard), Size (W x H)		LF		=	\$	-		\$ -
18" Reinforced Concrete Pipe	375	LF	\$ 70.00	=	\$	26,250.00		\$ 26,250.00
24" Reinforced Concrete Pipe		LF	\$ 83.00	=	\$	-		\$ -
30" Reinforced Concrete Pipe		LF	\$ 104.00	=	\$	-		\$ -
36" Reinforced Concrete Pipe		LF	\$ 128.00	=	\$	-		\$ -
42" Reinforced Concrete Pipe		LF	\$ 171.00	=	\$	-		\$ -
48" Reinforced Concrete Pipe		LF	\$ 209.00	=	\$	-		\$ -
54" Reinforced Concrete Pipe		LF	\$ 272.00	=	\$	-		\$ -
60" Reinforced Concrete Pipe		LF	\$ 319.00	=	\$	-		\$ -
66" Reinforced Concrete Pipe		LF	\$ 368.00	=	\$	-		\$ -
72" Reinforced Concrete Pipe		LF	\$ 421.00	=	\$	-		\$ -
18" Corrugated Steel Pipe		LF	\$ 90.00	=	\$	-		\$ -
24" Corrugated Steel Pipe		LF	\$ 103.00	=	\$	-		\$ -
30" Corrugated Steel Pipe		LF	\$ 131.00	=	\$	-		\$ -
36" Corrugated Steel Pipe		LF	\$ 157.00	=	\$	-		\$ -
42" Corrugated Steel Pipe		LF	\$ 180.00	=	\$	-		\$ -
48" Corrugated Steel Pipe		LF	\$ 190.00	=	\$	-		\$ -
54" Corrugated Steel Pipe		LF	\$ 278.00	=	\$	-		\$ -
60" Corrugated Steel Pipe		LF	\$ 300.00	=	\$	-		\$ -
66" Corrugated Steel Pipe		LF	\$ 364.00	=	\$	-		\$ -
72" Corrugated Steel Pipe		LF	\$ 428.00	=	\$	-		\$ -
78" Corrugated Steel Pipe		LF	\$ 492.00	=	\$	-		\$ -
84" Corrugated Steel Pipe		LF	\$ 588.00	=	\$	-		\$ -
Flared End Section (FES) RCP Size = <small>(unit cost = 6x pipe unit cost)</small>		EA		=	\$	-		\$ -
Flared End Section (FES) CSP Size = <small>(unit cost = 6x pipe unit cost)</small>		EA		=	\$	-		\$ -
End Treatment- Headwall		EA		=	\$	-		\$ -
End Treatment- Wingwall		EA		=	\$	-		\$ -
End Treatment - Cutoff Wall		EA		=	\$	-		\$ -
Curb Inlet (Type R) L=5', Depth < 5'		EA	\$ 6,138.00	=	\$	-		\$ -
Curb Inlet (Type R) L=5', 5' ≤ Depth < 10'	2	EA	\$ 7,981.00	=	\$	15,962.00		\$ 15,962.00
Curb Inlet (Type R) L =5', 10' ≤ Depth < 15'		EA	\$ 9,242.00	=	\$	-		\$ -
Curb Inlet (Type R) L =10', Depth < 5'		EA	\$ 8,447.00	=	\$	-		\$ -
Curb Inlet (Type R) L =10', 5' ≤ Depth < 10'		EA	\$ 8,706.00	=	\$	-		\$ -
Curb Inlet (Type R) L =10', 10' ≤ Depth < 15'		EA	\$ 10,898.00	=	\$	-		\$ -
Curb Inlet (Type R) L =15', Depth < 5'		EA	\$ 10,984.00	=	\$	-		\$ -
Curb Inlet (Type R) L =15', 5' ≤ Depth < 10'		EA	\$ 11,775.00	=	\$	-		\$ -
Curb Inlet (Type R) L =15', 10' ≤ Depth < 15'		EA	\$ 12,876.00	=	\$	-		\$ -
Curb Inlet (Type R) L =20', Depth < 5'		EA	\$ 11,706.00	=	\$	-		\$ -
Curb Inlet (Type R) L =20', 5' ≤ Depth < 10'		EA	\$ 12,920.00	=	\$	-		\$ -
Grated Inlet (Type C), Depth < 5'		EA	\$ 5,138.00	=	\$	-		\$ -
Grated Inlet (Type D), Depth < 5'		EA	\$ 6,347.00	=	\$	-		\$ -
Storm Sewer Manhole, Box Base		EA	\$ 12,876.00	=	\$	-		\$ -
Storm Sewer Manhole, Slab Base	6	EA	\$ 7,082.00	=	\$	42,492.00		\$ 42,492.00
Geotextile (Erosion Control)		SY	\$ 7.00	=	\$	-		\$ -
Rip Rap, d50 size from 6" to 24"		Tons	\$ 89.00	=	\$	-		\$ -
Rip Rap, Grouted		Tons	\$ 105.00	=	\$	-		\$ -
Drainage Channel Construction, Size (W x H)		LF	\$ -	=	\$	-		\$ -
Drainage Channel Lining, Concrete		CY	\$ 631.00	=	\$	-		\$ -
Drainage Channel Lining, Rip Rap		CY	\$ 124.00	=	\$	-		\$ -
Drainage Channel Lining, Grass		AC	\$ 1,626.00	=	\$	-		\$ -
Drainage Channel Lining, Other Stabilization				=	\$	-		\$ -
[insert items not listed but part of construction plans]				=	\$	-		\$ -
[insert items not listed but part of construction plans]				=	\$	-		\$ -
Section 2 Subtotal						\$ 117,697.00		\$ 117,697.00

* - Subject to defect warranty financial assurance. A minimum of 20% shall be retained until final acceptance (MAXIMUM OF 80% COMPLETE ALLOWED)

PROJECT INFORMATION			PPR-2225	
Project Name: Kum and Go Gas and C-Store	Date: 10-03-2022	PCD File No.		

Description	Quantity	Units	Unit Cost	Total	(with Pre-Plat Construction)	
					% Complete	Remaining
SECTION 3 - COMMON DEVELOPMENT IMPROVEMENTS (Private or District and NOT Maintained by EPC)**						
ROADWAY IMPROVEMENTS						
Aggregate Base Course (135 lbs/cf)		CY	\$ 56.00	\$ -		\$ -
Concrete Pavement (6" thick)	3,885	SY	\$ 32.00	\$ 124,320.00		\$ 124,320.00
6" Vertical Curb, Type A No Gutter (6" Vertical)	750	LF	\$ 20.00	\$ 15,000.00		\$ 15,000.00
4" Sidewalk (common areas only)	343	SY	\$ 53.00	\$ 18,179.00		\$ 18,179.00
Electrical Conduit, Size =	216	LF	\$ 18.00	\$ 3,888.00		\$ 3,888.00
Telephone Conduit, Size =	58	LF	\$ 18.00	\$ 1,044.00		\$ 1,044.00
6' Max Ht x 1-ft thick Concrete Retaining Wall	244	LF	\$ 55.00	\$ 13,420.00		\$ 13,420.00
2' Max Ht x 0.5 thick retaining wall - border protection	65	LF	\$ 25.00	\$ 1,625.00		\$ 1,625.00
				\$ -		\$ -
STORM DRAIN IMPROVEMENTS (Exception: Permanent Pond/BMP shall be itemized under Section 1)						
				\$ -		\$ -
				\$ -		\$ -
				\$ -		\$ -
WATER SYSTEM IMPROVEMENTS						
Water Main Pipe (PVC), Size 8"		LF	\$ 71.00	\$ -		\$ -
Water Main Pipe (Ductile Iron), Size 8"		LF	\$ 83.00	\$ -		\$ -
Gate Valves, 8"		EA	\$ 2,058.00	\$ -		\$ -
Fire Hydrant Assembly, w/ all valves		EA	\$ 7,306.00	\$ -		\$ -
Water Service Line Installation, inc. tap and valves	1	EA	\$ 1,466.00	\$ 1,466.00		\$ 1,466.00
Fire Cistern Installation, complete		EA		\$ -		\$ -
				\$ -		\$ -
[insert items not listed but part of construction plans]				\$ -		\$ -
SANITARY SEWER IMPROVEMENTS						
Sewer Main Pipe (PVC), Size 8"		LF	\$ 71.00	\$ -		\$ -
Sanitary Sewer Manhole, Depth < 15 feet		EA	\$ 4,858.00	\$ -		\$ -
Sanitary Service Line Installation, complete	1	EA	\$ 1,553.00	\$ 1,553.00		\$ 1,553.00
Sanitary Sewer Lift Station, complete		EA		\$ -		\$ -
				\$ -		\$ -
[insert items not listed but part of construction plans]				\$ -		\$ -
LANDSCAPING IMPROVEMENTS (For subdivision specific condition of approval, or PUD)						
		EA		\$ -		\$ -
		EA		\$ -		\$ -
		EA		\$ -		\$ -
		EA		\$ -		\$ -
		EA		\$ -		\$ -
		EA		\$ -		\$ -
Section 3 Subtotal				\$ 180,495.00		\$ 180,495.00

** - Section 3 is not subject to defect warranty requirements

It is not necessary to provide quantities for site.

