

## Site Plan

- 1- Date (Attached 1) north arrow (Attached 1) graphic scale (attached 2)
- 2- Vicinity map (attached 2 & 4)
- 3- Property lines, right of way, existing easements (attached 1) no proposed easements
- 4- Dimensions of all property lines (attached 1)
- 5- Existing building/structures footprints (attached 1) no proposed new ones
- 6- No side walks on property
- 7- Location of all fences (attachment 1) all fences are 4 foot split rail, no wall or berms on property
- 8- Existing, no new proposed signs (attachment 3)
- 9- Traffic circulation (attachment 1&3)
- 10- Off street parking attachment 3&5,
- 11- Ada parking, ramps and signs will be the only parking aloud on concrete pad opposite of tent
- 12- Out door lights and intensity will be on concrete pad only and nothing projecting up to sky all down lights under tent.
- 13- Existing water/wastewater, wells and skeptics (attachment 5) no new proposed at this time, business will have the option when they rent a tent from a company if they would also like to rent additional bathrooms to be brought in
- 14- No build/100 year floodplain (attachment 2) goes through middle of property and some of the existing structures are in this area, no new proposed build to happen on any of the property and not in this areas
- 15- Three dumpsters on site now, no loading docs, no proposed change, will get more pick ups scheduled if need be, right now they are emptied once a week. Attachment 6
- 16- Parking details, attachment 6, ADA will be the only one with parking on concrete pad and close to barn, signs are at all parking locations now, no ramps needed all is ground level
- 17- All utility lines are underground and nothing to change.
- 18- Existing land use, parcel size and zoning, equestrian center A-35 58 acres. proposed keep a-35 and all equestrian same on property, add special use of business events to bring in more people to enjoy the animals, scenery /location
- 19- 20 no change to % of open space landscaping an lot coverage. Less then 10% of property covered
- 21- 10 % density of lot, 9 structures on 58 acre lot
- 22- required parking and provided parking on 10 open acres, will hire parking assistants for events (attachment 3,5&6)

