

**APPROVED
Plan Review**

06/15/2020 4:17:11 PM
dsdespinoza

EPC Planning & Community
Development Department

**Not Required
BESQCP**

06/15/2020 4:17:47 PM
dsdespinoza

EPC Planning & Community
Development Department



ANY APPROVAL GIVEN BY
EL PASO COUNTY
DOES NOT OVIATE THE NEED
TO COMPLY WITH APPLICABLE
FEDERAL, STATE, OR LOCAL
LAWS AND/OR REGULATION

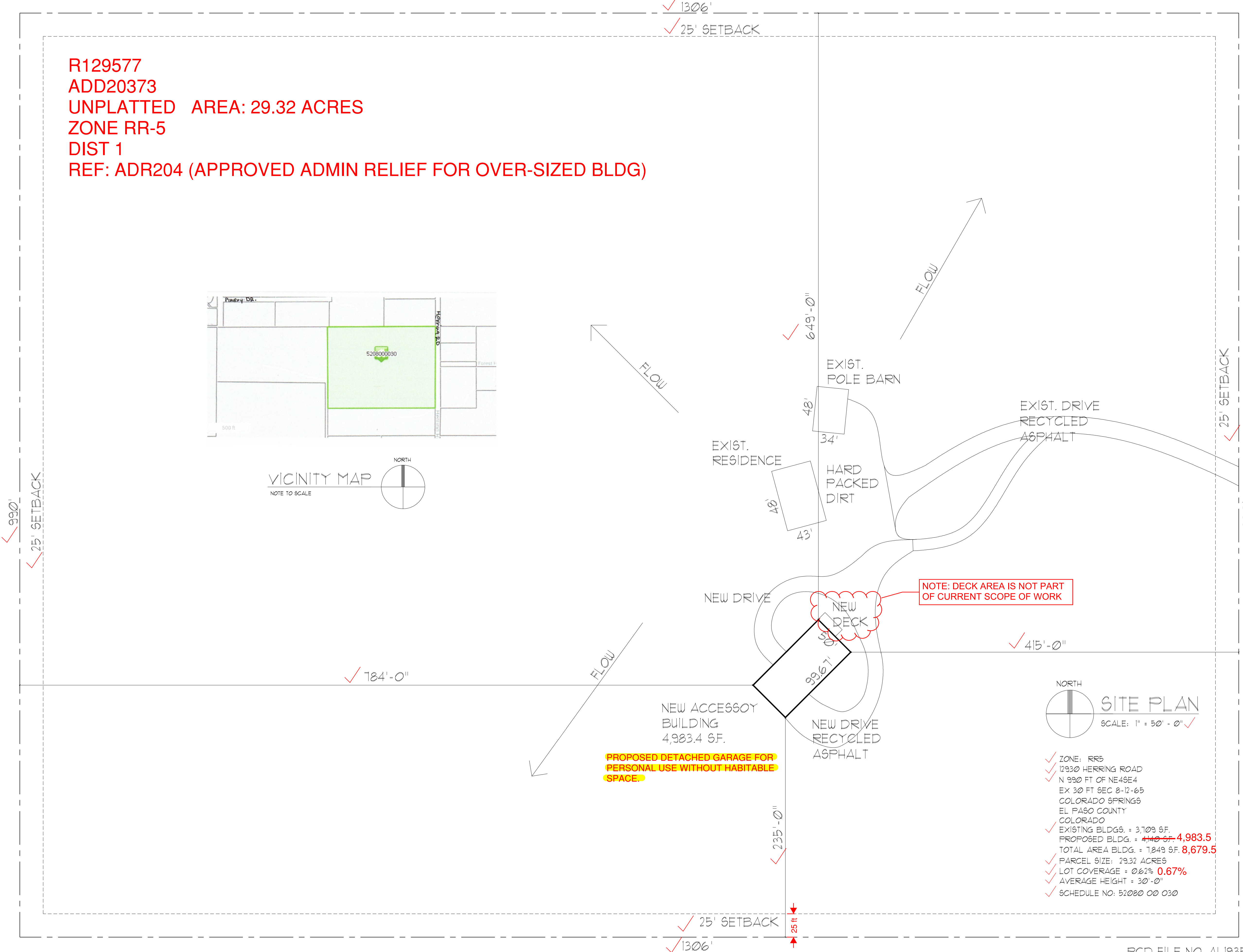
Planning & Community Development Department
approval is contingent upon compliance with all
applicable notes on the recorded plat.

An access permit must be granted by the
Planning & Community Development Department
prior to the establishment of any driveway onto a
County road.

