

1 SITE PLAN
A1.0 SCALE: 1" = 40'-0"



Owners Information
 BMC West
 720 Paonia Street
 Colorado Springs, CO 80915
 719-597-0005
 Mike Sloggett
 Mike.Sloggett@bldr.com
 303-815-0792

Applicant Information
 Blue Ridge Contractors Inc.
 575 Valley Street Unit 9
 Colorado Springs, CO 80915
 Chris Reid
 chrisreid.blueridge@gmail.com
 719-243-1374

Property Tax Number
 5407315027

Legal Description
 LOT 1 BMC WEST SUB

Lot/Parcel Size
 11.42 Acres

Land Use & Zoning District
 WAREHOUSE/STORAGE

Total Building SqFt
 2,700 sq ft

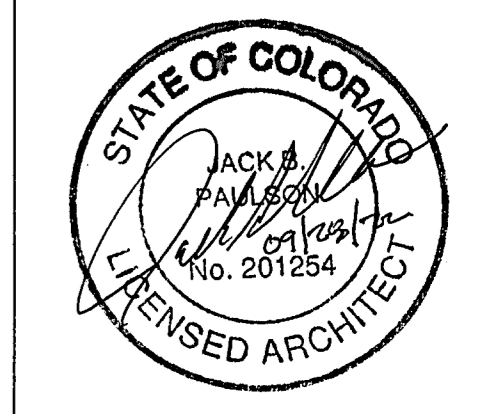
Impermeable Surface Percentage
 Building located over existing asphalt and concrete

No "No-build Areas" Exist. No garbage receptacles, egress and ingress added on Paonia Street, electrical line shown on plans.

CODE INFORMATION:

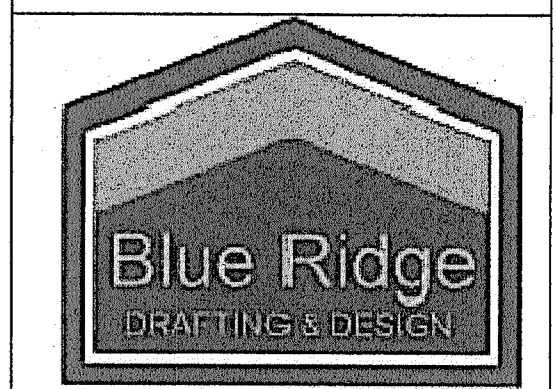
APPLICABLE BUILDING CODES: 2015 IBC & IMC, 2018 IPC, 2017 NEC & 2015 IECC
 2009 ANSI A117.1 AND 2017 PPRBC
BUILDING DATA: NEW 2,700 SF STORAGE SHED BUILDING
OCCUPANCY: S-1 - IBC, SECTION 311.2
 S-1 = STORAGE BUILDING
OCCUPANCY SEPARATIONS - IBC TABLE 508.4
 NONE REQUIRED
CONSTRUCTION TYPE - IBC TABLE 602.2
 TYPE V B CONSTRUCTION, NOT FIRE SPRINKLERED
ALLOWABLE AREA & HEIGHT - IBC TABLE 506.2 & SECTION 506.2.1
 S-1 OCCUPANCY, TYPE V B = 5,500 SQ. FT. FROM TABLE 506.2
ALLOWABLE HEIGHT - IBC TABLE 504.3
 MAXIMUM BUILDING HEIGHT = ONE STORY AND 40'-0"
ACTUAL HEIGHT - 1 STORY
 BUILDING EAVE HEIGHT = 14'-6"
OCCUPANT LOAD - IBC TABLE 1004.1.2
 STORAGE BUILDING = 2,700 SQ. FT. / 500 = 5 OCCUPANTS
EXITING REQUIRED - IBC, TABLE 1006.3.1
 STORAGE BUILDING WITH 5 OCCUPANTS REQUIRES 1 EXIT
 SECTION 1006.2.1 - COMMON PATH OF TRAVEL SHALL NOT EXCEED 75 FT.
 TABLE 1017.2 - EXIT ACCESS TRAVEL DISTANCE SHALL NOT EXCEED 200 FEET FOR A NON-SPRINKLERED S-1 OCCUPANCY
EXITING - PROVIDED
 OPEN SHED ON 180'-0" LONG WALL
FIRE RESISTANCE: IBC, TABLE 601
 FIRE RESISTANCE OF BUILDING ELEMENTS, IBC TABLE 601, TYPE V B CONSTRUCTION
 BEARING WALLS - 0 HOURS
 NON-BEARING WALLS - 0 HOURS
 STRUCTURAL FRAME - 0 HOURS
 PARTITIONS - 0 HOURS
 ASSEMBLIES OF FLOOR, CEILINGS OR ROOF - 0 HOURS
PROTECTION OF EXTERIOR WALLS AND OPENINGS, IBC TABLE 602
 TYPE V B CONSTRUCTION AND U OCCUPANCY BETWEEN 10 AND 30 FEET WALL RATING IS ZERO.
TOILET ROOM REQUIREMENTS
 NOT APPLICABLE:
 TOILETS LOCATED IN MAIN BUILDING THAT IS WITHIN 500 FEET OF THIS NEW BUILDING.

