

**SPACE VILLAGE FILING NO. 4**  
 A PORTION OF THE NW 1/4 OF SEC. 17, T14S,  
 R65W, OF THE 6th P.M., EL PASO COUNTY, COLORADO  
 DEVELOPMENT PLAN

**DEVELOPER**

HAMPTON YARDS  
 201 FILLMORE ST, SUITE 201  
 DENVER, CO 80206  
 (303) 694-1085  
 CONTACT: TUCKER ROBINSON

**CIVIL ENGINEER**

STERLING DESIGN ASSOCIATES, LLC  
 2009 W. LITTLETON BLVD, SUITE 300  
 LITTLETON, CO 80120  
 (303) 794-4727  
 CONTACT: JAY NEWELL, PE

**SURVEYOR**

ALTURA LAND CONSULTANTS  
 6551 SOUTH REVERE PARKWAY, SUITE 165  
 CENTENNIAL, CO 80111  
 (303) 921-9537  
 CONTACT: MARTIN BRAUNS, PLS

**CONTRACTOR**

COMMERCIAL BUILDING SERVICES  
 7561 S. GRANT ST, SUITE A-4  
 LITTLETON, CO 80122  
 (303) 730-3001  
 CONTACT: DAVID SPRATLEN, AIA

**LANDSCAPE ARCHITECT**

STERLING DESIGN ASSOCIATES, LLC  
 2009 W. LITTLETON BLVD, SUITE 300  
 LITTLETON, CO 80120  
 (303) 794-4727  
 CONTACT: JON SPENCER, PLA

**AGENCY REFERRALS**

**PLANNING & COMMUNITY DEVELOPMENT**  
 2880 INTERNATIONAL CIRCLE, SUITE 110  
 COLORADO SPRINGS, CO 80910  
 (719) 520-6300  
 CONTACT: ASHLYN MATHY

**COLORADO SPRINGS UTILITIES**  
 1521 S HANCOCK EXPY., MC 1812  
 COLORADO SPRINGS, CO 80903  
 CONTACT: BLANCHE LUDIKER  
 (719) 668-8161

**PIKES PEAK REGIONAL BUILDING DEPARTMENT**  
 2880 INTERNATIONAL CIRCLE  
 COLORADO SPRINGS, CO 80910  
 CONTACT: -  
 (719) 327-2880

**CIMARRON HILLS FIRE DEPARTMENT**  
 1835 TUSKEGEE PLACE  
 COLORADO SPRINGS, CO 80915  
 CONTACT: CHIEF JOHN (J.T.) McLEOD  
 (719) 591-0960

**PLANNING & COMMUNITY DEVELOPMENT**  
 2880 INTERNATIONAL CIRCLE, SUITE 110  
 COLORADO SPRINGS, CO 80910  
 CONTACT: DANIEL TORRES, ENGINEER III  
 (719) 520-6305

**CHEROKEE METROPOLITAN DISTRICT**  
 6250 PALMER PARK BLVD,  
 COLORADO SPRINGS, CO 80915  
 CONTACT: KEVIN BROWN  
 (719) 597-5080

**LEGAL DESCRIPTION**

LOTS 1 AND 2, SPACE VILLAGE FILING NO. 4  
 EL PASO COUNTY, COLORADO

**BASIS OF BEARINGS**

BEARINGS ARE BASED ON A PORTION OF THE NORTHERLY LINE OF THE NORTHWEST 1/4 OF SECTION 17, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPLE MERIDIAN, PER THE PLAT OF COWPERWOOD SAIC RECORDED AUGUST 9, 2005 AT RECEPTION NO. 205122346 IN THE OFFICE OF THE CLERK AND RECORDER FOR THE COUNTY OF EL PASO, STATE OF COLORADO, WHICH BEARS SOUTH 89°53'54" EAST BETWEEN THE MONUMENTS SHOWN AND DESCRIBED HEREON.

**BENCHMARK**

NGS BENCH MARK "R 76"

LOCATED 0.2 MILE EAST ALONG HIGHWAY 94 FROM PETERSON ROAD, 22 FEET SOUTH-SOUTHEAST OF THE SOUTHEAST CORNER OF AN ADDITION TO THE BUILDING (SANDY'S RESTAURANT), 48 FEET NORTH OF THE CENTERLINE OF THE HIGHWAY, 3.5 FEET SOUTH OF A POWER POLE AND 3 FEET SOUTH OF A FIBERGLASS WITNESS POST.

ELEVATION = 6289.86 FEET (NAVD 1988)

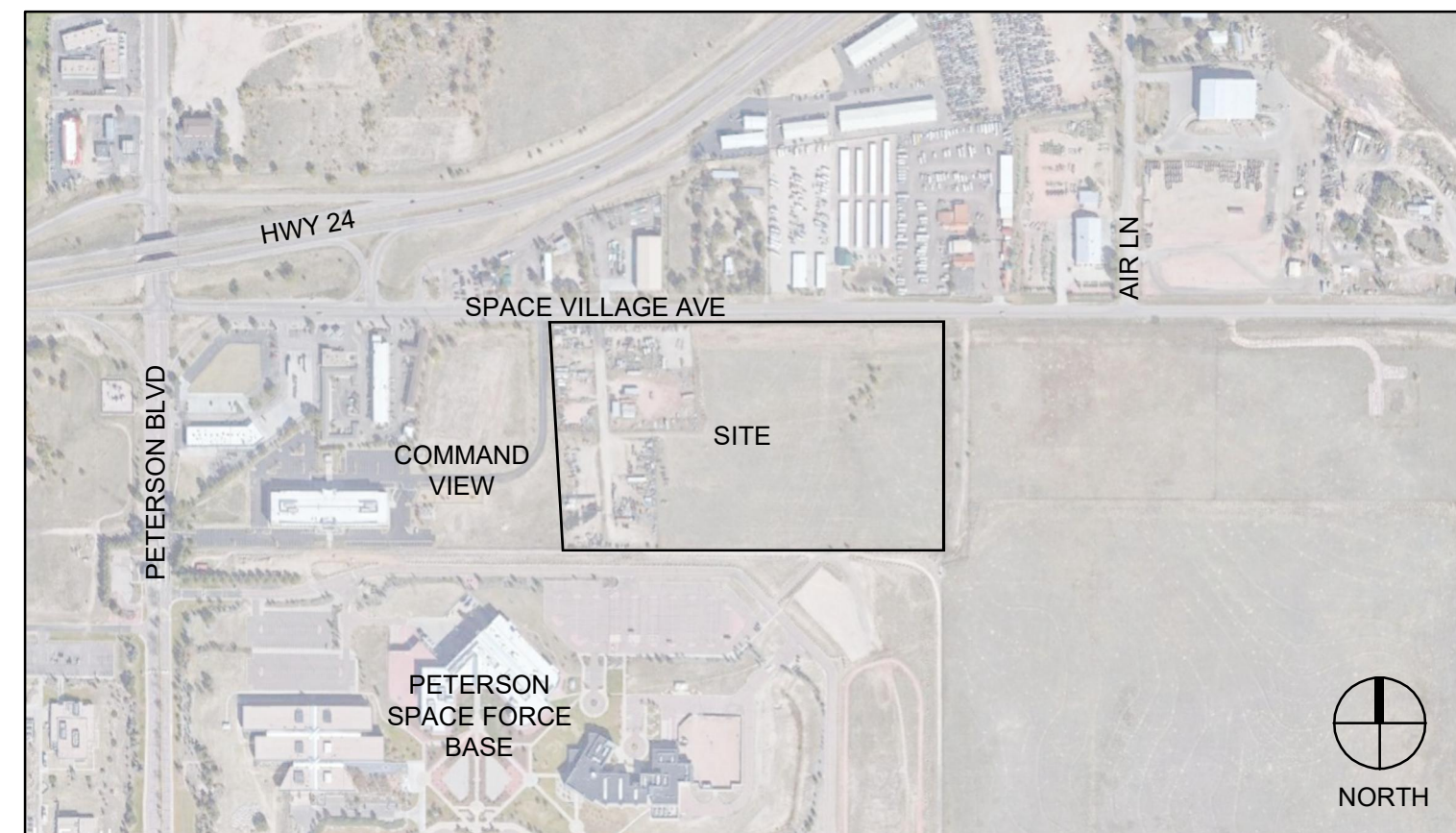
**FLOODPLAIN**

ZONE X; "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN." AS SHOWN ON FEMA FIRM MAP NO. 08041C0754G, EFFECTIVE DATE, DECEMBER 7, 2018.

**ACCESSIBLE DESIGN NOTE**

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

**VICINITY MAP**



**SHEET INDEX**

- 1 COVER SHEET
- 2 SITE PLAN
- 3 LANDSCAPE PLAN
- 4 LANDSCAPE NOTES AND DETAILS
- 5 PHOTOMETRIC PLAN

**SITE DATA CHART**

	EXISTING CONDITIONS	PROPOSED CONDITIONS
OVERALL LOT AREA	22.8 ACRES (993,182 SF)	-
LOT 1 AREA	-	±11.233 ACRES (489,304 SF)
LOT 2 AREA	-	±11.587 ACRES (504,715 SF)
ZONING	I-3 CAD-O	NO CHANGE
LAND USE	INDUSTRIAL, OUTSIDE STORAGE	NO CHANGE
LOT 1 AREA COVERAGE	0%	0% (25% MAX PERMITTED)
LOT 2 AREA COVERAGE	0%	0% (25% MAX PERMITTED)
LOT 1 OPEN SPACE	0%	17%
LOT 2 OPEN SPACE	0%	27%
LOT 1 LANDSCAPE AREA	5%	17% (84,945 SF)
LOT 2 LANDSCAPE AREA	5%	27% (135,851 SF)
IMPERMEABLE SURFACE AREA (LOT 1)	-	0.007% (3,337 SF)
IMPERMEABLE SURFACE AREA (LOT 2)	-	0.007% (3,281 SF)
PARKING SPACES	-	0

\*NO BUILDINGS OR FORMAL PARKING LOTS ARE PROPOSED. IF DEVELOPER/OWNER DECIDES TO DEVELOP BUILDINGS AND PARKING AREAS AT A FUTURE DATE, LANDSCAPING SHALL BE UPDATED TO MEET THE EL PASO COUNTY CODE REQUIREMENTS.

**SUBMITTALS**

INITIAL: NOVEMBER 21, 2022

REVISED: -

REVISED: -



PREPARED UNDER THE DIRECT SUPERVISION OF  
 JONATHAN SPENCER, PLA  
 COLORADO REGISTRATION # 111  
 FOR & ON BEHALF OF STERLING DESIGN ASSOCIATES, LLC

STERLING DESIGN ASSOCIATES, LLC

ISSUES & REVISIONS	
NO: 1	DATE: - BY: -
DESCRIPTION: -	
NO: 2	DATE: - BY: -
DESCRIPTION: -	
NO: 3	DATE: - BY: -
DESCRIPTION: -	
NO: 4	DATE: - BY: -
DESCRIPTION: -	
NO: 5	DATE: - BY: -
DESCRIPTION: -	
NO: 6	DATE: - BY: -
DESCRIPTION: -	

DATE: -	SCALE: NTS
PROJECT MANAGER: JDS	PROJECT NO.:
DRAWN BY: JDS	DRAWING FILE:

**7113 (LOT 1) AND 7233 (LOT 2)  
 SPACE VILLAGE AVENUE  
 SPACE VILLAGE FILING NO. 4  
 EL PASO COUNTY, CO**

**EL PASO COUNTY PLANNING AND COMMUNITY  
 DEVELOPMENT DIRECTOR SIGNATURE BLOCK**

CLIENT:  
 COMMERCIAL BUILDING SERVICES  
 7561 S. GRANT STR., SUITE A-4  
 LITTLETON, COLORADO 80122

TEL: (303) 730-3001

SHEET TITLE:  
**COVER SHEET**

SHEET NUMBER:

**1 OF 5**  
**PCD FILE NO. PPR-23-003**

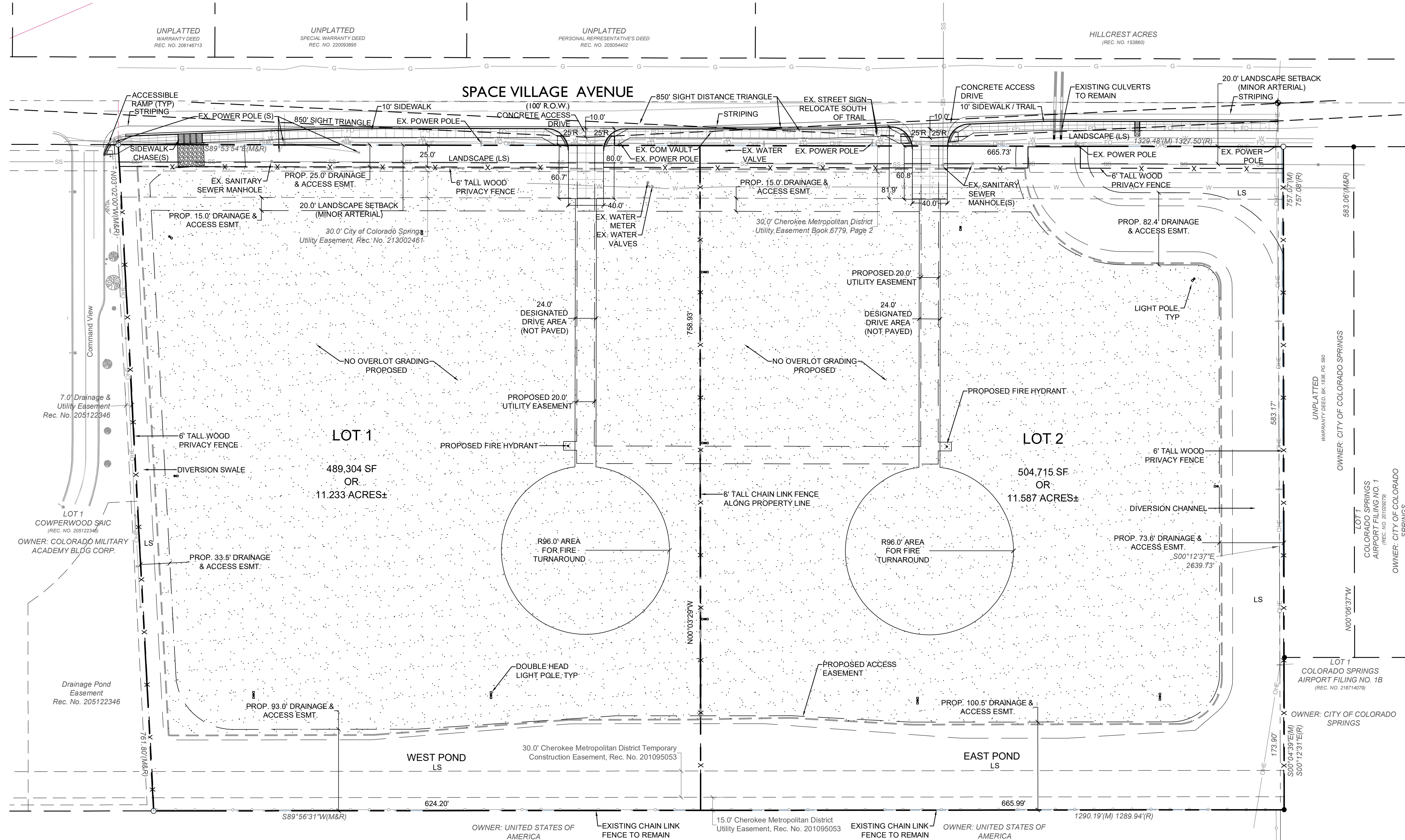


PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR

DATE

# SPACE VILLAGE FILING NO. 4

## A PORTION OF THE NW 1/4 OF SEC. 17, T14S, R65W, OF THE 6th P.M., EL PASO COUNTY, COLORADO DEVELOPMENT PLAN



### FENCING NOTE

6' TALL WOOD PRIVACY FENCING IS PROPOSED ALONG THE NORTH, WEST, AND EAST PROPERTY LINES TO PROVIDE OPAQUE SCREENING AS REQUIRED PER THE EL PASO COUNTY LDC HOWEVER, THE EXISTING CHAIN LINK FENCING ALONG THE SOUTHERN BORDER WILL REMAIN FOR SECURITY REASONS.

THIS IS BASED ON THE OUTCOME OF A MEETING BETWEEN THE DEVELOPER AND THE PETERSON SPACE FORCE BASE COMMUNITY PLANNER AND BASE ENGINEERING PERSONNEL ON JULY 11, 2022.

### ROADWAY NOTE

THE CITY OF COLORADO SPRINGS NOW HAS APPROVAL AUTHORITY FOR ANY PUBLIC IMPROVEMENTS WITHIN THE R.O.W. OF SPACE VILLAGE AVENUE. IMPROVEMENTS SHOWN ON THESE PLANS ARE FOR REFERENCE ONLY.

### SITE CIRCULATION AND LAYOUT

- THE SITE IS PROPOSED FOR OUTSIDE STORAGE FOR A CONTRACTORS EQUIPMENT YARD, AN ALLOWED USE PER TABLE 5.1 OF THE EL PASO COUNTY LDC.
- THE PROPOSED USE DOES NOT INCLUDE ANY STRUCTURES OR DESIGNATED OFF-STREET PARKING, LOADING, OR OTHER VEHICULAR USE AREAS.
- THERE ARE NO PROPOSED DUMPSTERS.
- SITE CIRCULATION WILL BE DRIVEN BY EACH CONTRACTOR HOWEVER WILL REVOLVE AROUND A CENTRAL SPINE ADJACENT TO THE PROPOSED FIRE HYDRANTS AND REQUIRED 96' FIRE TURN AROUND AREA.
- "NO-BUILD" AREAS ARE GENERALLY ALONG THE PERIMETER OF THE SITE WHERE LANDSCAPING AND DRAINAGE FACILITIES ARE LOCATED.