Diversion of blockage of any drainage way
is not permitted without approval of the
Planning & Community Development Department

It is the owner's responsibility to
coordinate with easement holders
to avoid impact to utilities that
may be located in the easements.

**R129577
ADD20373
UNPLATTED AREA: 29.32 ACRES
ZONE RR-5
DIST 1
REF: ADR204 (APPROVED ADMIN RELIEF FOR OVER-SIZED BLDG)**



NOTE: DECK AREA IS NOT PART OF CURRENT SCOPE OF WORK

PROPOSED DETACHED GARAGE FOR PERSONAL USE WITHOUT HABITABLE SPACE.



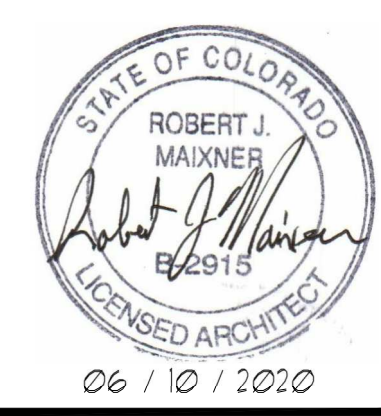
- ✓ ZONE: RR5
- ✓ 12930 HERRING ROAD
- ✓ N 990 FT OF NE4SE4
- ✓ EX 30 FT SEC 8-12-65
- ✓ COLORADO SPRINGS
- ✓ EL PASO COUNTY
- ✓ COLORADO
- ✓ EXISTING BLDGS. = 3,109 SF.
- ✓ PROPOSED BLDG. = ~~4140 SF~~ 4,983.5
- ✓ TOTAL AREA BLDG. = 1,849 SF. 8,679.5
- ✓ PARCEL SIZE: 29.32 ACRES
- ✓ LOT COVERAGE = 0.62% 0.67%
- ✓ AVERAGE HEIGHT = 30'-0"
- ✓ SCHEDULE NO: 52080 00 030

PCD FILE NO. AL1935

REVISIONS	BY

Craig & Sally McDermott
12930 Herring Road, Colo. Spgs., CO 80908
craigmcdermott@aol.com
phone 719-337-4201
Proposed Accessory Bldg.
N 990 FT OF NE4SE4 EX E 30 FT SEC 8012-65
El Paso County, CO

Robert J Maixner
Architect
54 Circlewood Drive, Hilton Head Island, SC, 29926
(719) 660-6183 maixner@aol.com

