SF 19.018

SUBDIVISION IMPROVEMENTS AGREEMENT
BRANDING IRON AT STERLING RANCH FILING NO. 2, a Replat of
Tract K, Sterling Ranch Filing No. 1

THIS AGREEMENT, made between **SR LAND, L.L.C.**, (the "Subdivider") **STERLING RANCH METROPOLITAN DISTRICT NO. 1** (the "District") and **EL PASO COUNTY**, by and through the Board of County Commissioners of El Paso County, Colorado (the "County") shall become effective the date of approval of the Final Plat by the Board of County Commissioners.

WITNESSETH:

WHEREAS, the Subdivider, as a condition of approval of the final plat of Branding Iron at Sterling Ranch Filing No. 2 Subdivision ("Branding Iron No. 2") and the District wish to enter into a Subdivision Improvements Agreement, as provided for by Section 30-28-137 (C.R.S.), Chapter 5 of the El Paso County Engineering Criteria Manual and Chapter 8 of the El Paso County Land Development Code incorporated herein; and

WHEREAS, pursuant to the same authority, the Subdivider is obligated to provide security or collateral sufficient in the judgment of the Board of County Commissioners to make reasonable provision for completion of certain public improvements set forth on Exhibit A attached hereto and incorporated herein; and

WHEREAS, the Subdivider wishes to provide collateral to guarantee performance of this Agreement, including construction of the above-referenced improvements, by means of a letter of credit; and

WHEREAS, Branding Iron No. 2 is replat of Tract K, Sterling Ranch Filing No. 1, located within Sterling Ranch, a 1,444 acre master planned community; and

WHEREAS, the parties hereto desire to set forth their understanding and agreement with regard to the construction and installation of the improvements set forth on Exhibit A attached hereto.

NOW, THEREFORE, in consideration of the following mutual covenants and agreements, the Subdivider, the District and the County agree as follows:

1. **Responsibility to Construct**: The Subdivider and District agree to construct and install, at their sole expense, all of those improvements as set forth on Exhibit A attached hereto. Such obligation shall be joint and several unless otherwise set forth herein. To secure and guarantee performance of the Subdivider's and the District's obligations as set forth herein, the Subdivider agrees to provide collateral to remain in effect at all times until the improvements are completed and accepted in accordance with Chapter 5 of the ECM. Security and collateral shall be posted in the form of cash in the amount of $578,907.20.

2. **Renewal of Collateral:** Subdivider is responsible for providing any renewals of collateral to ensure that there is never a lapse in security coverage. Subdivider shall procure renewal/extension/replacement collateral at least fifteen (15) days prior to the expiration of the original or renewal/extension/replacement collateral then in effect. Failure to procure renewal/extension/replacement collateral within this time limit shall be a default under this Agreement and shall allow the County to execute on the collateral. In addition, if Subdivider allows collateral to lapse at any time, no lots in the subdivision may be sold, conveyed or transferred, whether by Deed or Contract, after the expiration date of such collateral until the improvements identified on Exhibit A have been completed and final acceptance is received from the County. If replacement collateral is used for renewal, approval by the Board of County Commissioners is required.

3. **Construction of Improvements or Collateral:** No lots in the subdivision shall be sold, conveyed or transferred, whether by Deed or by Contract, nor shall building permits be issued until and unless the required improvements for the subdivision have been constructed and completed in accordance with the approved construction plans and preliminary acceptance is received from the County. In the alternative, lots within the subdivision may be sold, conveyed or transferred and/or have building permits issued upon receipt of collateral acceptable to the County, pursuant to this Agreement, which is sufficient to guarantee construction of the improvements in the attached Exhibit A.

4. **Roads:** The roads set forth in this final plat will be designed, constructed and dedicated to the County pursuant to the terms and conditions contained herein.

5. **Design Standards:** The Subdivider and District agree that all of the public improvements to be completed as identified in Exhibit A shall be constructed in compliance with the following:

    a. All laws, resolutions and regulations of the United States, State of Colorado, El Paso County and its various agencies, affected special districts and/or servicing authorities.

    b. Such other designs, drawings, maps, specifications, sketches and other matter submitted to and approved by any of the above-stated- governmental entities.

6. **Timing of Construction and Acceptance:**

    a. **General.** All improvements, with the exception of the Branding Iron No. 2 Drainage Improvements, the Channel Improvements (as defined in subsection 5.b. herein below), and the Meridian System, including the Meridian System Connection, shall be completed by the Subdivider, meeting all applicable standards for preliminary acceptance, within 24 (twenty-four) months from the date of notice to proceed in the Construction Permit for the Subdivision.

    b. **Drainage Improvements and Channel Improvements.**

The drainage ways, detention ponds and bank stabilization (i.e., soil, riprap, and turf reinforcement matting along embankment toes and slopes) associated with this Subdivision (collectively, the "Branding Iron No. 2 Drainage Improvements") shall be completed by the Subdivider, meeting all applicable standards for preliminary acceptance, within twelve (12) months of recording the final plat.

The drainage improvements in Tract D, Sterling Ranch Filing No. 1, located in the Sand Creek Channel, which improvements consist of drop structures, check structures and similar stabilization or protection improvements (collectively, the "Channel Improvements"), shall be completed by the District within the time frames set forth in subsection 6.b. of the *Subdivision Improvements Agreement for Sterling Ranch Filing No. 1*, dated May 30, 2018, and recorded in the real property records for El Paso County, Colorado at reception number 218061175.