Removed Electrical, Telephone, Water Service Line Installation and Sanitary Service Line Installation

PROJECT INFORMATION

Project Name: Kum and Go Gas and C-Store	Date: 10-03-2022	PPR-2225
		PCD File No.

Description	Quantity	Units	Unit Cost		Total	(with Pre-Plat Construction)	
						% Complete	Remaining
AS-BUILT PLANS (Public Improvements inc. Permanent WQCV BMPs)		LS	\$ 2,000.00	=	\$ 2,000.00		\$ 2,000.00
POND/BMP CERTIFICATION (inc. elevations and volume calculations)		LS	\$ 2,000.00	=	\$ 2,000.00		\$ 2,000.00
Total Construction Financial Assurance						\$	472,441.91
(Sum of all section subtotals plus as-builts and pond/BMP certification)							
Total Remaining Construction Financial Assurance (with Pre-Plat Construction)						\$	472,441.91
(Sum of all section totals less credit for items complete plus as-builts and pond/BMP certification)							
Total Defect Warranty Financial Assurance						\$	54,494.15
(20% of all items identified as (*). To be collateralized at time of preliminary acceptance)							

Approvals

I hereby certify that this is an accurate and complete estimate of costs for the work as shown on the Grading and Erosion Control Plan and Construction Drawings associated with the Project.

Engineer (P.E. Seal Required)

Approved by Owner / Applicant Date

Approved by El Paso County Engineer / ECM Administrator Date

Financial Assurance Forms_V2.pdf Markup Summary

lpackman (1)



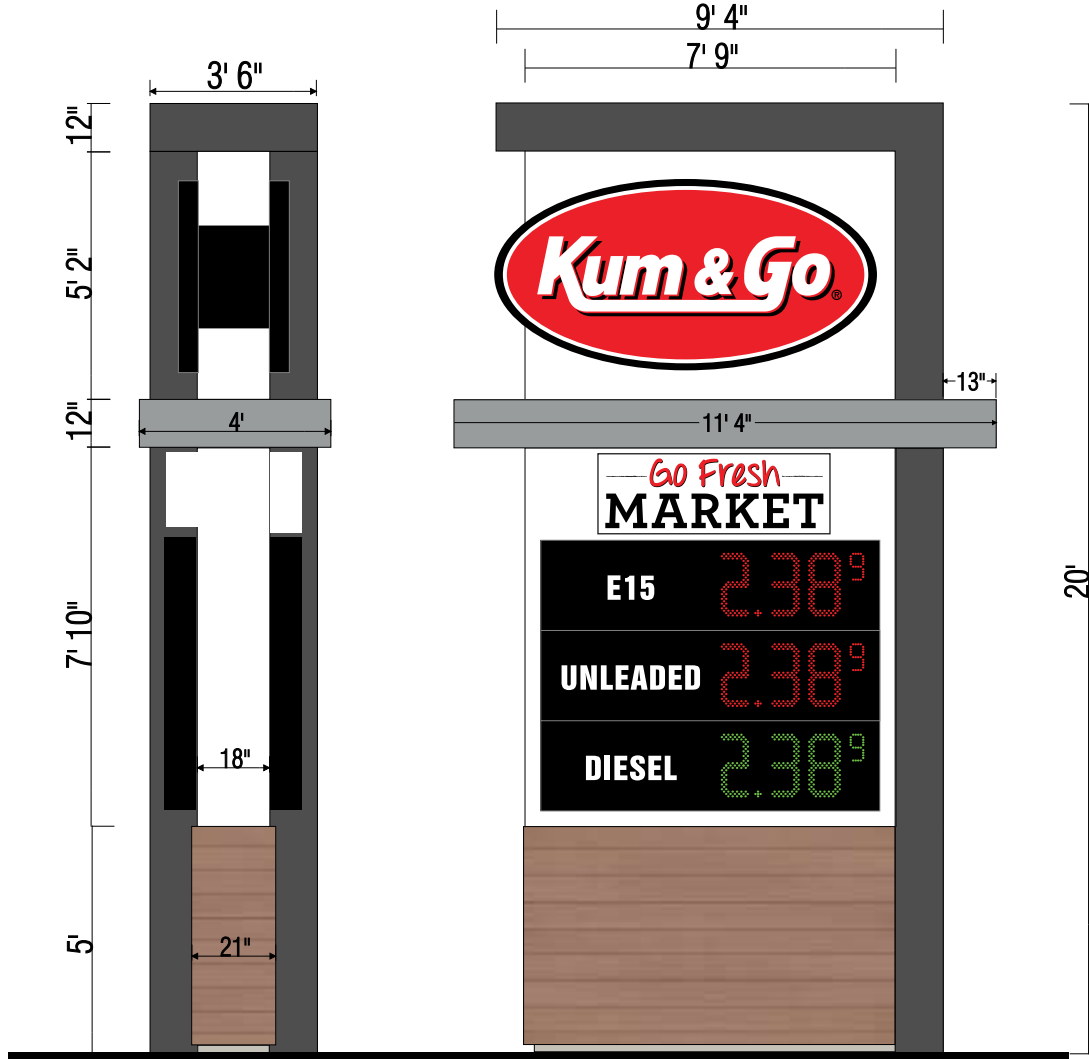
Subject: Callout
Page Label: 3
Author: lpackman
Date: 11/15/2022 6:13:26 AM
Status:
Color: ■
Layer:
Space:

It is not necessary to provide quantities for site.



20' MONUMENT

SUMMARY OF SQUARE FOOTAGE
Allowed Square Feet - 180 sq. ft.
Proposed Square Feet - 73.09 sq. ft.
Allowed Height 21' - Sign Height 20'
Signs are within accordance with EPC LDC 6.2.10



4' X 8' KUM & GO - AREA: 25.12 SQ FT
 1' 8" X 4' 10" GO FRESH MARKET - AREA: 8.05 SQ FT
 5' 7 5/8" X 7' 1" GAS PRICE SIGN - AREA: 39.92 SQ FT

73.09 SQ. FT. TOTAL



1225 North Lansing Avenue
 Tulsa, Oklahoma 74106
 ph: 918.587.7171
 fax: 918.587.7176
 web: cnfsigns.com

PROJECT/CLIENT NAME:
KUM & GO #2232
 LOCATION:
El Paso County, CO

ACCOUNT EXECUTIVE:
TERRY HOWARD
 DATE OF ORIGINAL DWG:
APRIL 14, 2022

SIGN TYPE/DESCRIPTION:
20' MONUMENT SIGN
 REVISION HISTORY:

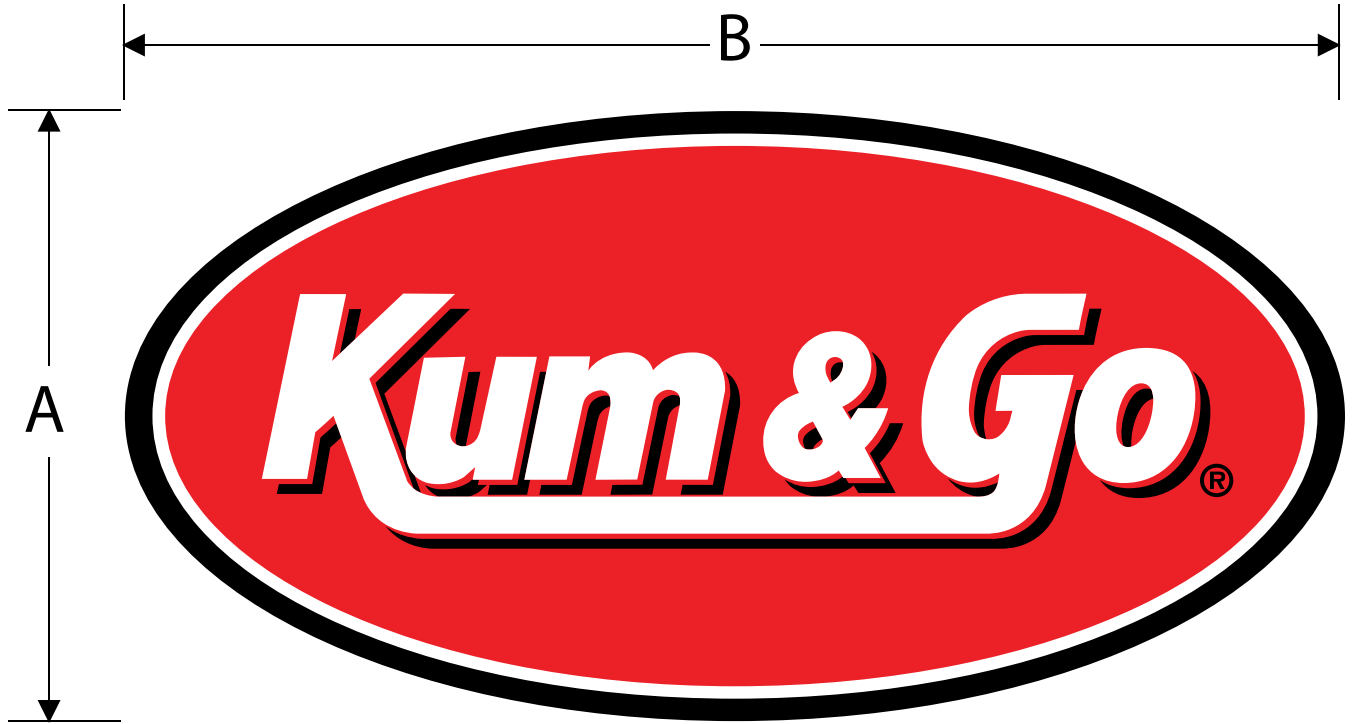
SHEET NAME:
KG-20.0



3' x 6' OVAL CANOPY SIGN

SUMMARY OF SQUARE FOOTAGE

Allowed Square Feet - 135 sq. ft.
 Proposed Square Feet - 16 sq. ft.
 Signs are within accordance with EPC LDC 6.2.10



A - HEIGHT	B - WIDTH	○ AREA	■ AREA
3 FT	6 FT	14.4 SQ FT	18 SQ FT

TYPICAL CONSTRUCTION OF KUM & GO FLEX FACE OVAL:

- FLEX FACE WITH DIGITAL PRINT UV Coating
- ALUMINUM CABINET BLEED FACE RETAINER PAINTED BLACK
- INTERNAL LED ILLUMINATION UL WIRED





5' x 9' GO FRESH BUILDING SIGN

SUMMARY OF SQUARE FOOTAGE

Allowed Square Feet - 180 sq. ft.
 Proposed Square Feet - 45 sq. ft.
 Signs are within accordance with EPC LDC 6.2.10



FONT: Throw My Hands Up In The Air
 PMS: 200c
 CMYK: 0.100.75.20
 RGB: 204.0.51
 HEX: #cc0033
 DROP SHADOW: Black

FONT: Archer Bold
 PMS: 100% Black
 CMYK: 0.0.0.100
 RGB: 35.31.32
 HEX: #000000

A - HEIGHT	B - WIDTH	AREA
5 FT	9 FT	45

- ### TYPICAL CONSTRUCTION OF MARKET FRESH SIGNS:
- FLEX FACE WITH DIGITAL PRINT UV Coating
 - ALUMINUM CABINET BLEED FACE RETAINER PAINTED BLACK
 - INTERNAL LED ILLUMINATION UL WIRED
 - PMS 200 (RED)

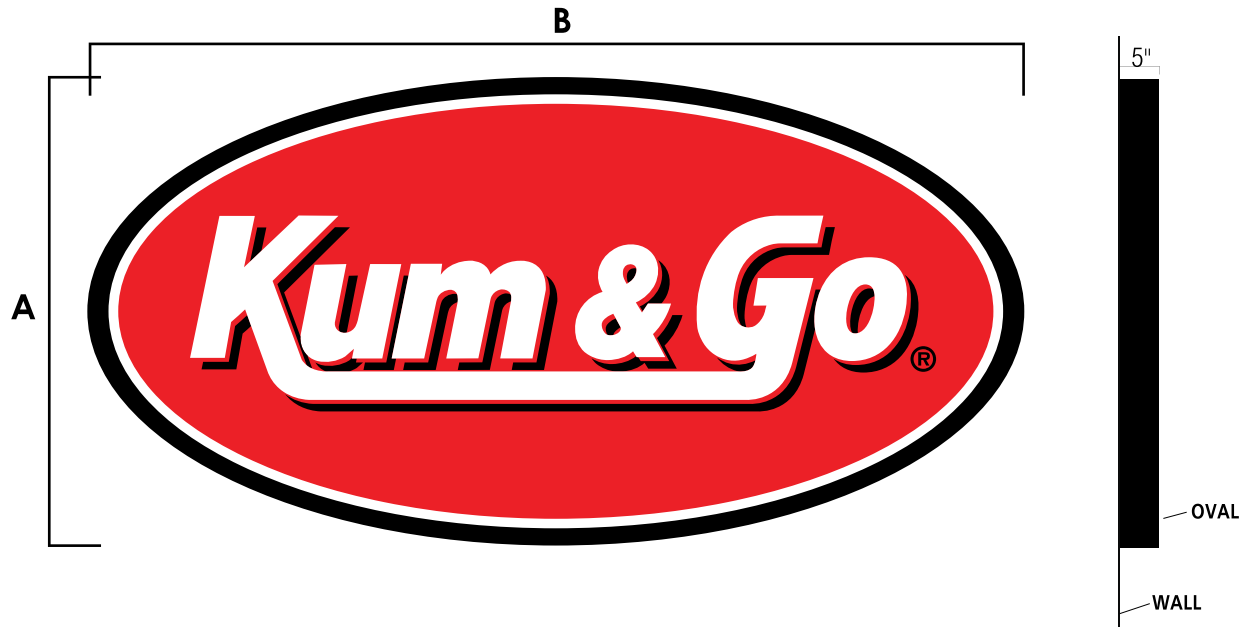




6' x 12' OVAL WALL SIGN

SUMMARY OF SQUARE FOOTAGE

Allowed Square Feet - 180 sq. ft.
 Proposed Square Feet - 72 sq. ft.
 Signs are within accordance with EPC LDC 6.2.10



OVAL MEASUREMENTS & SQUARE FOOTAGES

A - HEIGHT	B - WIDTH	○ AREA	■ AREA
6 FT	12 FT	56.52 SQ FT	72 SQ FT

TYPICAL CONSTRUCTION:

- FLEX FACE WITH DIGITAL PRINT UV Coating
- ALUMINUM CABINET BLEED FACE RETAINER PAINTED BLACK
- INTERNAL LED ILLUMINATION UL WIRED
- PMS 200 (RED)