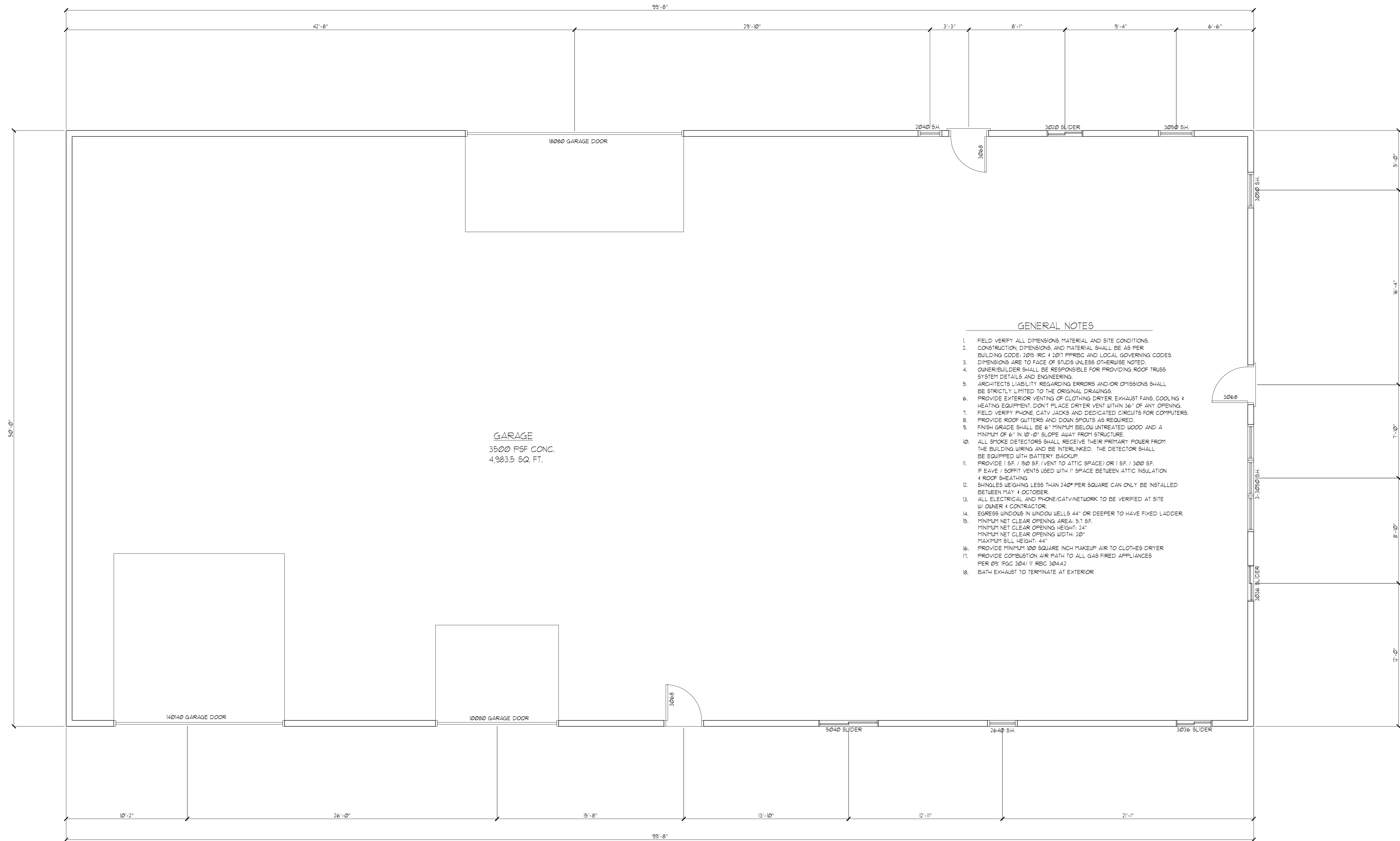


SQUARE FOOTAGE	Accessory Total
	4,983.5 SF

INDEX
50 Site Plan
A1 Floor Plan
A2 Elevations
A3 Elevations & Section
S1 Foundation Plan
S2 Roof Framing

DRAWN	RJM
CHECKED	RJM
DATE	05 / 22 / 2020
JOB NO.	19-128
SHEET NO.	

SD



- GENERAL NOTES**
1. FIELD VERIFY ALL DIMENSIONS, MATERIAL AND SITE CONDITIONS.
 2. CONSTRUCTION, DIMENSIONS, AND MATERIAL SHALL BE AS PER BUILDING CODE, 2015 IRC & 2011 IRRBC, AND LOCAL GOVERNING CODES.
 3. DIMENSIONS ARE TO FACE OF STUDS UNLESS OTHERWISE NOTED.
 4. OWNER/BUILDER SHALL BE RESPONSIBLE FOR PROVIDING ROOF TRUSS SYSTEM DETAILS AND ENGINEERING.
 5. ARCHITECT'S LIABILITY REGARDING ERRORS AND/OR OMISSIONS SHALL BE STRICTLY LIMITED TO THE ORIGINAL DRAWINGS.
 6. PROVIDE EXTERIOR VENTING OF CLOTHING DRYER, EXHAUST FANS, COOLING & HEATING EQUIPMENT. DON'T PLACE DRYER VENT WITHIN 36" OF ANY OPENING.
 7. FIELD VERIFY PHONE, CATV JACKS AND DEDICATED CIRCUITS FOR COMPUTERS.
 8. PROVIDE ROOF GUTTERS AND DOWN SPOUTS AS REQUIRED.
 9. FINISH GRADE SHALL BE 6" MINIMUM BELOW UNTREATED WOOD AND A MINIMUM OF 6" IN 10'-0" SLOPE AWAY FROM STRUCTURE.
 10. ALL SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND BE INTERLINKED. THE DETECTOR SHALL BE EQUIPPED WITH BATTERY BACKUP.
 11. PROVIDE 1 SF. / 80 SF. (VENT TO ATTIC SPACE) OR 1 SF. / 300 SF. IF EAVE / SOFFIT VENTS USED WITH 1" SPACE BETWEEN ATTIC INSULATION & ROOF SHEATHING.
 12. SHINGLES WEIGHING LESS THAN 240# PER SQUARE CAN ONLY BE INSTALLED BETWEEN MAY & OCTOBER.
 13. ALL ELECTRICAL AND PHONE/CATV NETWORK TO BE VERIFIED AT SITE W/ OWNER & CONTRACTOR.
 14. EGRESS WINDOWS IN WINDOW WELLS 44" OR DEEPER TO HAVE FIXED LADDER.
 15. MINIMUM NET CLEAR OPENING AREA: 5.7 SF.
MINIMUM NET CLEAR OPENING HEIGHT: 24"
MINIMUM NET CLEAR OPENING WIDTH: 20"
MAXIMUM SILL HEIGHT: 44"
 16. PROVIDE MINIMUM 100 SQUARE INCH MAKEUP AIR TO CLOTHES DRYER
 17. PROVIDE COMBUSTION AIR PATH TO ALL GAS FIRED APPLIANCES PER 09' IRC 304.11 RBC 304.4.2
 18. BATH EXHAUST TO TERMINATE AT EXTERIOR

