

SFD21684  
PLAT 2251  
ZONE RR-  
REBUILD  
CREATED  
BOA79031

**APPROVED**  
Plan Review  
04/28/2021 8:53:15 AM  
dsdarchuleta  
EPC Planning & Community  
Development Department

- Planning & Community Development Department
- EL PASO COUNTY DOES NOT OBLIVATE THE NEED TO COME UP WITH APPLICABLE FEDERAL AND STATE LOCAL LAWS AND REGULATIONS
- An access permit must be granted by the Planning & Community Development Department prior to the establishment of any driveway onto a County road.
- Diversion of backlogs of any damage way is not permitted without approval of the Planning & Community Development Department
- It is the owner's responsibility to ensure that the driveway is properly constructed to avoid impact to utilities that may be located in the easements.

Released for Permit

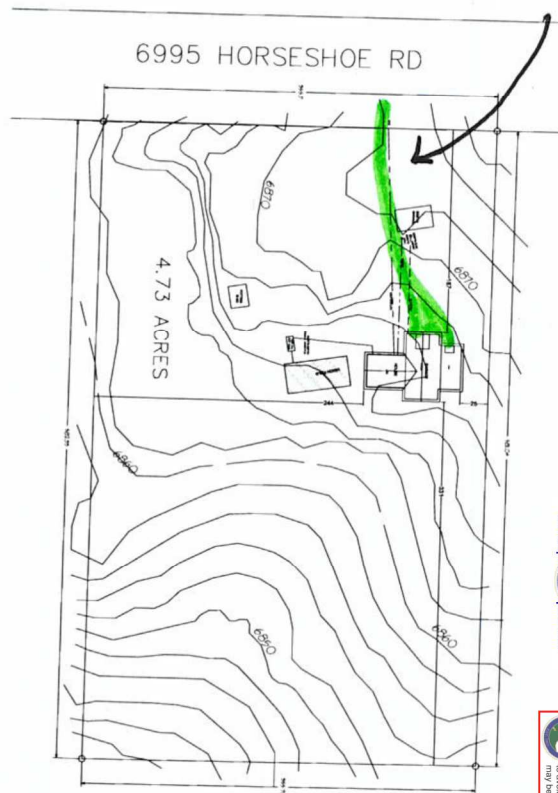
04/28/2021 7:31:58 AM

**REGIONAL**  
Building Department  
army

ENUMERATION

Site Drainage

All drainage to flow away from structure



**SITE PLAN**  
SCALE = 1:100

**SITE PLAN NOTES**

**NATURAL MOTIVATION**

1. **APPLICABLE CODES.** ALL WORK & MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE GOVERNING CODES & APPLICABLE STANDARDS.
2. **NOT TO THE GENERAL CONTRACTOR/BUILDER/TRADE.** CONTRACTOR IS RESPONSIBLE FOR PROCESSING—WHICH SHALL BE CONFIRMED & CORRELATED AT THE JOB SITE, ADEQUATELY TO ALL OTHER TRADES, FURNISHING ALL IT'S REQUIRED INFORMATION OR DESIGN WORK THAT IS REQUIRED BY PERFORMANCE OF ALL WORK HEREIN INDICATED, REGARDLESS OF CURRENTLY EXISTING CONTRACT DOCUMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SCOPE OF WORK FOR A COMPLETE & PROPER FINISHED JOB. IN CASE OF ANY DISCREPANCY, CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN INFORMATION AND/OR DESIGN CONTRACTOR SHOULD CONTACT THE DESIGNER PRIOR TO ANY CONSTRUCTION OR FABRICATION OF ITEMS IN QUESTION.

permits are required for all new start-up / driveway access, corridors and recreation work in the City's right-of-way. Development or redevelopment requires installation or repair of public improvements adjacent to the site and are required prior to Certificate of Occupancy (CO).

and the work inspected and approved by the Engineering Department Inspection Team (715-385-6977).