If the Subdivider determines that the completion date needs to be extended, the Subdivider shall submit a written request for a change in the completion date to the ECM Administrator at least 90 days in advance of the completion date. The request shall include the reasons for the requested change in completion date, the proposed new completion date, and prove collateral is in place to cover the extension time requested. The completion date for the Subdivision may be extended one time, for a period no longer than 6 months at the discretion of the ECM Administrator. Any additional request for extension of the completion date will be scheduled for hearing by the Board of County Commissioners. The ECM Administrator or the Board of County Commissioners may require an adjustment in the amount of collateral to take into account any increase in cost due to the delay including inflation.

c. **Vollmer Road.** As more particularly described in the Subdivision Improvements Agreement for Sterling Ranch Filing No. 1, the parties agree that the addition of two lanes to the existing two-lane cross section of Vollmer Road shall be completed no later than May 30, 2021, three years from the date of recording of Filing No. 1. In the event that any portions of the four lane cross section of Vollmer Road are not completed within the three year period, collateral sufficient in the opinion of the County to assure completion of the improvements must be posted by the Subdivider and a deadline by which such road improvements shall be completed shall be established by written agreement.

d. **Wastewater Treatment.** The District has an intergovernmental agreement, dated on or about September 11, 2014, with Meridian Service Metropolitan District for the provision of wastewater treatment services (the "Meridian System"). The District has also entered into an intergovernmental agreement with the City of Colorado Springs and Colorado Springs Utilities which provides for temporary wastewater treatment services while the District completes its connection to the Meridian System ("Meridian System

Connection"). The agreement with the City provides for interim treatment services for a period of up to one year from the execution of the agreement, or August 12, 2020.

Subdivider has previously provided construction drawings for the Meridian System Connection, including the sewer line and lift station, that have been signed by the Meridian Service Metropolitan District, as well as Financial Assurance Estimates for the completion of such improvements (the "Meridian Line Collateral"). The Meridian System Connection is substantially complete, as set forth in the report dated October 6, 2020, from the District Engineer, Brad Simons of MMI Engineering, LLC, and shall be operationally complete by November 30, 2020. It is understood by the parties hereto that, should it become necessary for the County to draw on the Meridian System Connection Collateral to complete the Meridian System Connection, the County intends to authorize and designate Elite Properties of America, Inc. as the appropriate entity to complete said connection. A copy of an agreement between the Subdivider and Elite addressing this potential work has been provided to the County. Finally, it is agreed that, should it become necessary for the County to draw on the Meridian System Connection Collateral to complete the connection, the County may impose a moratorium on the issuance of additional building permits on lots located in all recorded final plats at Sterling Ranch until the Meridian System Connection is completed.

e. **Briargate Parkway**. The following roadways shall be completed and ready for preliminary acceptance no later than six (6) months following final plat recording:

   i. the southerly two lanes of Briargate Parkway from Vollmer Road to Wheatland Drive, in accordance with the Briargate Parkway "Interim" Street Improvement Plans (approved by the County in connection with Sterling Ranch Filing No. 1), a copy of which is attached hereto as Exhibit A-1; and

   ii. Wheatland Drive from Briargate Parkway to Dines Boulevard, as identified on the Sterling Ranch Dines Boulevard and Wheatland Drive Street Improvement Plans (approved by the County in connection with Sterling Ranch Filing No. 1) a copy of which is attached hereto as Exhibit A-2.

7. **Construction Criteria**: The Subdivider and District agree, and the parties acknowledge that the construction of the improvements identified and guaranteed through this Subdivision Improvements Agreement shall follow the inspection and acceptance process that is identified in Chapter 5 of the County's Engineering Criteria Manual. This is to include among other things, a Preliminary Acceptance process, posting of appropriate Warranty collateral at that time, and a 2-year warranty period prior to final acceptance. Where any inconsistency exists between Chapter 5 of the Engineering Criteria Manual and

the Land Development Code with respect to these inspections, collateral and acceptance processes, the Engineering Criteria Manual is the controlling document.

8. **Plat Restriction Remedy**: It is mutually agreed pursuant to the provisions of Section 30-28-137(3) C.R.S. that the County or any purchaser of any lot, lots, tract or tracts of land subject to a plat restriction which is the security portion of a Subdivision Improvements Agreement shall have the authority to bring an action in any District Court to compel the enforcement of any Subdivision Improvements Agreement on the sale, conveyance, or transfer of any such lot, lots, tract or tracts of land or of any other provision of Article 28 of Title 30, Colorado Revised Statutes. Such authority shall include the right to compel rescission of any sale, conveyance, or transfer of any lot, lots, tract or tracts of land contrary to the provisions of any such restrictions set forth on the plat or in any separate recorded instrument, but any such action shall be commenced prior to the issuance of a building permit by the County where so required or other otherwise prior to commencement of construction on any such lot, lots, tract or tracts of land.