FLOOR PLAN
SCALE: 1/4"=1'-0"

REVISIONS	BY

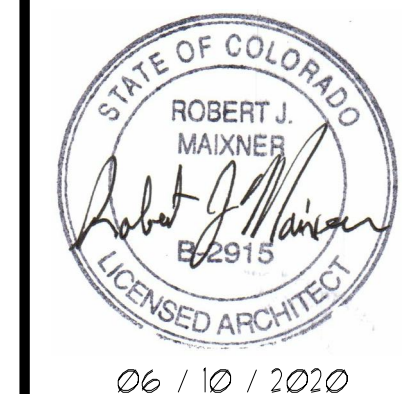
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06/12/2020 10:58:11 AM
CONSTRUCTION
bphilips

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craigmcdermott@mail.com
phone 719-337-4201

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N 990 FT OF NE45E4 EX E 30 FT SEC 2012-65
El Paso County, CO

Robert J Mairner
Architect

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(719) 660-6103 mairner@rcagol.com



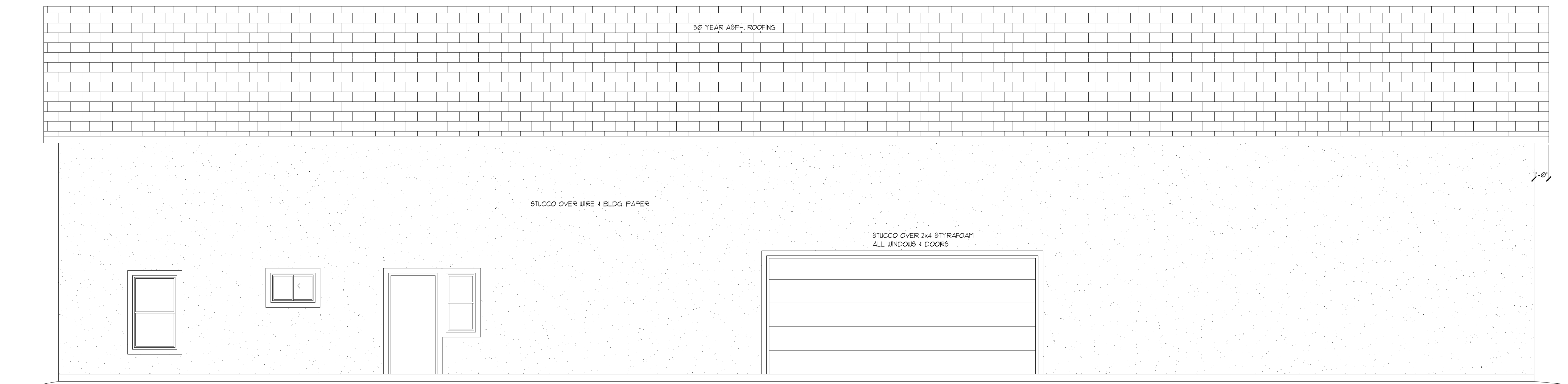
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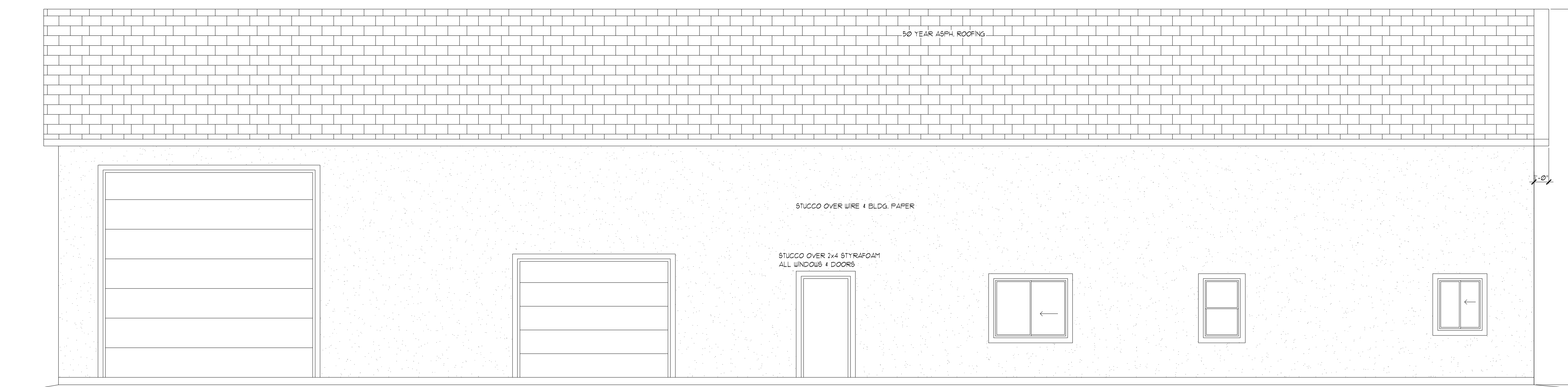
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A = 1