GENERAL NOTES:
 1. CHANGES TO EXISTING STRUCTURE FOLLOW 2015 RBC GUIDELINES.
 2. GENERAL CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS.



CLASS A1 GENERAL CONTRACTOR
 BLUE RIDGE CONTRACTORS INC.
 575 VALLEY STREET UNIT 9
 COLORADO SPRINGS, CO 80915
 WWW.BLUERIDGECONTRACTORS.COM
 (719)243-1374

BUILDERS FIRST SOURCE
 720 PADNIA
 COLORADO SPRINGS,
 CO 80915



Approved
 By: Justin Kilgore
 Planning Manager
 Date: 01/18/2023
 El Paso County Planning & Community Development

BLUE RIDGE DRAFTING & DESIGN
 CHUCKW@BLUERIDGE.COM
 WWW.BLUERIDGECONTRACTORS.COM
 (719)494-6188

PROJECT:
 SITE PLAN-
 BUILDERS FIRST SOURCE

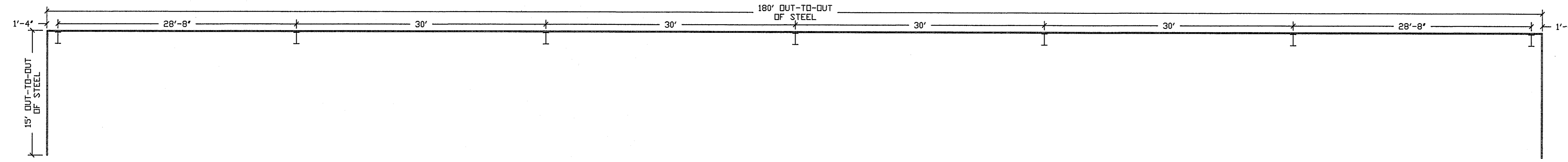
DRAWN BY:
 CHARLES WINEMILLER

DATE: 08/26/2022
SCALE: AS NOTED

SHEET NO.

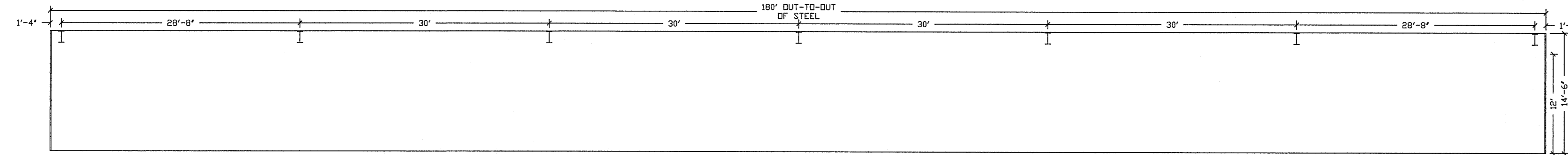
A1.0

NOTE:
SEE ENGINEERING FOR
BUILDING DETAILS



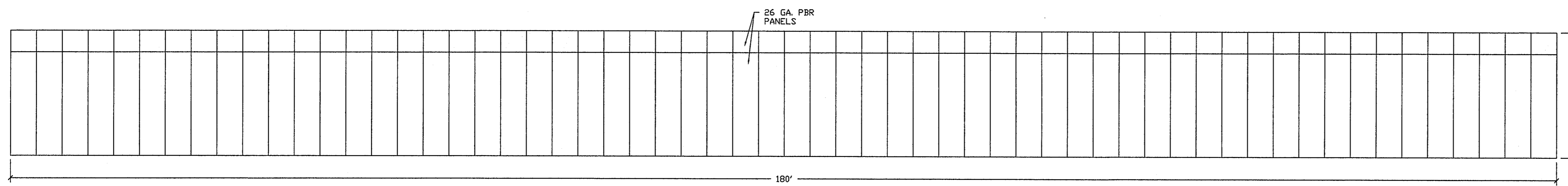
1 FLOOR PLAN
A1.1 SCALE: 1/8" = 1'-0"