9. **Releases**: It is further mutually agreed that, pursuant to the provisions of Section 30-28-137 (2) C.R.S., and Chapter 5 of the County's Engineering Criteria Manual, as improvements are completed, the Subdivider may apply to the Board of County Commissioners for a release of part or all of the collateral deposited with said Board. Upon inspection and approval, the Board shall release said collateral. The County agrees to respond to an inspection request in a reasonable time upon receipt of the request. If the Board determines that any of such improvements are not constructed in substantial compliance with specifications it shall furnish the Subdivider and District a list of specific deficiencies and shall be entitled to withhold collateral sufficient to ensure such substantial compliance.

   If the Board of County Commissioners determines that the Subdivider or District will not construct any or all of the improvements in accordance with all of the specifications and the provisions of this Agreement, the Board of County Commissioners may withdraw and employ from the deposit of collateral such funds as may be necessary to construct the improvements in accordance with the specifications. In addition, and with respect to the Meridian System Connection only, either as an alternative to the withdrawal of collateral or in connection therewith, at the County's sole discretion, the County may request Elite to complete the Meridian System Connection in accordance with the approved plans and specifications for such connection set forth in Exhibit A-3. If the County draws on the posted collateral and Elite thereafter completes the improvements, the County shall reimburse Elite for such work in the amount of the collateral withdrawn or the cost of such work, whichever is less. If Elite declines to complete the Meridian System Connection, the County shall withdraw and employ from the deposit of collateral such funds as may be necessary to complete the Meridian System Connection in accordance with the specifications.

10. **Title Insurance**: The Subdivider agrees to provide the County with a title insurance commitment at time of final platting evidencing that fee simple title of all lands in the subdivision is vested with the Subdivider.

11. **Plat Approval:** The County agrees to approval of the final plat of the Branding Iron at Sterling Ranch Filing No. 2 Subdivision subject to the terms and conditions of this Agreement.

12. **Amendment:** Parties hereto mutually agree that this Agreement may be amended from time to time provided that such amendment be in writing and signed by all parties hereto.

13. **Effective Date:** This Agreement shall take effect on the date of approval of the Final Plat by the Board of County Commissioners.

14. **Traffic Impact Fees:** The Subdivider agrees for itself and its successors and assigns that Subdivider and/or its said successors and assigns shall be required to pay traffic impact fees in accordance with the El Paso County Road Impact Fee Program at or prior to the time of building permit application. This fee obligation, if not paid in full at final plat recording, shall be documented on plat notes and all sales documents to ensure that a title search would reveal such fee. The Subdivider agrees to the inclusion of Branding Iron at Sterling Ranch Filing No. 2 into the El Paso County Public Improvement District No. 2.

IN WITNESS WHEREOF, the parties have hereunto set their hands and seals the day and year below written.

BOARD OF COUNTY COMMISSIONERS OF EL PASO COUNTY, COLORADO

By: _____, Chair

_____
(Date Final Plat Approved)

ATTEST:

_____
County Clerk and Recorder

Approved as to form:
Lori L. Seago
Sr. Asst. County Attorney

STERLING RANCH METROPOLITAN DISTRICT NO. 1

By: _____
James Morley, President

SR LAND, LLC

By: _____
James Morley, Manager

EXHIBIT A

SUBDIVISION IMPROVEMENTS AGREEMENT

Branding Iron at Sterling Ranch Filing No. 2

2019 Financial Assurance Estimate Form
(with pre-plat construction)

Updated: 12/8/2019

PROJECT INFORMATION		
Branding Iron at Sterling Ranch Filing No. 2	12/8/2020	SF-19-018
Project Name	Date	PCD File No.