NORTH ELEVATION
SCALE: 1/4"=1'-0"



SOUTH ELEVATION
SCALE: 1/4"=1'-0"

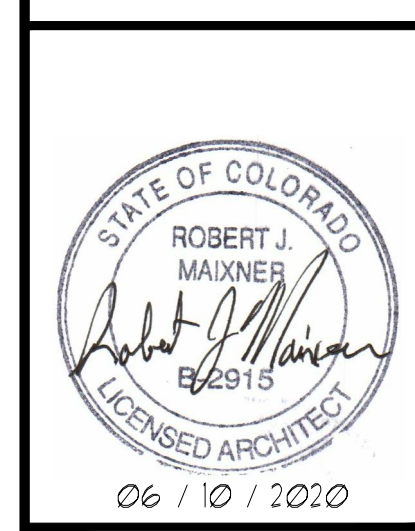
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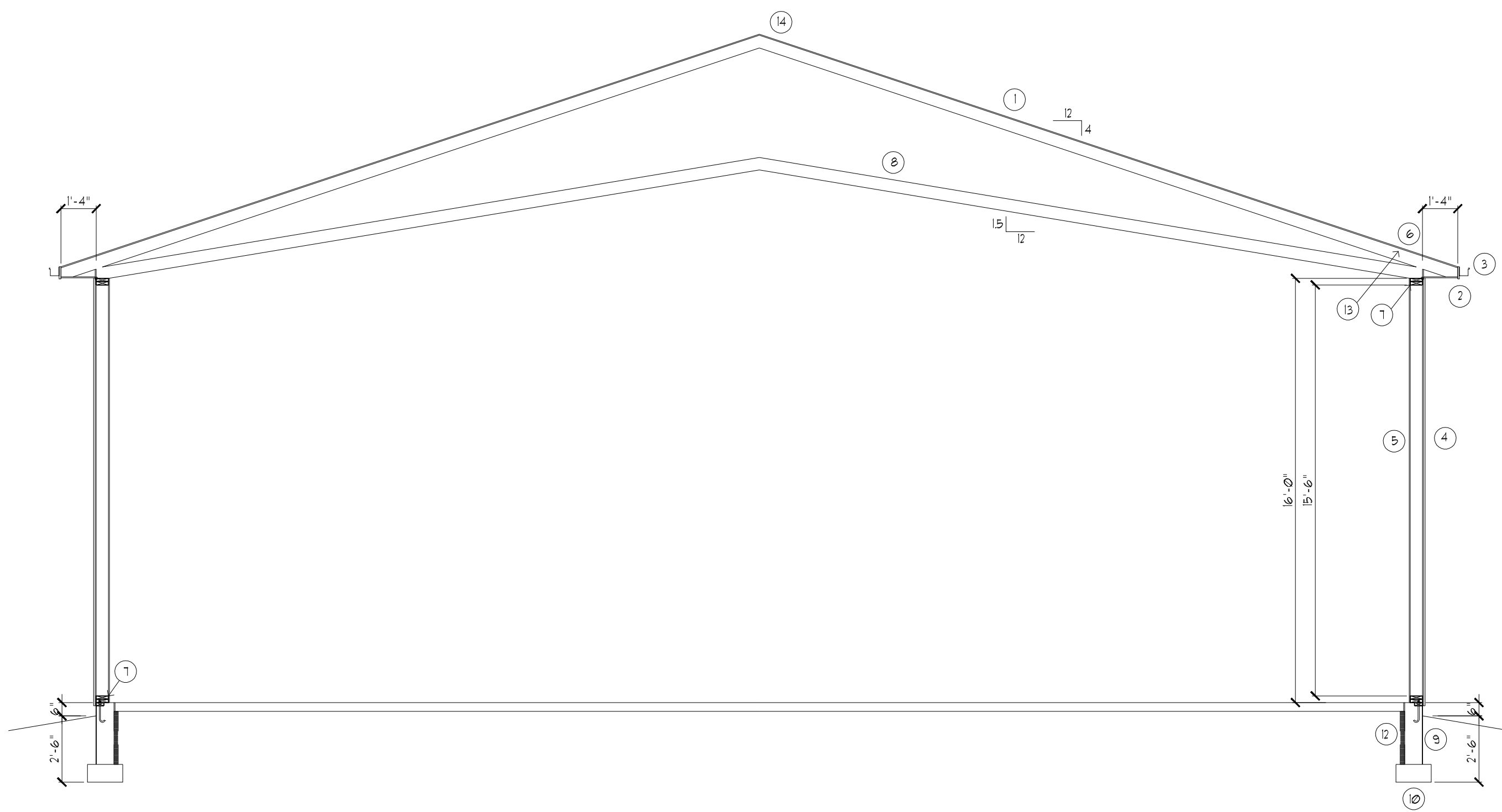
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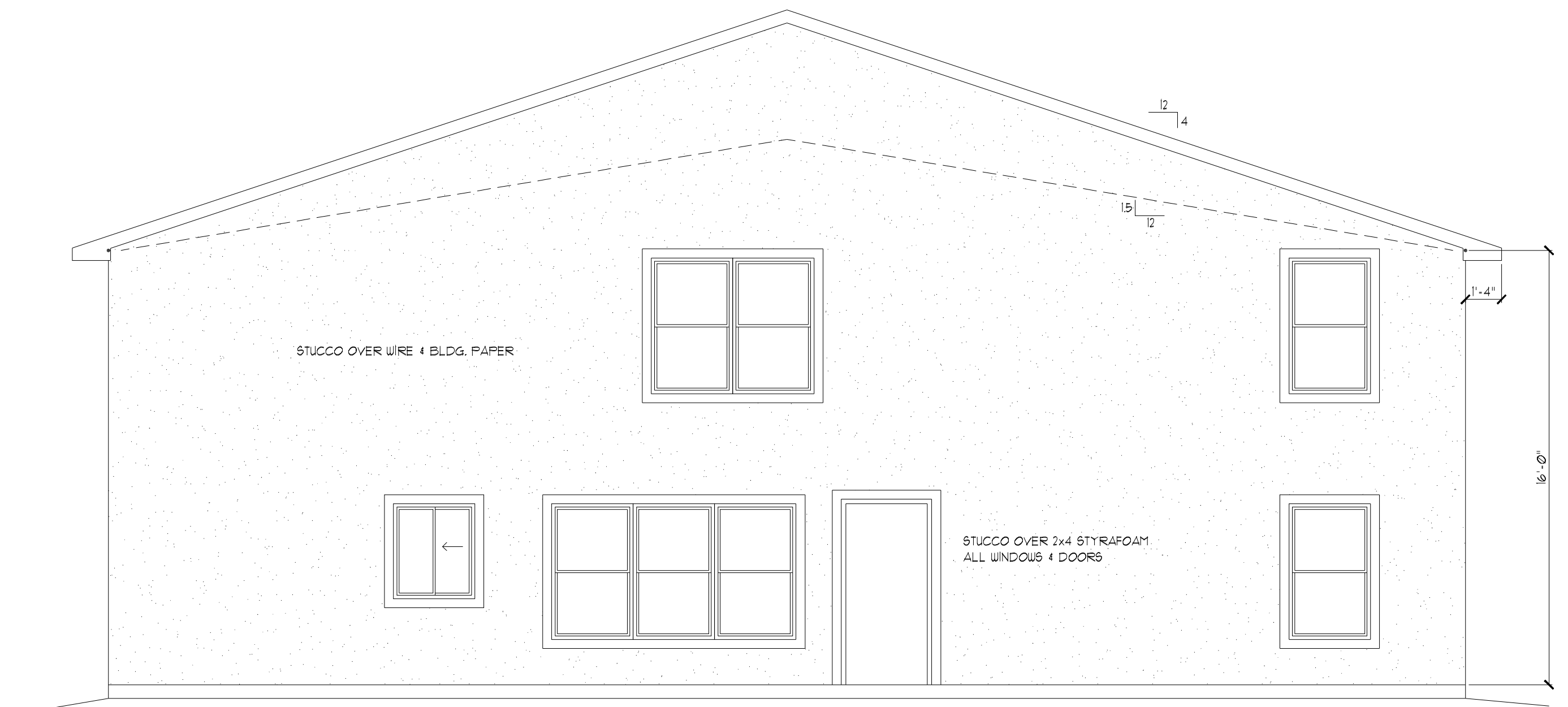
A=2