### LEGEND

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	EASEMENT LINE
	EXIST. MAJOR CONTOUR
	EXIST. MINOR CONTOUR
	PROP. CONTOUR
	EXIST. FENCE
	EXIST. EDGE OF ASPHALT
	EXIST. CURB AND GUTTER
	PROP. CONCRETE
	EXIST. OVERHEAD ELECTRIC
	EXIST. SANITARY SEWER
	EXIST. WATERLINE
	EXIST. GAS LINE
	EXIST. ELECTRIC
	EXIST. TELEPHONE
	EXIST. FIBER OPTIC

### DEVELOPER

HAMPTON YARDS  
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(303) 694-1066  
tucker@hamptonpartners.net  
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### LANDSCAPE ARCHITECT

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jon@sterlingdesignassociates.com  
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### CONTRACTOR

COMMERCIAL BUILDING SERVICES  
7561 S. GRANT ST., SUITE A-4  
LITTLETON, CO 80122  
(303) 730-3001  
david@cbconstruction.com  
CONTACT: DAVID SPRATLEN



PREPARED UNDER THE DIRECT SUPERVISION OF  
JONATHAN SPENCER, PLA  
COLORADO REGISTRATION # 111  
FOR & ON BEHALF OF STERLING DESIGN ASSOCIATES, LLC

### STERLING DESIGN ASSOCIATES, LLC

ISSUES & REVISIONS	NO.	DATE	BY
DESCRIPTION:	NO: 1	DATE:	BY:
DESCRIPTION:	NO: 2	DATE:	BY:
DESCRIPTION:	NO: 3	DATE:	BY:
DESCRIPTION:	NO: 4	DATE:	BY:
DESCRIPTION:	NO: 5	DATE:	BY:
DESCRIPTION:	NO: 6	DATE:	BY:

DATE: **JUNE 13, 2023** SCALE: **1" = 60'**

PROJECT MANAGER: **JDS** PROJECT NO.:

DRAWN BY: **JDS** DRAWING FILE:

PROJECT:

**7113 (LOT 1) AND 7233 (LOT 2)  
SPACE VILLAGE AVENUE  
SPACE VILLAGE FILING NO. 4  
EL PASO COUNTY, CO**

CLIENT:  
COMMERCIAL BUILDING SERVICES  
7561 S. GRANT STR., SUITE A-4  
LITTLETON, COLORADO 80122

TEL: (303) 730-3001

SHEET TITLE:  
**SITE PLAN**

SHEET NUMBER:

**2 OF 5**  
**PCD FILE NO. PPR-23-003**



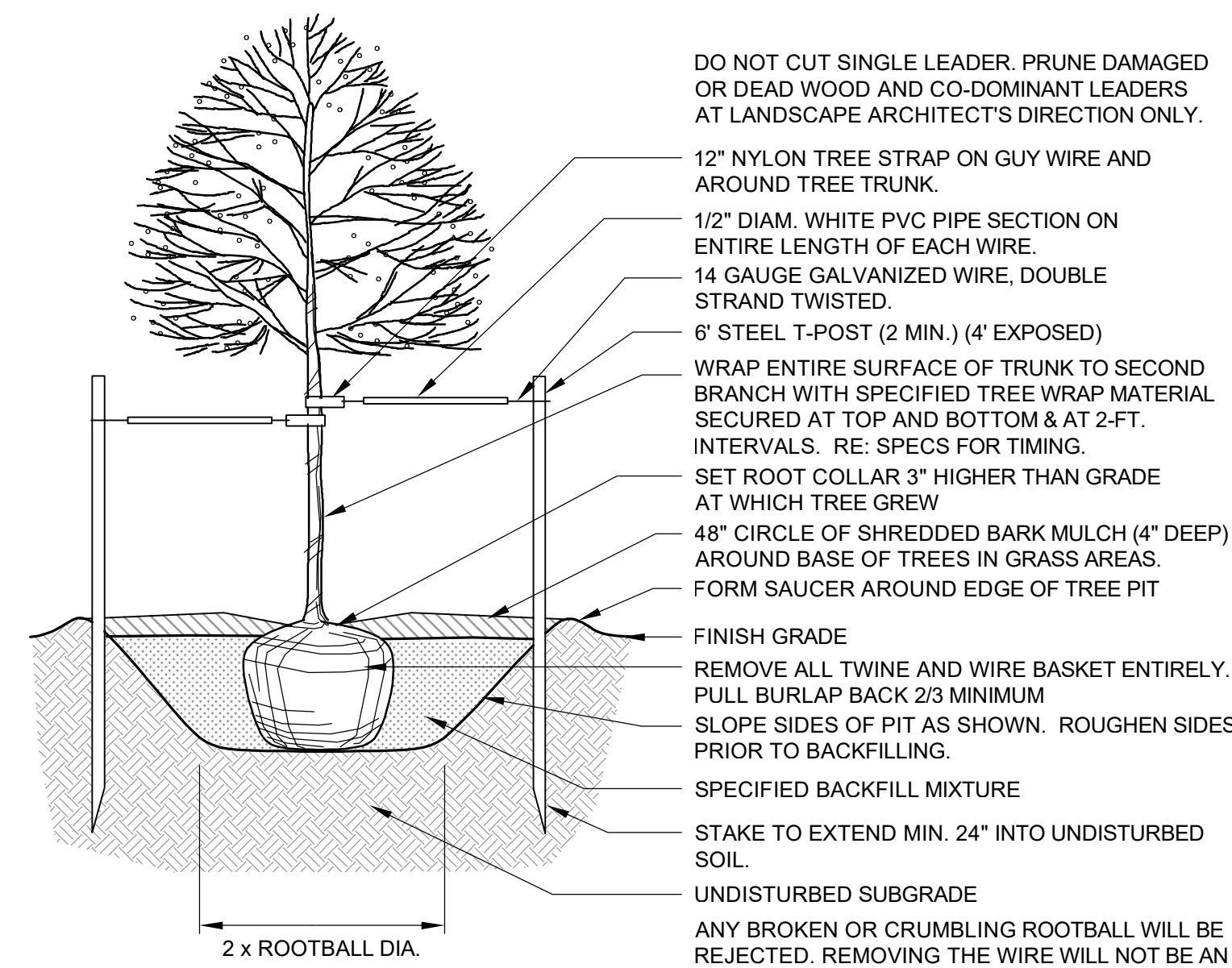
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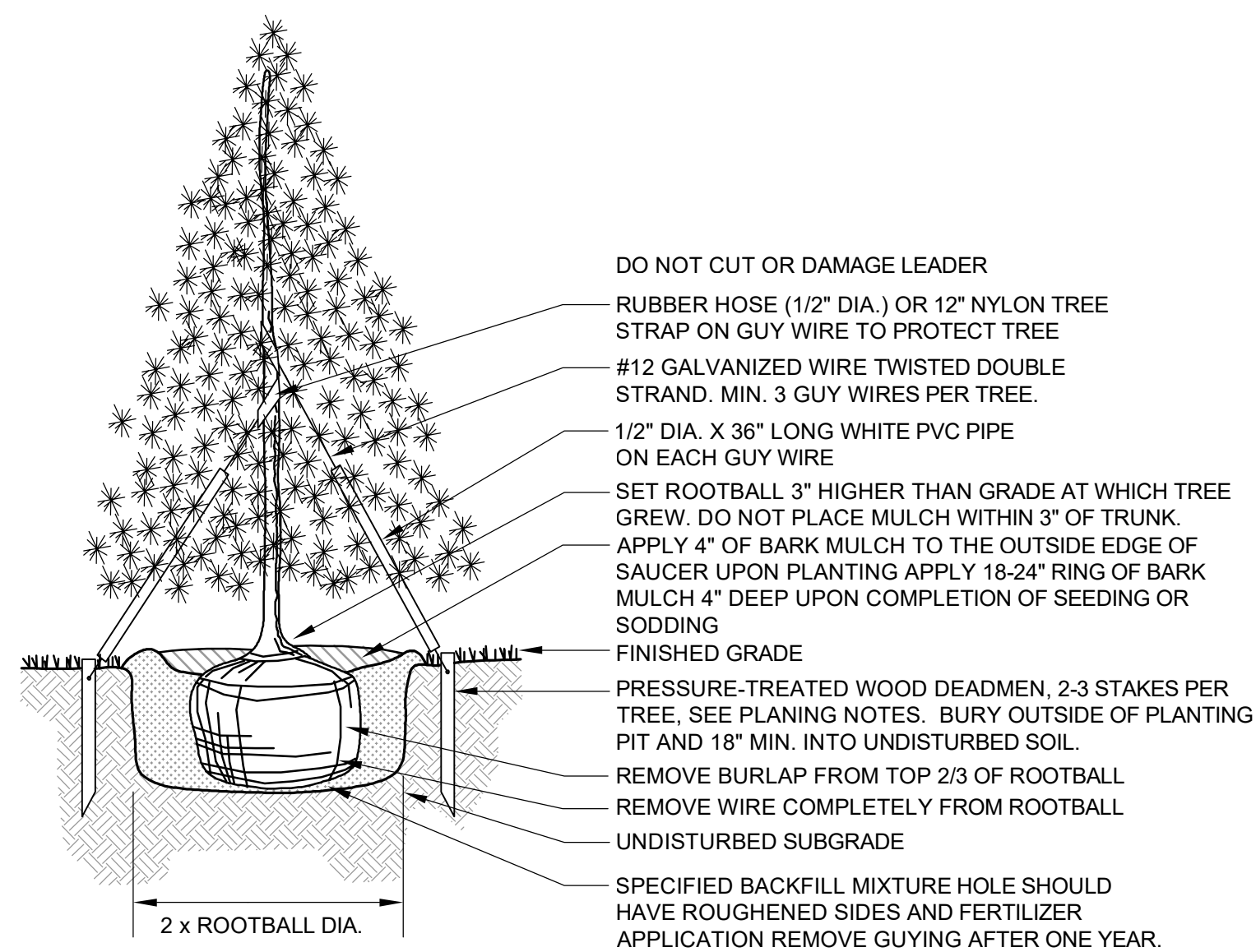
### LANDSCAPE NOTES

- COORDINATION:**  
THIS LANDSCAPE ARCHITECTURAL SITE PLAN IS TO BE USED IN CONJUNCTION WITH THE CIVIL, ARCHITECTURAL, MECHANICAL, ELECTRICAL, STRUCTURAL AND IRRIGATION PLANS AND SPECIFICATIONS TO FORM COMPLETE INFORMATION REGARDING THIS SITE.
- COMPLIANCE:**  
CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES.
- GUARANTEE:**  
ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR ONE YEAR, FROM DATE OF FINAL ACCEPTANCE, AT NO ADDITIONAL COST TO THE OWNER.
- COMPLETION AND MAINTENANCE:**
  - FINAL ACCEPTANCE:** WITHIN TEN DAYS OF CONTRACTOR'S NOTICE THAT THE ENTIRE PROJECT IS COMPLETE, THE L.A. SHALL REVIEW INSTALLATION. IF FINAL ACCEPTANCE IS NOT GIVEN, THE L.A. SHALL PREPARE A PUNCH LIST OF PENDING ITEMS. THE PUNCH LIST ITEMS SHALL BE COMPLETED BY THE CONTRACTOR WITHIN TEN CALENDAR DAYS FROM DATE ISSUED. SUBSEQUENT REVIEW AND APPROVAL SHALL SIGNIFY ACCEPTANCE.
  - MAINTENANCE:** ALL LANDSCAPING SHALL BE MAINTAINED FROM INSTALLATION TO FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, ROLLING, REGRADING, REPLANTING, DISEASE AND INSECT PROTECTION.
- SITE CONDITIONS:**  
LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. DO NOT PROCEED UNTIL CONDITIONS ARE CORRECTED. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINISHED GRADES AND POSITIVE DRAINAGE IN LANDSCAPE AREAS.
- DAMAGE AND CLEANING:**
  - CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED DUE TO THIS WORK AT NO ADDITIONAL COST TO THE OWNER.
  - CONTRACTOR SHALL CLEAN ALL AREAS DUE TO THIS WORK AND PROPERLY REMOVE ALL UNUSED MATERIALS FROM SITE.
- RIGHT OF REJECTION:**  
OWNER/LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY MATERIALS AT ANY TIME. ALL PLANT MATERIALS SHALL MEET THE MINIMUM CURRENT "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN. CONTRACTOR SHALL PROVIDE SAMPLES, SPECS., AND OR TAGS FOR ALL MATERIALS.
- SOIL PREPARATION:**  
SOD, NATIVE SEED, AND SHRUB BED AREAS SHALL RECEIVE SIX INCHES OF APPROVED TOPSOIL. PER CSU'S SOIL ANALYSIS PREPARED 4/29/22. DO NOT APPLY ANY SOIL AMENDMENTS SUCH AS MANURE AND COMPOST. APPLY 1.3 LB. N PER 1,000 SQ. FT. THREE TIMES DURING THE GROWING SEASON (MID-MARCH-APRIL, MAY-MID-JUNE AND LATE SEPTEMBER-EARLY OCTOBER), APPLY 2.7 LB P205, 0.2 LB ZN, 0.04 LB FE2SO4 (IRON

- SULFATE), 0.02 LB MN, 0.1 LB CU, AND 0.01 LB B PER 1,000 SQ. FT. AT PLANTING OR BEGINNING OF GROWING SEASON. SEVERAL APPLICATIONS MAY BE REQUIRED DURING THE FIRST GROWING SEASON. ROTOTILL FERTILIZER AND TOPSOIL TO INCORPORATE AMENDMENTS AND COUNTER ANY COMPACTION OR SOIL CONSOLIDATION IN ALL LANDSCAPE PLANTING AREAS. VERIFY SOIL PREP SPECIFICATIONS WITH WATER PROVIDER STANDARDS. PROVIDE EVIDENCE OF APPLICATION AS REQUIRED. TEST SOIL IN EXISTING ASPHALT AREAS FOR STERILANT USE. IF STERILANTS ARE FOUND PRESENT, REMOVE ALL CONTAMINATED SOIL AND REPLACE WITH NEW TOPSOIL.**
- PLANTING:**  
TREES AND SHRUBS SHALL BE PLANTED PER DETAILS. STAKE AND GUY TREES PER DETAILS. TREE AND SHRUB BED LOCATIONS SHALL BE APPROVED PRIOR TO PLANTING. BACKFILL WITH 1/3 SOIL AMENDMENT AND 2/3 SITE SOIL, THOROUGHLY MIXED. FERTILIZE AS RECOMMENDED WITH AGRIFORM TABLETS.
- SEEDING:**  
SEE NOTES BELOW FOR SEEDING. NO SEED IN BOTTOM OF PONDS.
- EDGER:**  
INSTALL 4" ROLL-TOP RYERSON STEEL EDGING (14 GAUGE WITH GREEN FINISH) OR EQUAL. INSTALL WITH STAKES AND SPLICERS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL BETWEEN ALL SOD OR SEEDED AREAS AND MULCHED AREAS.
- MULCH:**  
INSTALL A MINIMUM 4" THICK MINIMUM LAYER OF MULCH AS SPECIFIED IN THE LEGEND. INSTALL A 3" THICK RING OF DOUBLE SHREDDED CEDAR BARK MULCH AROUND ALL PLANT MATERIAL IN ROCK MULCH BEDS WHERE LANDSCAPING IS SHOWN ON THE PLANS. WOOD MULCH RING SIZE SHALL BE THE SIZE OF THE OF SHRUB, PERENNIAL, AND ORNAMENTAL GRASS'S CONTAINER/ROOTBALL. INSTALL WEED BARRIER FABRIC UNDER ALL ROCK AND WOOD MULCH SHRUB BEDS SPECIFIED ON THE PLANS ONLY. PULL WEED BARRIER AWAY FROM THE BASE OF SHRUBS AND TREES IN WOOD MULCH AREAS. NO PLASTIC WEED BARRIERS SHALL BE SPECIFIED. NO WEED BARRIER SHALL BE USED IN AREAS OF PERENNIAL FLOWER AND GROUND COVER PLANTINGS. (SUBMIT SAMPLES)
- MAINTENANCE:**  
THE PROPERTY OWNER OF RECORD, THE OWNER'S AGENT OR TENANT SHALL KEEP ALL LANDSCAPING IN A WELL MAINTAINED AND HEALTHY GROWING CONDITION.
- IRRIGATION:**  
ALL LANDSCAPE AREAS SHALL BE WATERED BY AN AUTOMATIC IRRIGATION SYSTEM TO INCLUDE IRRIGATION TO ALL PROPOSED PLANT MATERIAL. TURF AREAS LESS THAN 25' IN WIDTH SHALL BE IRRIGATED WITH A POP-UP SPRAY SYSTEM AND ALL TURF AREAS GREATER THAN 25' SHALL HAVE A ROTARY POP-UP HEAD SYSTEM PROVIDING HEAD TO HEAD COVERAGE, ALL SHRUB BEDS SHALL BE IRRIGATED USING A DRIP IRRIGATION SYSTEM, ZONED SEPARATE FROM TURF AREAS.



**SHADE TREE PLANTING 1**  
NOT TO SCALE



**EVERGREEN TREE PLANTING 2**  
NOT TO SCALE

### SEEDING NOTES

#### USDA NATURAL RESOURCES CONSERVATION SERVICE (NRCS) NATIVE SEED MIX

COMMON NAME	SCIENTIFIC NAME	GROWTH SEASON / FORM	% OF MIX	POUNDS PLS
BLUESTEM, BIG	ANDROPOGON GERARDII 'KAW'	WARM, BUNCH	20	2.18
BLUESTEM, LITTLE	SCHIZACHYRIUM SCOPARIUM 'PASTURA'	WARM, BUNCH	10	0.67
GRAMA, BLUE	BOULETELOUA GRACILIS 'HACHITA'	WARM, SOD	20	0.25
GRAMA, SIDEQATS	BOULETELOUA CURTIPENDULA 'VAUGHN'	WARM, SOD	10	0.91
INDIAN GRASS, YELLOW	SORGHASTRUM NUTANS 'CHEYENNE'	WARM, BUNCH/SOD	10	1.02
WHEATGRASS, WESTERN	PASCOPYRUM SMITHII 'ARRIBA'	COOL, SOD	20	3.20
SWITCHGRASS	PANICUM VIRGATUM 'BLACKWELL'	WARM, SOD	10	0.40
SANDSEED, PRAIRIE	CALIMOVILFA LONGIFOLIA 'GOSHEN'	WARM, SOD	10	0.64
			SEED RATE (LBS PLS/ACRE)	9.26

#### SEEDING SPECS.

SUBMIT ALL SEEDING, MULCHING, AND WATER SCHEDULE SPECIFICATIONS TO LANDSCAPE ARCHITECT FOR FINAL APPROVAL IN ACCORDANCE OF EL PASO COUNTY REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE TO ESTABLISH A HEALTHY AND WEED FREE STAND OF GRASS.

**SOIL PREP:** APPLY STOCKPILED TOPSOIL AND 100 LBS. OF DIAMMONIUM PHOSPHATE PER ACRE TO AN APPROVED SUBGRADE. USE A DISK OR HARROW TO PREPARE THE SEED BED AND COMPLETE FINISH GRADING.

**SEEDING:** APPLY SEED USING HYDROSEED/HYDROMULCH SLURRY AS SPECIFIED BY SEED PRODUCER OR USE A GRASS DRILL WITH A SEED AGITATOR TO ENSURE THAT THE SEED IS DRILLED EVENLY TO A 1/2" DEPTH.

**MULCH:** IF DRILL SEEDING, CRIMP STRAW INTO THE SOIL AT 3,000 LBS. PER ACRE.

**WATER:** CONTRACTOR SHALL APPLY 1/2" OF WATER TO SEED AREAS, TWICE PER WEEK, FOR THREE WEEKS. CONTRACTOR TO SUPPLY ALL EQUIPMENT AND LABOR.

RESEED AND MULCH BARE OR ERODED AREAS AT ONE (1) MONTH INTERVALS AS NECESSARY.



Civil Engineers | Landscape Architects

2009 W. Littleton Blvd. #300 Littleton, CO 80120  
303.794.4727 | www.SterlingDesignAssociates.com

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DATE:	SCALE:
04/19/23	-
PROJECT MANAGER:	PROJECT NO.:
JDS	
DRAWN BY:	DRAWING FILE:
JDS	

PROJECT:

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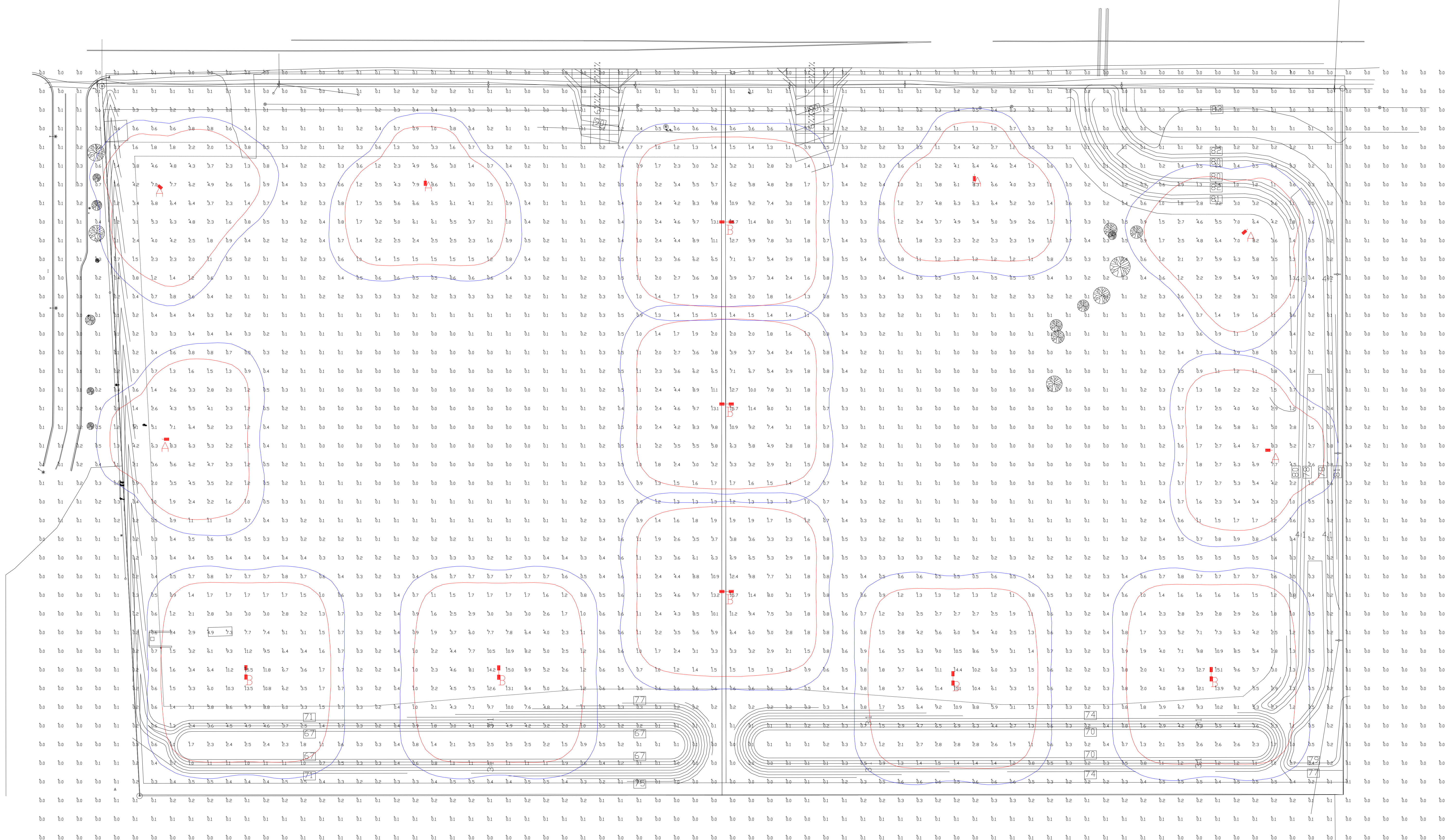
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7561 S. GRANT STR., SUITE A-4  
LITTLETON, COLORADO 80122

TEL: (303) 730-3001

SHEET TITLE:  
LANDSCAPE NOTES & DETAILS

SHEET NUMBER:

4 OF 5 L102  
PCD FILE NO. PPR-23-003



**PHOTOMETRIC EVALUATION  
NOT FOR CONSTRUCTION**

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALCS @ GRADE 20' X 20' GRID	Illuminance	Fc	1.24	15.7	0.0	N.A.	N.A.