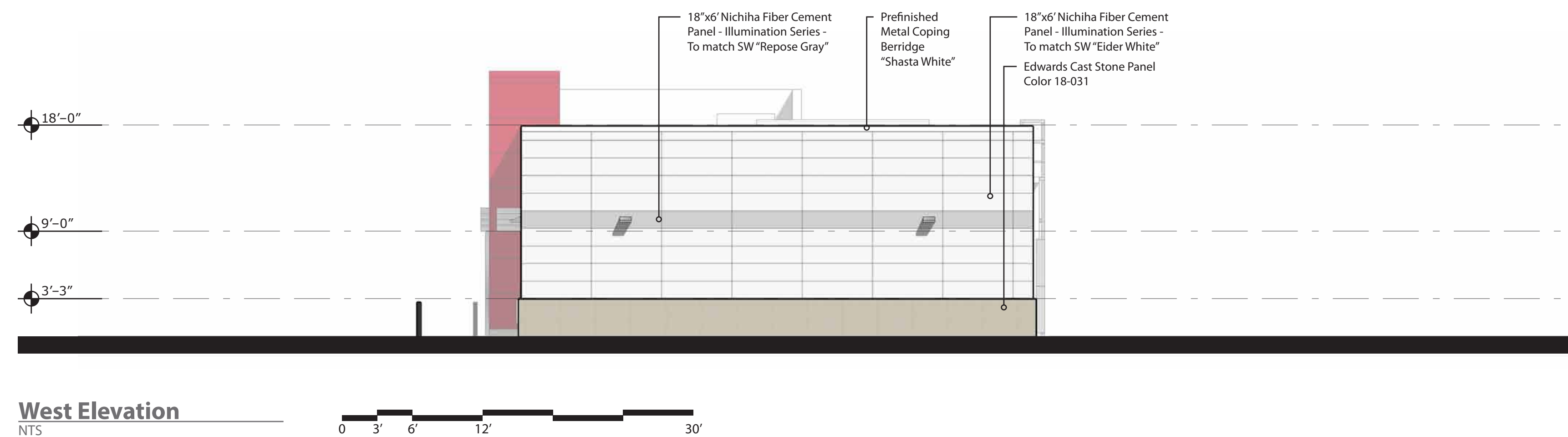
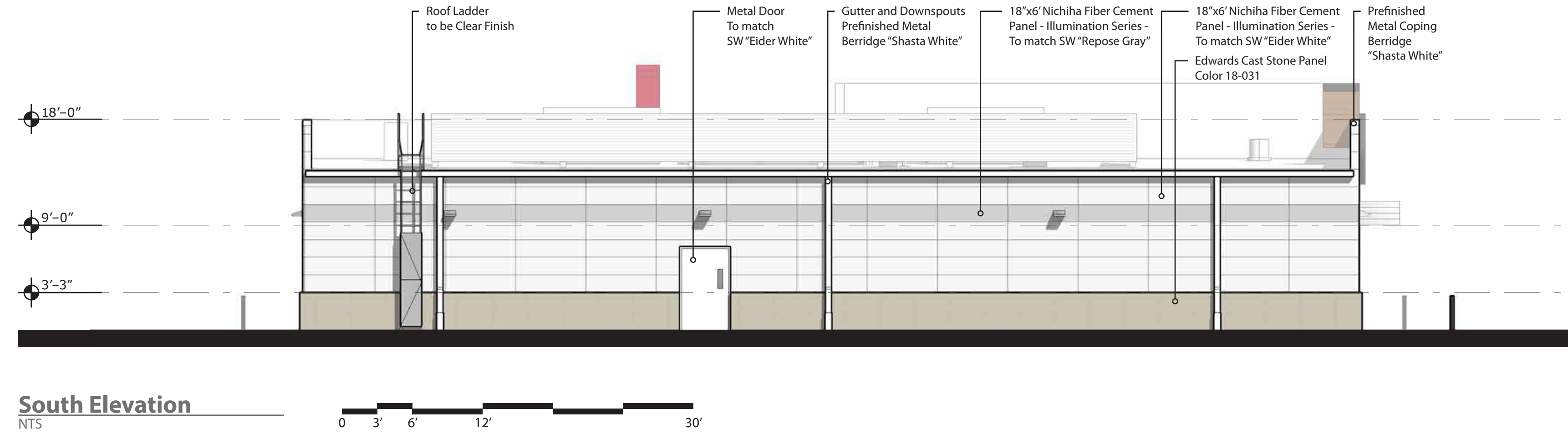
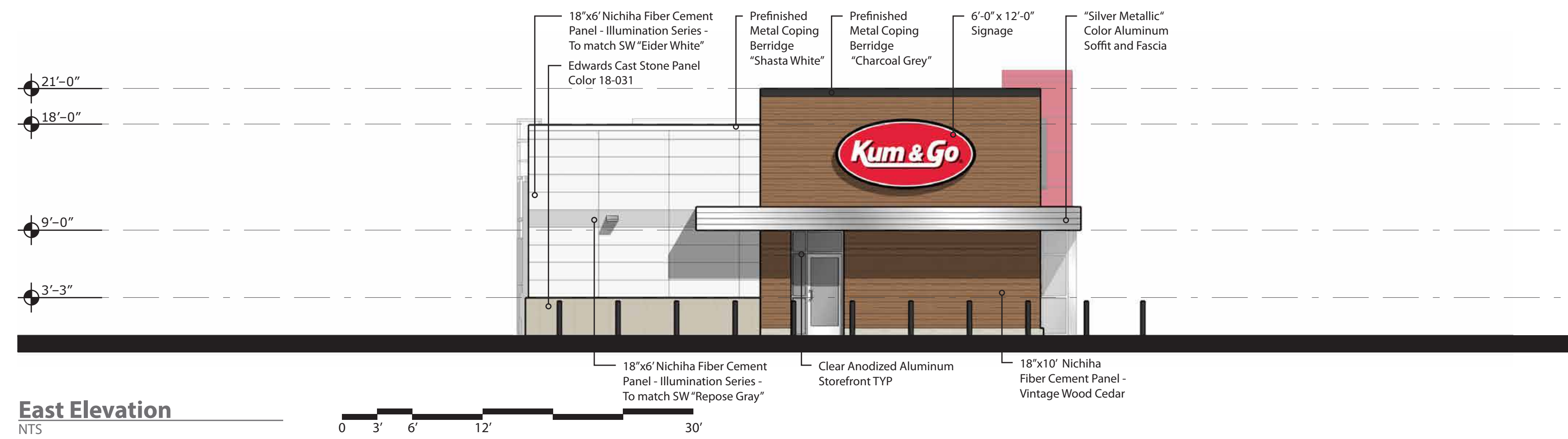
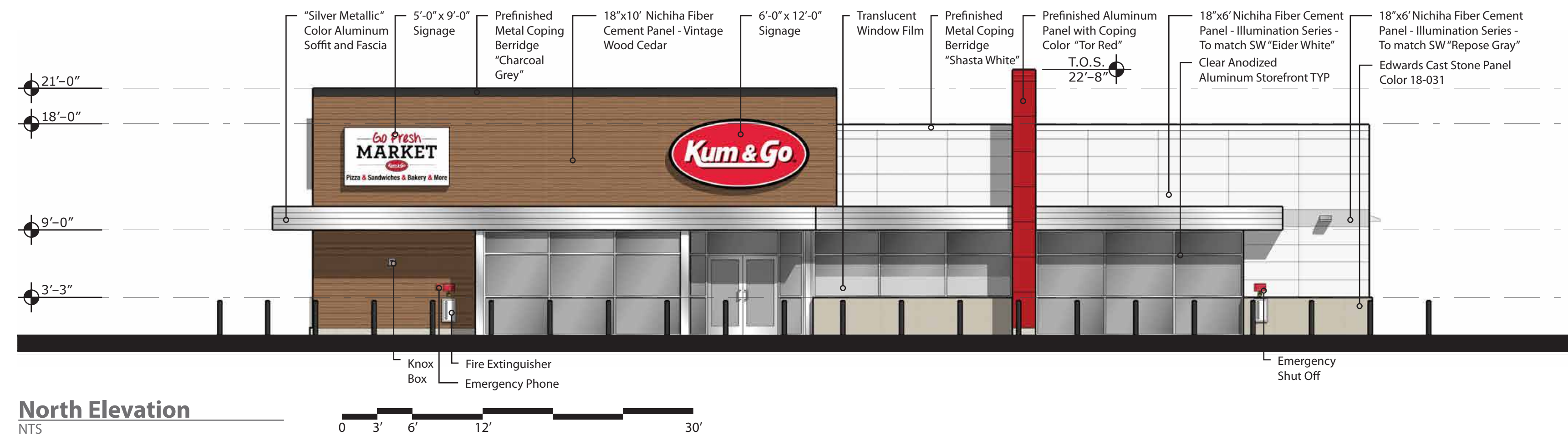
Proposed Building Signage

Location	Sign	Size	Area
North Elevation	"Kum & Go" Sign	6' x 12'	72 SF
	"Go Fresh Market" Sign	5' x 9'	45 SF
East Elevation	"Kum & Go" Sign	6' x 12'	72 SF
South Elevation	No Signage	---	0 SF
West Elevation	No Signage	---	0 SF
Total			189 SF