SECTION NOTES

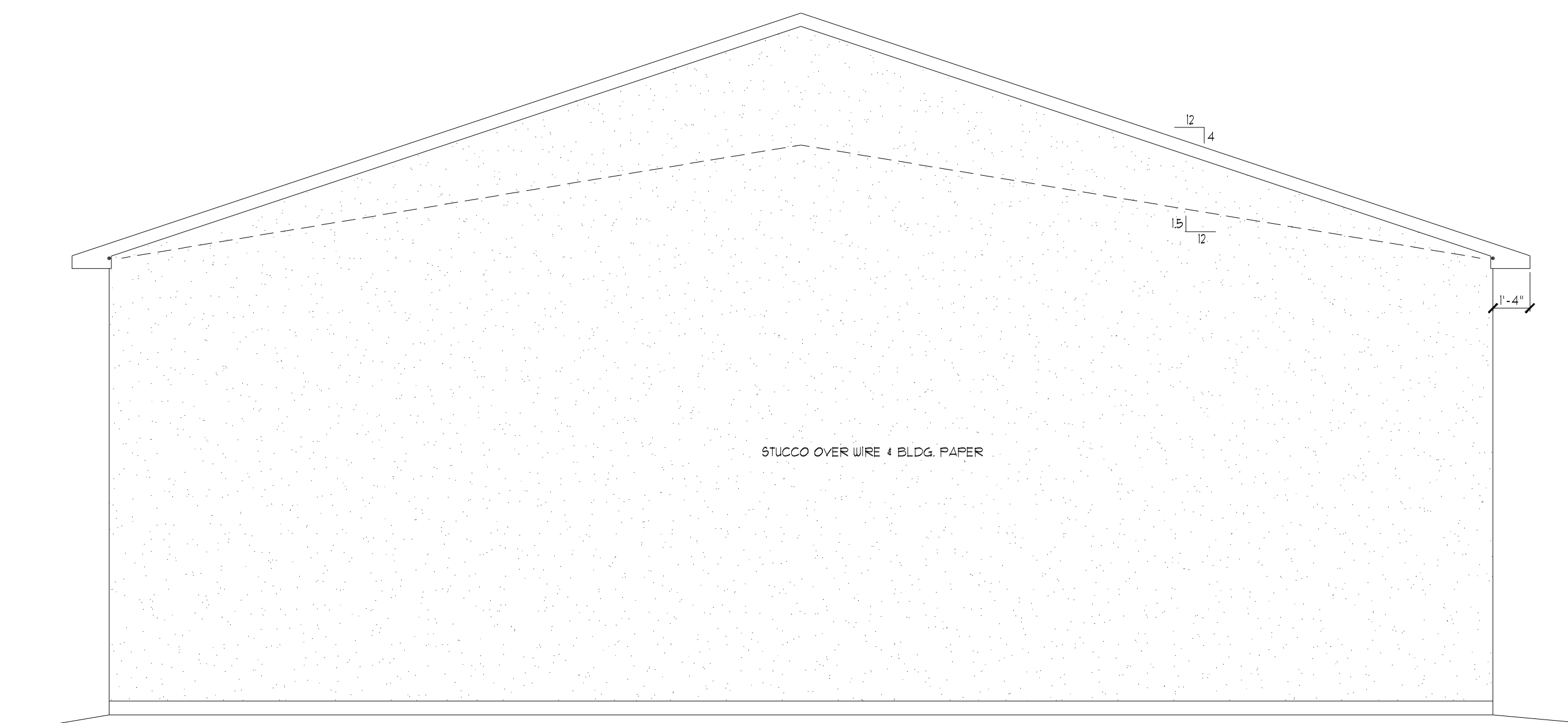
- ① 50 YEAR ASPHALT ROOFING OVER 1/4" BLDG. FELT OVER 1/8" OSB SHEATHING OVER PRE-ENGINEERED TRUSSES @ 24" O/C
- ② 1/8" HARDBOARD FASCIA & SOFFIT
- ③ GALV. IRON GUTTER AND D.S. W/ TIP OUTS OR SPLASH BLOCKS TO 4'-0" AWAY FROM FOUNDATION
- ④ 2x6 STUDS @ 16" O/C W/ 1/8" SHEATHING W/ BLDG. PAPER/WIRE W/ STUCCO OVER
- ⑤ OPTIONAL 1/2" GYP. BD. INTERIOR W/ R-19 INSULATION
- ⑥ PROVIDE ICE & WATER SHIELD FROM EAVE EDGE BACK TO A POINT @ LEAST 24" INSIDE THE EXTERIOR WALL LINE OF THE BUILDING
- ⑦ DOUBLE 2x6 BOTTOM AND TOP PLATES
- ⑧ OPTIONAL R-49 INSULATION
- ⑨ 8" CONC. FOUNDATION WALL W/ 1/2" X 10" ANCHOR BOLTS @ 4'-0" O/C & 12" FROM CORNERS & SPLICES MAX. THRU 2X4 SILL W/ SILL SEALER (1" EMBEDMENT)
- ⑩ FOOTER W/ EXTERIOR DRAIN SEE SOILS REPORT
- ⑪ 4" CONC. SLAB WITH 1/2" EXP. FELT @ FLOOR AND WALL INTERSECTIONS - PROVIDE CONTROL JOINTS AS REQ.
- ⑫ R-10 MIN. INSULATION @ UNFINISHED AREAS
- ⑬ PROVIDE 1" CLEAR AIR SPACE BETWEEN INSUL. AND ROOF SHEATHING W/ OPTIONAL CEILING INSULATION
- ⑭ PROVIDE ROOF VENTS AT 13000 SQ. FT. OF ROOF PLACE 1/2 OF VENTS IN UPPER 1/2 OF ROOF AND 1/2 OF VENTS IN SOFFITS