PROPERTY: 6696 HORSESHOE RD. COS. CO #80923  
 ECOL. DESCRIPTION: PLAT 2251 LOT 23  
 HORSESHOE RANCHEROS  
  
OWNER: GUY & ANDREA ALDREDGE  
 6696 HORSESHOE RD COS. CO. #80923  
  
CONTRACTOR: OWNER  
GUY ALDREDGE  
 6696 HORSESHOE RD.  
 COLORADO SPRINGS, CO. #80923  
 (719) 337-1392 (cell)  
CONTACT: GUY ALDREDGE  
  
ZONING: RRS CAD-0  
SETBACKS: 25' FRONT, 25' SIDE, 25' REAR  
SCHEDULE: # 5080001016

LOT SIZE: 4.73 AC. (APPROX. 208,009 S.F.)  
BUILDING AREA:  
STRUCTURE: CONCRETE PATTOS & DECKS: 4,200 S.F.  
LOT COVERAGE PER ZONING: (25% ALLOWABLE)  
\* PROPOSED COVERAGE: 01%

GARAGE AREA: 200 S.F.

BEDROOMS: 2

GENERAL NOTES:

EXCAVATION STOCKPILE WILL BE ON-SITE.  
3:1 MAX. SLOPE.  
RETAINING WALLS LESS THAN 4' HIGH UNLESS ENGINEERED.

PLANNING NOTES:

1. Previously remodeled garage to living space was attached to previous home and was demolished with home on Permit #N1501

2. Previously existing concrete pad has been removed and is the current site of the proposed building.

3. Shed on SE portion of property is less than 200 S.F.

## PLANNING NOTES

SHEET INDEX	
SP	SITE PLAN
A1	MAIN LEVEL FLOOR PLAN
A2	UPPER LEVEL FLOOR PLAN
A3	LOWER LEVEL FLOOR PLAN
A4	BUILDING ELEVATIONS
A5	BUILDING ELEVATIONS
A6	BUILDING SECTIONS
A7	BUILDING SECTIONS
S1	MAIN FLOOR FRAMING PLAN
S2	UPPER FLOOR & ROOF FRAMING PLAN
S3	TRUSS FRAMING PLAN
S4	ROOF PLAN
E1	ELECTRICAL PLAN-MAIN FLR
E2	ELECTRICAL PLAN-2nd FLR
M1	MECHANICAL PLANS- MAIN FLR
M2	MECHANICAL PLANS- 2nd FLR
F1	FOUNDATION PLAN
F2	FOUNDATION PLAN - DETAILS

ALLDREDGE RESIDENCE  
6995 HORSE SHOE RD

**BUILDING AREAS:**

- \* MAIN LEVEL FINISHED = 1200 S.F.
- \* GARAGE = 2600 S.F.
- \* COVERED PORCH= 400 SF.
- \* 2 BEDROOMS


 VICINITY MAP  
 NOT TO SCALE

BLACK FOREST RD

OWNER BUILDER

PAT ALLDREDGE RES

SP

# RESIDENTIAL

2017 PPRBC



Parcel: 5308001016

Address: 6995 HORSESHOE RD, COLORADO SPRINGS

Plan Track #: 142704      Received: 17-Mar-2021      (SAVANNAHT)

Description:

Required PPRBD Departments (4)

## RESIDENCE

Contractor: HOMEOWNER

Type of Unit:

Main Level	4200	
	4200	Total Square Feet

Enumeration  
Released for Permit



03/31/2021 3:31 PM  
ENUMERATION

Floodplain

(N/A)      RBD GIS

Construction  
Released for Permit



04/21/2021 8:0:12 AM  
CONSTRUCTION

Mechanical  
Released for Permit



03/24/2021 9:15 AM  
MECHANICAL

Required Outside Departments (1)

County Zoning  
**APPROVED**  
Plan Review

04/28/2021 8:54:16 AM  
dsdarchuleta

EPC Planning & Community  
Development Department

Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations. This plan set must be present on the job site for every inspection.