Symbol	Qty	Label	Arrangement	Description	LLD	LDD	LLF	Arr. Lum. Lumens	Arr. Watts
	6	A	SINGLE	MRL-LED-78L-SIL-FT-50-70CRI-SINGLE-37.5' MH	1.000	1.000	1.000	79676	648
	7	B	D180°	MRL-LED-78L-SIL-FT-50-70CRI-D180-37.5' MH	1.000	1.000	1.000	159352	1296

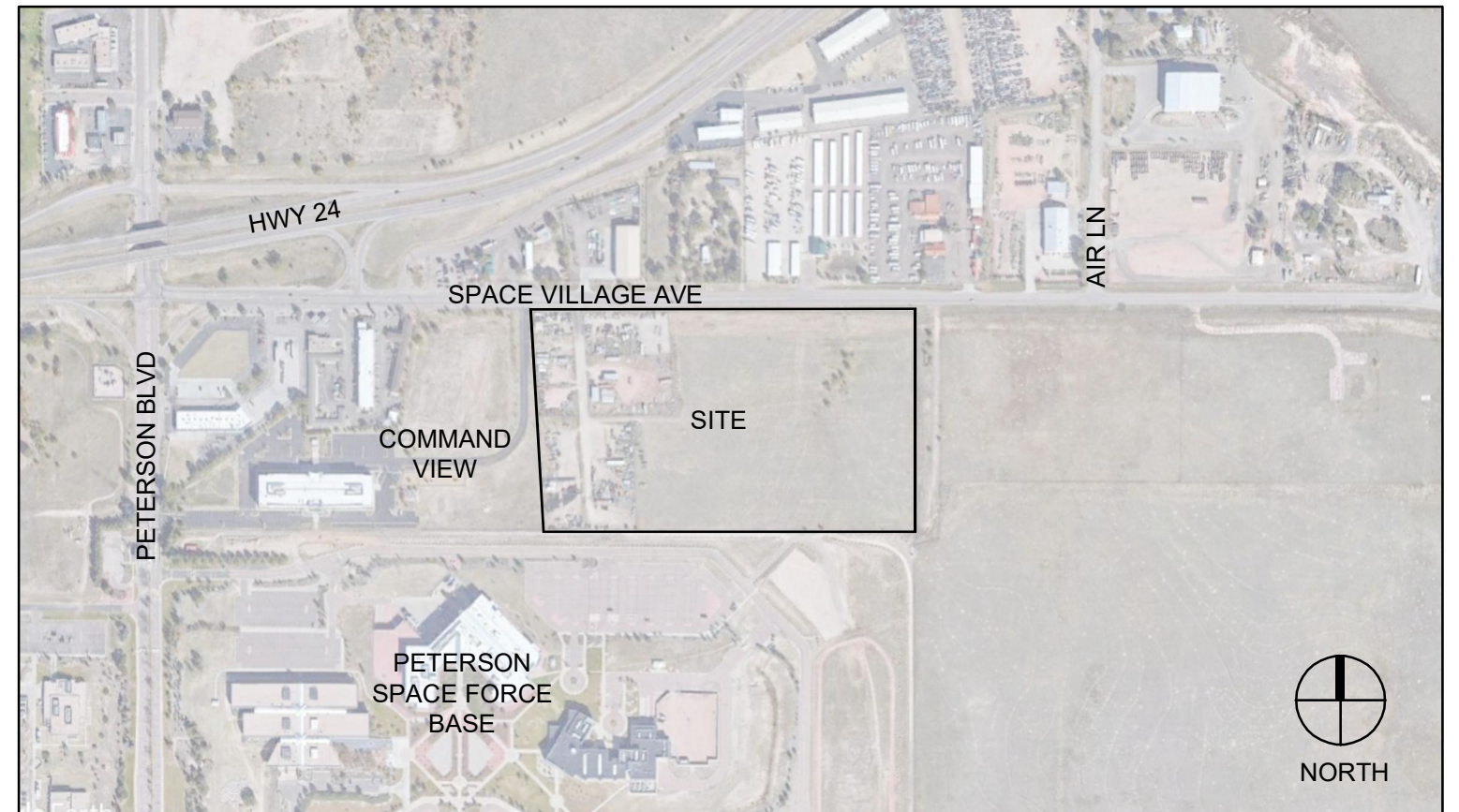
Luminaire Mounting Height = 37.5'

Total Project Watts\_1  
Total Watts = 12960

BY:RKH(ME) DATE:8/29/22 REV:11/16/22 SHEET 1 OF 1  
SCALE: 1"=50'

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DEVELOPMENT PLAN

**VICINITY MAP**



**SUBMITTALS**

INITIAL: NOVEMBER 21, 2022

REVISED: -

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**LEGAL DESCRIPTION**

LOTS 1 AND 2, SPACE VILLAGE FILING NO. 4  
EL PASO COUNTY, COLORADO

**BASIS OF BEARINGS**

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**BENCHMARK**

NGS BENCH MARK "R 76"

LOCATED 0.2 MILE EAST ALONG HIGHWAY 94 FROM PETERSON ROAD, 22 FEET SOUTH-SOUTHEAST OF THE SOUTHEAST CORNER OF AN ADDITION TO THE BUILDING (SANDY'S RESTAURANT), 48 FEET NORTH OF THE CENTERLINE OF THE HIGHWAY, 3.5 FEET SOUTH OF A POWER POLE AND 3 FEET SOUTH OF A FIBERGLASS WITNESS POST.

ELEVATION = 6289.86 FEET (NAVD 1988)

**DEVELOPER**

HAMPTON YARDS  
201 FILLMORE ST, SUITE 201  
DENVER, CO 80206  
(303) 694-1085  
CONTACT: TUCKER ROBINSON

**CIVIL ENGINEER**

STERLING DESIGN ASSOCIATES, LLC  
2009 W. LITTLETON BLVD, SUITE 300  
LITTLETON, CO 80120  
(303) 794-4727  
CONTACT: JAY NEWELL, PE

**SURVEYOR**

ALTURA LAND CONSULTANTS  
6551 SOUTH REVERE PARKWAY, SUITE 165  
CENTENNIAL, CO 80111  
(303) 921-9537  
CONTACT: MARTIN BRAUNS, PLS

**CONTRACTOR**

COMMERCIAL BUILDING SERVICES  
7561 S. GRANT ST, SUITE A-4  
LITTLETON, CO 80122  
(303) 730-3001  
CONTACT: DAVID SPRATLEN, AIA

**LANDSCAPE ARCHITECT**

STERLING DESIGN ASSOCIATES, LLC  
2009 W. LITTLETON BLVD, SUITE 300  
LITTLETON, CO 80120  
(303) 794-4727  
CONTACT: JON SPENCER, PLA

**AGENCY REFERRALS**

**PLANNING & COMMUNITY DEVELOPMENT**  
2880 INTERNATIONAL CIRCLE, SUITE 110  
COLORADO SPRINGS, CO 80910  
(719) 520-6442  
CONTACT: MATTHEW FITZSIMMONS

**COLORADO SPRINGS UTILITIES**  
1521 S HANCOCK EXPY., MC 1812  
COLORADO SPRINGS, CO 80903  
CONTACT: BLANCHE LUDIKER  
(719) 668-8161

**PIKES PEAK REGIONAL BUILDING DEPARTMENT**  
2880 INTERNATIONAL CIRCLE  
COLORADO SPRINGS, CO 80910  
CONTACT: -  
(719) 327-2880

**CIMARRON HILLS FIRE DEPARTMENT**  
1835 TUSKEGEE PLACE  
COLORADO SPRINGS, CO 80915  
CONTACT: CHIEF JOHN (J.T.) McLEOD  
(719) 591-0960

**PLANNING & COMMUNITY DEVELOPMENT**  
2880 INTERNATIONAL CIRCLE, SUITE 110  
COLORADO SPRINGS, CO 80910  
CONTACT: DANIEL TORRES, ENGINEER III  
(719) 520-6305

**CHEROKEE METROPOLITAN DISTRICT**  
6250 PALMER PARK BLVD.  
COLORADO SPRINGS, CO 80915  
CONTACT: KEVIN BROWN  
(719) 597-5080

**SHEET INDEX**

- |   |                                  |
|---|----------------------------------|
| 1 | COVER SHEET                      |
| 2 | SITE PLAN                        |
| 3 | PRELIMINARY GRADING/UTILITY PLAN |
| 4 | LANDSCAPE PLAN                   |
| 5 | LANDSCAPE NOTES AND DETAILS      |
| 6 | PHOTOMETRIC PLAN                 |



Civil Engineers | Landscape Architects  
2009 W. Littleton Blvd. #300 Littleton, CO 80120  
303.794.4727 | www.SterlingDesignAssociates.com

PREPARED UNDER THE DIRECT SUPERVISION OF  
JONATHAN SPENCER, PLA  
COLORADO REGISTRATION # 111  
FOR & ON BEHALF OF STERLING DESIGN ASSOCIATES, LLC

STERLING DESIGN ASSOCIATES, LLC	
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ISSUES & REVISIONS	
NO: 1	DATE: _____ BY: _____
DESCRIPTION: _____	
NO: 2	DATE: - BY: -
DESCRIPTION: -	
NO: 3	DATE: - BY: -
DESCRIPTION: -	
NO: 4	DATE: - BY: -
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NO: 5	DATE: - BY: -
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NO: 6	DATE: - BY: -
DESCRIPTION: -	
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DATE: _____	SCALE: _____
	<b>NTS</b>
PROJECT MANAGER: <b>JDS</b>	PROJECT NO.: _____
DRAWN BY: <b>JDS</b>	DRAWING FILE: _____
<hr/>	
PROJECT: _____	

**SPACE VILLAGE FILING NO. 4**  
**EL PASO COUNTY, CO**

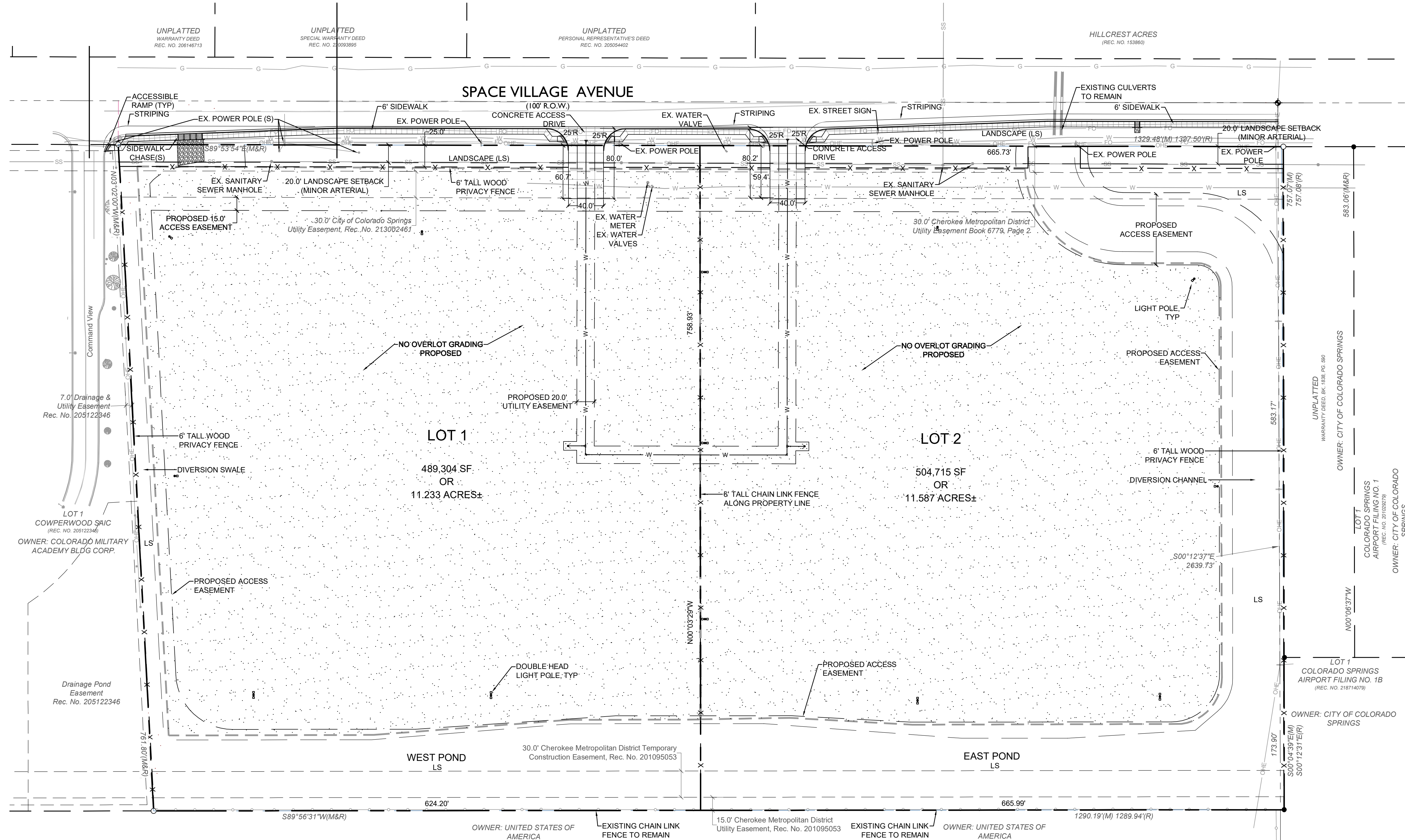
CLIENT:  
COMMERCIAL BUILDING SERVICES  
7561 S. GRANT STR., SUITE A-4  
LITTLETON, COLORADO 80122  
TEL: (303) 730-3001

SHEET TITLE:  
**COVER SHEET**

SHEET NUMBER:  
**1 OF 6**

# SPACE VILLAGE FILING NO. 4

## A PORTION OF THE NW 1/4 OF SEC. 17, T14S, R65W, OF THE 6th P.M., EL PASO COUNTY, COLORADO DEVELOPMENT PLAN

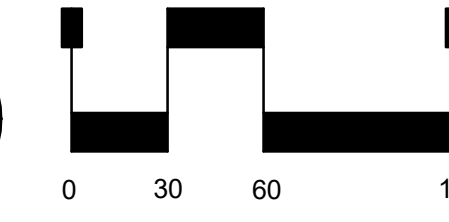
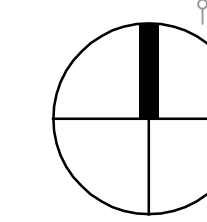


### FENCING NOTE

6' TALL WOOD PRIVACY FENCING IS PROPOSED ALONG THE NORTH, WEST, AND EAST PROPERTY LINES HOWEVER THE EXISTING CHAIN LINK FENCING ALONG THE SOUTHERN BORDER WILL REMAIN FOR SECURITY REASONS. THIS BASED ON THE OUTCOME OF A MEETING BETWEEN THE DEVELOPER AND THE PETERSON SPACE FORCE BASE COMMUNITY PLANNER AND BASE ENGINEERING PERSONNEL ON JULY 11, 2022.

### LEGEND

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	EASEMENT LINE
	EXIST. MAJOR CONTOUR
	EXIST. MINOR CONTOUR
	PROP. CONTOUR
	EXIST. FENCE
	EXIST. EDGE OF ASPHALT
	EXIST. CURB AND GUTTER
	PROP. CONCRETE
	EXIST. OVERHEAD ELECTRIC
	EXIST. SANITARY SEWER
	EXIST. WATERLINE
	EXIST. GAS LINE
	EXIST. ELECTRIC
	EXIST. TELEPHONE
	EXIST. FIBER OPTIC



### DEVELOPER

HAMPTON YARDS  
201 FILLMORE ST., SUITE 201  
DENVER, CO 80206  
(303) 694-1065  
tucker@hamptonpartners.net

### LANDSCAPE ARCHITECT

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2009 W. LITTLETON BLVD., SUITE 300  
LITTLETON, CO 80120  
(303) 794-4727  
jon@sterlingdesignassociates.com

### CONTRACTOR

COMMERCIAL BUILDING SERVICES  
7561 S. GRANT ST., SUITE A-4  
LITTLETON, CO 80122  
(303) 730-3001  
david@cbconstruction.com  
CONTACT: DAVID SPRATLEN



2009 W. Littleton Blvd. #300 Littleton, CO 80120  
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PREPARED UNDER THE DIRECT SUPERVISION OF  
JONATHAN SPENCER, P.L.A.  
COLORADO REGISTRATION # 111  
FOR & ON BEHALF OF STERLING DESIGN ASSOCIATES, LLC

### STERLING DESIGN ASSOCIATES, LLC

ISSUES & REVISIONS	
NO. 1	DATE: - BY: -
DESCRIPTION:	
NO. 2	DATE: - BY: -
DESCRIPTION:	
NO. 3	DATE: - BY: -
DESCRIPTION:	
NO. 4	DATE: - BY: -
DESCRIPTION:	
NO. 5	DATE: - BY: -
DESCRIPTION:	
NO. 6	DATE: - BY: -
DESCRIPTION:	

DATE: **OCTOBER 5, 2022** SCALE: **1" = 60'**

PROJECT MANAGER: **JDS** PROJECT NO.:

DRAWN BY: **JDS** DRAWING FILE:

PROJECT:

**7113 (LOT 1) AND 7233 (LOT 2)  
SPACE VILLAGE AVENUE  
SPACE VILLAGE FILING NO. 4  
EL PASO COUNTY, CO**

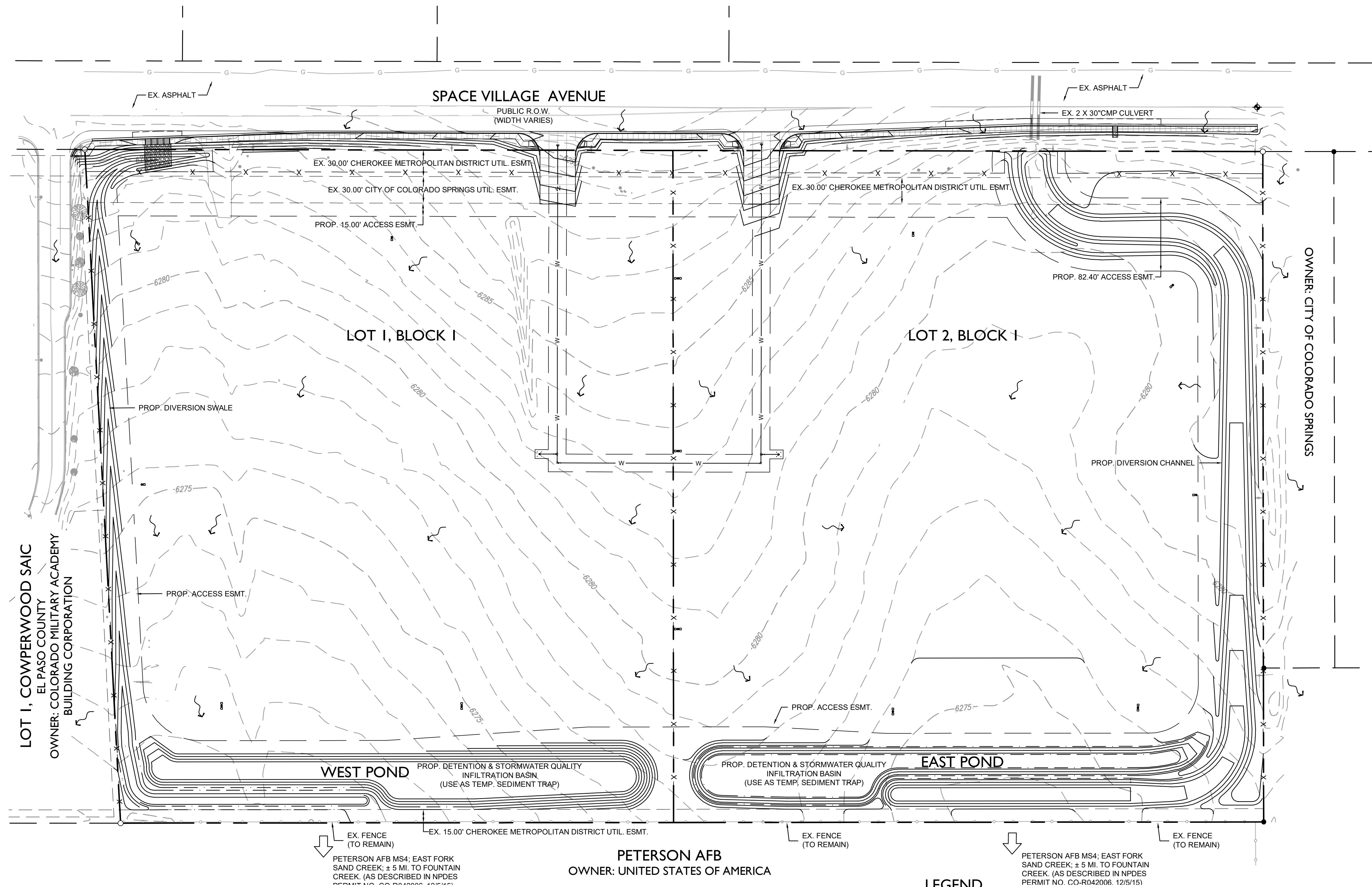
CLIENT:  
COMMERCIAL BUILDING SERVICES  
7561 S. GRANT STR., SUITE A-4  
LITTLETON, COLORADO 80122