tent to be 20 x 20

attached 1

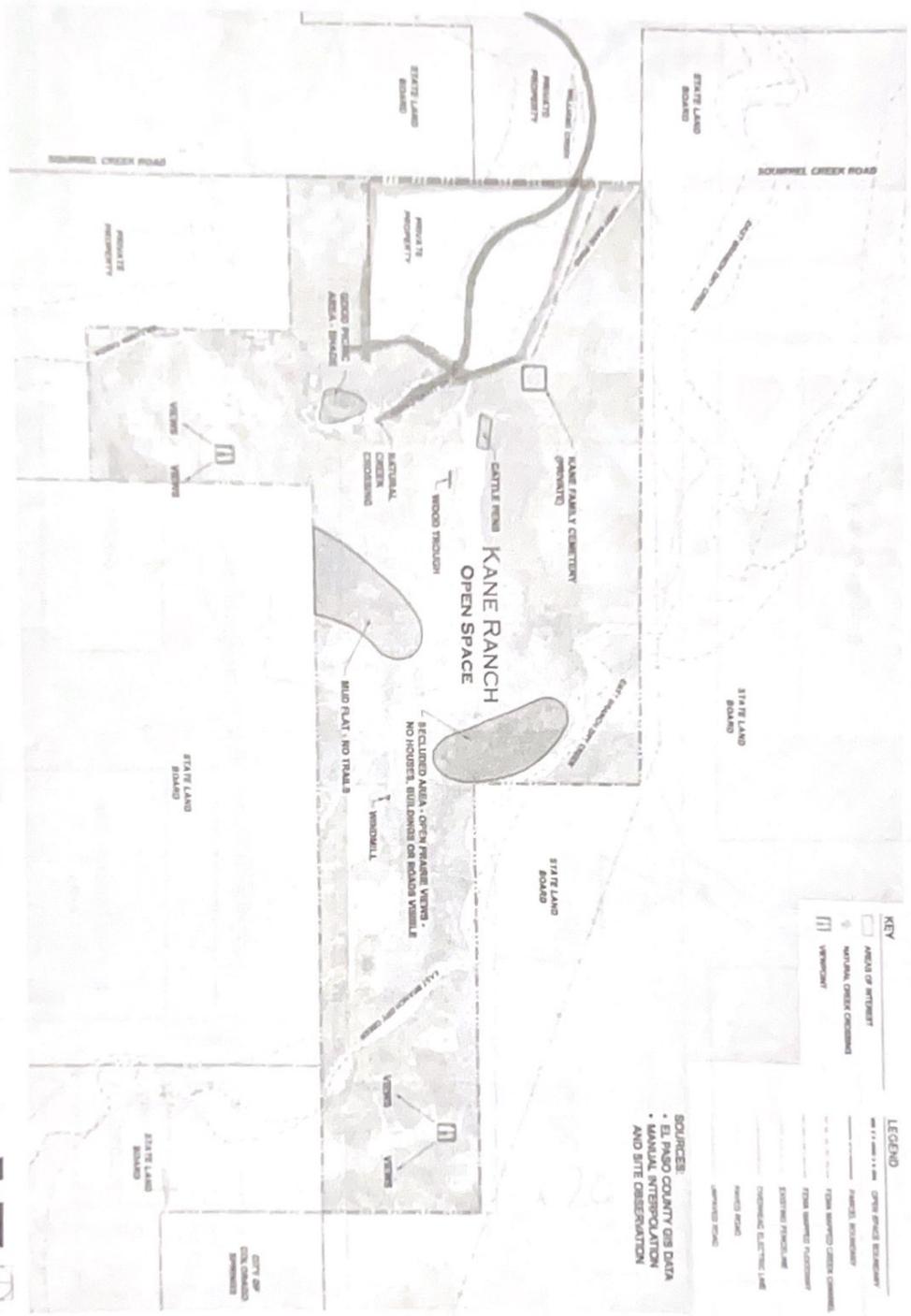
North ^  
2/8/2023

Property line in green  
existing fences in blue  
existing structures in red

★ Proposed tent  
placed for events



Attached 2



**KEY**

- AREA OF INTEREST
- NATURAL OPEN CORRIDOR
- ▭ VIEWPOINT

**LEGEND**

- OPEN SPACE BOUNDARY
- PARKS BOUNDARY
- FIRM BARRIERS (DITCH CHANNELS)
- FIRM BARRIERS (POSTERS)
- EXISTING FENCE LINE
- EXISTING ELECTRICAL LINE
- EXISTING ROAD
- EXISTING TRAIL

