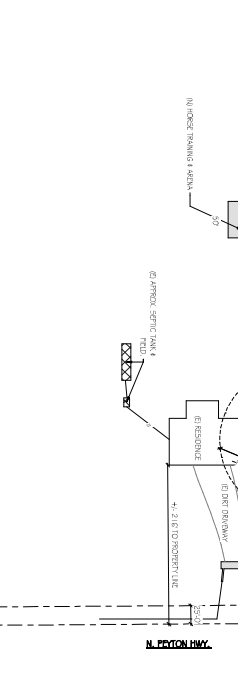


ADD22621
UNPLANTED
ZONE A-35
320000730

APPROVED
Plan Review
 6/17/2022 3:39:41 AM
EPC Planning & Community
 Development Department

Not Required
 6/17/2022 3:39:41 AM
EPC Planning & Community
 Development Department



SITE PLAN LEGEND
 SCALE: 1" = 20'-0"

SITE PLAN
 SCALE: 1" = 20'-0"



GENERAL CONSTRUCTION & PLAN NOTES:

1. These plans are copyrighted 2022 by Allegro Design Co., LLC (Allegro Design Co.). All rights reserved. Any site reproduction, reuse, or other purpose without proper compensation to and the express written consent of Allegro Design Co. is strictly prohibited. These plans are subject to Copyright Act, 17 U.S.C. as amended December 1, 1990, and known as Architectural Works Copyright Protection Act of 1990. The protection includes, but is not limited to, the overall form, as well as the design. Under such protection, unauthorized use of these plans, work or forms reproduced, can legally result in the cessation of such construction or building being started and/or made.
2. All construction and construction practices to be performed in accordance with applicable codes and requirements of all regulatory agencies shall be the responsibility of the contractor. The contractor shall be responsible for the means, methods, or techniques used by the builder in the performance of the work or for deviations of safety on the job site.
3. The builder (owner or contractor) is responsible for payment and acquisition of all required permits and fees associated with this project.
4. It is the builder's responsibility to thoroughly review and become familiar with all pertinent documents regarding the construction of this project, including but not limited to, the drawings, specifications, and documents which may cause construction concerns shall be reported to Allegro Design Co. for immediate attention. Failure to discover and notify Allegro Design Co. shall not release the builder of responsibility relating to the matter.
5. Allegro Design Co.'s liability regarding errors, omissions, or discrepancies shall be limited to the correction of the original project drawings.
6. It is the builder's responsibility to verify with the home owner or client all finish materials stated on the plans prior to construction. Any ambiguity, omission or discrepancy discovered in the documents which the contractor or owner is responsible for the means, methods or techniques of safety on the job site.
7. Changes or deviations from the original documents made by the contractor shall be the responsibility of the contractor. The contractor shall be responsible for the means, methods, or techniques of safety on the job site.
8. The builder shall be responsible for ensuring that the plans being used for construction are the most current, and match the approved Building Department plan set.
9. The builder shall coordinate all colors, finishes, cabinets, countertops, plumbing fixtures, appliances, window and door manufacturers, etc. with the owner.
10. The builder shall coordinate the location and construction of all built-in requirements for closets, entertainment centers, closet shelving, etc. with the owner unless noted otherwise on the plans.
11. The builder shall coordinate all "pre-built" requirements such as: window and door manufacturers, plumbing fixtures, appliances, etc. with the owner unless noted otherwise on the plans.
12. Allegro Design Co. is not responsible for electrical, plumbing or mechanical system layouts.
13. **Do not scale the drawings.** If questions arise as to the dimensional requirements of the plans, contact Allegro Design Co. for clarification.
14. Automatic sprinkler system may be required.
15. All dimensions of walls and floor slabs shall be finished unless otherwise noted. Dimensional interior walls are 2 1/4" unless otherwise noted. Building square footages are calculated from the outside face of exterior stud walls or face of exterior concrete foundation. Door and window dimensions are noted in both end notes.
16. Doors are located 6" from adjacent corner or centered (u.n.o.). Dimensions of all doors shall be included in the door schedule. The builder shall use all door schedule dimensions for door placement prior to construction and prior to ordering the door package. (See notes 4, 5, 6, & 13).
17. Window callouts are noted as the rough opening, unless otherwise noted. Transom windows may be included in the rough opening window schedule. Builder shall verify all window callouts shall correspond with packages. (See notes 4, 5, 6, & 13).
18. Wall framing information, unless noted otherwise, all exterior walls shall be constructed as per the wall framing method swap (continuous sheathing structure) as per the structural plans (Reference IBC Model 10.4.1).
19. Provide 1 sq. ft. of attic ventilation per 150 sq. ft. attic area or 300 sq. ft. attic area with 50% of the required ventilation to be located at the by-eave vent. Provide a 22"x20" min access to all attic areas having at least 30" of unobstructed height.
20. Smoke detectors shall be hardwired, interconnected, and have a battery backup. An approved carbon monoxide detector shall be installed within 15 ft. of the entrance to all sleeping rooms, and the bathroom or hallway location.
21. Safety glass shall be required within 18" of floor, 2' of doors, 36" of stairs, and 5' of a bathtub or shower drain. (Reference IBC Code 4)