Description	Quantity	Units	Unit Cost		Total	(with Pre-Plat Construction) % Complete	Remaining
SECTION 1 - GRADING AND EROSION CONTROL (Construction and Permanent BMPs)							
* Earthwork							
less than 1,000; $5,300 min	663	CY	$ 8.00	=	$ 5,300.00	80.00%	$ 1,060.00
1,000-5,000; $8,000 min		CY	$ 6.00	=	$ -		$ -
5,001-20,000; $30,000 min		CY	$ 5.00	=	$ -		$ -
20,001-80,000; $100,000 min		CY	$ 3.50	=	$ -		$ -
80,001-200,000; $175,000 min		CY	$ 2.50	=	$ -		$ -
greater than 200,000; $500,000 min		CY	$ 2.00	=	$ -		$ -
* Permanent Seeding (inc. noxious weed regmt.)		AC	$ 800.00	=	$ -		$ -
* Mulching		AC	$ 700.00	=	$ -		$ -
* Permanent Erosion Control Blanket (SC250)	10,350	SY	$ 6.00	=	$ 62,100.00	50.00%	$ 31,050.00
* Permanent Pond/BMP Construction		CY	$ 20.00	=	$ -		$ -
* Permanent Pond/BMP (Spillway)		EA	$ 2,500.00	=	$ -	80.00%	$ -
* Permanent Pond/BMP (Outlet Structure)		EA	$ 6,500.00	=	$ -	80.00%	$ -
Safety Fence		LF	$ 3.00	=	$ -		$ -
Temporary Erosion Control Blanket (SC160)	49,760	SY	$ 3.00	=	$ 149,280.00	50.00%	$ 74,640.00
Vehicle Tracking Control	4	EA	$ 2,370.00	=	$ 9,480.00	80.00%	$ 1,896.00
Silt Fence	2,674	LF	$ 2.50	=	$ 6,685.00	80.00%	$ 1,337.00
Temporary Seeding	12	AC	$ 638.00	=	$ 7,656.00		$ 7,656.00
Temporary Mulch	12	AC	$ 750.00	=	$ 9,000.00	80.00%	$ 1,800.00
Erosion Bales	21	EA	$ 25.00	=	$ 525.00	80.00%	$ 105.00
Erosion Logs/Straw Wattle		LF	$ 5.50	=	$ -		$ -
Rock Check Dams		EA	$ 800.00	=	$ -		$ -
Inlet Protection	2	EA	$ 167.00	=	$ 334.00	80.00%	$ 66.80
Sediment Basin		EA	$ 1,782.00	=	$ -		$ -
Concrete Washout Basin		EA	$ 900.00	=	$ -		$ -
				=	$ -		$ -
Insert items not listed but part of construction plans				=	$ -		$ -
	MAINTENANCE (35% of Construction BMPs)			=	$ 63,819.00		$ 63,819.00
* - Subject to defect warranty financial assurance. A minimum of 20% shall be retained until final acceptance (MAXIMUM OF 80% COMPLETE ALLOWED)		Section 1 Subtotal		=	$ 313,559.80		$ 183,209.80
SECTION 2 - PUBLIC IMPROVEMENTS *							
ROADWAY IMPROVEMENTS							
Construction Traffic Control	1	LS	$ 3,000.00	=	$ 3,000.00	80.00%	$ 600.00
Aggregate Base Course (135 lbs/cf)	4,700	Tons	$ 28.00	=	$ 131,600.00	80.00%	$ 26,320.00
Aggregate Base Course (135 lbs/cf)		CY	$ 50.00		$ -		$ -
Asphalt Pavement (3" thick)	3,280	SY	$ 14.00		$ 45,640.00	80.00%	$ 9,128.00
Asphalt Pavement (4" thick)	6,765	SY	$ 19.00		$ 128,535.00	80.00%	$ 25,707.00
Asphalt Pavement (5" thick)		SY	$ 23.00		$ -		$ -
Asphalt Pavement (147 lbs/cf) _" thick		Tons	$ 88.00	=	$ -		$ -
Raised Median, Paved		SF	$ 8.00	=	$ -		$ -
Regulatory Sign/Advisory Sign		EA	$ 300.00	=	$ -		$ -
Guide/Street Name Sign	8	EA	$ 250.00	=	$ 2,000.00		$ 2,000.00
Epoxy Pavement Marking		SF	$ 13.00	=	$ -		$ -
Thermoplastic Pavement Marking		SF	$ 23.00	=	$ -		$ -
Barricade - Type 3		EA	$ 280.00	=	$ -		$ -
Delineator - Type I		EA	$ 24.00	=	$ -		$ -
Curb and Gutter, Type A (6" Vertical)	4,928	LF	$ 30.00	=	$ 147,840.00	80.00%	$ 29,568.00
Curb and Gutter, Type B (Median)		LF	$ 30.00	=	$ -		$ -
Curb and Gutter, Type C (Ramp)	1,528	LF	$ 30.00	=	$ 45,840.00	80.00%	$ 9,168.00
4" Sidewalk (common areas only)		SY	$ 48.00	=	$ -		$ -
5" Sidewalk	3,580	SY	$ 60.00	=	$ 214,800.00		$ 214,800.00
6" Sidewalk		SY	$ 72.00	=	$ -		$ -
8" Sidewalk		SY	$ 96.00		$ -		$ -
Pedestrian Ramp	22	EA	$ 1,150.00	=	$ 25,300.00	80.00%	$ 5,060.00
Cross Pan, local (6" thick, 6' wide to include return)	637	LF	$ 51.00	=	$ 51,057.00	80.00%	$ 10,211.40
Cross Pan, collector (6" thick, 6' wide to include return)		LF	$ 92.00		$ -		$ -
Curb Chase		EA	$ 1,400.00	=	$ -		$ -
Guardrail Type 3 (W-Beam)		LF	$ 40.00	=	$ -		$ -
Guardrail Type 7 (Concrete)		LF	$ 72.00	=	$ -		$ -
Guardrail End Anchorage		EA	$ 2,000.00	=	$ -		$ -
Guardrail Impact Attenuator		EA	$ 3,767.00	=	$ -		$ -
Sound Barrier Fence (CMU block, 6' high)		LF	$ 78.00		$ -		$ -
Sound Barrier Fence (panels, 6' high)		LF	$ 80.00	=	$ -		$ -
Electrical Conduit, Size =		LF	$ 10.00	=	$ -		$ -
Traffic Signal, complete intersection		EA	$ 425,000	=	$ -		$ -

PROJECT INFORMATION		
Branding Iron at Sterling Ranch Filing No. 2	12/8/2020	SF-19-018
Project Name	Date	PCD File No.