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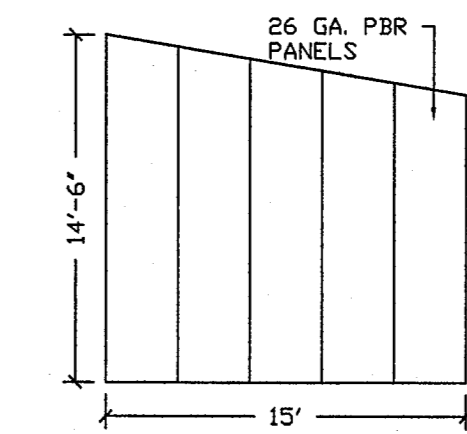
2 FRONT ELEVATION
A1.1 SCALE: 1/8" = 1'-0"

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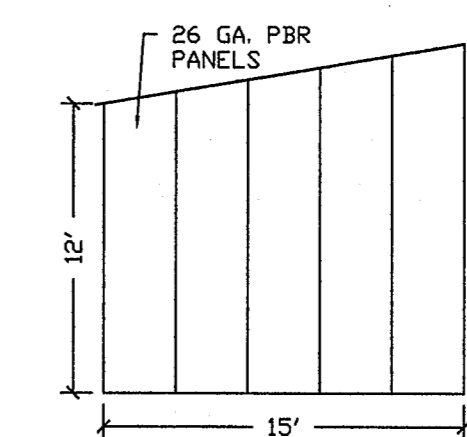
4 REAR ELEVATION
A1.1 SCALE: 1/8" = 1'-0"

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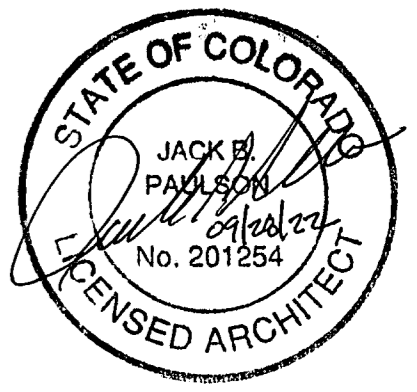
3 LEFT ELEVATION
A1.1 SCALE: 1/8" = 1'-0"

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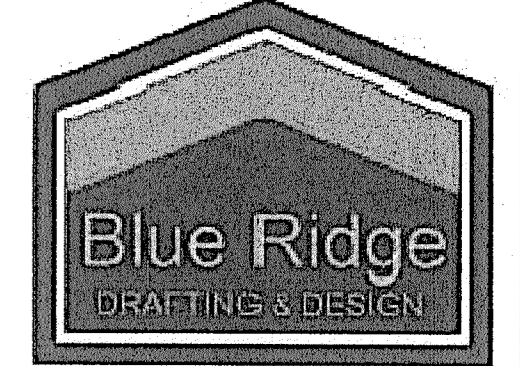
5 RIGHT ELEVATION
A1.1 SCALE: 1/8" = 1'-0"

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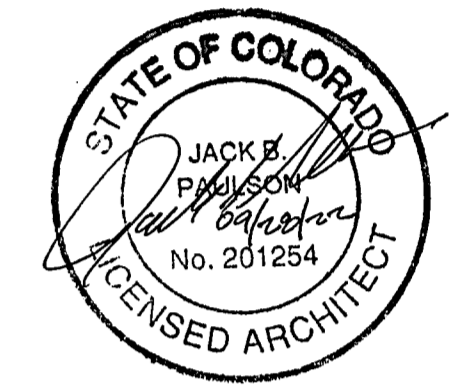
PROJECT:
ELEVATIONS-
BUILDERS FIRST SOURCE