GENERAL CONSTRUCTION NOTES (CONT.):

22. All receptacles within 6' of a water source shall be ground-fault circuit interrupter. Provide a GFI outlet in garage and on front and rear exterior through wall or to approved termination cap.
23. Provide exhaust fans in all sleeping rooms. Minimum 4" x 10" exterior through wall or to approved termination cap.
24. Current, fiber cement, or glass mat gypsum shall be used as substrate for wall tile and stone veneer and wall panels in shower areas. For wall tile and stone veneer and wall panels in shower areas, which may be subject to the adhesive effect of moisture.
25. Provide access windows in all sleeping rooms. Minimum 4" x 10" wall height. Minimum width of opening shall be 20" and minimum height shall be 24". Provide 2" of exterior gypsum window wall top of door sill is below grade. Provide 2" of exterior gypsum window wall top of door sill is below grade. Provide 2" of exterior gypsum window wall top of door sill is below grade. Provide 2" of exterior gypsum window wall top of door sill is below grade.
26. Provide fire blocking at 10'-0" intervals, horizontal or vertical.
27. Final all in-head blocking walls over concrete slabs per the scale report and the detail on these plans.
28. A effer rod is required to be provided in location and manner consistent with applicable codes.

GENERAL SITE NOTES:

1. The builder shall become familiar with the project site and all existing conditions prior to construction. The builder shall be responsible for verifying existing site conditions and existing utility services and existing building footprints. The builder may obtain a licensed surveyor for the purpose of recording accurate site conditions.
2. All easements, setbacks, building heights and footprint requirements shall be verified by the builder prior to construction.
3. The builder shall confirm the location of any existing utility services and meters and coordinate any required extension with the utility companies.
4. The builder shall keep the premises free from accumulation of waste materials and debris.
5. All retaining walls greater than 4'-0" high to be designed by a licensed Colorado engineer.
6. All concrete foundation walls, piers, piers, and concrete retaining walls shall be designed by a Licensed Colorado Professional Engineer.
7. The builder shall keep the premises free from accumulation of waste materials and debris.
8. All retaining walls greater than 4'-0" high to be designed by a licensed Colorado engineer.
9. All concrete foundation walls, piers, piers, and concrete retaining walls shall be designed by a Licensed Colorado Professional Engineer.