Description	Quantity	Units	Unit Cost		Total	(with Pre-Plat Construction) % Complete	Remaining	
				=	$ -		$ -	
(insert items not listed but part of construction plans)				=	$ -		$ -	*
STORM DRAIN IMPROVEMENTS								*
Concrete Box Culvert (M Standard), Size (W x H)		LF		=	$ -		$ -	*
18" Reinforced Concrete Pipe		LF	$ 65.00	=	$ -		$ -	*
24" Reinforced Concrete Pipe	892	LF	$ 78.00	=	$ 69,576.00	80.00%	$ 13,915.20	*
30" Reinforced Concrete Pipe	5	LF	$ 97.00	=	$ 485.00	80.00%	$ 97.00	*
36" Reinforced Concrete Pipe		LF	$ 120.00	=	$ -		$ -	*
42" Reinforced Concrete Pipe		LF	$ 160.00	=	$ -		$ -	*
48" Reinforced Concrete Pipe		LF	$ 195.00	=	$ -		$ -	*
54" Reinforced Concrete Pipe		LF	$ 245.00	=	$ -		$ -	*
60" Reinforced Concrete Pipe		LF	$ 288.00	=	$ -		$ -	*
66" Reinforced Concrete Pipe		LF	$ 332.00	=	$ -		$ -	*
72" Reinforced Concrete Pipe		LF	$ 380.00	=	$ -		$ -	*
18" Corrugated Steel Pipe		LF	$ 84.00	=	$ -		$ -	*
24" Corrugated Steel Pipe		LF	$ 96.00	=	$ -		$ -	*
30" Corrugated Steel Pipe		LF	$ 122.00	=	$ -		$ -	*
36" Corrugated Steel Pipe		LF	$ 147.00	=	$ -		$ -	*
42" Corrugated Steel Pipe		LF	$ 168.00	=	$ -		$ -	*
48" Corrugated Steel Pipe		LF	$ 175.00	=	$ -		$ -	*
54" Corrugated Steel Pipe		LF	$ 260.00	=	$ -		$ -	*
60" Corrugated Steel Pipe		LF	$ 280.00	=	$ -		$ -	*
66" Corrugated Steel Pipe		LF	$ 340.00	=	$ -		$ -	*
72" Corrugated Steel Pipe		LF	$ 400.00	=	$ -		$ -	*
78" Corrugated Steel Pipe		LF	$ 460.00	=	$ -		$ -	*
84" Corrugated Steel Pipe		LF	$ 680.00	=	$ -		$ -	*
Flared End Section (FES) RCP Size = 18 (unit cost = 0x pipe unit cost)		EA	$ 390.00	=	$ -		$ -	*
Flared End Section (FES) CMP Size = 42 (unit cost = 0x pipe unit cost)		EA	$ 960.00	=	$ -		$ -	*
End Treatment- Headwall		EA	$ 12,000.00	=	$ -		$ -	*
End Treatment- Wingwall		EA	$ 6,000.00	=	$ -		$ -	*
End Treatment - Cutoff Wall		EA	$ 1,000.00	=	$ -		$ -	*
Curb Inlet (Type R) L=5', Depth < 5'		EA	$ 5,642.00	=	$ -		$ -	*
Curb Inlet (Type R) L=5', 5' ≤ Depth < 10'	1	EA	$ 7,188.00	=	$ 7,188.00	80.00%	$ 1,437.60	*
Curb Inlet (Type R) L =5', 10' ≤ Depth < 15'	1	EA	$ 8,345.00	=	$ 8,345.00	80.00%	$ 1,669.00	*
Curb Inlet (Type R) L =10', Depth < 5'		EA	$ 7,627.00	=	$ -		$ -	*
Curb Inlet (Type R) L =10', 5' ≤ Depth < 10'		EA	$ 7,861.00	=	$ -		$ -	*
Curb Inlet (Type R) L =10', 10' ≤ Depth < 15'		EA	$ 9,941.00	=	$ -		$ -	*
Curb Inlet (Type R) L =15', Depth < 5'		EA	$ 8,918.00	=	$ -		$ -	*
Curb Inlet (Type R) L =15', 5' ≤ Depth < 10'		EA	$ 10,533.00	=	$ -		$ -	*
Curb Inlet (Type R) L =15', 10' ≤ Depth < 15'		EA	$ 11,827.00	=	$ -		$ -	*
Curb Inlet (Type R) L =20', Depth < 5'		EA	$ 10,570.00	=	$ -		$ -	*
Curb Inlet (Type R) L =20', 5' ≤ Depth < 10'		EA	$ 11,887.00	=	$ -		$ -	*
Grated Inlet (Type C), Depth < 5'		EA	$ 4,840.00	=	$ -		$ -	*
Grated Inlet (Type D), Depth < 5'		EA	$ 6,731.00	=	$ -		$ -	*
Storm Sewer Manhole, Box Base	3	EA	$ 11,627.00	=	$ 34,881.00	80.00%	$ 6,976.20	*
Storm Sewer Manhole, Slab Base		EA	$ 8,395.00	=	$ -		$ -	*
Geotextile (Erosion Control)		SY	$ 5.00	=	$ -		$ -	*
Rip Rap, d50 size from 6" to 24"		Tons	$ 80.00	=	$ -		$ -	*
Rip Rap, Grouted		Tons	$ 95.00	=	$ -		$ -	*
Drainage Channel Construction, Size (W x H)		LF		=	$ -		$ -	*
Drainage Channel Lining, Concrete		CY	$ 578.00	=	$ -		$ -	*
Drainage Channel Lining, Rip Rap		CY	$ 112.00	=	$ -		$ -	*
Drainage Channel Lining, Grass		AC	$ 1,469.00	=	$ -		$ -	*
Drainage Channel Lining, Other Stabilization				=	$ -		$ -	*
				=	$ -		$ -	
(insert items not listed but part of construction plans)				=	$ -		$ -	
		Section 2 Subtotal		=	**$ 916,087.00**		**$ 356,657.40**	

*- Subject to detail warranty financial assurance. A minimum of 50% shall be retained until final acceptance (MAXIMUM OF 50% COMPLETE ALLOWED)

PROJECT INFORMATION		
Branding Iron at Sterling Ranch Filing No. 2	12/8/2020	SF-19-018
Project Name	Date	PCD File No.