TEL: (303) 730-3001

SHEET TITLE:  
**SITE PLAN**

SHEET NUMBER:

**SPACE VILLAGE FILING NO. 4**  
 A PORTION OF THE NW 1/4 OF SEC. 17, T14S,  
 R65W, OF THE 6th P.M., EL PASO COUNTY, COLORADO  
 DEVELOPMENT PLAN



LOT 1, COWPERWOOD SAIC  
 EL PASO COUNTY  
 OWNER: COLORADO MILITARY ACADEMY  
 BUILDING CORPORATION

OWNER: CITY OF COLORADO SPRINGS

PETERSON AFB  
 OWNER: UNITED STATES OF AMERICA

**LEGEND**

	PROPERTY LINE
	ADJACENT PROPERTY LINE
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	EXIST. MINOR CONTOUR
	PROP. CONTOUR
	EXIST. FENCE
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	PROP. CONCRETE
	EXIST. OVERHEAD ELECTRIC
	EXIST. SANITARY SEWER
	EXIST. WATERLINE
	EXIST. GAS LINE
	EXIST. ELECTRIC
	EXIST. TELEPHONE
	EXIST. FIBER OPTIC

**STERLING DESIGN ASSOCIATES**  
 Civil Engineers | Landscape Architects  
 2009 W. Littleton Blvd. #300 Littleton, CO 80120  
 303.794.4727 | www.SterlingDesignAssociates.com

STERLING DESIGN ASSOCIATES, LLC

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DESCRIPTION: -	
NO: 2	DATE: - BY: -
DESCRIPTION: -	
NO: 3	DATE: - BY: -
DESCRIPTION: -	
NO: 4	DATE: - BY: -
DESCRIPTION: -	
NO: 5	DATE: - BY: -
DESCRIPTION: -	
NO: 6	DATE: - BY: -
DESCRIPTION: -	
DATE: -	SCALE: -
PROJECT MANAGER: -	PROJECT NO.: -
DRAWN BY: -	DRAWING FILE: -
PROJECT: -	

**7113 (LOT 1) AND 7233 (LOT 2)  
 SPACE VILLAGE AVENUE  
 SPACE VILLAGE FILING NO. 4  
 EL PASO COUNTY, CO**

CLIENT:  
 COMMERCIAL BUILDING SERVICES  
 7561 S. GRANT STR., SUITE A-4  
 LITTLETON, COLORADO 80122

TEL: (303) 730-3001

SHEET TITLE:  
**PRELIMINARY GRADING PLAN**

SHEET NUMBER:

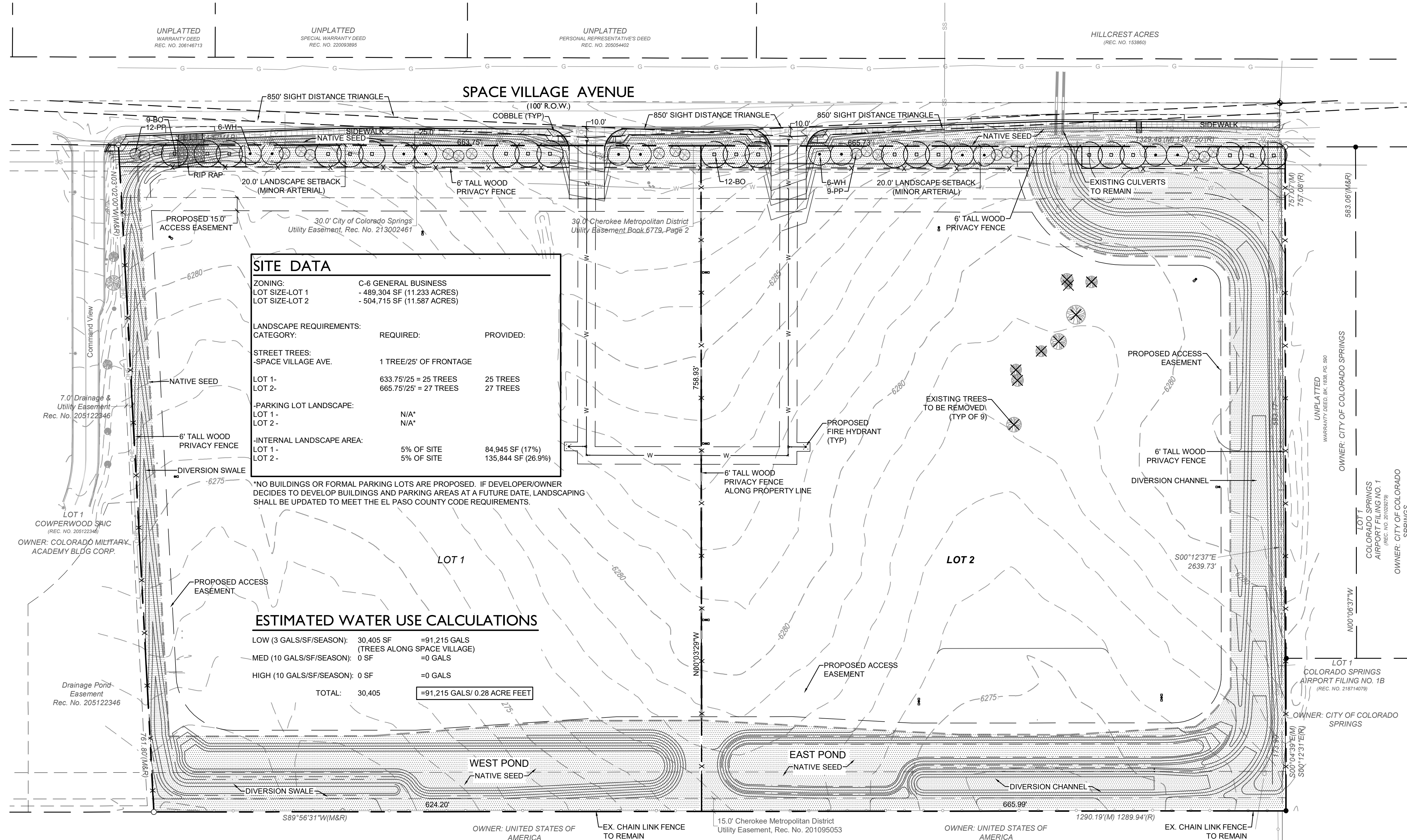
**3 OF 6**



# SPACE VILLAGE FILING NO. 4

## A PORTION OF THE NW 1/4 OF SEC. 17, T14S, R65W, OF THE 6th P.M., EL PASO COUNTY, COLORADO

### DEVELOPMENT PLAN



SITE DATA		
ZONING:	C-6 GENERAL BUSINESS	
LOT SIZE-LOT 1	- 489,304 SF (11.233 ACRES)	
LOT SIZE-LOT 2	- 504,715 SF (11.587 ACRES)	
LANDSCAPE REQUIREMENTS:	REQUIRED:	PROVIDED:
STREET TREES:	-SPACE VILLAGE AVE. 1 TREE/25' OF FRONTAGE	
LOT 1-	633.75'/25' = 25 TREES	25 TREES
LOT 2-	665.75'/25' = 27 TREES	27 TREES
-PARKING LOT LANDSCAPE:	N/A*	N/A*
LOT 1-	N/A*	N/A*
LOT 2-	N/A*	N/A*
-INTERNAL LANDSCAPE AREA:	5% OF SITE	84,945 SF (17%)
LOT 1-	5% OF SITE	135,844 SF (26.9%)
LOT 2-	5% OF SITE	135,844 SF (26.9%)

ESTIMATED WATER USE CALCULATIONS		
LOW (3 GALS/SF/SEASON):	30,405 SF	=91,215 GALS (TREES ALONG SPACE VILLAGE)
MED (10 GALS/SF/SEASON):	0 SF	=0 GALS
HIGH (10 GALS/SF/SEASON):	0 SF	=0 GALS
<b>TOTAL:</b>	<b>30,405</b>	<b>=91,215 GALS/ 0.28 ACRE FEET</b>

#### PLANT LIST LOT 1

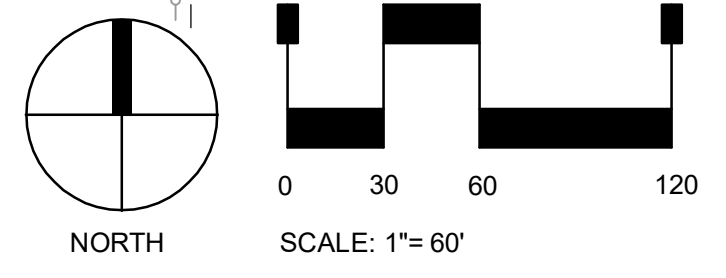
SYMBOL	QTY	ABBR	COMMON/BOTANICAL NAME	SIZE	HT. X SPD.	HYDRO ZONE	REMARKS
<b>OVERSTORY TREES</b>							
	9	BO	BUR OAK Quercus macrocarpa	1.5" CAL. B&B	70' X 50'	L	FULL CROWN, STAKED, SPECIMEN QUALITY
	6	WH	WESTERN HACKBERRY Celtis occidentalis	1.5" CAL. B&B	60' X 40'	L	FULL CROWN, STAKED, SPECIMEN QUALITY
<b>EVERGREEN TREES</b>							
	12	PP	PINYON PINE Pinus edulis	6' HT. B&B	25' X 20'	VL	FULL CROWN, STAKED, SPECIMEN QUALITY
<b>NATIVE SEED</b>							
	237,908 SF		SITE SPECIFIC USDA/NRCS SPECIFIED SEED MIX (NON-IRRIGATED NATIVE SEED MIX)				SEE SEED NOTES SHEET 5 OF 6 (L102)
	(220,799 SF ON-SITE)						

#### PLANT LIST LOT 2

SYMBOL	QTY	ABBR	COMMON/BOTANICAL NAME	SIZE	HT. X SPD.	HYDRO ZONE	REMARKS
<b>OVERSTORY TREES</b>							
	12	BO	BUR OAK Quercus macrocarpa	1.5" CAL. B&B	70' X 50'	L	FULL CROWN, STAKED, SPECIMEN QUALITY
	6	WH	WESTERN HACKBERRY Celtis occidentalis	1.5" CAL. B&B	60' X 40'	L	FULL CROWN, STAKED, SPECIMEN QUALITY
<b>EVERGREEN TREES</b>							
	9	PP	PINYON PINE Pinus edulis	6' HT. B&B	25' X 20'	VL	FULL CROWN, STAKED, SPECIMEN QUALITY
<b>HYDROZONE KEY</b>							
							H = HIGH WATER NEEDS
							M = MODERATE
							L = LOW WATER NEEDS
							VL = VERY LOW WATER NEEDS

#### LEGEND

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	EASEMENT LINE
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	EXIST. MINOR CONTOUR
	PROP. CONTOUR
	EXIST. FENCE
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DENVER, CO 80206  
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tucker@hamptonpartners.net  
CONTACT: TUCKER ROBINSON

**LANDSCAPE ARCHITECT**  
STERLING DESIGN ASSOCIATES, LLC  
2009 W. LITTLETON BLVD, SUITE 300  
LITTLETON, CO 80120  
(303) 794-4727  
jon@sterlingdesignassociates.com  
CONTACT: JON SPENCER, PLA

**CONTRACTOR**  
COMMERCIAL BUILDING SERVICES  
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david@cbsconstruction.com  
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JONATHAN SPENCER, PLA  
COLORADO REGISTRATION # 111  
FOR & ON BEHALF OF STERLING DESIGN ASSOCIATES, LLC

STERLING DESIGN ASSOCIATES, LLC	
ISSUES & REVISIONS	
NO. 1 DATE:	BY:
DESCRIPTION:	
NO. 2 DATE:	BY:
DESCRIPTION:	
NO. 3 DATE:	BY:
DESCRIPTION:	
NO. 4 DATE:	BY:
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NO. 5 DATE:	BY:
DESCRIPTION:	
NO. 6 DATE:	BY:
DESCRIPTION:	

DATE: **04/19/23** SCALE: **1" = 60'**

PROJECT MANAGER: **JDS** PROJECT NO.:

DRAWN BY: **JDS** DRAWING FILE:

PROJECT:

**7113 (LOT 1) AND 7233 (LOT 2) SPACE VILLAGE AVENUE SPACE VILLAGE FILING NO. 4 EL PASO COUNTY, CO**

CLIENT:  
COMMERCIAL BUILDING SERVICES  
7561 S. GRANT STR., SUITE A-4  
LITTLETON, COLORADO 80122  
TEL: (303) 730-3001

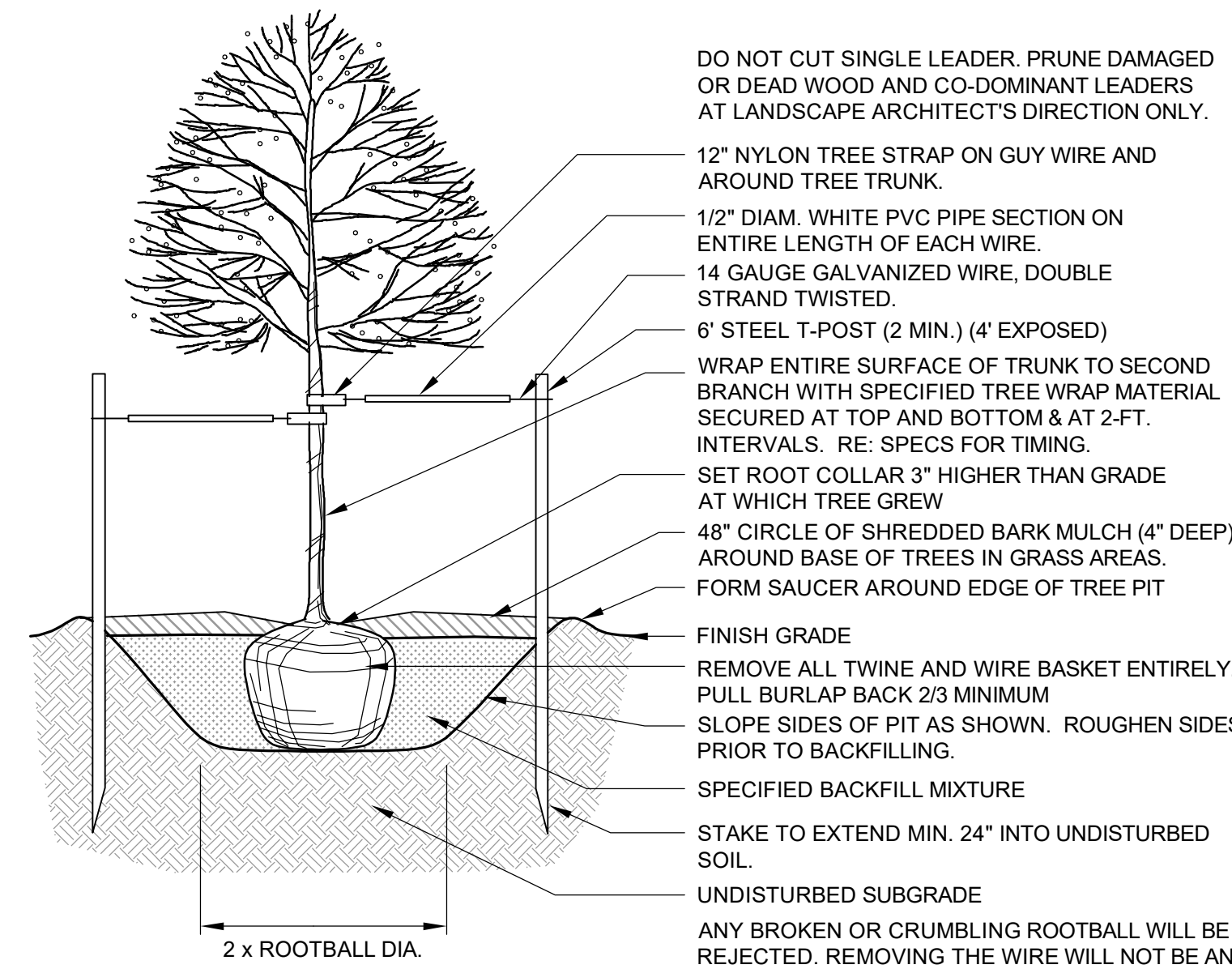
SHEET TITLE:  
**LANDSCAPE PLAN**

SHEET NUMBER:  
**4 OF 6 L101**

# SPACE VILLAGE FILING NO. 4

## A PORTION OF THE NW 1/4 OF SEC. 17, T14S, R65W, OF THE 6th P.M., EL PASO COUNTY, COLORADO DEVELOPMENT PLAN

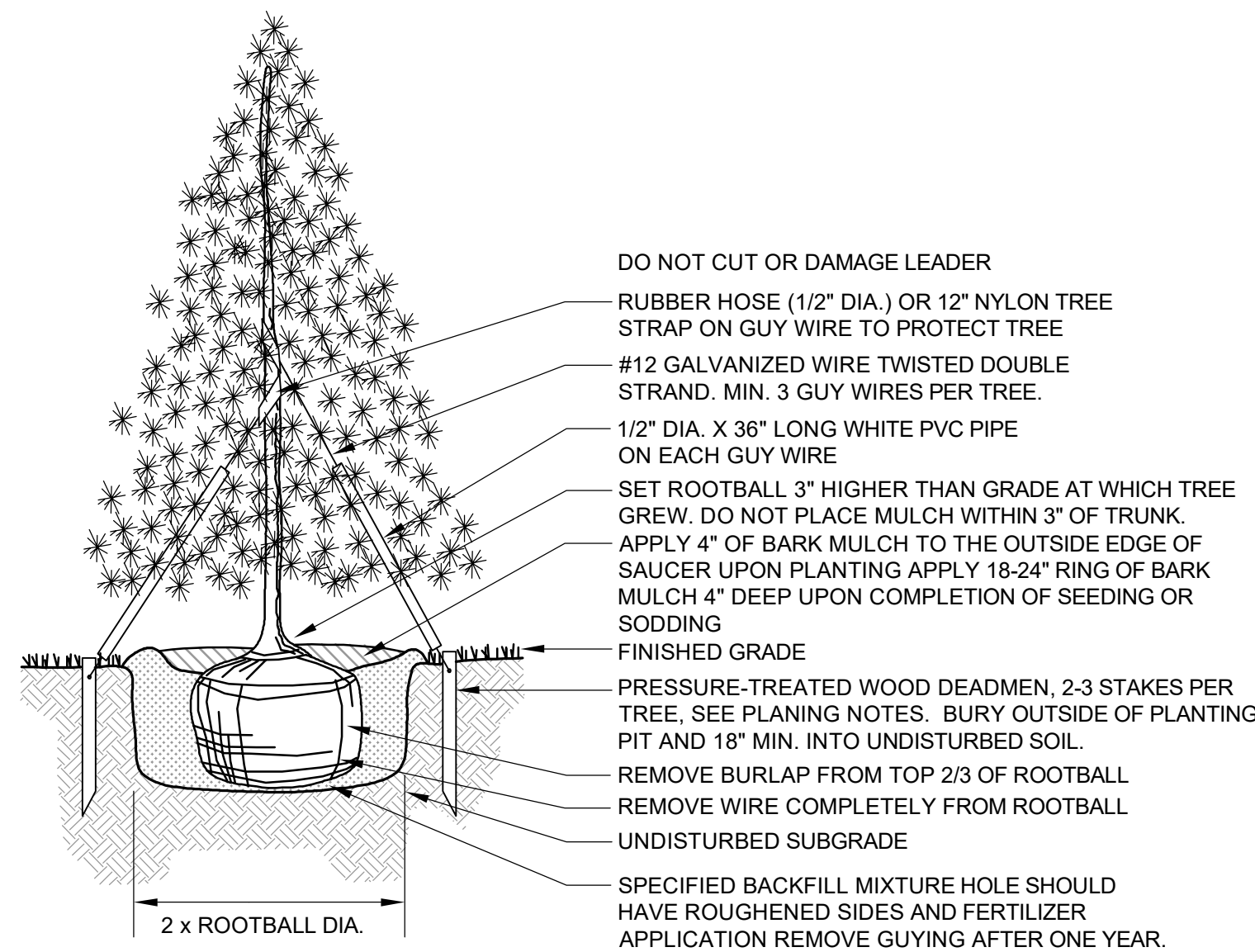
### LANDSCAPE NOTES



- DO NOT CUT SINGLE LEADER. PRUNE DAMAGED OR DEAD WOOD AND CO-DOMINANT LEADERS AT LANDSCAPE ARCHITECT'S DIRECTION ONLY.
- 12" NYLON TREE STRAP ON GUY WIRE AND AROUND TREE TRUNK.
- 1/2" DIAM. WHITE PVC PIPE SECTION ON ENTIRE LENGTH OF EACH WIRE.
- 14 GAUGE GALVANIZED WIRE, DOUBLE STRAND TWISTED.
- 6' STEEL T-POST (2 MIN.) (4" EXPOSED)
- WRAP ENTIRE SURFACE OF TRUNK TO SECOND BRANCH WITH SPECIFIED TREE WRAP MATERIAL SECURED AT TOP AND BOTTOM & AT 2-FT. INTERVALS. RE: SPECS FOR TIMING.
- SET ROOT COLLAR 3" HIGHER THAN GRADE AT WHICH TREE GREW
- 48" CIRCLE OF SHREDDED BARK MULCH (4" DEEP) AROUND BASE OF TREES IN GRASS AREAS.
- FORM SAUCER AROUND EDGE OF TREE PIT
- FINISH GRADE
- REMOVE ALL TWINE AND WIRE BASKET ENTIRELY. PULL BURLAP BACK 2/3 MINIMUM
- SLOPE SIDES OF PIT AS SHOWN. ROUGHEN SIDES PRIOR TO BACKFILLING.
- SPECIFIED BACKFILL MIXTURE
- STAKE TO EXTEND MIN. 24" INTO UNDISTURBED SOIL.
- UNDISTURBED SUBGRADE
- ANY BROKEN OR CRUMBLING ROOTBALL WILL BE REJECTED. REMOVING THE WIRE WILL NOT BE AN EXCUSE FOR DAMAGED ROOTBALLS.
- REMOVE STAKING AFTER ONE YEAR.

