

ARCHITECTURAL

- CS Cover Sheet & General Notes
- C1 Site Plan
- A1 Basement Floor Plan
- A2 Main Floor Plan
- A3 Roof Plan
- A4 Front & Right Side Elevations
- A5 Rear & Left Side Elevations
- A6 Building Sections
- A7 Building Sections
- A8 Interior Elevations
- A9 Interior Elevations
- A10 Electrical Location Plans
- A12 3D VIEWS

FOUNDATION

- F1 Foundation Plan
- F2 Foundation Details

STRUCTURAL

- S1 STR Framing Details
- S2 STR Framing Details
- S3 Main Floor & Deck Framing Plans
- S4 Structural Sections & Details
- S5 Roof Framing Plans

| Rev. # | Date | Description |
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|-------------|---------|
| PROJECT No. | 26-0010 |
| DATE | 3/2/26 |
| DRAWN BY | JLH |
| CHECKED BY | BLD |

C1

Site Plan

GENERAL SITE NOTES:

- The builder shall become familiar with the project site and all existing site conditions which might impact the proposed scope of work prior to beginning any construction related activities.
- The builder shall be responsible for verifying existing site grades and natural land formations, existing trees and shrubbery and proposed building location. The builder may obtain a licensed surveyor for the purpose of recording accurate site conditions.
- All easements, setbacks, building heights and footprint requirements shall be verified by the builder prior to construction.
- The builder shall confirm the location of any existing utility services and meters and coordinate any required extensions with the utility companies.
- The builder shall be responsible for coordinating final grading and paving of walks, driveways and patios. Finished grades shall slope away from the building a minimum of 10%, or one (1) foot per every ten (10) feet.
- The builder and/or owner shall determine and coordinate all required final landscaping.
- The builder shall keep the premises free from accumulation of waste materials and debris.
- All retaining walls greater than 4'-0" high, to be designed by a licensed Colorado engineer.
- All Concrete foundation walls, pads, piers, and concrete retaining walls shall be designed by a licensed Colorado Professional Engineer.
- Refer to applicable building code and the Local Home Owners Association requirements for specifications not stated in the plans.
- All native vegetation is to remain as practical.
- The Contractor and all Sub-Contractors shall take careful consideration to construction practices to help insure proper care of native landscape.

LEGAL DESCRIPTION

A PARCEL OF PROPERTY LOCATED IN SECTION 31, TOWNSHIP 14 SOUTH, RANGE 62 WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 31, AND CONSIDERING THE NORTH LINE OF SAID SECTION 31 TO BEAR SOUTH 89°58'23" WEST, WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO;

THENCE SOUTH 89°58'23" WEST, ALONG THE NORTH LINE OF SAID SECTION 31, A DISTANCE OF 5088.27 FEET TO THE NORTHWEST CORNER OF SAID SECTION 31;

THENCE SOUTH 00°47'31" EAST, ALONG THE WEST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 31, A DISTANCE OF 2437.61 FEET TO THE POINT OF BEGINNING;

THENCE SOUTH 00°47'31" EAST, CONTINUING ALONG SAID WEST LINE OF THE NORTHWEST QUARTER, A DISTANCE OF 185.16 FEET TO THE WEST QUARTER CORNER OF SAID SECTION 31;

THENCE SOUTH 00°47'31" EAST, ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 31, A DISTANCE OF 377.93 FEET;

THENCE SOUTH 89°55'05" EAST, A DISTANCE OF 2707.94 FEET;

THENCE NORTH 00°47'31" WEST, A DISTANCE OF 563.10 FEET;

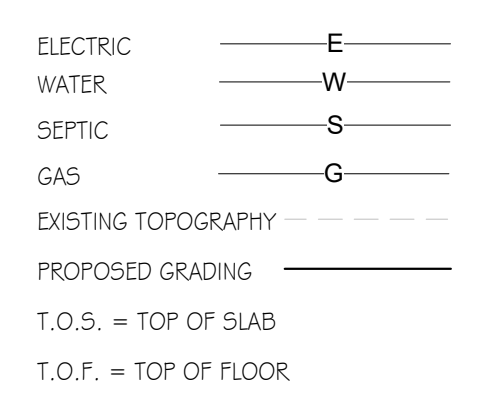
THENCE NORTH 89°55'05" WEST, A DISTANCE OF 2707.94 FEET TO THE POINT OF BEGINNING,; in EL PASO County, State of Colorado.