Description	Quantity	Units	Unit Cost		Total	(with Pre-Plat Construction) % Complete	Remaining
SECTION 3 - COMMON DEVELOPMENT IMPROVEMENTS (Private or District and NOT Maintained by EPC)**							
ROADWAY IMPROVEMENTS							
				=	$ -		$ -
				=	$ -		$ -
				=	$ -		$ -
				=	$ -		$ -
				=	$ -		$ -
				=	$ -		$ -
STORM DRAIN IMPROVEMENTS (Exception: Permanent Pond/BMP shall be itemized under Section 1)							
Rip Rap Protection	609	Ton	$ 80.00	=	$ 48,720.00	25.00%	$ 36,540.00
				=	$ -		$ -
				=	$ -		$ -
				=	$ -		$ -
				=	$ -		$ -
				=	$ -		$ -
WATER SYSTEM IMPROVEMENTS							
Water Main Pipe (PVC), Size 8"	3,248	LF	$ 84.00	=	$ 267,872.00	100.00%	$ -
Water Main Pipe (Ductile Iron), Size 8"		LF	$ 75.00	=	$ -		$ -
Gate Valves, 8"	20	EA	$ 1,858.00	=	$ 37,160.00	100.00%	$ -
Fire Hydrant Assembly, w/ all valves	9	EA	$ 6,997.00	=	$ 59,373.00	100.00%	$ -
Water Service Line Installation, inc. tap and valves	75	EA	$ 1,324.00	=	$ 99,300.00	100.00%	$ -
Fire Cistern Installation, complete		EA		=	$ -		$ -
				=	$ -		$ -
(insert items not listed but part of construction plans)				=	$ -		$ -
SANITARY SEWER IMPROVEMENTS							
Sewer Main Pipe (PVC), Size 8"	3,023	LF	$ 64.00	=	$ 193,472.00	100.00%	$ -
Sanitary Sewer Manhole, Depth < 15 feet	14	EA	$ 4,386.00	=	$ 61,404.00	100.00%	$ -
Sanitary Service Line Installation, complete	75	EA	$ 1,402.00	=	$ 105,150.00	100.00%	$ -
Sanitary Sewer Lift Station, complete		EA		=	$ -		$ -
				=	$ -		$ -
(insert items not listed but part of construction plans)				=	$ -		$ -
LANDSCAPING IMPROVEMENTS (For subdivision specific condition of approval, or PUD)							
		SF		=	$ -		$ -
		EA		=	$ -		$ -
		EA		=	$ -		$ -
		EA		=	$ -		$ -
		EA		=	$ -		$ -
** - Section 3 is not subject to defect warranty requirements			**Section 3 Subtotal**	=	**$ 812,451.00**		**$ 36,540.00**

PROJECT INFORMATION		
Branding Iron at Sterling Ranch Filing No. 2	12/8/2020	SF-19-018
Project Name	Date	PCD File No.

Description	Quantity	Units	Unit Cost		Total	(with Pre-Plat Construction) % Complete	Remaining
AS-BUILT PLANS (Public Improvements inc. Permanent WQCV BMPs)		LS	$ 2,500.00	=	$ 2,500.00		$ 2,500.00
POND/BMP CERTIFICATION (inc. elevations and volume calculations)		LS		=	$ -		$ -

Total Construction Financial Assurance $ **2,044,597.00**
(Sum of all section subtotals plus as-builts and pond/BMP certification)

Total Remaining Construction Financial Assurance (with Pre-Plat Construction) $ **578,907.20**
(Sum of all section totals less credit for items complete plus as-builts and pond/BMP certification)

Total Defect Warranty Financial Assurance $ **196,697.40**
(20% of all items identified as (*). To be collateralized at time of preliminary acceptance)

Approvals

I hereby certify that this is an accurate and complete estimate of costs for the work as shown on the Grading and Erosion Control Plan and Construction Drawings associated with the Project.

Engineer (P.E. Seal Required)

Approved by Owner / Applicant — Date 12/8/2020

APPROVED
Engineering Department
12/08/2020 1:[illegible]:54 PM
[illegible]
EPC Pla[illegible] Community Developm[illegible]epartment

