

1 SITE PLAN  
A1.0 SCALE: 1" = 40'-0"



**Owners Information**  
 BMC West  
 720 Paonia Street  
 Colorado Springs, CO 80915  
 719-597-0005  
 Mike Sloggett  
 Mike.Sloggett@bldr.com  
 303-815-0792

**Applicant Information**  
 Blue Ridge Contractors Inc.  
 575 Valley Street Unit 9  
 Colorado Springs, CO 80915  
 Chris Reid  
 chrisreid.blueridge@gmail.com  
 719-243-1374

**Property Tax Number**  
 5407315027

**Legal Description**  
 LOT 1 BMC WEST SUB

**Lot/Parcel Size**  
 11.42 Acres

**Land Use & Zoning District**  
 WAREHOUSE/STORAGE

**Total Building SqFt**  
 2,700 sq ft

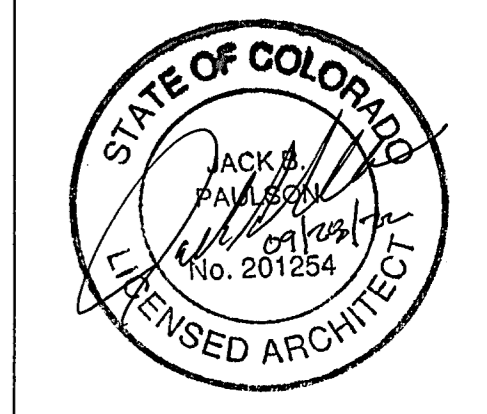
**Impermeable Surface Percentage**  
 Building located over existing asphalt and concrete

No "No-build Areas" Exist. No garbage receptacles, egress and ingress added on Paonia Street, electrical line shown on plans.

**CODE INFORMATION:**

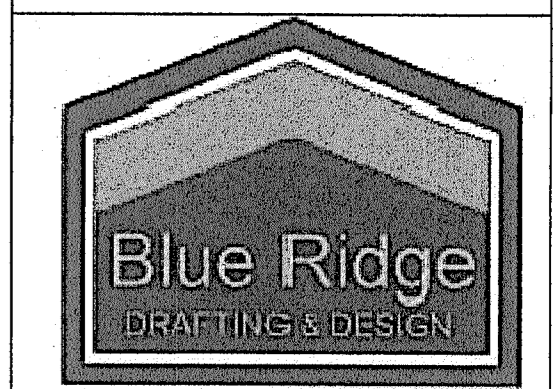
**APPLICABLE BUILDING CODES:** 2015 IBC & IMC, 2018 IPC, 2017 NEC & 2015 IECC  
 2009 ANSI A117.1 AND 2017 PPRBC  
**BUILDING DATA:** NEW 2,700 SF STORAGE SHED BUILDING  
**OCCUPANCY:** S-1 - IBC, SECTION 311.2  
 S-1 = STORAGE BUILDING  
**OCCUPANCY SEPARATIONS -** IBC TABLE 508.4  
 NONE REQUIRED  
**CONSTRUCTION TYPE -** IBC TABLE 602.2  
 TYPE V B CONSTRUCTION, NOT FIRE SPRINKLERED  
**ALLOWABLE AREA & HEIGHT -** IBC TABLE 506.2 & SECTION 506.2.1  
 S-1 OCCUPANCY, TYPE V B = 5,500 SQ. FT. FROM TABLE 506.2  
**ALLOWABLE HEIGHT -** IBC TABLE 504.3  
 MAXIMUM BUILDING HEIGHT = ONE STORY AND 40'-0"  
**ACTUAL HEIGHT -** 1 STORY  
 BUILDING EAVE HEIGHT = 14'-6"  
**OCCUPANT LOAD -** IBC TABLE 1004.1.2  
 STORAGE BUILDING = 2,700 SQ. FT. / 500 = 5 OCCUPANTS  
**EXITING REQUIRED -** IBC, TABLE 1006.3.1  
 STORAGE BUILDING WITH 5 OCCUPANTS REQUIRES 1 EXIT  
 SECTION 1006.2.1 - COMMON PATH OF TRAVEL SHALL NOT EXCEED 75 FT.  
 TABLE 1017.2 - EXIT ACCESS TRAVEL DISTANCE SHALL NOT EXCEED 200 FEET FOR A NON-SPRINKLERED S-1 OCCUPANCY  
**EXITING - PROVIDED**  
 OPEN SHED ON 180'-0" LONG WALL  
**FIRE RESISTANCE:** IBC, TABLE 601  
 FIRE RESISTANCE OF BUILDING ELEMENTS, IBC TABLE 601, TYPE V B CONSTRUCTION  
 BEARING WALLS - 0 HOURS  
 NON-BEARING WALLS - 0 HOURS  
 STRUCTURAL FRAME - 0 HOURS  
 PARTITIONS - 0 HOURS  
 ASSEMBLIES OF FLOOR, CEILINGS OR ROOF - 0 HOURS  
**PROTECTION OF EXTERIOR WALLS AND OPENINGS, IBC TABLE 602**  
 TYPE V B CONSTRUCTION AND U OCCUPANCY BETWEEN 10 AND 30 FEET WALL RATING IS ZERO.  
**TOILET ROOM REQUIREMENTS**  
 NOT APPLICABLE:  
 TOILETS LOCATED IN MAIN BUILDING THAT IS WITHIN 500 FEET OF THIS NEW BUILDING.