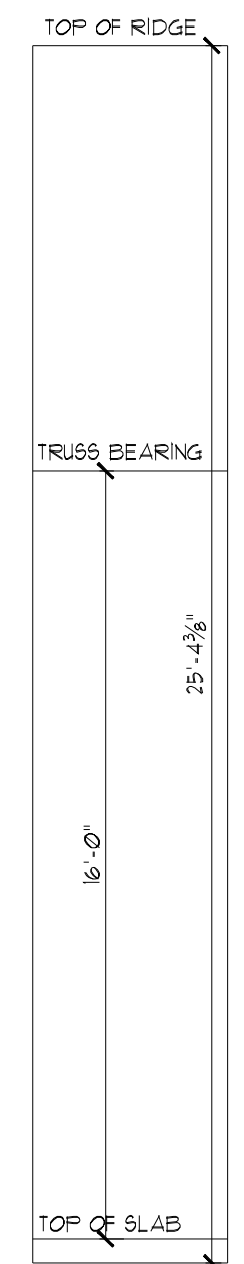
TYPICAL SECTION
SCALE: 1/4"=1'-0"



EAST ELEVATION
SCALE: 1/4"=1'-0"



WEST ELEVATION
SCALE: 1/4"=1'-0"

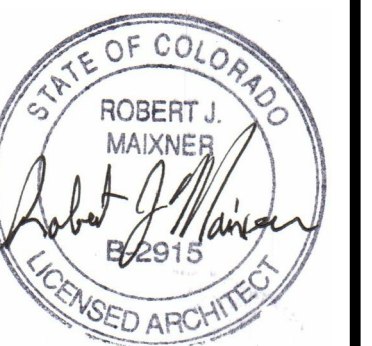


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06 / 10 / 2020
SQUARE FOOTAGE
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A-3

PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT
CRAIG DOSSEY, EXECUTIVE DIRECTOR

6/3/2020

RE: McDermott Administrative Relief

File: ADR-20-004
Parcel ID No.:5208000030

This is to inform you that the above referenced request for approval of an application for administrative relief to allow a 4,983.4 square foot accessory structure, which exceeds the standard of two times the size of the home by 20 percent was **approved** by the Planning and Community Development Director on June 3, 2020. The residence on the property is 2,077 square feet in size, which would allow for an accessory structure up to 4,154 square feet.

It is the determination and finding of the Planning and Community Development Department (PCD) Director that the application meets the review criteria for Administrative Relief included in Section 5.5.1 of the El Paso County Land Development Code (2019). Current and future use of the property shall continue to be governed by Table 5-1, Principal Uses, of the Land Development Code. Approval of the requested administrative relief application is subject to the following:

CONDITIONS AND NOTATION

Conditions

1. The approval applies only to the plans as submitted. Any expansion or additions to the proposed accessory structure may require separate application(s) and approval(s) if the development requirements of the applicable zoning district cannot be met.
2. Approval of a site plan by the Planning and Community Development Department and issuance of a building permit from the Pikes Peak Regional Building Department are required prior to construction of the accessory structure.

Notation

1. Physical variances approved for a proposed structure (except for lot area variances) are valid only if construction of the structure is initiated within twelve (12) months of the date of the approval.

All administrative decisions, such as this one, may be appealed to the Board of Adjustment within 30 days of the date of the decision. Should you have any questions, please contact Ryan Howser at (719) 520-6049.

Sincerely,

A handwritten signature in black ink, appearing to read "Craig Dossey". The signature is fluid and cursive, with the first name "Craig" written in a larger, more prominent script than the last name "Dossey".

Craig Dossey, Executive Director
El Paso County Planning and Community Development Department
File: ADR-20-004