**SOURCES:**

- EL PASO COUNTY GIS DATA
- MANUAL INTERPOLATION
- AND SITE OBSERVATION

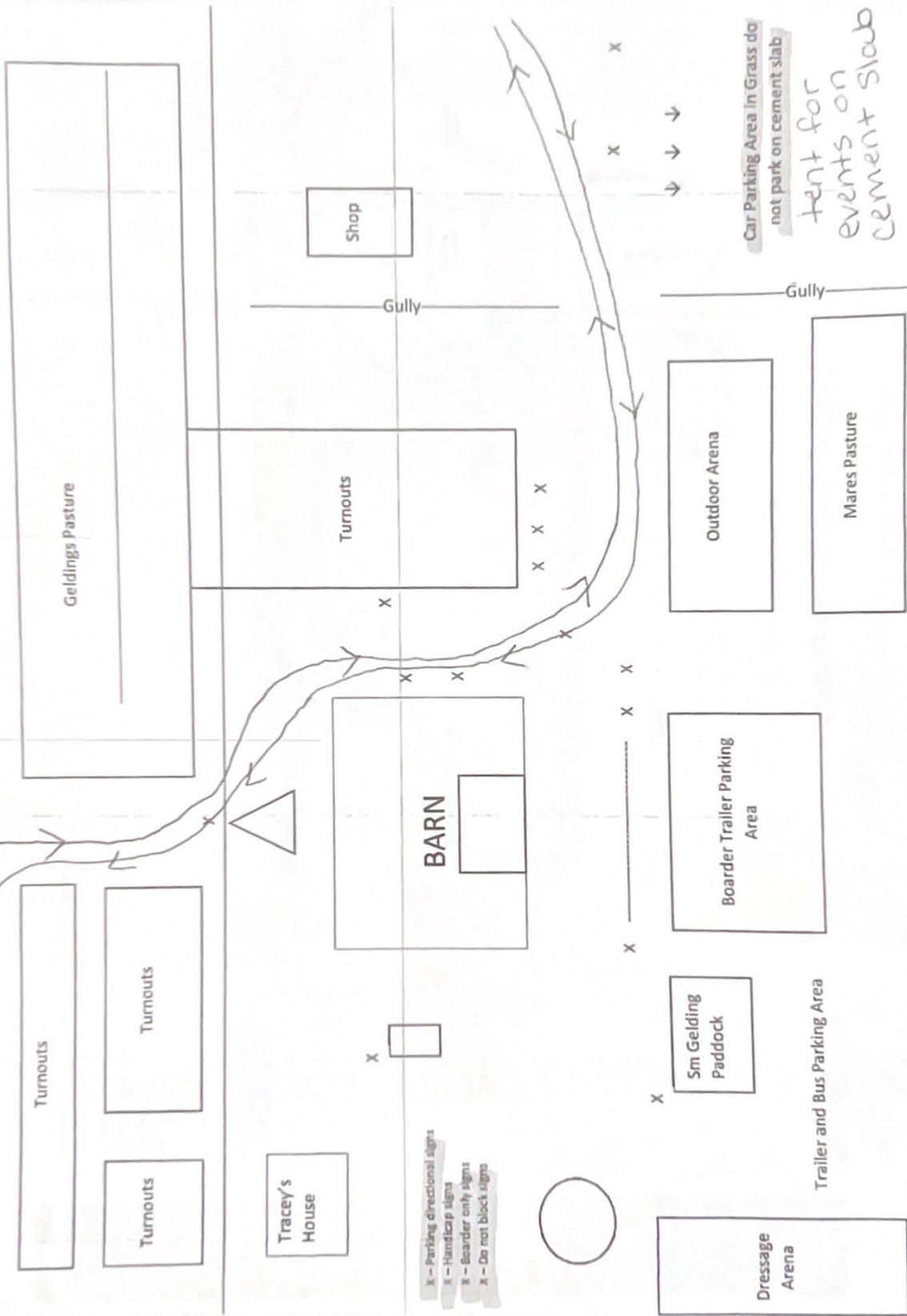
CULTURAL FEATURES, AREAS OF INTEREST

Road plain/View

Scale  
★ Vicinity map

Attached 3

traffic in + out



attached 4



12285 SQUIRREL CREEK RD

460000063  
MM RANCH LLC

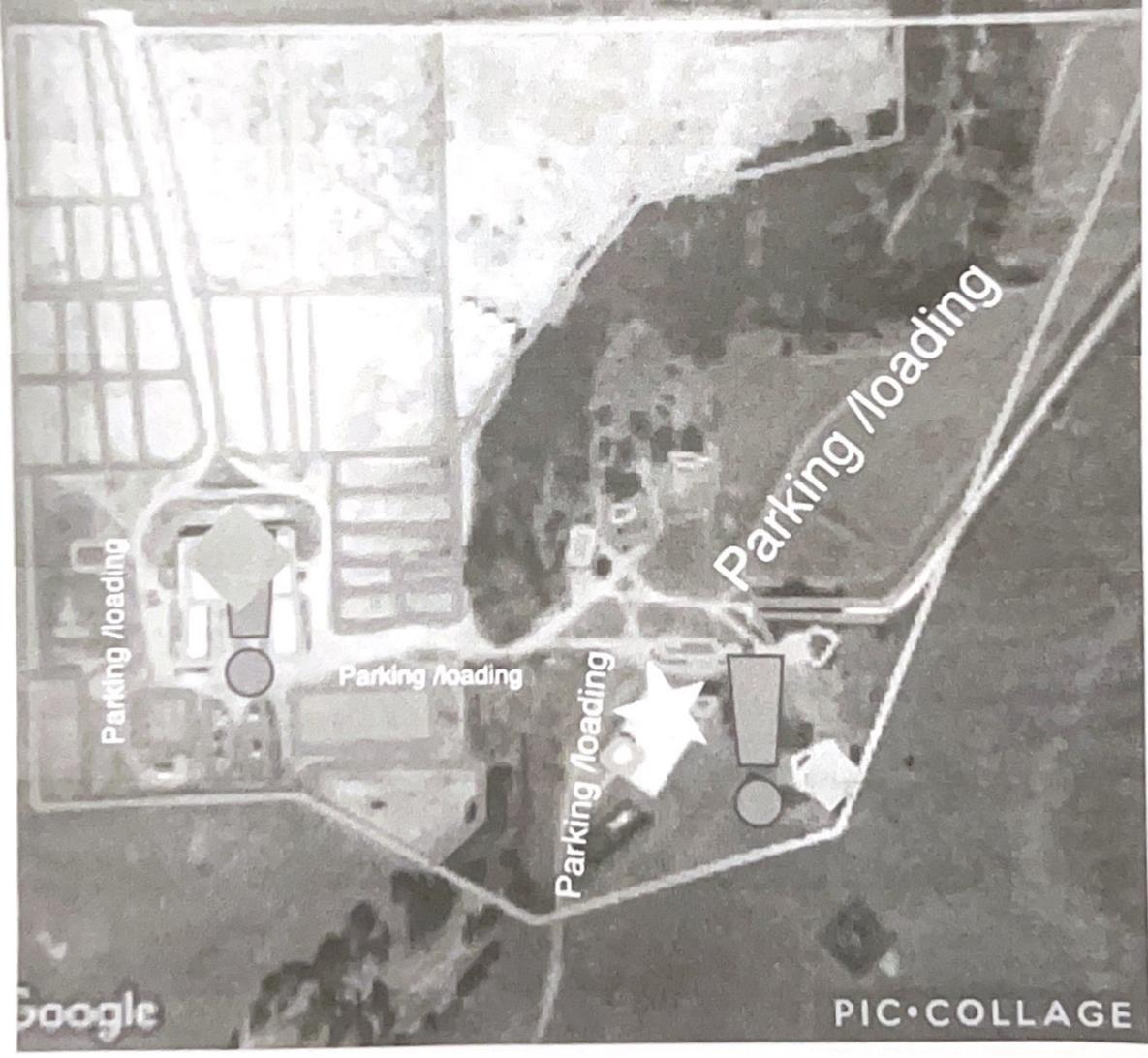
Market Value \$1,009,364

**Disclaimer**

We have made a good-faith effort to provide you with the most recent and most accurate information available. However, if you need to use this information in any legal or official venue, you will need to obtain official copies from the Assessor's Office. Do be aware that this data is subject to change on a daily basis. If you believe that any of this information is incorrect, please call us at (719) 520-6600.

★ ADA parking, ramps, and signs  
Concrete pad, location, existing

! Existing bathrooms  
Existing wells and septic



attachment 6

◆ Dumpster  
! Standard parking  
○ ADA parking  
★ Signs



Google

PIC•COLLAGE