Site Address: 2989 S Ellicott Hwy, Calhan, Co. 80808

Parcel Number: **13 2400000304** Tax District: KB4

Account Number: R0056922 Zone District: A-35

Acres: 35 (+/-) **UNPLATTED**



SITE PLAN LEGEND
 SCALE 1" = 20'-0"

SFD26369

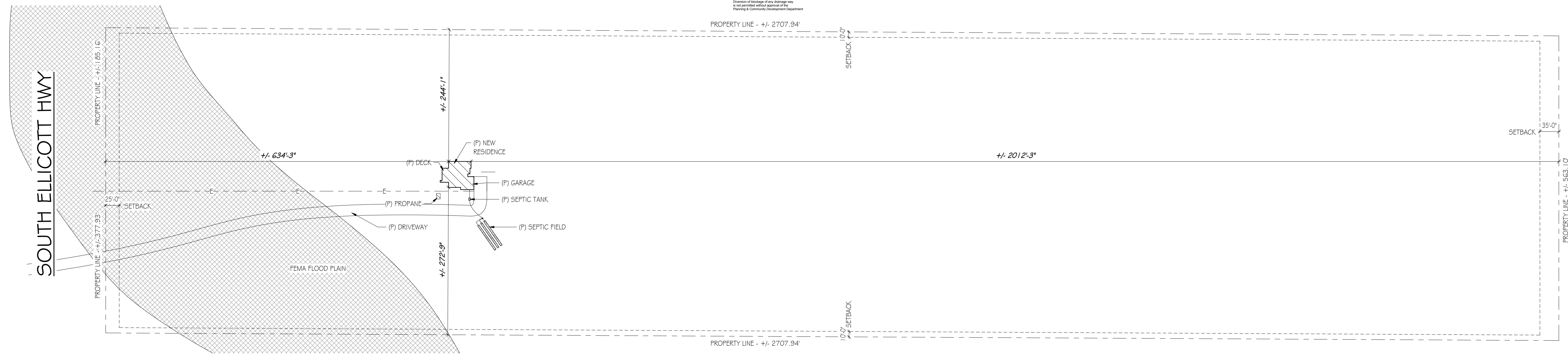
APPROVED BESQCP
 04/24/2026 11:59:18 AM
 dsdyounger
 EPC Planning & Community Development Department

APPROVED Plan Review
 04/24/2026 11:59:24 AM
 dsdyounger
 EPC Planning & Community Development Department

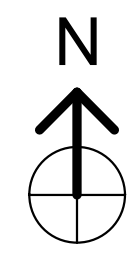
It is the owner's responsibility to coordinate with easement holders to avoid impact to utilities that may be located in the easements.

ANY APPROVAL GIVEN BY EL PASO COUNTY DOES NOT CONSTITUTE THE NEED TO COMPLY WITH APPLICABLE FEDERAL, STATE, OR LOCAL LAWS AND/OR REGULATIONS. Planning & Community Development Department approval is contingent upon compliance with all applicable rules of the respective jurisdiction.

An access permit must be granted by the Planning & Community Development Department prior to any excavation or grading work. Easement of easements of any drainage may be required without approval of the Planning & Community Development Department.

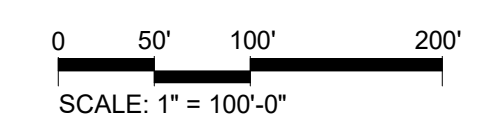


Released for Permit
 03/30/2026 2:59:30 PM
 REGIONAL Building Department
 Becky A
 ENUMERATION



NOTE:
 Site plan is based on preliminary information provided by the home owner. The intent of the Site Plan is to depict the approximate location of the proposed building and are shown for general reference only. This is not intended to illustrate grading, erosion control, site access, waste water treatment systems, or drainage conditions. This is not a surveyed document and should not be considered as such.

Site Plan prepared by: Jason Headley 2/27/26



SITE PLAN
 SCALE 1" = 100'-0"

RESIDENTIAL



2023 PPRBC
2021 IECC

Address: 2989 S ELLICOTT HWY, CALHAN

Plan Track #: 211522 

Received: 27-Mar-2026 (NICOLASV)

Description:






RESIDENCE

Contractor:

Type of Unit:

| | | |
|---------------|------|-------------------|
| Garage | 489 | |
| Lower Level 1 | 1578 | |
| Main Level | 1451 | |
| Upper Level 3 | 315 | |
| | 3833 | Total Square Feet |

Required PPRBD Departments (6)

| | |
|---|--|
| <p>Enumeration</p> <p>Released for Permit</p> <p>03/30/2026 1:09:16 PM</p>  <p>Becky A</p> <p>ENUMERATION</p> | <p>Floodplain</p> <p>N/A</p> <p>03/30/2026 1:18:24 PM</p>  <p>keith</p> <p>FLOODPLAIN</p> |
| <p>Construction</p> <p>Released for Permit</p> <p>04/22/2026 1:32:36 AM</p>  <p>bphillips</p> <p>CONSTRUCTION</p> | <p>Electrical</p> |
| <p>Mechanical</p> <p>Released for Permit</p> <p>04/21/2026 3:43:08 PM</p>  <p>tcrippen</p> <p>MECHANICAL</p> | <p>Plumbing</p> <p>Released for Permit</p> <p>04/22/2026 9:16:45 AM</p>  <p>shanen</p> <p>PLUMBING</p> |

Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations. This plan set must be present on the job site for every inspection.

Required Outside Departments (1)

County Zoning

APPROVED

Plan Review

04/24/2026 12:00:40 PM

dsdyounger

**EPC Planning & Community
Development Department**