Allowed Signage Square Feet

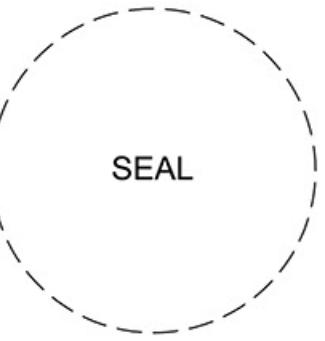
Location	Allowed	Proposed
North Elevation	180 square feet	117 square feet
East Elevation	88 square feet	72 square feet
South Elevation	180 square feet	No Signage
West Elevation	88 square feet	No Signage

Signs are within accordance with EPC LDC 6.2.10



brr

ARCHITECT OF RECORD:
BRR ARCHITECTURE, INC
8131 METCALF AVENUE
SUITE 300
OVERLAND PARK, KS 66204
www.brrarch.com
TEL: 913-262-9055
FAX: 913-262-9044



1459 Grand Avenue
Des Moines, Iowa
50309
P:515-457-6247

EL PASO COUNTY, CO
MAIN ST. AND SECURITY BLVD.
EXTERIOR ELEVATIONS

KG PROJECT TEAM:
RDM:
SDM:
CPM:

REVISION DESCRIPTION	DATE

DATE: 03/25/2022

SHEET NUMBER:

REVISIONS

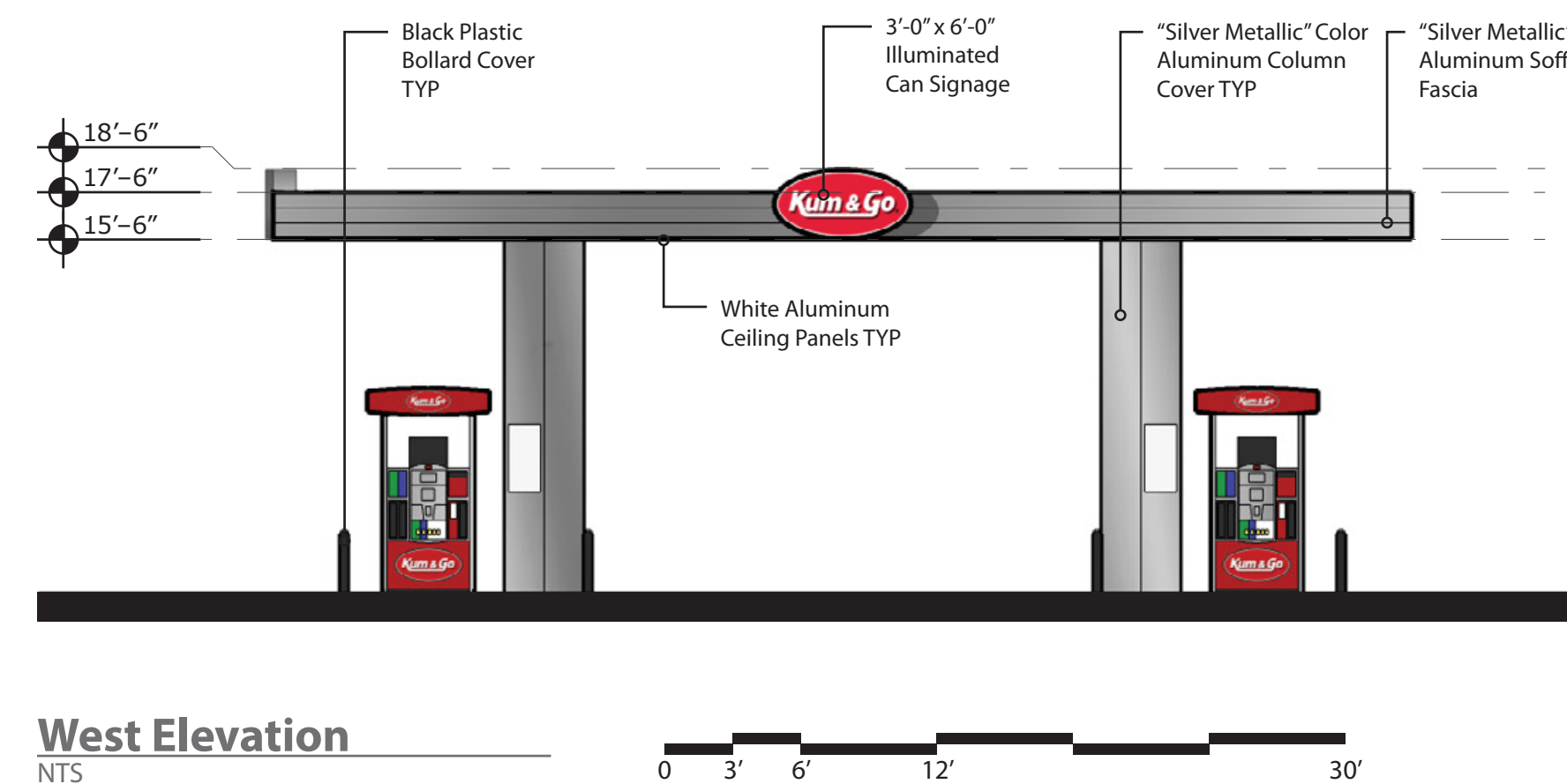
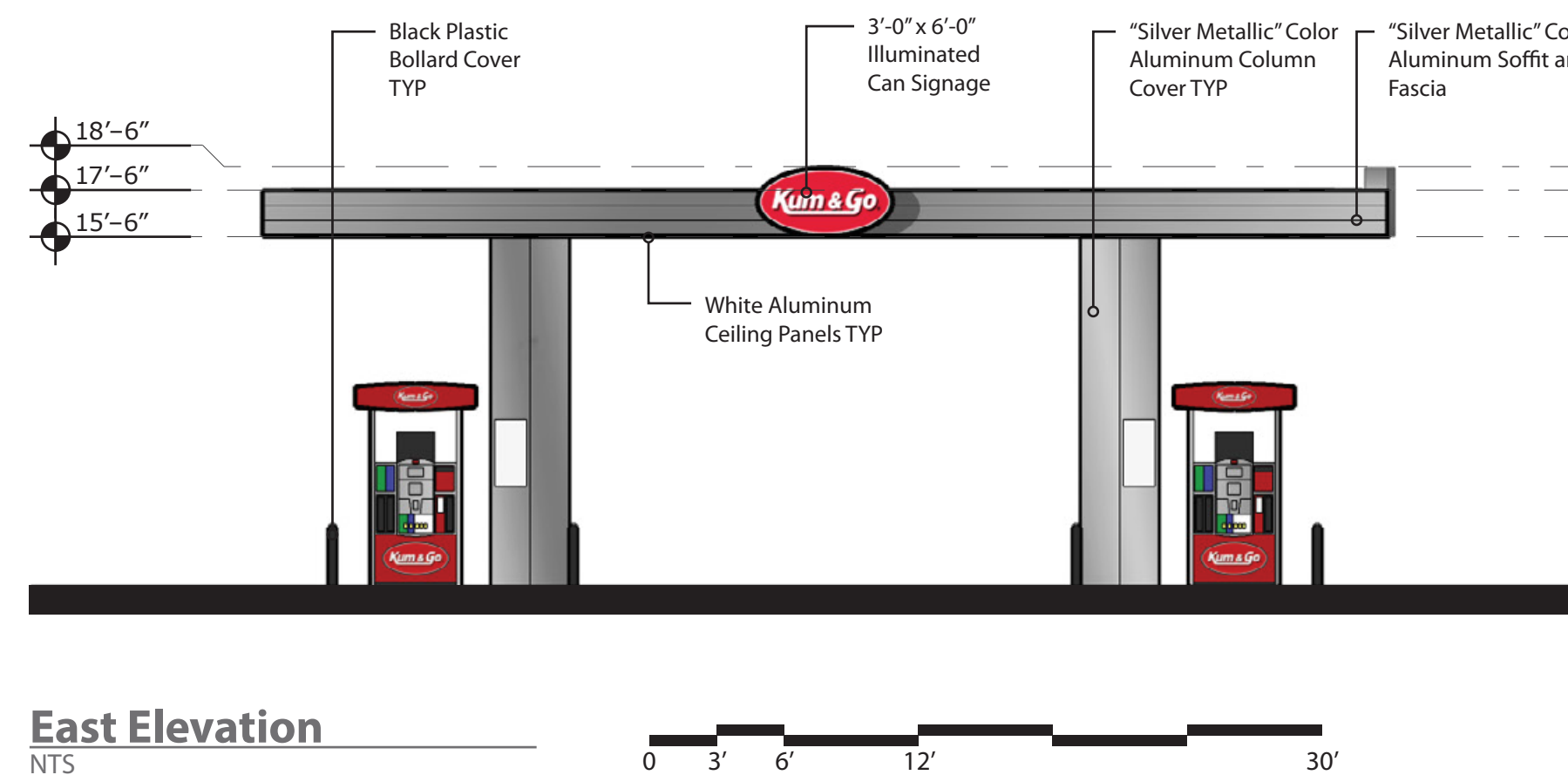
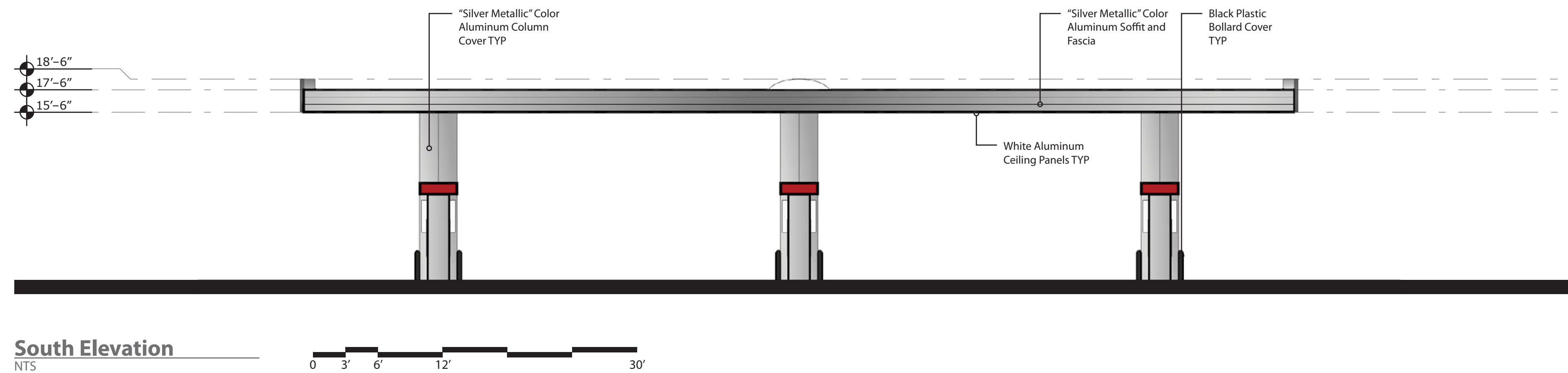
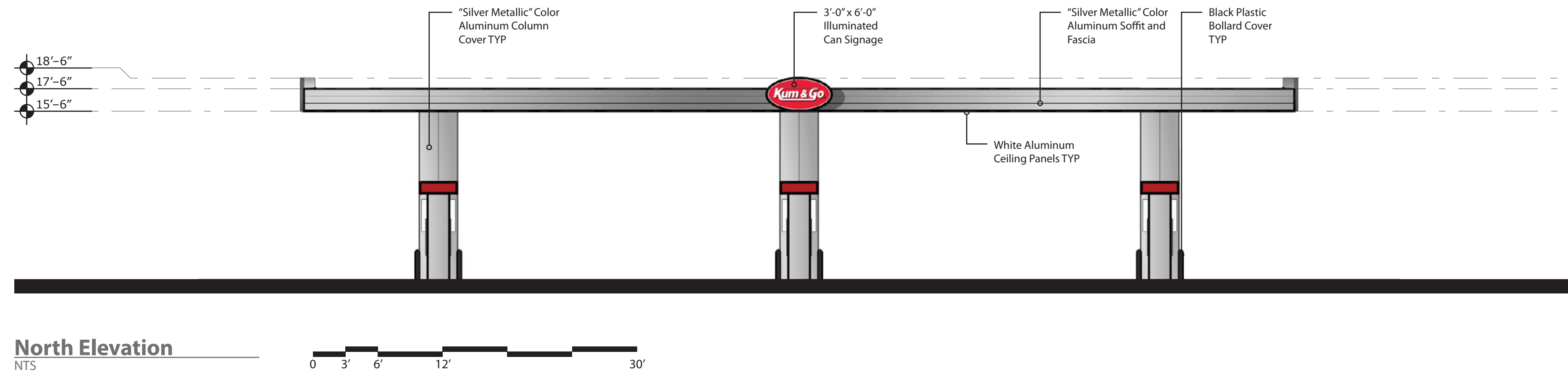
Proposed Canopy Signage