Approved by El Paso County Engineer / ECM Adm — Date

COLORADO REGISTERED
VIRGIL A. SANDHU
37160
12-08-2020
PROFESSIONAL ENGINEER

EXHIBIT A-1

SUBDIVISION IMPROVEMENTS AGREEMENT

Branding Iron at Sterling Ranch Filing No. 2

STERLING RANCH - BRIARGATE PARKWAY

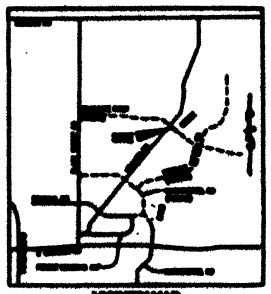
FROM VOLLMER ROAD - WHEATLAND DRIVE

COUNTY OF EL PASO, STATE OF COLORADO

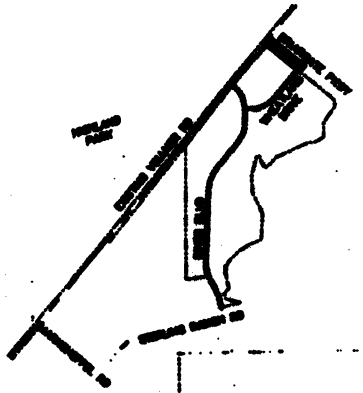
STREET IMPROVEMENT PLANS

INCLUDING SIGNAGE AND STRIPING PLAN

JANUARY 2018



VICINITY MAP



SITE MAP

30JAN18

STERLING RANCH - BRIARGATE PARKWAY

STREET IMPROVEMENT PLAN

SHEET 1 OF 6

S01

SF16-013

GENERAL CONSTRUCTION NOTES:

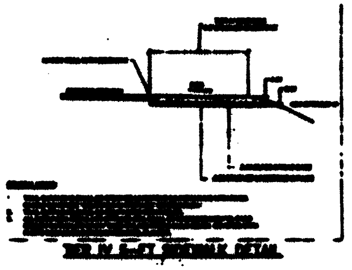
1. [illegible]
2. [illegible]
3. [illegible]
4. [illegible]
5. [illegible]
6. [illegible]
7. [illegible]
8. [illegible]
9. [illegible]

SIGNING AND STRIPING NOTES:

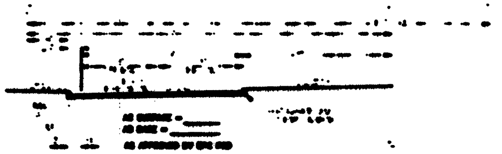
1. ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES [illegible]
2. [illegible]
3. [illegible]
4. [illegible]
5. [illegible]
6. [illegible]
7. [illegible]
8. [illegible]
9. [illegible]
10. [illegible]
11. [illegible]
12. [illegible]
13. [illegible]
14. [illegible]

STANDARD NOTES FOR EL PASO COUNTY CONSTRUCTION PLANS:

1. [illegible]
2. [illegible]
3. [illegible]
4. [illegible]
5. [illegible]
6. [illegible]
7. [illegible]
8. [illegible]
9. [illegible]
10. [illegible]
11. [illegible]
12. [illegible]
13. [illegible]
14. [illegible]
15. [illegible]

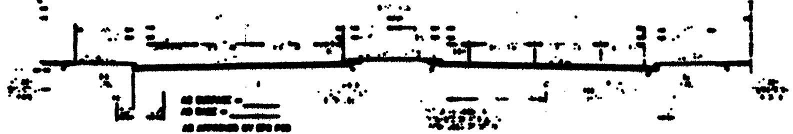


TYPE IV 5-FT SIDEWALK DETAIL



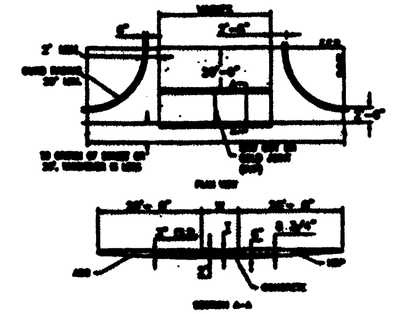
"INTERIM" BRIARGATE PARKWAY

DESIGN SPEED = 30 MPH
POSTED SPEED = 25 MPH



"ULTIMATE" BRIARGATE PARKWAY

DESIGN SPEED = 50 MPH
POSTED SPEED = 45 MPH



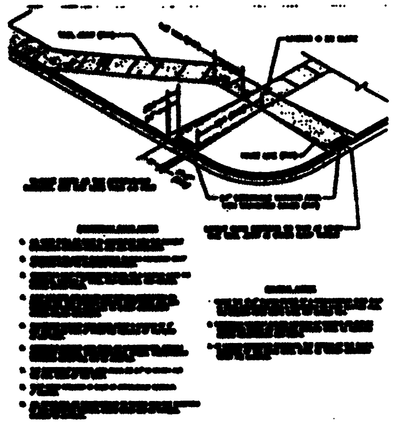
PLAN VIEW

SECTION A-A

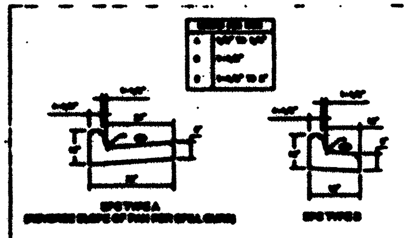
NOTES

1. [illegible]
2. [illegible]
3. [illegible]
4. [illegible]

TYPICAL CROSS PAN LAYOUT DETAIL (SD 2-28)