### SHADE TREE PLANTING ①

NOT TO SCALE



- DO NOT CUT OR DAMAGE LEADER
- RUBBER HOSE (1/2" DIA.) OR 12" NYLON TREE STRAP ON GUY WIRE TO PROTECT TREE
- #12 GALVANIZED WIRE TWISTED DOUBLE STRAND. MIN. 3 GUY WIRES PER TREE.
- 1/2" DIA. X 36" LONG WHITE PVC PIPE ON EACH GUY WIRE
- SET ROOTBALL 3" HIGHER THAN GRADE AT WHICH TREE GREW. DO NOT PLACE MULCH WITHIN 3" OF TRUNK.
- APPLY 4" OF BARK MULCH TO THE OUTSIDE EDGE OF SAUCER UPON PLANTING. APPLY 18-24" RINGS OF BARK MULCH 4" DEEP UPON COMPLETION OF SEEDING OR SODDING
- FINISHED GRADE
- PRESSURE-TREATED WOOD DEADMEN, 2-3 STAKES PER TREE. SEE PLANING NOTES. BURY OUTSIDE OF PLANTING PIT AND 18" MIN. INTO UNDISTURBED SOIL.
- REMOVE BURLAP FROM TOP 2/3 OF ROOTBALL
- REMOVE WIRE COMPLETELY FROM ROOTBALL
- UNDISTURBED SUBGRADE
- SPECIFIED BACKFILL MIXTURE HOLE SHOULD HAVE ROUGHENED SIDES AND FERTILIZER APPLICATION REMOVE GUYING AFTER ONE YEAR.

### EVERGREEN TREE PLANTING ②

NOT TO SCALE

1. COORDINATION: THIS LANDSCAPE ARCHITECTURAL SITE PLAN IS TO BE USED IN CONJUNCTION WITH THE CIVIL, ARCHITECTURAL, MECHANICAL, ELECTRICAL, STRUCTURAL AND IRRIGATION PLANS AND SPECIFICATIONS TO FORM COMPLETE INFORMATION REGARDING THIS SITE.
2. COMPLIANCE: CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES.
3. GUARANTEE: ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR ONE YEAR, FROM DATE OF FINAL ACCEPTANCE, AT NO ADDITIONAL COST TO THE OWNER.
4. COMPLETION AND MAINTENANCE:
  - A. FINAL ACCEPTANCE: WITHIN TEN DAYS OF CONTRACTOR'S NOTICE THAT THE ENTIRE PROJECT IS COMPLETE, THE L.A. SHALL REVIEW INSTALLATION. IF FINAL ACCEPTANCE IS NOT GIVEN, THE L.A. SHALL PREPARE A PUNCH LIST OF PENDING ITEMS. THE PUNCH LIST ITEMS SHALL BE COMPLETED BY THE CONTRACTOR WITHIN TEN CALENDAR DAYS FROM DATE ISSUED. SUBSEQUENT REVIEW AND APPROVAL SHALL SIGNIFY ACCEPTANCE.
  - B. MAINTENANCE: ALL LANDSCAPING SHALL BE MAINTAINED FROM INSTALLATION TO FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, ROLLING, REGRADING, REPLANTING, DISEASE AND INSECT PROTECTION.
5. SITE CONDITIONS: LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. DO NOT PROCEED UNTIL CONDITIONS ARE CORRECTED. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINISHED GRADES AND POSITIVE DRAINAGE IN LANDSCAPE AREAS.
6. DAMAGE AND CLEANING:
  - A. CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED DUE TO THIS WORK AT NO ADDITIONAL COST TO THE OWNER.
  - B. CONTRACTOR SHALL CLEAN ALL AREAS DUE TO THIS WORK AND PROPERLY REMOVE ALL UNUSED MATERIALS FROM SITE.
7. RIGHT OF REJECTION: OWNER/LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY MATERIALS AT ANY TIME. ALL PLANT MATERIALS SHALL MEET THE MINIMUM CURRENT "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN. CONTRACTOR SHALL PROVIDE SAMPLES, SPECS., AND OR TAGS FOR ALL MATERIALS.
8. SOIL PREPARATION: SOD, NATIVE SEED, AND SHRUB BED AREAS SHALL RECEIVE SIX INCHES OF APPROVED TOPSOIL. PER CSU'S SOIL ANALYSIS PREPARED 4/29/22. DO NOT APPLY ANY SOIL AMENDMENTS SUCH AS MANURE AND COMPOST. APPLY 1.3 LB. N PER 1,000 SQ. FT. THREE TIMES DURING THE GROWING SEASON (MID-MARCH-APRIL, MAY-MID-JUNE AND LATE SEPTEMBER-EARLY OCTOBER), APPLY 2.7 LB P205, 0.2 LB ZN, 0.04 LB FE2SO4 (IRON

- SULFATE), 0.02 LB MN, 0.1 LB CU, AND 0.01 LB B PER 1,000 SQ. FT. AT PLANTING OR BEGINNING OF GROWING SEASON. SEVERAL APPLICATIONS MAY BE REQUIRED DURING THE FIRST GROWING SEASON. ROTOTILL FERTILIZER AND TOPSOIL TO INCORPORATE AMENDMENTS AND COUNTER ANY COMPACTION OR SOIL CONSOLIDATION IN ALL LANDSCAPE PLANTING AREAS. VERIFY SOIL PREP SPECIFICATIONS WITH WATER PROVIDER STANDARDS. PROVIDE EVIDENCE OF APPLICATION AS REQUIRED. TEST SOIL IN EXISTING ASPHALT AREAS FOR STERILANT USE. IF STERILANTS ARE FOUND PRESENT, REMOVE ALL CONTAMINATED SOIL AND REPLACE WITH NEW TOPSOIL.
- 9. PLANTING: TREES AND SHRUBS SHALL BE PLANTED PER DETAILS. STAKE AND GUY TREES PER DETAILS. TREE AND SHRUB BED LOCATIONS SHALL BE APPROVED PRIOR TO PLANTING. BACKFILL WITH 1/3 SOIL AMENDMENT AND 2/3 SITE SOIL, THOROUGHLY MIXED. FERTILIZE AS RECOMMENDED WITH AGRIFORM TABLETS.
- 10. SODDING: SOD SHALL BE CANADIAN BLUE FESCUE GRASS BY TURF MASTERS (970) 493-8311 OR APPROVED EQUAL. SOIL PREP., INSTALL AND WATER ACCORDING TO GROWER GUIDELINES.
- 11. EDGER: INSTALL 4" ROLL-TOP RYERSON STEEL EDGING (14 GAUGE WITH GREEN FINISH) OR EQUAL. INSTALL WITH STAKES AND SPLICERS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL BETWEEN ALL SOD OR SEEDED AREAS AND MULCHED AREAS.
- 12. MULCH: INSTALL A MINIMUM 4" THICK MINIMUM LAYER OF MULCH AS SPECIFIED IN THE LEGEND. INSTALL A 3" THICK RING OF DOUBLE SHREDDED CEDAR BARK MULCH AROUND ALL PLANT MATERIAL IN ROCK MULCH BEDS WHERE LANDSCAPING IS SHOWN ON THE PLANS. WOOD MULCH RING SIZE SHALL BE THE SIZE OF THE OF SHRUB, PERENNIAL, AND ORNAMENTAL GRASS'S CONTAINER/ROOTBALL. INSTALL WEED BARRIER FABRIC UNDER ALL ROCK AND WOOD MULCH SHRUB BEDS SPECIFIED ON THE PLANS ONLY. PULL WEED BARRIER AWAY FROM THE BASE OF SHRUBS AND TREES IN WOOD MULCH AREAS. NO PLASTIC WEED BARRIERS SHALL BE SPECIFIED. NO WEED BARRIER SHALL BE USED IN AREAS OF PERENNIAL FLOWER AND GROUND COVER PLANTINGS. (SUBMIT SAMPLES)
- 13. MAINTENANCE: THE PROPERTY OWNER OF RECORD, THE OWNER'S AGENT OR TENANT SHALL KEEP ALL LANDSCAPING IN A WELL MAINTAINED AND HEALTHY GROWING CONDITION.
- 14. IRRIGATION: ALL LANDSCAPE AREAS SHALL BE WATERED BY AN AUTOMATIC IRRIGATION SYSTEM TO INCLUDE IRRIGATION TO ALL PROPOSED PLANT MATERIAL. TURF AREAS LESS THAN 25' IN WIDTH SHALL BE IRRIGATED WITH A POP-UP SPRAY SYSTEM AND ALL TURF AREAS GREATER THAN 25' SHALL HAVE A ROTARY POP-UP HEAD SYSTEM PROVIDING HEAD TO HEAD COVERAGE. ALL SHRUB BEDS SHALL BE IRRIGATED USING A DRIP IRRIGATION SYSTEM, ZONED SEPARATE FROM TURF AREAS.

### SEEDING NOTES

#### USDA NATURAL RESOURCES CONSERVATION SERVICE (NRCS) NATIVE SEED MIX

COMMON NAME	SCIENTIFIC NAME	GROWTH SEASON / FORM	% OF MIX	POUNDS PLS
BLUESTEM, BIG	ANDROPOGON GERARDII 'KAW'	WARM, BUNCH	20	2.18
BLUESTEM, LITTLE	SCHIZACHYRIUM SCOPARIUM 'PASTURA'	WARM, BUNCH	10	0.67
GRAMA, BLUE	BOULETELOUA GRACILIS 'HACHITA'	WARM, SOD	20	0.25
GRAMA, SIDEOTS	BOULETELOUA CURTIPENDULA 'VAUGHN'	WARM, SOD	10	0.91
INDIAN GRASS, YELLOW	SORGHASTRUM NUTANS 'CHEYENNE'	WARM, BUNCH/SOD	10	1.02
WHEATGRASS, WESTERN	PASCOPYRUM SMITHII 'ARRIBA'	COOL, SOD	20	3.20
SWITCHGRASS	PANICUM VIRGATUM 'BLACKWELL'	WARM, SOD	10	0.40
SANDSEED, PRAIRIE	CALIMOVILFA LONGIFOLIA 'GOSHEN'	WARM, SOD	10	0.64
SEED RATE (LBS PLS/ACRE)				9.26

#### SEEDING SPECS.

- SUBMIT ALL SEEDING, MULCHING, AND WATER SCHEDULE SPECIFICATIONS TO LANDSCAPE ARCHITECT FOR FINAL APPROVAL IN ACCORDANCE OF EL PASO COUNTY REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE TO ESTABLISH A HEALTHY AND WEED FREE STAND OF GRASS.
- SOIL PREP: APPLY STOCKPILED TOPSOIL AND 100 LBS. OF DIAMMONIUM PHOSPHATE PER ACRE TO AN APPROVED SUBGRADE. USE A DISK OR HARROW TO PREPARE THE SEED BED AND COMPLETE FINISH GRADING.
- SEEDING: USE A GRASS DRILL WITH A SEED AGITATOR TO ENSURE THAT THE SEED IS DRILLED EVENLY TO A 1/2" DEPTH. HAND BROADCAST SEED AT TWICE THE RATE IN AREAS WHERE DRILL SEEDING CANNOT BE ACCOMPLISHED.
- MULCH: CRIMP STRAW INTO THE SOIL AT 3,000 LBS. PER ACRE.
- WATER: CONTRACTOR SHALL APPLY 1/2" OF WATER TO SEED AREAS, TWICE PER WEEK, FOR THREE WEEKS. CONTRACTOR TO SUPPLY ALL EQUIPMENT AND LABOR.
- RESEED AND MULCH BARE OR ERODED AREAS AT ONE (1) MONTH INTERVALS AS NECESSARY.



PREPARED UNDER THE DIRECT SUPERVISION OF  
JONATHAN SPENCER, P.L.A.  
COLORADO REGISTRATION # 111  
FOR & ON BEHALF OF STERLING DESIGN ASSOCIATES, LLC

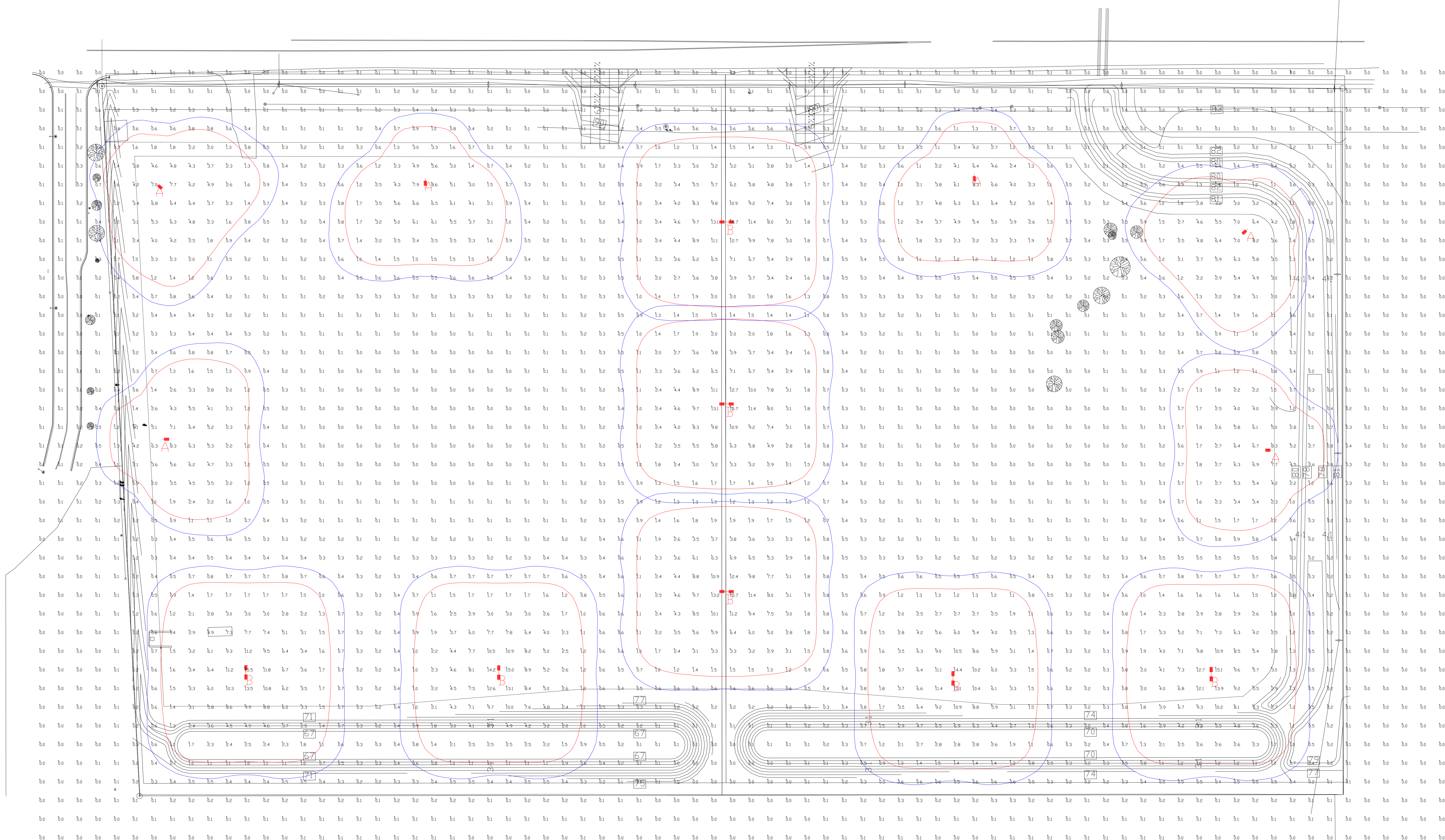
STERLING DESIGN ASSOCIATES, LLC	
ISSUES & REVISIONS	
NO. 1	DATE: - BY: -
DESCRIPTION: -	
NO. 2	DATE: - BY: -
DESCRIPTION: -	
NO. 3	DATE: - BY: -
DESCRIPTION: -	
NO. 4	DATE: - BY: -
DESCRIPTION: -	
NO. 5	DATE: - BY: -
DESCRIPTION: -	
NO. 6	DATE: - BY: -
DESCRIPTION: -	
DATE: 04/19/23	SCALE: -
PROJECT MANAGER: JDS	PROJECT NO.:
DRAWN BY: JDS	DRAWING FILE:
PROJECT:	

7113 (LOT 1) AND 7233 (LOT 2)  
SPACE VILLAGE AVENUE  
SPACE VILLAGE FILING NO. 4  
EL PASO COUNTY, CO

CLIENT:  
COMMERCIAL BUILDING SERVICES  
7561 S. GRANT STR., SUITE A-4  
LITTLETON, COLORADO 80122  
TEL: (303) 730-3001

SHEET TITLE:  
LANDSCAPE NOTES & DETAILS

SHEET NUMBER:  
5 OF 6 L102



MRL



MRM

PHOTOMETRIC EVALUATION  
NOT FOR CONSTRUCTION

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALCS @ GRADE 20' X 20' GRID	Illuminance	Fc	1.24	15.7	0.0	N.A.	N.A.