Location	Sign	Size	Area
North Elevation	"Kum & Go" Sign	3' x 6'	18 SF
South Elevation	No Signage	---	0 SF
East Elevation	"Kum & Go" Sign	3' x 6'	18 SF
West Elevation	"Kum & Go" Sign	3' x 6'	18 SF
Total			54 SF

Allowed Signage Square Feet

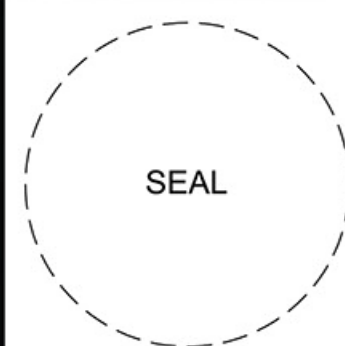
Location	Allowed	Proposed
North Elevation	180 square feet	18 square feet
East Elevation	75 square feet	18 square feet
South Elevation	180 square feet	No Signage
West Elevation	75 square feet	18 square feet

Signs are within accordance with EPC LDC 6.2.10



brr

ARCHITECT OF RECORD:
 BRR ARCHITECTURE, INC
 813 METCALF AVENUE
 SUITE 300
 OVERLAND PARK, KS 66204
 www.brrarch.com
 TEL: 913-262-9055
 FAX: 913-262-9044



1459 Grand Avenue
 Des Moines, Iowa
 50309
 P:515-457-6247

EL PASO COUNTY, CO
 MAIN ST. AND SECURITY BLVD.
 CANOPY ELEVATIONS

KG PROJECT TEAM:
 RDM:
 SDM:
 CPM:

REVISION DESCRIPTION	DATE	BY

DATE: 03/25/2022

SHEET NUMBER:

Model ECX20 IH - Deluxe Internal Halyard

Single sheave truck, cast aluminum revolving, internal halyard truck

1/8" x 7 x 19 Mil-C-5424
Stainless steel aircraft cable

Standard flag arrangement: 3' x 5'

Neoprene coated 2" diameter
steel counterweight

Nylon beaded retainer ring

Gearless, self locking direct drive
winch with six tumbler cylinder lock

Spun aluminum flash collar

3000 PSI concrete
(supplied by others)

Hardwood wedges
(supplied by others)

Dry sand tightly tamped
(supplied by others)

Foundation sleeve -
16 ga galvanized steel

Steel centering wedges

3/16" Steel base plate

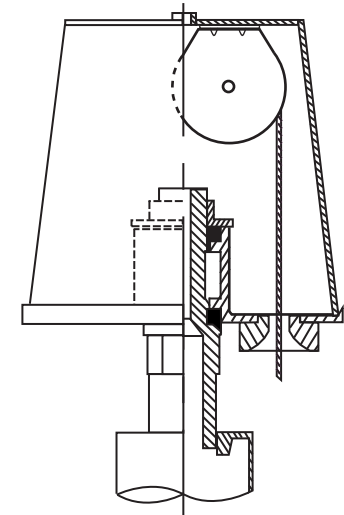
3/16" Steel support plate
welded to grounding spike

3/4" Lightning ground spike

Exposed height from grade?

Exposed height: 20'-0"
Tapered portion: 11'-8"

Overall length: 23'-0"



Revolving internal halyard truck,
cast aluminum body, enclosed
stainless steel ball bearings,
raceway and 2-1/2" diameter
plated steel sheave.

**Addressed.
Removed flag pole
from project. no
references or
details shown on
site plan.**

Conflicts with height called out
on SDP. Provided proposed SF
of flag. Allowed/proposed see
below.

(d) Flagpoles and Flags. Flags
are considered signs and shall
meet all standards for signs
except as otherwise provided for
by this Section.