**GENERAL NOTES:**  
 1. CHANGES TO EXISTING STRUCTURE FOLLOW 2015 RBC GUIDELINES.  
 2. GENERAL CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS.



CLASS A1 GENERAL CONTRACTOR  
 BLUE RIDGE CONTRACTORS INC.  
 575 VALLEY STREET UNIT 9  
 COLORADO SPRINGS, CO 80915  
 WWW.BLUERIDGECDLDRADD.COM  
 (719)243-1374

**BUILDERS FIRST SOURCE**  
 720 PAONIA  
 COLORADO SPRINGS,  
 CO 80915



BLUE RIDGE DRAFTING & DESIGN  
 CHUCKWM.BLUERIDGE@GMAIL.COM  
 WWW.BLUERIDGECDLDRADD.COM  
 (719)494-6188

**PROJECT:**  
 SITE PLAN-  
 BUILDERS FIRST SOURCE

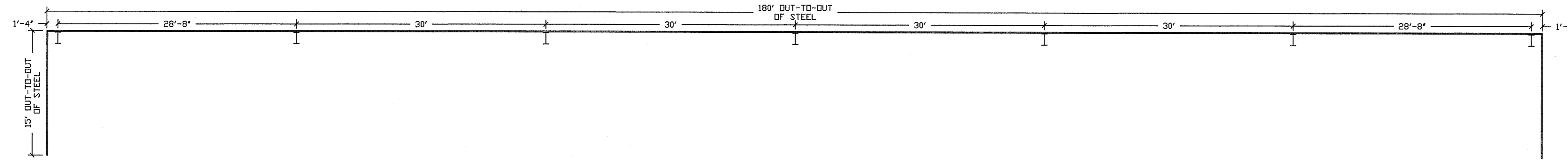
**DRAWN BY:**  
 CHARLES WINEMILLER

**DATE:** 08/26/2022 **SCALE:** AS NOTED

**SHEET NO.**

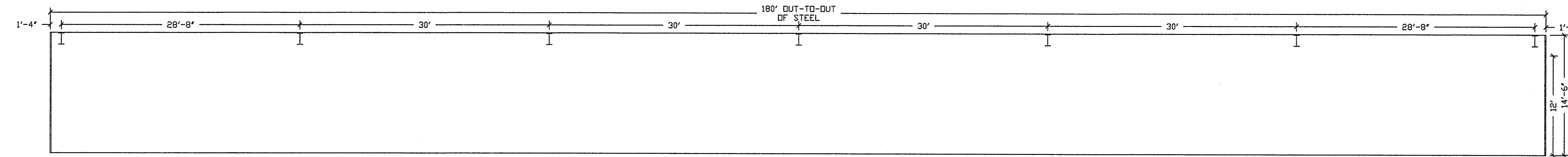
**A1.0**

NOTE:  
SEE ENGINEERING FOR  
BUILDING DETAILS



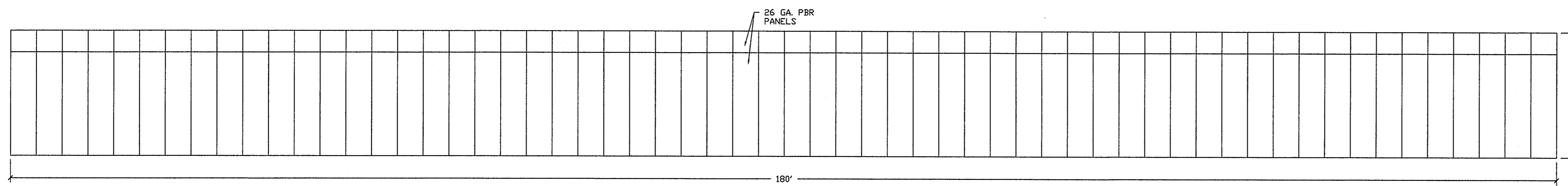