Symbol	Qty	Label	Arrangement	Description	LLD	LDD	LLF	Arr. Lum. Lumens	Arr. Watts
	6	A	SINGLE	MRL-LED-78L-SIL-FT-50-70CRI-SINGLE-37.5' MH	1.000	1.000	1.000	79676	648
	7	B	D180°	MRL-LED-78L-SIL-FT-50-70CRI-D180-37.5' MH	1.000	1.000	1.000	159352	1296

Total Project Watts\_1  
Total Watts = 12960

ALLIANCE ENGINEERING INC. CHENGDU, CHINA  
1000 796-796 • FAX 1000 796-796

LIGHTING PROPOSAL LD-156536-1

HAMPTON YARDS  
PETERSON BLVD & SPACE VILLAGE AVE  
COLORADO SPRINGS, CO

BY:RKH(ME) DATE:8/29/22 REV:11/16/22 SHEET 1 OF 1

SCALE: 1"=50'

**SPACE VILLAGE FILING NO. 4**  
 A PORTION OF THE NW 1/4 OF SEC. 17, T14S,  
 R65W, OF THE 6th P.M., EL PASO COUNTY, COLORADO  
 DEVELOPMENT PLAN

**DEVELOPER**

HAMPTON YARDS  
 201 FILLMORE ST, SUITE 201  
 DENVER, CO 80206  
 (303) 694-1085  
 CONTACT: TUCKER ROBINSON

**CIVIL ENGINEER**

STERLING DESIGN ASSOCIATES, LLC  
 2009 W. LITTLETON BLVD, SUITE 300  
 LITTLETON, CO 80120  
 (303) 794-4727  
 CONTACT: JAY NEWELL, PE

**SURVEYOR**

ALTURA LAND CONSULTANTS  
 6551 SOUTH REVERE PARKWAY, SUITE 165  
 CENTENNIAL, CO 80111  
 (303) 921-9537  
 CONTACT: MARTIN BRAUNS, PLS

**CONTRACTOR**

COMMERCIAL BUILDING SERVICES  
 7561 S. GRANT ST, SUITE A-4  
 LITTLETON, CO 80122  
 (303) 730-3001  
 CONTACT: DAVID SPRATLEN, AIA

**LANDSCAPE ARCHITECT**

STERLING DESIGN ASSOCIATES, LLC  
 2009 W. LITTLETON BLVD, SUITE 300  
 LITTLETON, CO 80120  
 (303) 794-4727  
 CONTACT: JON SPENCER, PLA

**AGENCY REFERRALS**

**PLANNING & COMMUNITY DEVELOPMENT**  
 2880 INTERNATIONAL CIRCLE, SUITE 110  
 COLORADO SPRINGS, CO 80910  
 (719) 520-6300  
 CONTACT: ASHLYN MATHY

**COLORADO SPRINGS UTILITIES**  
 1521 S HANCOCK EXPY., MC 1812  
 COLORADO SPRINGS, CO 80903  
 CONTACT: BLANCHE LUDIKER  
 (719) 668-8161

**PIKES PEAK REGIONAL BUILDING DEPARTMENT**  
 2880 INTERNATIONAL CIRCLE  
 COLORADO SPRINGS, CO 80910  
 CONTACT: -  
 (719) 327-2880

**CIMARRON HILLS FIRE DEPARTMENT**  
 1835 TUSKEGEE PLACE  
 COLORADO SPRINGS, CO 80915  
 CONTACT: CHIEF JOHN (J.T.) McLEOD  
 (719) 591-0960

**PLANNING & COMMUNITY DEVELOPMENT**  
 2880 INTERNATIONAL CIRCLE, SUITE 110  
 COLORADO SPRINGS, CO 80910  
 CONTACT: DANIEL TORRES, ENGINEER III  
 (719) 520-6305

**CHEROKEE METROPOLITAN DISTRICT**  
 6250 PALMER PARK BLVD,  
 COLORADO SPRINGS, CO 80915  
 CONTACT: KEVIN BROWN  
 (719) 597-5080

**LEGAL DESCRIPTION**

LOTS 1 AND 2, SPACE VILLAGE FILING NO. 4  
 EL PASO COUNTY, COLORADO

**BASIS OF BEARINGS**

BEARINGS ARE BASED ON A PORTION OF THE NORTHERLY LINE OF THE NORTHWEST 1/4 OF SECTION 17, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPLE MERIDIAN, PER THE PLAT OF COWPERWOOD SAIC RECORDED AUGUST 9, 2005 AT RECEPTION NO. 205122346 IN THE OFFICE OF THE CLERK AND RECORDER FOR THE COUNTY OF EL PASO, STATE OF COLORADO, WHICH BEARS SOUTH 89°53'54" EAST BETWEEN THE MONUMENTS SHOWN AND DESCRIBED HEREON.

**BENCHMARK**

NGS BENCH MARK "R 76"

LOCATED 0.2 MILE EAST ALONG HIGHWAY 94 FROM PETERSON ROAD, 22 FEET SOUTH-SOUTHEAST OF THE SOUTHEAST CORNER OF AN ADDITION TO THE BUILDING (SANDY'S RESTAURANT), 48 FEET NORTH OF THE CENTERLINE OF THE HIGHWAY, 3.5 FEET SOUTH OF A POWER POLE AND 3 FEET SOUTH OF A FIBERGLASS WITNESS POST.

ELEVATION = 6289.86 FEET (NAVD 1988)

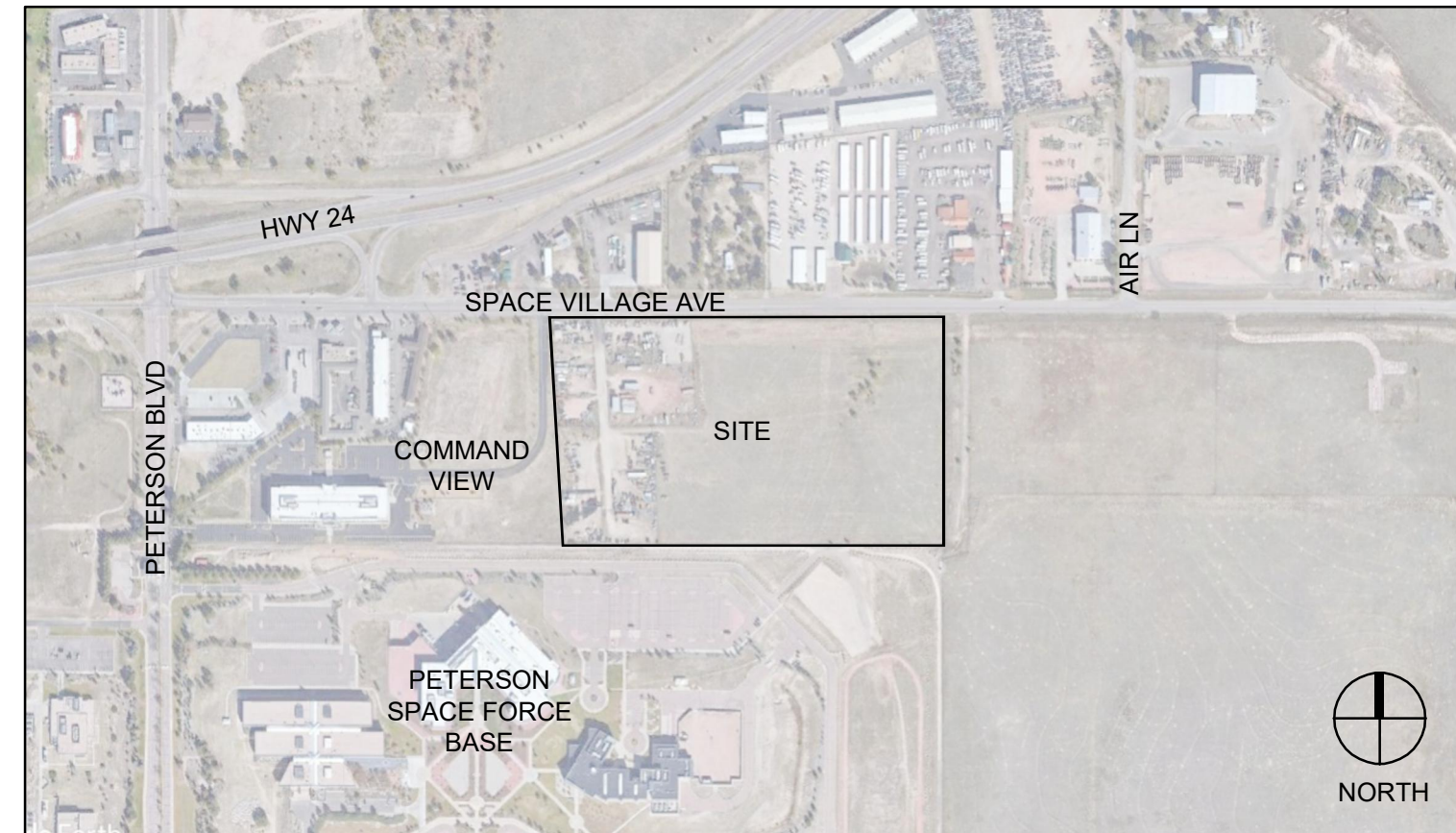
**FLOODPLAIN**

ZONE X; "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN." AS SHOWN ON FEMA FIRM MAP NO. 08041C0754G, EFFECTIVE DATE, DECEMBER 7, 2018.

**ACCESSIBLE DESIGN NOTE**

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

**VICINITY MAP**



**SHEET INDEX**

- 1 COVER SHEET
- 2 SITE PLAN
- 3 LANDSCAPE PLAN
- 4 LANDSCAPE NOTES AND DETAILS
- 5 PHOTOMETRIC PLAN

**SITE DATA CHART**

	EXISTING CONDITIONS	PROPOSED CONDITIONS
OVERALL LOT AREA	22.8 ACRES (993,182 SF)	-
LOT 1 AREA	-	±11.233 ACRES (489,304 SF)
LOT 2 AREA	-	±11.587 ACRES (504,715 SF)
ZONING	I-3 CAD-O	NO CHANGE
LAND USE	INDUSTRIAL, OUTSIDE STORAGE	NO CHANGE
LOT 1 AREA COVERAGE	0%	0% (25% MAX PERMITTED)
LOT 2 AREA COVERAGE	0%	0% (25% MAX PERMITTED)
LOT 1 OPEN SPACE	0%	17%
LOT 2 OPEN SPACE	0%	27%
LOT 1 LANDSCAPE AREA	5%	17% (84,945 SF)
LOT 2 LANDSCAPE AREA	5%	27% (135,851 SF)
IMPERMEABLE SURFACE AREA (LOT 1)	-	0.007% (3,337 SF)
IMPERMEABLE SURFACE AREA (LOT 2)	-	0.007% (3,281 SF)
PARKING SPACES	-	0

\*NO BUILDINGS OR FORMAL PARKING LOTS ARE PROPOSED. IF DEVELOPER/OWNER DECIDES TO DEVELOP BUILDINGS AND PARKING AREAS AT A FUTURE DATE, LANDSCAPING SHALL BE UPDATED TO MEET THE EL PASO COUNTY CODE REQUIREMENTS.

**SUBMITTALS**

INITIAL: NOVEMBER 21, 2022

REVISED: -

REVISED: -



PREPARED UNDER THE DIRECT SUPERVISION OF  
 JONATHAN SPENCER, PLA  
 COLORADO REGISTRATION # 111  
 FOR & ON BEHALF OF STERLING DESIGN ASSOCIATES, LLC

STERLING DESIGN ASSOCIATES, LLC

ISSUES & REVISIONS	
NO: 1	DATE: - BY: -
DESCRIPTION: -	
NO: 2	DATE: - BY: -
DESCRIPTION: -	
NO: 3	DATE: - BY: -
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NO: 5	DATE: - BY: -
DESCRIPTION: -	
NO: 6	DATE: - BY: -
DESCRIPTION: -	

DATE:	SCALE: NTS
PROJECT MANAGER: JDS	PROJECT NO.:
DRAWN BY: JDS	DRAWING FILE:

**7113 (LOT 1) AND 7233 (LOT 2)  
 SPACE VILLAGE AVENUE  
 SPACE VILLAGE FILING NO. 4  
 EL PASO COUNTY, CO**

**EL PASO COUNTY PLANNING AND COMMUNITY  
 DEVELOPMENT DIRECTOR SIGNATURE BLOCK**

CLIENT:  
 COMMERCIAL BUILDING SERVICES  
 7561 S. GRANT STR., SUITE A-4  
 LITTLETON, COLORADO 80122

TEL: (303) 730-3001

SHEET TITLE:  
**COVER SHEET**

SHEET NUMBER:

**1 OF 5**

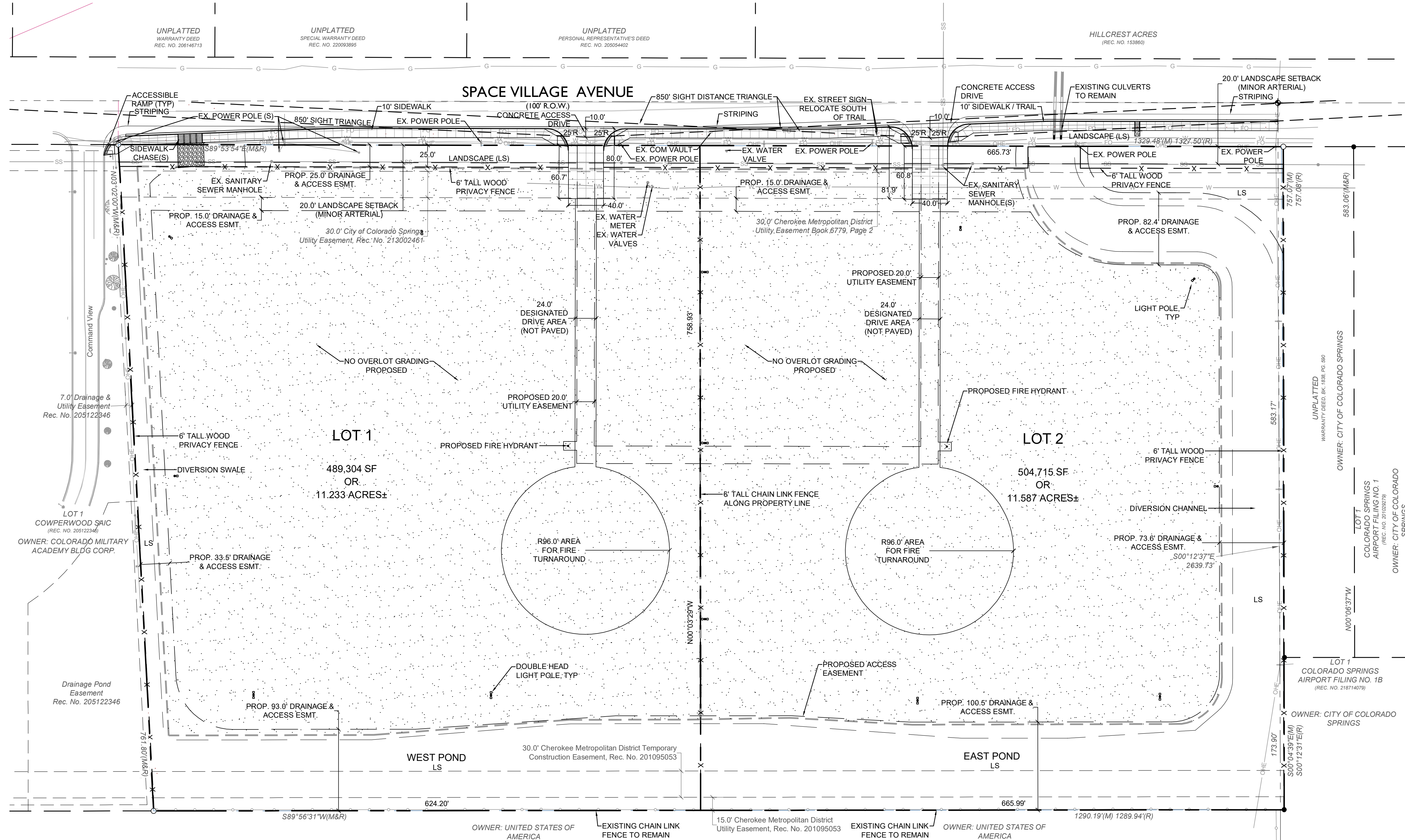
**PCD FILE NO. PPR-23-003**

PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR

DATE

# SPACE VILLAGE FILING NO. 4

## A PORTION OF THE NW 1/4 OF SEC. 17, T14S, R65W, OF THE 6th P.M., EL PASO COUNTY, COLORADO DEVELOPMENT PLAN



### DEVELOPER

HAMPTON YARDS  
201 FILLMORE ST., SUITE 201  
DENVER, CO 80206  
(303) 694-1066  
tucker@hamptonpartners.net  
CONTACT: TUCKER ROBINSON

### LANDSCAPE ARCHITECT

STERLING DESIGN ASSOCIATES, LLC  
2009 W. LITTLETON BLVD., SUITE 300  
LITTLETON, CO 80120  
(303) 794-4727  
jon@sterlingdesignassociates.com  
CONTACT: JON SPENCER, P.L.A.

### CONTRACTOR

COMMERCIAL BUILDING SERVICES  
7561 S. GRANT ST., SUITE A-4  
LITTLETON, CO 80122  
(303) 730-3001  
david@cbconstruction.com  
CONTACT: DAVID SPRATLEN



PREPARED UNDER THE DIRECT SUPERVISION OF  
JONATHAN SPENCER, P.L.A.  
COLORADO REGISTRATION # 111  
FOR & ON BEHALF OF STERLING DESIGN ASSOCIATES, LLC

### STERLING DESIGN ASSOCIATES, LLC

ISSUES & REVISIONS	NO.	DATE	BY
DESCRIPTION:	1		
DESCRIPTION:	2		
DESCRIPTION:	3		
DESCRIPTION:	4		
DESCRIPTION:	5		
DESCRIPTION:	6		

DATE: **JUNE 13, 2023** SCALE: **1" = 60'**

PROJECT MANAGER: **JDS** PROJECT NO.:

DRAWN BY: **JDS** DRAWING FILE:

PROJECT:

**7113 (LOT 1) AND 7233 (LOT 2)  
SPACE VILLAGE AVENUE  
SPACE VILLAGE FILING NO. 4  
EL PASO COUNTY, CO**

CLIENT:  
COMMERCIAL BUILDING SERVICES  
7561 S. GRANT STR., SUITE A-4  
LITTLETON, COLORADO 80122

TEL: (303) 730-3001

SHEET TITLE:  
**SITE PLAN**

SHEET NUMBER:

**2 OF 5**  
**PCD FILE NO. PPR-23-003**

### FENCING NOTE

6' TALL WOOD PRIVACY FENCING IS PROPOSED ALONG THE NORTH, WEST, AND EAST PROPERTY LINES TO PROVIDE OPAQUE SCREENING AS REQUIRED PER THE EL PASO COUNTY LDC HOWEVER, THE EXISTING CHAIN LINK FENCING ALONG THE SOUTHERN BORDER WILL REMAIN FOR SECURITY REASONS.

THIS IS BASED ON THE OUTCOME OF A MEETING BETWEEN THE DEVELOPER AND THE PETERSON SPACE FORCE BASE COMMUNITY PLANNER AND BASE ENGINEERING PERSONNEL ON JULY 11, 2022.

### ROADWAY NOTE

THE CITY OF COLORADO SPRINGS NOW HAS APPROVAL AUTHORITY FOR ANY PUBLIC IMPROVEMENTS WITHIN THE R.O.W. OF SPACE VILLAGE AVENUE. IMPROVEMENTS SHOWN ON THESE PLANS ARE FOR REFERENCE ONLY.

### SITE CIRCULATION AND LAYOUT

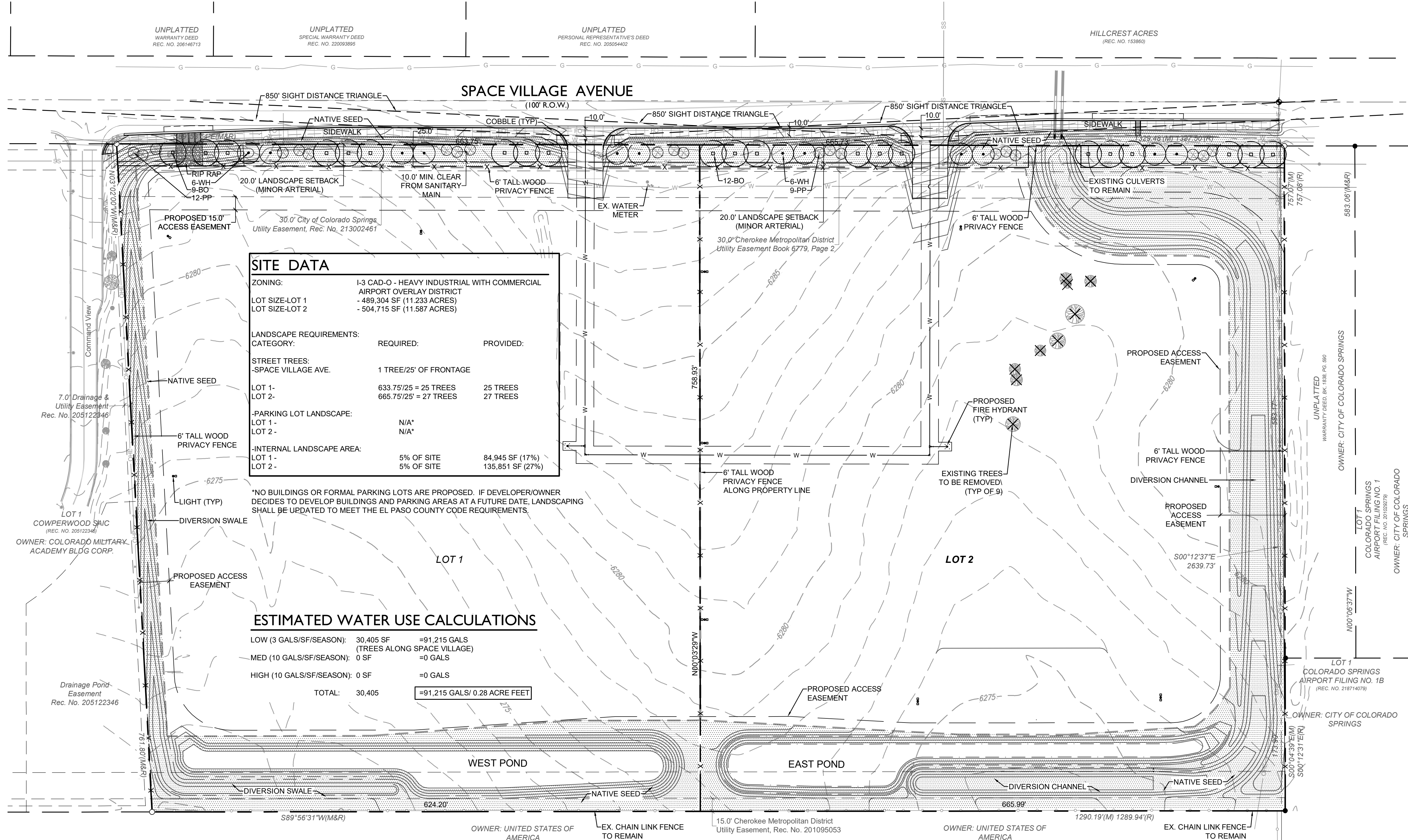
- THE SITE IS PROPOSED FOR OUTSIDE STORAGE FOR A CONTRACTORS EQUIPMENT YARD, AN ALLOWED USE PER TABLE 5.1 OF THE EL PASO COUNTY LDC.
- THE PROPOSED USE DOES NOT INCLUDE ANY STRUCTURES OR DESIGNATED OFF-STREET PARKING, LOADING, OR OTHER VEHICULAR USE AREAS.
- THERE ARE NO PROPOSED DUMPSTERS.
- SITE CIRCULATION WILL BE DRIVEN BY EACH CONTRACTOR HOWEVER WILL REVOLVE AROUND A CENTRAL SPINE ADJACENT TO THE PROPOSED FIRE HYDRANTS AND REQUIRED 96' FIRE TURN AROUND AREA.
- "NO-BUILD" AREAS ARE GENERALLY ALONG THE PERIMETER OF THE SITE WHERE LANDSCAPING AND DRAINAGE FACILITIES ARE LOCATED.