PROJECT TEAM:

OWNER
 Daniel Montano
 8445 Avondale Drive
 Peyton, CO 80831

BUILDING CONTRACTOR
 Name:
 Address:
 City, State, Zip:
 Phone, Email:

DESIGN GROUP
 Allegro Design Co., LLC
 1760 S. Highway 24
 Woodland Park, CO 80883
 (719) 961-5205; info@allegrodesignco.com

GOVERNING AGENCY
 Pitkin Peak Regional Building Department
 2880 International Circle
 Colorado Springs, CO 80910
 (719) 527-2880

LEGAL DESCRIPTION
 SE/4E1/4 SEC 31-12-63, in El Paso County, State of Colorado.
 Site Address: 9210 Peyton Highway, Peyton, CO 80831
 Schedule Number: 320000730 Zown District: AG-35
 Acres: 40.00

MINIMUM INSULATION REQUIREMENTS

CEILING INSULATION	R-40 MIN.
EXTERIOR WALL INSULATION	R-30 MIN.
FLOOR OVER UNHEATED SPACE	R-38 MIN.
FLOOR OVER EXTERIOR SPACE	R-30 MIN.
BASEMENT FOUNDATION INSULATION	R-10 MIN.
SLAB FEMMEET (9' HORIZ OR VERT)	R-10 MIN.
REFER TO ENERGY CODE CERTIFICATE OR RESCHECK REPORT (R-1500-1825)	

MONTANO ADDITION
 9210 Peyton Highway
 Peyton, CO 80831

Design, with family in mind
 (719) 841-2095
 1760 S. Highway 24
 Woodland Park, CO 80863
 allegrodesignco.com

DRAWING INDEX:

ARCHITECTURAL
 CS-1 COVER SHEET
 CS-2 FLOOR PLAN
 CS-3 FLOOR PLAN
 CS-4 ELEVATIONS & SECTION
 CS-5 GATE & ENCE DESIGN
 CS-6 FOUNDATION PLAN
 CS-7 STRUCTURAL NOTES
 CS-8 ROOF FRAMING PLAN

DRAWING INDEX:

ARCHITECTURAL
 CS-1 COVER SHEET
 CS-2 FLOOR PLAN
 CS-3 FLOOR PLAN
 CS-4 ELEVATIONS & SECTION
 CS-5 GATE & ENCE DESIGN
 CS-6 FOUNDATION PLAN
 CS-7 STRUCTURAL NOTES
 CS-8 ROOF FRAMING PLAN

DRAWING INDEX:

ARCHITECTURAL
 CS-1 COVER SHEET
 CS-2 FLOOR PLAN
 CS-3 FLOOR PLAN
 CS-4 ELEVATIONS & SECTION
 CS-5 GATE & ENCE DESIGN
 CS-6 FOUNDATION PLAN
 CS-7 STRUCTURAL NOTES
 CS-8 ROOF FRAMING PLAN

DATE 08/10/2022

PROJECT No. 19-0031

ACRES 40.00

DRAWN BY ON

CHECKED BY BLD

CS

Cover Sheet &
 General Notes

THESE PLANS ARE COPYRIGHTED 2021 BY ALLEGRO DESIGN CO., LLC. ALL RIGHTS RESERVED. ANY REPRODUCTION, REUSE, OR OTHER PURPOSE WITHOUT PROPER COMPENSATION TO AND THE EXPRESS WRITTEN CONSENT OF ALLEGRO DESIGN CO. IS STRICTLY PROHIBITED.

RESIDENTIAL

2017 PPBRC



Parcel: 3200000730

Address: 9210 N PEYTON HWY, PEYTON

Plan Track #: 166102 Received: 10-Aug-2022 (ANDREAL)

Description: **DETACHED BARN ADDITION** Required PPBBD Departments (3)

Contractor:

Type of Unit:

Floodplain
N/A
08/15/2022 10:48:37 AM
Pikes Peak REGIONAL Building Department
keith
FLOODPLAIN

Construction
N/A
08/15/2022 10:53:18 AM
Pikes Peak REGIONAL Building Department
jasorb
CONSTRUCTION

Mechanical
N/A
08/15/2022 11:39:35 AM
Pikes Peak REGIONAL Building Department
tcrippen
MECHANICAL

Required Outside Departments (1)

County Zoning
APPROVED
Plan Review
08/17/2022 8:59:25 AM
dsdarchuleta
EPC Planning & Community Development Department

Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations. This plan set must be present on the job site for every inspection.