(i) Area of Flag Limited. The area
of the flag shall not exceed 40
square feet or 2 square feet of
sign for each linear foot of
building wall area the flag is
adjacent or closest to,
whichever is less. The allowable
area of freestanding signage
shall be reduced by the size of
the flag.

(ii) Intrusion into Setback Area.
A flagpole may be located within
the setback area provided it is
located within 10 feet of a
building and is not within a
utility, drainage, or access
easement.

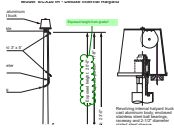
(iii) Height of Flagpole. No
flagpole shall exceed 20 feet in
height if located within a setback
area or the maximum height for
the zoning district if located
outside the setback area.

Access door: 4'-0"
Foundation: 3'-6"
Straight: 3'-0"
6"
12"

Project:	Date:	Exposed Height	Ground set	EDER FLAG 1000 W. Rawson Avenue Oak Creek, WI 53154 www.ederflag.com
Location:	Job:	Overall Height	aluminum flagpole	
Contractor:	Revision:	Butt Diameter	ALLOY 6063T6	FINISH:
Customer:		Top Diameter	80 grit polish	
		Wall Thickness		
		Ships in 1 section		

Sign Plan_V2.pdf Markup Summary

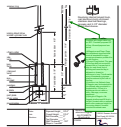
Linda.Nguyen (2)



Subject: Cloud+
Page Label: 7
Author: Linda.Nguyen
Date: 11/14/2022 5:16:26 PM
Status:
Color: ■
Layer:
Space:

Addressed.
Removed flag pole
from project. no
references or
details shown on
site plan.

Exposed height from grade?



Subject: Callout
Page Label: 7
Author: Linda.Nguyen
Date: 11/14/2022 5:37:42 PM
Status:
Color: ■
Layer:
Space:

Addressed.
Removed flag pole
from project. no
references or
details shown on
site plan.

Conflicts with height called out on SDP. Provided proposed SF of flag. Allowed/proposed see below.

- (d) Flagpoles and Flags. Flags are considered signs and shall meet all standards for signs except as otherwise provided for by this Section.
- (i) Area of Flag Limited. The area of the flag shall not exceed 40 square feet or 2 square feet of sign for each linear foot of building wall area the flag is adjacent or closest to, whichever is less. The allowable area of freestanding signage shall be reduced by the size of the flag.
- (ii) Intrusion into Setback Area. A flagpole may be located within the setback area provided it is located within 10 feet of a building and is not within a utility, drainage, or access easement.
- (iii) Height of Flagpole. No flagpole shall exceed 20 feet in height if located within a setback area or the maximum height for the zoning district if located outside the setback area.

El Paso County MS4 Post Construction Detention / Water Quality Facility Documentation Form

This document **must be completed and submitted** with required attachments to the County for projects requiring a detention and/or a water quality facility. A separate completed form must be submitted for each facility.

Project name:

Owner name:

Location Address:

Latitude and Longitude:

Assessor's Parcel #: Section: Township: Range:

Expected Completion date:

Project acreage: Design Ponding Acres: Design Storm:

Design Engineer Email Address:

To ensure compliance with C.R.S. 37-92-602(8), the completed Stormwater Detention and Infiltration Design Data Sheet **must be attached**. The form can be found here: <https://maperture.digitaldataservices.com/gvh/?viewer=cswdif#> (click on Download SDI Design Data Sheet)

replaced "infiltrator" with "isolation"

List all permanent water quality control measure(s) (EDBs, rain gardens, etc):

revise to "isolation"

For all projects for which the constrained redevelopment sites standard is applied, provide an explanation of why it is not practicable to meet the full design standards.

Attach Operations and Maintenance (O&M) Plan describing the operation and maintenance procedures that ensure the long-term observation, maintenance, and operation of control measure(s), including routine inspection frequencies and maintenance activities. If multiple, different water quality control measures are used at the same location, a separate O & M Plan must be provided for each facility.

Attach Private Detention Basin / Stormwater Quality Best Management Practice Maintenance Agreement and Easement addressing maintenance of BMPs that shall be binding on all subsequent owners of the permanent BMPs.

- Attachments:**
- Stormwater Detention and Infiltration Design Data Sheet
 - O & M Plan
 - Maintenance and Access Agreement

Review Engineer
EPC Project File No.

Added "PPR2225"

Added Project #

Post Construction Stormwater Management Applicability Evaluation Form

This form is to be used by the Engineer of Record to evaluate applicable construction activities to determine if the activities are eligible for an exclusion to permanent stormwater quality management requirements. Additionally Part III of the form is used to identify and document which allowable control measure design standard is used for the structure.

Part I. Project Information	
1. Project Name: Kum and Go Gas and C-Store	
2. El Paso County Project #: 21-146 Kum and Go <small>Add text: PPR2229</small>	3. ESQCP #:
4. Project Location: 675 Security Blvd, Colorado Springs, El Paso County, CO 80911	Project Location in MS4 Permit Area (Y or N): Y
5. Project Description: Kum & Go convenience store with 6 MDP fueling canopy and it's associated parking, landscape and drive aisles.	
If project is located within the El Paso County MS4 Permit Area, please provide copy of this completed form to the Stormwater Quality Coordinator for reporting purposes; and save completed form with project file.	

Part II. Exclusion Evaluation: Determine if Post-Construction Stormwater Management exclusion criteria are met. Note: Questions A thru K directly correlate to the MS4 permit Part I.E.4.a.i (A) thru (K). If Yes, to any of the following questions, then mark Not Applicable in Part III, Question 2.				
Questions	Yes	No	Not Applicable	Notes:
A. Is this project a "Pavement Management Site" as defined in Permit Part I E.4.a.i. (A)?			N/A	This exclusion applies to "roadways" only. Areas used primarily for parking or access to parking are not included.
B. Is the project "Excluded Roadway Development"?				
• Does the site add less than 1 acre of paved area per mile?			N/A	
• Does the site add 8.25 feet or less of paved width at any location to the existing roadway?			N/A	
C. Does the project increase the width of the existing roadway by less than 2 times the existing width?			N/A	For redevelopment of existing roadways, only the area of the existing roadway is excluded from post-construction requirements when the site does not increase the width by two times or more. <i>This exclusion only excludes the original roadway area it does NOT apply to entire project.</i>
D. Is the project considered an aboveground and Underground Utilities activity?	Yes			Activity can NOT permanently alter the terrain, ground cover or drainage patterns from those present prior to the activity
E. Is the project considered a "Large Lot Single-Family Site"?		No		Must be a single-residential lot or agricultural zoned land, ≥ 2.5 acres per dwelling and total lot impervious area < 10 percent.

Revised to "No"

Revise to "No." This exclusion only applies to projects that are exclusively trench and cover utility projects.

Questions (cont'd)	Yes	No	Not Applicable	Notes
F. Do Non-Residential or Non-Commercial Infiltration Conditions exist? Post-development surface conditions do not result in concentrated stormwater flow or surface water discharge during an 80 th percentile stormwater runoff event.		No		Exclusion does not apply to residential or commercial sites for buildings. A site specific study is required and must show: rainfall and soil conditions; allowable slopes; surface conditions; and ratios of imperviousness area to pervious area.
G. Is the project land disturbance to Undeveloped Land where undeveloped land remains undeveloped following the activity?		No		Project must be on land with no human made structures such as buildings or pavement.
H. Is the project a Stream Stabilization Site?		No		Standalone stream stabilization projects are excluded.
I. Is the project a bike or pedestrian trail?		No		Bike lanes for roadways are not included in this exclusion, but may qualify if part of larger roadway activity is excluded in A, B or C above.
J. Is the project Oil and Gas Exploration?		No		Activities and facilities associated with oil and gas exploration are excluded.
K. Is the project in a County Growth Area?				Note, El Paso County does not apply this exclusion. All Applicable Construction Activity in El Paso County must comply the Post-Construction Stormwater Management criteria.