### LEGEND

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	EASEMENT LINE
	EXIST. MAJOR CONTOUR
	EXIST. MINOR CONTOUR
	PROP. CONTOUR
	EXIST. FENCE
	EXIST. EDGE OF ASPHALT
	EXIST. CURB AND GUTTER
	PROP. CONCRETE
	EXIST. OVERHEAD ELECTRIC
	EXIST. SANITARY SEWER
	EXIST. WATERLINE
	EXIST. GAS LINE
	EXIST. ELECTRIC
	EXIST. TELEPHONE
	EXIST. FIBER OPTIC

# SPACE VILLAGE FILING NO. 4

## A PORTION OF THE NW 1/4 OF SEC. 17, T14S, R65W, OF THE 6th P.M., EL PASO COUNTY, COLORADO DEVELOPMENT PLAN



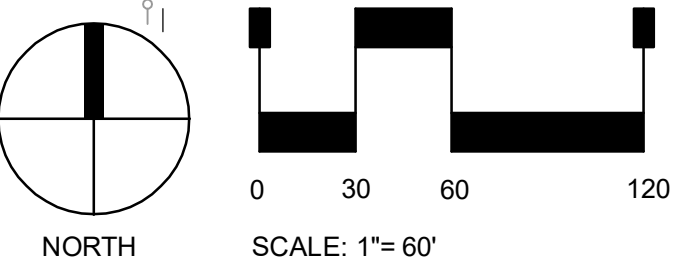
SITE DATA		
ZONING:	I-3 CAD-O - HEAVY INDUSTRIAL WITH COMMERCIAL AIRPORT OVERLAY DISTRICT	
LOT SIZE-LOT 1	- 489,304 SF (11.233 ACRES)	
LOT SIZE-LOT 2	- 504,715 SF (11.587 ACRES)	
LANDSCAPE REQUIREMENTS:	REQUIRED:	PROVIDED:
CATEGORY:		
STREET TREES:	1 TREE/25' OF FRONTAGE	
-SPACE VILLAGE AVE.		
LOT 1-	633.75'/25' = 25 TREES	25 TREES
LOT 2-	665.75'/25' = 27 TREES	27 TREES
-PARKING LOT LANDSCAPE:	N/A*	
LOT 1-		
LOT 2-		
-INTERNAL LANDSCAPE AREA:		
LOT 1-	5% OF SITE	84,945 SF (17%)
LOT 2-	5% OF SITE	135,851 SF (27%)

ESTIMATED WATER USE CALCULATIONS		
LOW (3 GALS/SF/SEASON):	30,405 SF	=91,215 GALS (TREES ALONG SPACE VILLAGE)
MED (10 GALS/SF/SEASON):	0 SF	=0 GALS
HIGH (10 GALS/SF/SEASON):	0 SF	=0 GALS
<b>TOTAL:</b>	<b>30,405</b>	<b>=91,215 GALS/ 0.28 ACRE FEET</b>

PLANT LIST LOT 1							
SYMBOL	QTY	ABBR	COMMON/BOTANICAL NAME	SIZE	HT. X SPD.	HYDRO ZONE	REMARKS
<b>OVERSTORY TREES</b>							
	9	BO	BUR OAK Quercus macrocarpa	1.5" CAL. B&B	70' X 50'	L	FULL CROWN, STAKED, SPECIMEN QUALITY
	6	WH	WESTERN HACKBERRY Celtis occidentalis	1.5" CAL. B&B	60' X 40'	L	FULL CROWN, STAKED, SPECIMEN QUALITY
<b>EVERGREEN TREES</b>							
	12	PP	PINYON PINE Pinus edulis	6' HT. B&B	25' X 20'	VL	FULL CROWN, STAKED, SPECIMEN QUALITY
<b>NATIVE SEED</b>							
	237,908 SF		SITE SPECIFIC USDA/NRCS SPECIFIED SEED MIX (NON-IRRIGATED NATIVE SEED MIX*)				SEE SEED NOTES SHEET 5 OF 6 (L102)
(220,799 SF ON-SITE)							

PLANT LIST LOT 2							
SYMBOL	QTY	ABBR	COMMON/BOTANICAL NAME	SIZE	HT. X SPD.	HYDRO ZONE	REMARKS
<b>OVERSTORY TREES</b>							
	12	BO	BUR OAK Quercus macrocarpa	1.5" CAL. B&B	70' X 50'	L	FULL CROWN, STAKED, SPECIMEN QUALITY
	6	WH	WESTERN HACKBERRY Celtis occidentalis	1.5" CAL. B&B	60' X 40'	L	FULL CROWN, STAKED, SPECIMEN QUALITY
<b>EVERGREEN TREES</b>							
	9	PP	PINYON PINE Pinus edulis	6' HT. B&B	25' X 20'	VL	FULL CROWN, STAKED, SPECIMEN QUALITY
<b>HYDROZONE KEY</b>							
	H	H = HIGH WATER NEEDS					
	M	M = MODERATE					
	L	L = LOW WATER NEEDS					
	VL	VL = VERY LOW WATER NEEDS					

LEGEND	
	PROPERTY LINE
	ADJACENT PROPERTY LINE
	EASEMENT LINE
	EXIST. MAJOR CONTOUR
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david@cbsconstruction.com  
CONTACT: DAVID SPRTLIN

**STERLING DESIGN ASSOCIATES**  
Civil Engineers | Landscape Architects  
2009 W. Littleton Blvd. #300 Littleton, CO 80120  
303.794.4727 | www.SterlingDesignAssociates.com

PREPARED UNDER THE DIRECT SUPERVISION OF  
JONATHAN SPENCER, P.L.A.  
COLORADO REGISTRATION # 111  
FOR & ON BEHALF OF STERLING DESIGN ASSOCIATES, LLC

STERLING DESIGN ASSOCIATES, LLC	
<b>ISSUES &amp; REVISIONS</b>	
NO. 1	DATE: - BY: -
DESCRIPTION: -	
NO. 2	DATE: - BY: -
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NO. 3	DATE: - BY: -
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NO. 4	DATE: - BY: -
DESCRIPTION: -	
NO. 5	DATE: - BY: -
DESCRIPTION: -	
NO. 6	DATE: - BY: -
DESCRIPTION: -	
DATE: 04/19/23	SCALE: 1" = 60'
PROJECT MANAGER: JDS	PROJECT NO.:
DRAWN BY: JDS	DRAWING FILE:
PROJECT:	

**7113 (LOT 1) AND 7233 (LOT 2)  
SPACE VILLAGE AVENUE  
SPACE VILLAGE FILING NO. 4  
EL PASO COUNTY, CO**

CLIENT:  
COMMERCIAL BUILDING SERVICES  
7561 S. GRANT STR., SUITE A-4  
LITTLETON, COLORADO 80122  
TEL: (303) 730-3001

SHEET TITLE:  
**LANDSCAPE PLAN**

SHEET NUMBER:  
**3 OF 5 L101**  
**PCD FILE NO. PPR-23-003**

\*DO NOT PLANT NATIVE SEED IN BOTTOM OF PONDS.

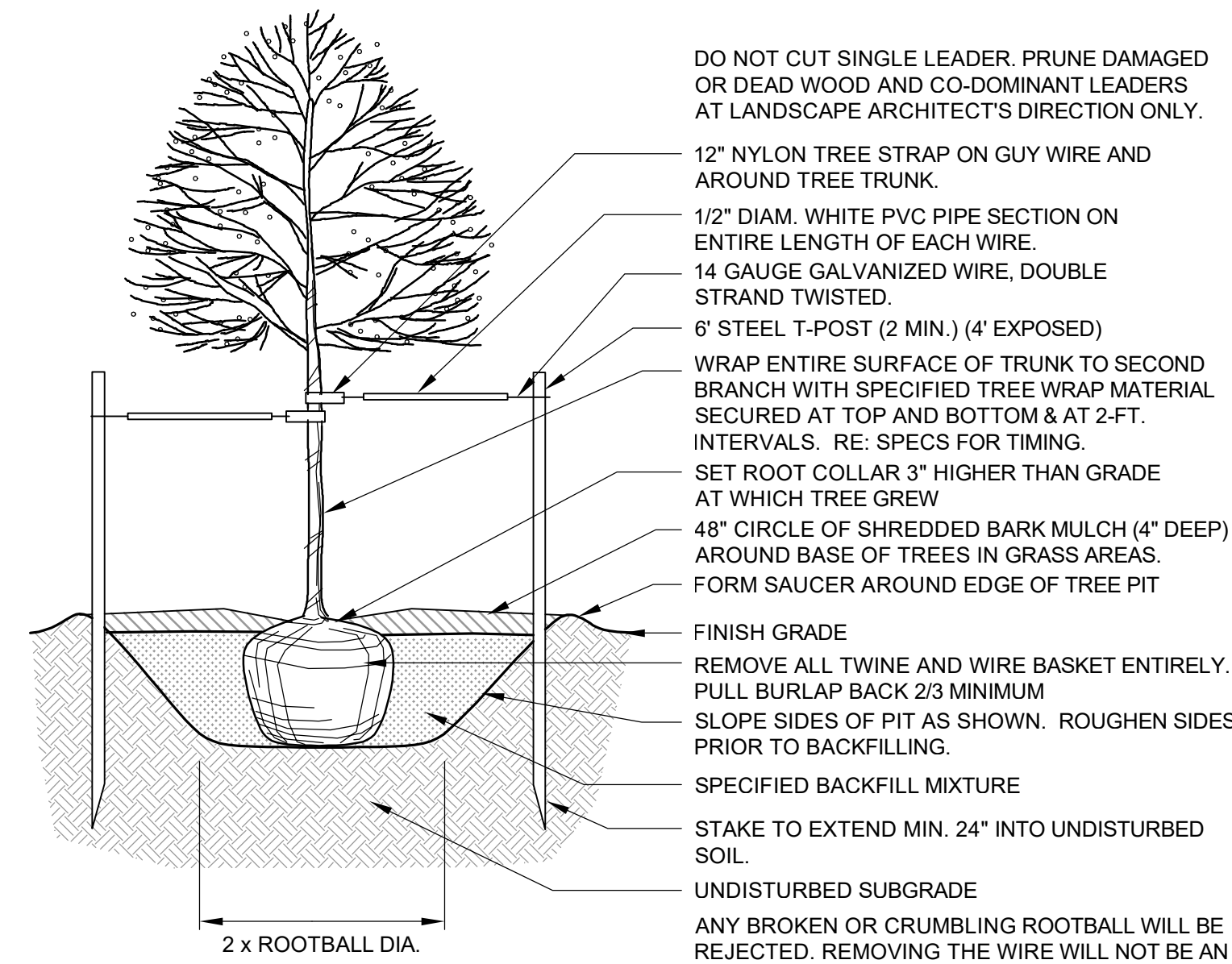
# SPACE VILLAGE FILING NO. 4

## A PORTION OF THE NW 1/4 OF SEC. 17, T14S, R65W, OF THE 6th P.M., EL PASO COUNTY, COLORADO DEVELOPMENT PLAN

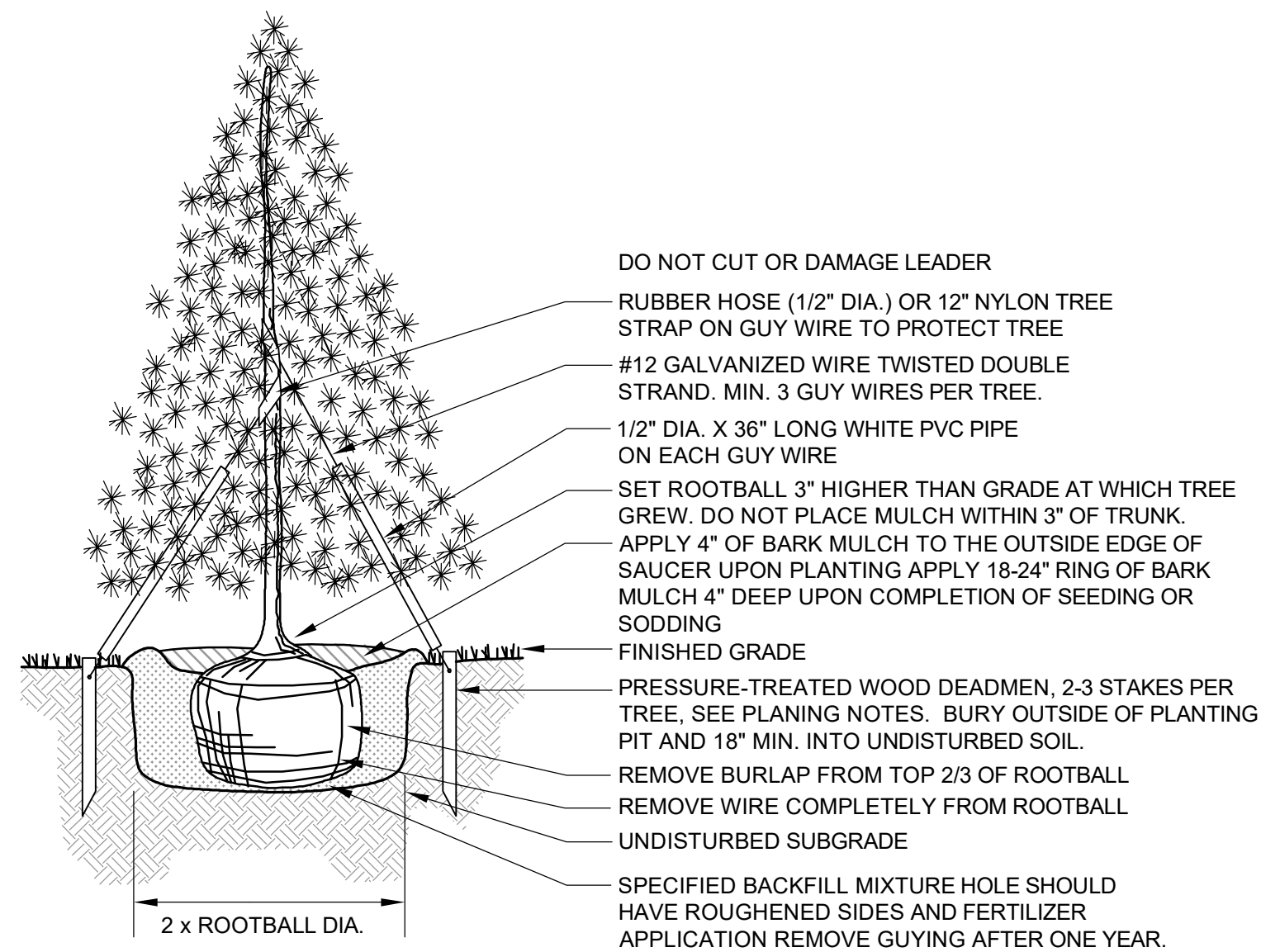
### LANDSCAPE NOTES

- COORDINATION:**  
THIS LANDSCAPE ARCHITECTURAL SITE PLAN IS TO BE USED IN CONJUNCTION WITH THE CIVIL, ARCHITECTURAL, MECHANICAL, ELECTRICAL, STRUCTURAL AND IRRIGATION PLANS AND SPECIFICATIONS TO FORM COMPLETE INFORMATION REGARDING THIS SITE.
- COMPLIANCE:**  
CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES.
- GUARANTEE:**  
ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR ONE YEAR, FROM DATE OF FINAL ACCEPTANCE, AT NO ADDITIONAL COST TO THE OWNER.
- COMPLETION AND MAINTENANCE:**
  - FINAL ACCEPTANCE:** WITHIN TEN DAYS OF CONTRACTOR'S NOTICE THAT THE ENTIRE PROJECT IS COMPLETE, THE L.A. SHALL REVIEW INSTALLATION. IF FINAL ACCEPTANCE IS NOT GIVEN, THE L.A. SHALL PREPARE A PUNCH LIST OF PENDING ITEMS. THE PUNCH LIST ITEMS SHALL BE COMPLETED BY THE CONTRACTOR WITHIN TEN CALENDAR DAYS FROM DATE ISSUED. SUBSEQUENT REVIEW AND APPROVAL SHALL SIGNIFY ACCEPTANCE.
  - MAINTENANCE:** ALL LANDSCAPING SHALL BE MAINTAINED FROM INSTALLATION TO FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, ROLLING, REGRADING, REPLANTING, DISEASE AND INSECT PROTECTION.
- SITE CONDITIONS:**  
LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. DO NOT PROCEED UNTIL CONDITIONS ARE CORRECTED. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINISHED GRADES AND POSITIVE DRAINAGE IN LANDSCAPE AREAS.
- DAMAGE AND CLEANING:**
  - CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED DUE TO THIS WORK AT NO ADDITIONAL COST TO THE OWNER.
  - CONTRACTOR SHALL CLEAN ALL AREAS DUE TO THIS WORK AND PROPERLY REMOVE ALL UNUSED MATERIALS FROM SITE.
- RIGHT OF REJECTION:**  
OWNER/LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY MATERIALS AT ANY TIME. ALL PLANT MATERIALS SHALL MEET THE MINIMUM CURRENT "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN. CONTRACTOR SHALL PROVIDE SAMPLES, SPECS., AND OR TAGS FOR ALL MATERIALS.
- SOIL PREPARATION:**  
SOD, NATIVE SEED, AND SHRUB BED AREAS SHALL RECEIVE SIX INCHES OF APPROVED TOPSOIL. PER CSU'S SOIL ANALYSIS PREPARED 4/29/22. DO NOT APPLY ANY SOIL AMENDMENTS SUCH AS MANURE AND COMPOST. APPLY 1.3 LB. N PER 1,000 SQ. FT. THREE TIMES DURING THE GROWING SEASON (MID-MARCH-APRIL, MAY-MID-JUNE AND LATE SEPTEMBER-EARLY OCTOBER), APPLY 2.7 LB P205, 0.2 LB ZN, 0.04 LB FE2SO4 (IRON

- SULFATE), 0.02 LB MN, 0.1 LB CU, AND 0.01 LB B PER 1,000 SQ. FT. AT PLANTING OR BEGINNING OF GROWING SEASON. SEVERAL APPLICATIONS MAY BE REQUIRED DURING THE FIRST GROWING SEASON. ROTOTILL FERTILIZER AND TOPSOIL TO INCORPORATE AMENDMENTS AND COUNTER ANY COMPACTION OR SOIL CONSOLIDATION IN ALL LANDSCAPE PLANTING AREAS. VERIFY SOIL PREP SPECIFICATIONS WITH WATER PROVIDER STANDARDS. PROVIDE EVIDENCE OF APPLICATION AS REQUIRED. TEST SOIL IN EXISTING ASPHALT AREAS FOR STERILANT USE. IF STERILANTS ARE FOUND PRESENT, REMOVE ALL CONTAMINATED SOIL AND REPLACE WITH NEW TOPSOIL.**
- PLANTING:**  
TREES AND SHRUBS SHALL BE PLANTED PER DETAILS. STAKE AND GUY TREES PER DETAILS. TREE AND SHRUB BED LOCATIONS SHALL BE APPROVED PRIOR TO PLANTING. BACKFILL WITH 1/3 SOIL AMENDMENT AND 2/3 SITE SOIL, THOROUGHLY MIXED. FERTILIZE AS RECOMMENDED WITH AGRIFORM TABLETS.
- SEEDING:**  
SEE NOTES BELOW FOR SEEDING. NO SEED IN BOTTOM OF PONDS.
- EDGER:**  
INSTALL 4" ROLL-TOP RYERSON STEEL EDGING (14 GAUGE WITH GREEN FINISH) OR EQUAL. INSTALL WITH STAKES AND SPLICERS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL BETWEEN ALL SOD OR SEEDED AREAS AND MULCHED AREAS.
- MULCH:**  
INSTALL A MINIMUM 4" THICK MINIMUM LAYER OF MULCH AS SPECIFIED IN THE LEGEND. INSTALL A 3" THICK RING OF DOUBLE SHREDDED CEDAR BARK MULCH AROUND ALL PLANT MATERIAL IN ROCK MULCH BEDS WHERE LANDSCAPING IS SHOWN ON THE PLANS. WOOD MULCH RING SIZE SHALL BE THE SIZE OF THE OF SHRUB, PERENNIAL, AND ORNAMENTAL GRASS'S CONTAINER/ROOTBALL. INSTALL WEED BARRIER FABRIC UNDER ALL ROCK AND WOOD MULCH SHRUB BEDS SPECIFIED ON THE PLANS ONLY. PULL WEED BARRIER AWAY FROM THE BASE OF SHRUBS AND TREES IN WOOD MULCH AREAS. NO PLASTIC WEED BARRIERS SHALL BE SPECIFIED. NO WEED BARRIER SHALL BE USED IN AREAS OF PERENNIAL FLOWER AND GROUND COVER PLANTINGS. (SUBMIT SAMPLES)
- MAINTENANCE:**  
THE PROPERTY OWNER OF RECORD, THE OWNER'S AGENT OR TENANT SHALL KEEP ALL LANDSCAPING IN A WELL MAINTAINED AND HEALTHY GROWING CONDITION.
- IRRIGATION:**  
ALL LANDSCAPE AREAS SHALL BE WATERED BY AN AUTOMATIC IRRIGATION SYSTEM TO INCLUDE IRRIGATION TO ALL PROPOSED PLANT MATERIAL. TURF AREAS LESS THAN 25' IN WIDTH SHALL BE IRRIGATED WITH A POP-UP SPRAY SYSTEM AND ALL TURF AREAS GREATER THAN 25' SHALL HAVE A ROTARY POP-UP HEAD SYSTEM PROVIDING HEAD TO HEAD COVERAGE, ALL SHRUB BEDS SHALL BE IRRIGATED USING A DRIP IRRIGATION SYSTEM, ZONED SEPARATE FROM TURF AREAS.