DRAWN BY:
CHARLES WINEMILLER

DATE:
08/26/2022 SCALE:
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SHEET NO.
A1.1

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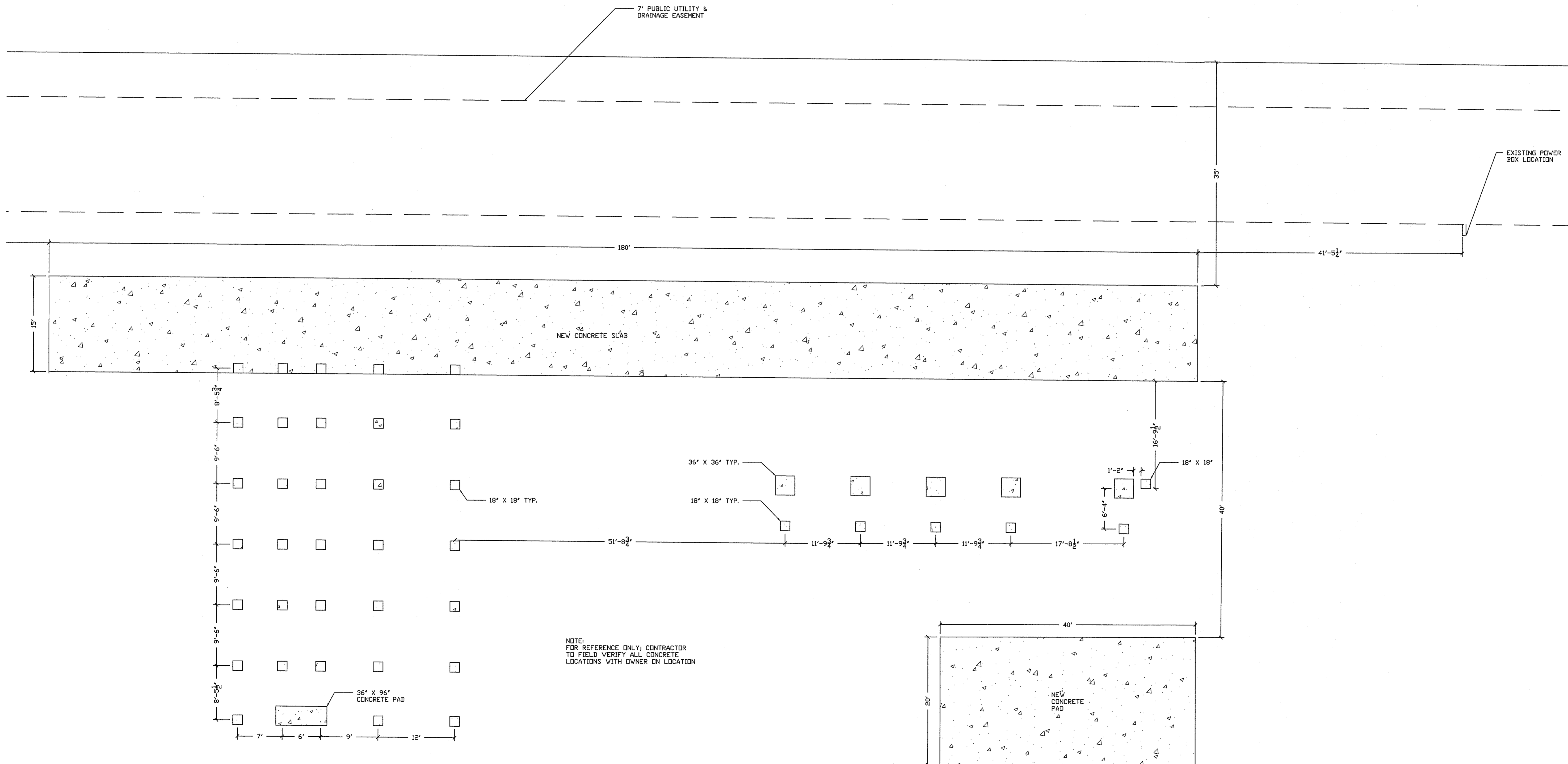
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 DETAILS-
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SHEET NO.
A1.2



1 NEW CONCRETE PADS
 A1.2 SCALE: 1" = 20'-0"