Part III. Post Construction (Permanent) Stormwater Control Determination		
Questions	Yes	No
1. Is project an Applicable Construction Activity?	Yes	
2. Do any of the Exclusions (A-K in Part II) apply?		X
<p>If the project is an Applicable Construction Activity and no Exclusions apply then Post-Construction (Permanent) Stormwater Management is required. Complete the applicable sections of Part IV below and then coordinate signatures for form and place in project file.</p> <p>If the project is not an Applicable Construction Activity, or Exclusion(s) apply then Post-Construction (Permanent) Stormwater Management is NOT required. Coordinate signatures for form and place in project file.</p>		

State that this is "No"

Added "No" here

Part IV: Onsite PWQ Requirements, Documentation and Considerations	Yes	No
1. Check which Design Standard(s) the project will utilize. Standards align with Control Measure Requirements identified in permit Part I.E.4.a.iv.		
A. Water Quality Capture Volume (WQCV) Standard	X	
B. Pollutant Removal/80% Total Suspended Solids Removal (TSS)		X
C. Runoff Reduction Standard		X
D. Applicable Development Site Draining to a Regional WQCV Control Measure		X
E. Applicable Development Site Draining to a Regional WQCV Facility		X
F. Constrained Redevelopment Sites Standard		X
G. Previous Permit Term Standard		X
2. Will any of the project permanent stormwater control measure(s) be maintained by another MS4? If Yes, you must obtain a structure specific maintenance agreement with the other MS4 prior to advertisement.		X
3. Will any of the project permanent stormwater control measures be maintained by a private entity or quasi-governmental agency (e.g. HOA or Special District, respectively)? If Yes, a Private Detention Basin/Stormwater Quality Best Management Practice Maintenance Agreement and Easement must be recorded with the El Paso County Clerk and Recorder.	X	

Part V Notes (attach an additional sheet if you need more space)

Project design is complete to include the project design, construction plans, drainage report, specifications, and maintenance and access agreements as required. The engineering, drainage considerations and information used to complete these documents is complete, true, and accurate to the best of my belief and knowledge.

Signature and Stamp of Engineer of Record

Date

Post-Construction Stormwater Management Applicability Form has been reviewed and the project design, construction plans, drainage report, specifications, and maintenance and access agreements as required, have been reviewed for compliance with the Post Construction Stormwater Management process and MS4 Permit requirements.

Signature of El Paso County Project Engineer

Date

Dylan Jones

From: Dylan Jones
Sent: Monday, December 12, 2022 4:53 PM
To: Brandon Bernard
Cc: Krysta Houtchens
Subject: Kum & Go EDARP Plans - Follow Up Questions 2022-12-12
Attachments: 23-C5.3 - Utility Details.pdf; 24-C5.3 - Utility Details.pdf; 25-C5.4 - Utility Notes.pdf; 21-C5.1 - Utility Plan.pdf; 22-C5.2 - Utility Profiles.pdf; 03-C1.0 - Exist-Demo.pdf; 34-C8.4 - Floor Plan.pdf

Hi Brandon,

Follow up here after receiving your recent review comments for the Kum and Go project in El Paso County back on November 2nd.

This is not a formal submittal – I am checking in with you to see if you could help me confirm I have all your comments addressed correctly so we don't run into any snags later on. Been working with El Paso County to address all the engineering and drainage comments, we are trying to get this project approved with the next submittal.

I have worked through all the SWSD review comments I could without having questions. Below I have provided actions/responses to the provided review comments. The attached pdfs are updated per addressing the recent SWSD review comments and are ready for submittal unless we need to modify / add information. If you could please take a look and let me know if you have any additional comments before we submit this next go round that would be great – if this is not something you typically do please let me know. I am just trying to make sure we have everything correct to avoid another round of comments and another submittal before being approved for construction.

We received a few comments from the Building Department about the Utility Plans - First one is pertaining to the existing water services for the parcel, I know of one which is called out to be abandoned per interaction you and I had a while back, but for the second service I had no knowledge of this prior to receiving this recent comment. Note 12 on Sheet C1.0 covers the first service being abandoned. The second service doesn't show up with the survey we hired out for, would you be able to help me identify this 2nd service to note up accordingly on the plans? Second comment is about "not installing a bypass on the 2" water meter" – not sure what to do with this one, just add a basic note on the Utility Plan? Third comment is about the trench cross section for water mains not being needed – got that out of there same as your review comment.

Couple of follow up questions here from the last round of review comments: First, the review comments about sheet 16 and the fixture plan not having a legend. I am not sure what sheet is being described here, we had sheet 16 as Grading and Erosion Control Details with the last submittal. I have attached the floor plan (sheet 34 C8.4) to this email for confirmation it is the sheet you were talking about in the review comment – is this the fixture plan you would like to see a legend on plan? Second, I don't have a size for the Irrigation Meter, we have Irrigation Plans now but they do not call out a size for the meter anywhere. Where do you want to see the irrigation meter size called out? On the irrigation plans?

If you have time, I will be available tomorrow for call to discuss these questions if needed. Wednesday thru Friday I will be out of office.

Cell Phone is 208-603-1264, signature card is also below.

Thanks for your time.

Dylan

SWSD Utility Plan Comments:

- Comments from BLDG Dept. – Two existing services to abandon, not one. Verify where 2nd service is located. [Need some help with this one.](#)
- Comments from BLDG Dept. – Do not install a bypass on the 2-inch meter [With this being a BLDG Dept Comment do you need to chime in on this at all? Add a simple note to Utility Plan and all good?](#)
- Comments from BLDG Dept. – trench cross section for water mains is not needed. **Removed Detail.**
- SWSD prefers the irrigation meter be tapped prior to the domestic meter and then both services will need backflow devices after the meters. **We have notes 4, 5 and 6 on the Utility Plan that talk about this and refer to mechanical plans for continuation. Is this acceptable?**
- SWSD prefers proposed 2" water meter be located inside the building (mechanical room). **Concur, talked about in Note 6 on Utility Plan. Is this acceptable?**
- I have the address as 675 Security Blvd. **Per coordination with PPRBD the assigned address is 304 Main Street. Updated ALL plans to include this address.**
- Sheet 16 of the fixture plan has no legend to coincide with the labels on the drawing. [Need clarification for which sheet this is – Sheet 16 doesn't match up with our sheet numbering. See sheet 34 in attachments – is this the Fixture Plan you are referring to ?](#)
- There are no water and sewer service profile or plan drawings. **There are now – see added Utility Profiles sheet C5.2.**
 - This is important especially for the sewer service as it crosses the water main on Security Blvd. **Added Plan and Profile Sheet with both Sewer Service and Water Service to Utility Plans.**
- What size will the domestic water meter and irrigation meter be? **2 inch Domestic – Not sure about Irrigation. Irrigation Plans do not call out Irrigation Meter Size, should this detail be included on Utility Plan or Irrigation Plans?**
- The bedding spec for the wastewater service line is incorrect on sheet 9 of the Civil Site Details. Please see the attached. **Replaced detail with the attached in your review comment email from November 2nd.**
- There is no need for a bedding spec for a PVC water main on sheet 9 of the Civil Site Details. **Removed detail.**

Screenshot from Bldg Dept Comments:

1. There are two (2) existing water service lines that need to be abandoned per Security Water District spe

RESPONSE: NOTED

2. Do not install a bypass on the 2" meter - the Trench Cross Section for water mains is not needed

RESPONSE: NOTED

Dylan Jones

Project Manager

EES

O 303-572-7997, ext. 218

D 720-594-7648

C 208-603-1264

WE'RE MOVING! OUR OFFICE WILL BE CLOSED 1/13/23.

From: Brandon Bernard <b.bernard@securitywsd.com>

Sent: Wednesday, November 2, 2022 8:10 AM

To: Dylan Jones <Dylan.Jones@ees.us.com>

Subject: Kum & Go EDARP Plans

Hi Dylan:

Here are some comments on the Kum & Go drawings on EDARP:

- I have the address as 675 Security Blvd.
- Sheet 16 of the fixture plan has no legend to coincide with the labels on the drawing.
- There are no water and sewer service profile or plan drawings.
 - This is important especially for the sewer service as it crosses the water main on Security Blvd.
- What size will the domestic water meter and irrigation meter be?
- The bedding spec for the wastewater service line is incorrect on sheet 9 of the Civil Site Details. Please see the attached.
- There is no need for a bedding spec for a PVC water main on sheet 9 of the Civil Site Details.

That will be all for now.

Sincerely,

Brandon Bernard

Operations Manager of Water and Wastewater

Security Water and Sanitation Districts

231 Security Blvd

Colorado Springs, CO 80911

Office- 719-392-3475

Cell- 719-464-2051

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