**SHADE TREE PLANTING 1**  
NOT TO SCALE



**EVERGREEN TREE PLANTING 2**  
NOT TO SCALE

### SEEDING NOTES

#### USDA NATURAL RESOURCES CONSERVATION SERVICE (NRCS) NATIVE SEED MIX

COMMON NAME	SCIENTIFIC NAME	GROWTH SEASON / FORM	% OF MIX	POUNDS PLS
BLUESTEM, BIG	ANDROPOGON GERARDII 'KAW'	WARM, BUNCH	20	2.18
BLUESTEM, LITTLE	SCHIZACHYRIUM SCOPARIUM 'PASTURA'	WARM, BUNCH	10	0.67
GRAMA, BLUE	BOUTELLOUA GRACILIS 'HACHITA'	WARM, SOD	20	0.25
GRAMA, SIDEQATS	BOUTELLOUA CURTIPENDULA 'VAUGHN'	WARM, SOD	10	0.91
INDIAN GRASS, YELLOW	SORGHASTRUM NUTANS 'CHEYENNE'	WARM, BUNCH/SOD	10	1.02
WHEATGRASS, WESTERN	PASCOPYRUM SMITHII 'ARRIBA'	COOL, SOD	20	3.20
SWITCHGRASS	PANICUM VIRGATUM 'BLACKWELL'	WARM, SOD	10	0.40
SANDSEED, PRAIRIE	CALIMOVILFA LONGIFOLIA 'GOSHEN'	WARM, SOD	10	0.64
		SEED RATE (LBS PLS/ACRE)		9.26

#### SEEDING SPECS.

SUBMIT ALL SEEDING, MULCHING, AND WATER SCHEDULE SPECIFICATIONS TO LANDSCAPE ARCHITECT FOR FINAL APPROVAL IN ACCORDANCE OF EL PASO COUNTY REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE TO ESTABLISH A HEALTHY AND WEED FREE STAND OF GRASS.

**SOIL PREP:** APPLY STOCKPILED TOPSOIL AND 100 LBS. OF DIAMMONIUM PHOSPHATE PER ACRE TO AN APPROVED SUBGRADE. USE A DISK OR HARROW TO PREPARE THE SEED BED AND COMPLETE FINISH GRADING.

**SEEDING:** APPLY SEED USING HYDROSEED/HYDROMULCH SLURRY AS SPECIFIED BY SEED PRODUCER OR USE A GRASS DRILL WITH A SEED AGITATOR TO ENSURE THAT THE SEED IS DRILLED EVENLY TO A 1/2" DEPTH.

**MULCH:** IF DRILL SEEDING, CRIMP STRAW INTO THE SOIL AT 3,000 LBS. PER ACRE.

**WATER:** CONTRACTOR SHALL APPLY 1/2" OF WATER TO SEED AREAS, TWICE PER WEEK, FOR THREE WEEKS. CONTRACTOR TO SUPPLY ALL EQUIPMENT AND LABOR.

RESEED AND MULCH BARE OR ERODED AREAS AT ONE (1) MONTH INTERVALS AS NECESSARY.



PREPARED UNDER THE DIRECT SUPERVISION OF  
JONATHAN SPENCER, P.L.A.  
COLORADO REGISTRATION # 111  
FOR & ON BEHALF OF STERLING DESIGN ASSOCIATES, LLC

STERLING DESIGN ASSOCIATES, LLC	
ISSUES & REVISIONS	
NO: 1	DATE: - BY: -
DESCRIPTION: -	
NO: 2	DATE: - BY: -
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NO: 3	DATE: - BY: -
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NO: 4	DATE: - BY: -
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NO: 5	DATE: - BY: -
DESCRIPTION: -	
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DATE: 04/19/23	SCALE: -
PROJECT MANAGER: JDS	PROJECT NO.:
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PROJECT:	

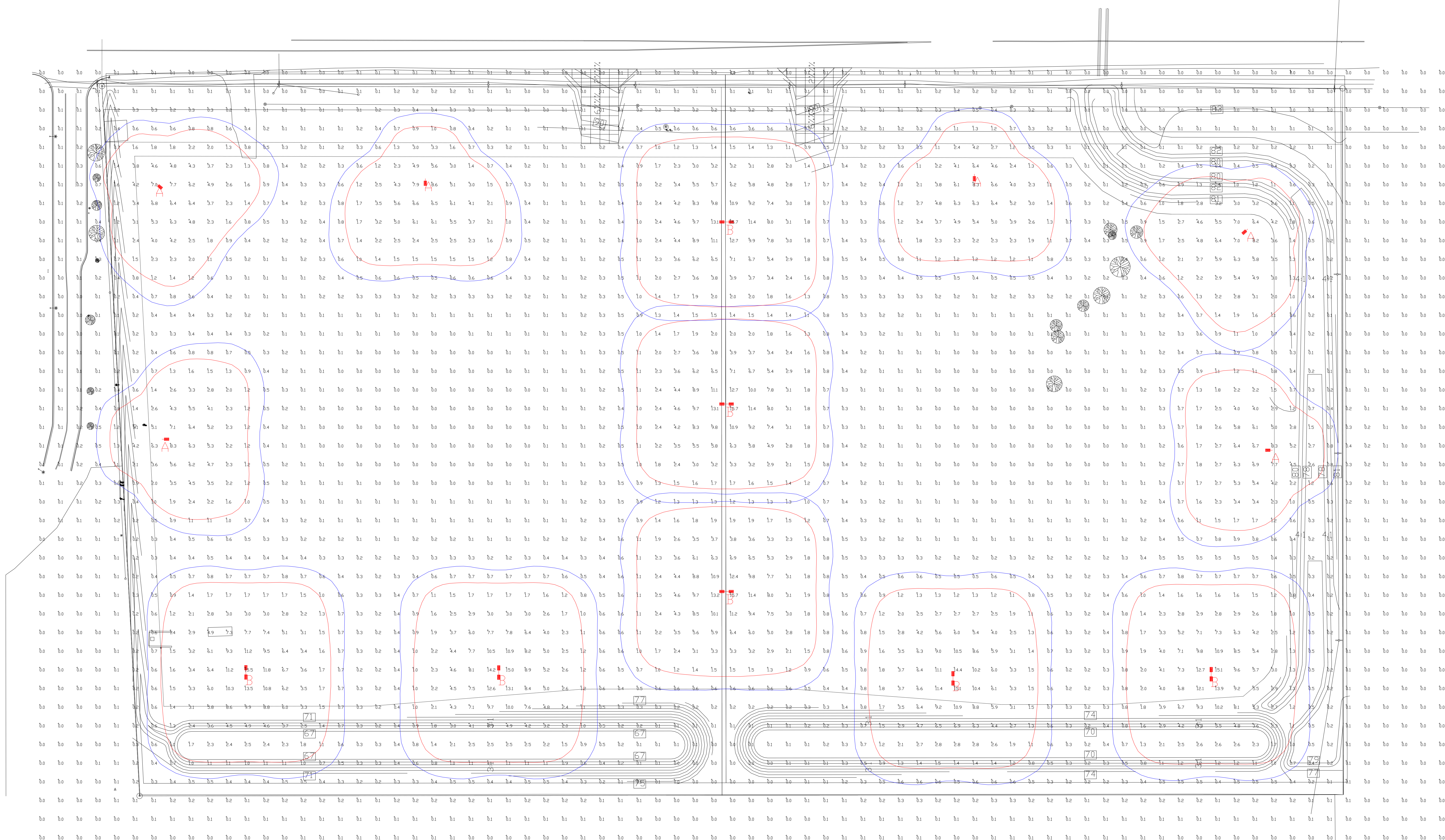
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CLIENT:  
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7561 S. GRANT STR., SUITE A-4  
LITTLETON, COLORADO 80122

TEL: (303) 730-3001

SHEET TITLE:  
**LANDSCAPE NOTES & DETAILS**

SHEET NUMBER:  
**4 OF 5 L102**  
**PCD FILE NO. PPR-23-003**



**PHOTOMETRIC EVALUATION  
NOT FOR CONSTRUCTION**

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALCS @ GRADE 20' X 20' GRID	Illuminance	Fc	1.24	15.7	0.0	N.A.	N.A.

Symbol	Qty	Label	Arrangement	Description	LLD	LDD	LLF	Arr. Lum. Lumens	Arr. Watts
	6	A	SINGLE	MRL-LED-78L-SIL-FT-50-70CRI-SINGLE-37.5' MH	1.000	1.000	1.000	79676	648
	7	B	D180°	MRL-LED-78L-SIL-FT-50-70CRI-D180-37.5' MH	1.000	1.000	1.000	159352	1296

Luminaire Mounting Height = 37.5'

Total Project Watts\_1  
Total Watts = 12960

BY:RINKMWD DATE:8/29/22 REV:11/16/22 SHEET 1 OF 1

LIGHTING PROPOSAL LD-156536-1

HAMPTON YARDS  
PETERSON BLVD & SPACE VILLAGE AVE  
COLORADO SPRINGS, CO

SCALE: 1"=50'



June 20, 2023

El Paso County  
Planning and Community Development Department  
2880 International Circle, Suite 110  
Colorado Springs, CO 80910  
Attn: Ashlyn Mathy, Planner 1

RE: PPR-23-003 Space Village Ave, Unincorporated El Paso County, CO

Ms. Mathy,

Thank you for the opportunity to submit the attached plans for a Site Development Plan for the property at 0 Space Village Ave, property tax schedule number 5417001005. The following is a narrative of the project and list of items included in the submittal.

Sterling Design Associates in conjunction with Commercial Building Services has prepared the attached Site Development Plan on behalf of Hampton Partners. The property is currently 22.8 Acres and Hampton Yards proposes to simply subdivide it into 2 separate lots roughly 11.4 Acres each. The Minor Subdivision is currently in process under MS227, Space Village minor Subdivision.

The property is currently zoned I-3 CAD-O, Heavy Industrial with Commercial Airport Overlay District. I-3 I Heavy Industrial District is defined in the LDC as follows: *The I-3 zoning district is intended to accommodate manufacturing and industrial uses, which may include related outside storage of raw or finished materials.*

The current use is listed as warehouse/storage. There are no proposed changes to zoning or use as the two lots will remain as outdoor storage/contractors equipment yard with no buildings or structures planned. These uses fall within the "Allowed" uses as defined in Table 5.1 Principal Uses.

The following is a list of some, but not all, of the other permitted uses for the property:

- Contractor Equipment Yard.
- Automobile and Boat Storage Yard
- Heavy Equipment Rental, Sales, or Storage
- Trash Processing Facility
- Home Improvement Center
- Inert Material Disposal
- Outside Storage
- Recreational Vehicle and Boat Storage
- Recycling
- Etc.

The site is an undeveloped lot consisting of outdoor storage use. Adjacent land uses to the site consist of CS-Commercial Service to the west, I-2 Industrial, CS Commercial Service, and RR-5 Residential to the north of Space Village Avenue, vacant land to the east which is City of Colorado Springs APD Airport Planned Development zone district, and Peterson Space Force Base directly to the south. Outdoor storage is a permitted use in this location and is compatible with the other surrounding uses.

The site's main access will be from two access points, one for each lot, along Space Village Ave. No buildings or off-street parking areas are planned. A designated entry drive and 96 foot diameter turn around for fire our outlined in the Site Development Plan.

As no building are proposed, limited utilities are proposed. While there is service availability to serve future uses the current development is not proposing any facilities therefore no new water service or sanitary sewer is proposed. An existing water meter along Space Village will be re-used to provide permanent irrigation for the street trees along Space Village. A water loop is proposed with a single hydrant for each lot. While this is not required by Code or by Cimarron Hills Fire the developer thought it prudent to provide.

Landscaping for screening will be provided when improvements are proposed and specified as part of the Development Plan. It is anticipated that screening will be required along Space Village and western boundary in conformance with the El Paso County LDC. Proposed landscaping will be comprised of a mixture of native and naturalized evergreen and deciduous plantings that will provide seasonal interest throughout the year. Native seed mix areas along the street frontage and perimeter will provide a comfortable transition from the surrounding natural landscape. A 20 foot buffer along Space Village Ave. with street trees 1 per 25' of frontage is anticipated as well as 5% of the property shall be landscaped per the discussion and notes from the Early Assistance Meeting. A temporary automatic irrigation system will be provided with highly efficient overhead rotary spray heads for establishment of the native seed areas and drip irrigation for any trees and shrubs. A 6' tall opaque fence is planned for the north, east and west perimeters. The south will remain chainlink for security reasons as discussed with Peterson Space Force Base Planning and Engineering staff.

Traffic generation for this site is negligible. A Traffic Study was prepared as part of the Minor Subdivision (MS227) that details the anticipated traffic. Revisions have been made based on County comments and this plan is in conformance with those requested revisions and the Traffic Study.

Public Improvements in the ROW are a requirement for this project. An attached 10' trail (as required by the City of Colorado Springs Parks & Open Space) along with curb and gutter and associated accessible ramps are reflected in the current design on the south side of Space Village. Improvements in the ROW are shown for County reference only. The applicant/developer is aware that a ROW permit is required to be obtained from the City of Colorado Springs Public Works/Traffic Engineering Department prior to construction of the curb, gutter, sidewalk, and ramps and that a drive way access permit is also required prior to construction of the access drives.

County Road Impact Fees, recording fees, and park and school fees will be required with this project. A breakdown of these fees has not yet been provided however, once fees have been provided and or determined, the developer is aware they will need to pay them prior to final approvals of the Site Development Plan.

Minimal noise or odors are anticipated as these lots are intended to be outdoor contractor storage. Limited truck activity for drop off and pick up noise may occur however not dissimilar to surrounding uses.

Criteria for Subdivision approvals are identified and addressed below:

- *The subdivision is in substantial compliance with the approved preliminary plan-* Since no development is proposed at this time and it being a minor subdivision, no preliminary plan has been prepared.
- *The subdivision is consistent with the subdivision design standards and regulations and meets all planning, engineering, and surveying requirements of the County for maps, data, surveys, analyses, studies, reports, plans, designs, documents, and other supporting materials-* The required studies, reports, plans, design, and supporting materials have been provided and the minor subdivision meets the criteria for approval.
- *A sufficient water supply has been acquired in terms of quantity, quality, and dependability for the type of subdivision proposed, as determined in accordance with the standards set forth in the water supply standards [C.R.S. §30-28-133(6)(a)] and the requirements of Chapter 8 of this Code-* Very limited to no water use is proposed. Regardless, based on the Water Resources Report provided by Cherokee Metro District there is sufficient supply, quality, and dependability for the proposed uses.
- *A public sewage disposal system has been established and, if other methods of sewage disposal are proposed, the system complies with State and local laws and regulations, [C.R.S. §30-28-133(6)(b)] and the requirements of Chapter 8 of this Code-* Existing public sewage infrastructure is available to the property in sufficient capacity. No proposed sanitary uses are proposed.
- *All areas of the proposed subdivision which may involve soil or topographical conditions presenting hazards or requiring special precautions have been identified and that the proposed subdivision is compatible with such conditions [C.R.S. §30-28-133(6)(c)]-* At this time no Geotech or Environmental Reports have been provided.
- *Adequate drainage improvements are proposed that comply with State Statute [C.R.S. §30-28-133(3)(c)(VIII)] and the requirements of this Code and the ECM-* As outlined in the Final Drainage Report, adequate drainage improvements can be provided should the lots been improved in the future.
- *Legal and physical access is provided to all parcels by public rights-of-way or recorded easement, acceptable to the County in compliance with this Code and the ECM-* Both lots will have legal and physical access to Space Village Avenue.
- *Necessary services, including police and fire protection, recreation, utilities, and transportation systems, are or will be made available to serve the proposed subdivision-* This area is already serviced and it is anticipated these services are and will be available in the future.
- *The final plans provide evidence to show that the proposed methods for fire protection comply with Chapter 6 of this Code-* Cimarron Fire District expressed no concern upon contact with them. They have expressed they will review the proposal once a formal submittal to the County is processed and will confirm fire protection is provided per Chapter 6 of the El Paso County Code.
- *Off-site impacts were evaluated and related off-site improvements are roughly proportional and will mitigate the impacts of the subdivision in accordance with applicable requirements of Chapter 8-* Offsite impacts will be evaluated during formal review. Minimal if any impacts are anticipated as the site configuration and use will remain as it is currently being used.
- *Adequate public facilities or infrastructure, or cash-in-lieu, for impacts reasonably related to the proposed subdivision have been constructed or are financially guaranteed through the SIA so the impacts of the subdivision will be adequately mitigated-* The SIA will be finalized during formal review.
- *The subdivision meets other applicable sections of Chapter 6 and 8; and El Paso County, Colorado Land Development Code Rules Governing Divisions of Land – Chapter 7-Page 10 Effective 05/2016-* The minor subdivision meets the minimum criteria required.
- *The extraction of any known commercial mining deposit shall not be impeded by this subdivision [C.R.S. §§34-1-302(1), et seq.]-* This has been noted.

Owner:  
First Wing Development, LLLP  
c/o K-Ventures LLLP  
7220 Baker Road  
Colorado Springs, CO 80908  
Attn: Ken Kvols  
[kenkvols@gmail.com](mailto:kenkvols@gmail.com)  
719-330-2912

Developer:  
Hampton Yards, LLC  
201 Fillmore St, Suite 201  
Denver, CO 80206  
Attn: Tucker Robinson, Jeff Robinson  
[TUCKER@HAMPTONPARTNERS.NET](mailto:TUCKER@HAMPTONPARTNERS.NET)  
303-694-1085

Hampton Partners plans to comply with the County requirements and anticipate that once formal review begins any outstanding information will be provided. Should you have any questions, please do not hesitate to contact me at (303) 794-4727 x.205. We look forward to your feedback and working with you on this Minor Subdivision and Site Development Plan.

Sincerely,



Jon Spencer  
Agent for Applicant