1 FLOOR PLAN  
A1.1 SCALE: 1/8" = 1'-0"

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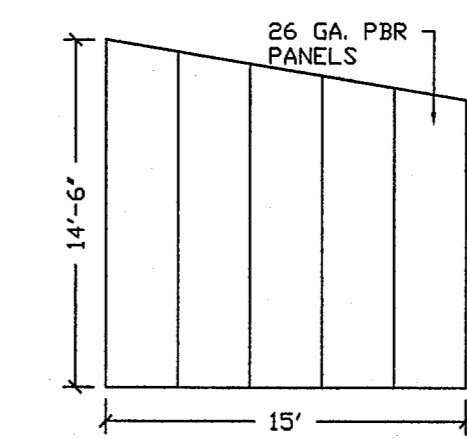
2 FRONT ELEVATION  
A1.1 SCALE: 1/8" = 1'-0"

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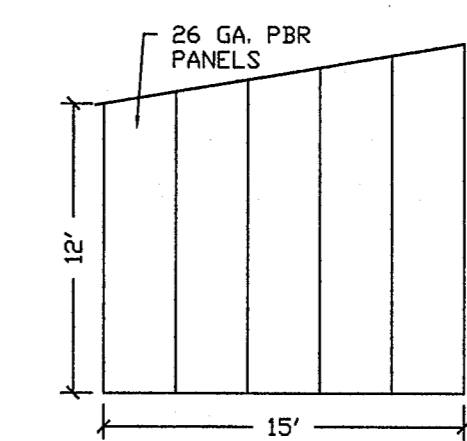
4 REAR ELEVATION  
A1.1 SCALE: 1/8" = 1'-0"

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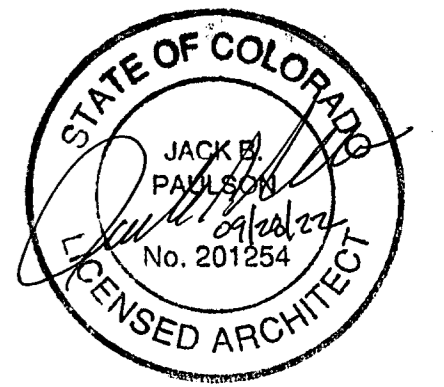
3 LEFT ELEVATION  
A1.1 SCALE: 1/8" = 1'-0"

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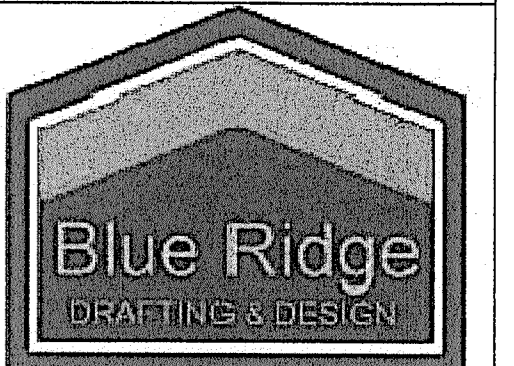
5 RIGHT ELEVATION  
A1.1 SCALE: 1/8" = 1'-0"

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PROJECT:  
ELEVATIONS-  
BUILDERS FIRST SOURCE

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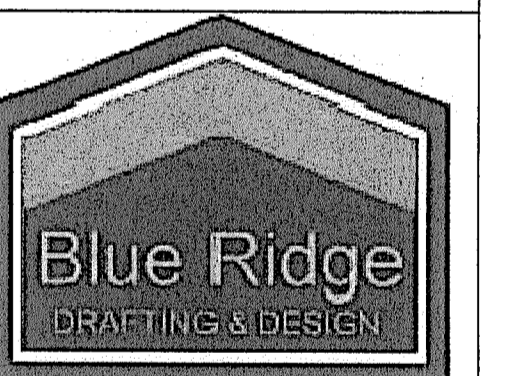
SHEET NO.  
**A1.1**

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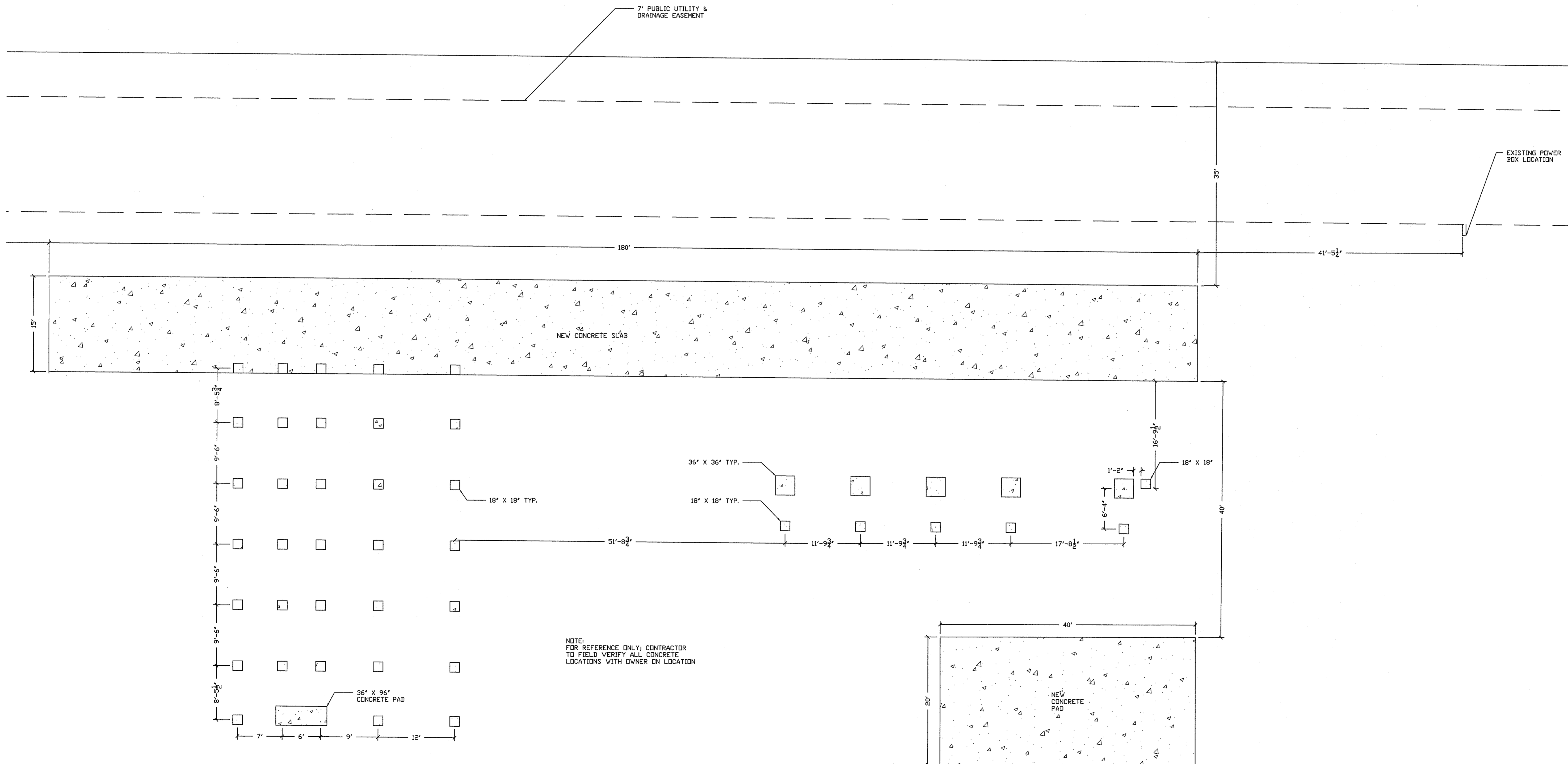
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 DETAILS-  
 BUILDERS FIRST SOURCE

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SHEET NO.  
**A1.2**



1 NEW CONCRETE PADS  
 A1.2 SCALE: 1" = 20'-0"