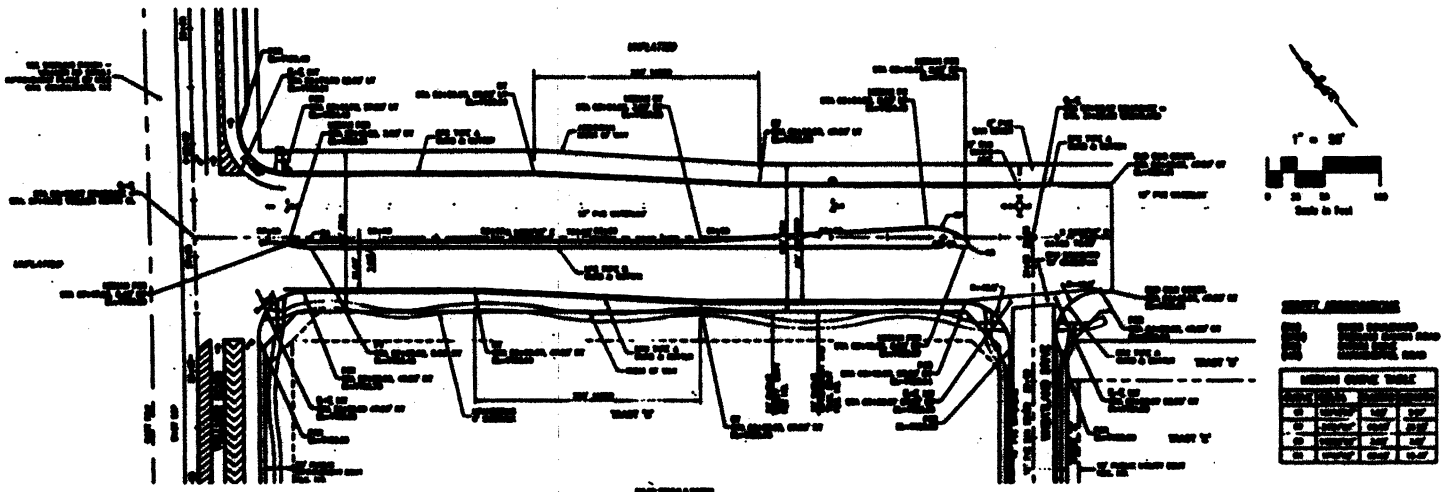
PEDESTRIAN INTERSECTION RAMP (SD 2-41)



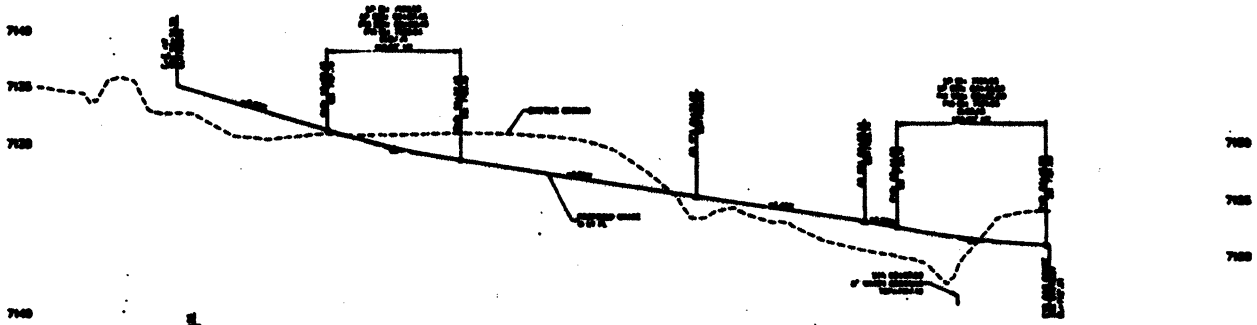
TYPICAL CURB & GUTTER DETAILS DETAIL (SD 2-20)

48 HRS BEFORE YOU DIG
CALL 1-800-922-1987

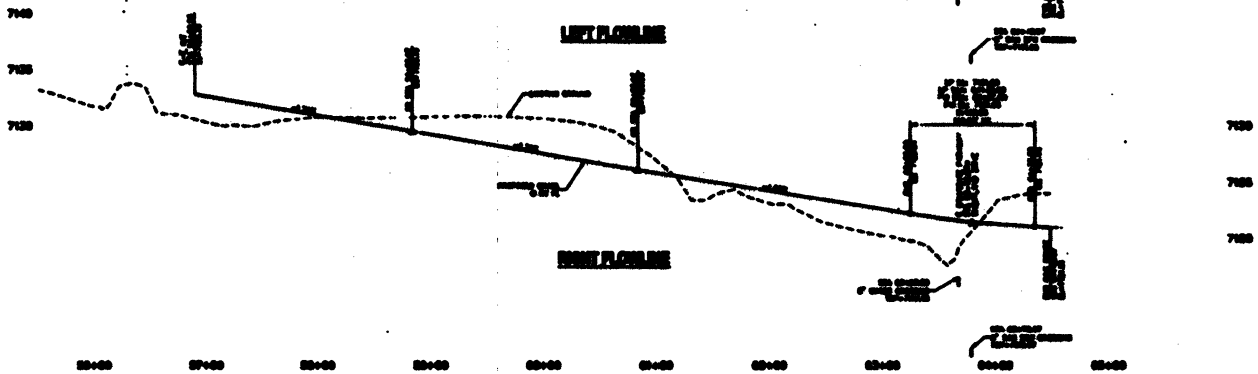
STERLING RANCH – BRIARGATE PARKWAY
NOTES & DETAILS SHEET
SCALE: N/A
1/3/2018
SHEET 2 OF 5
S102



"ULTIMATE"
BRIARGATE PARKWAY



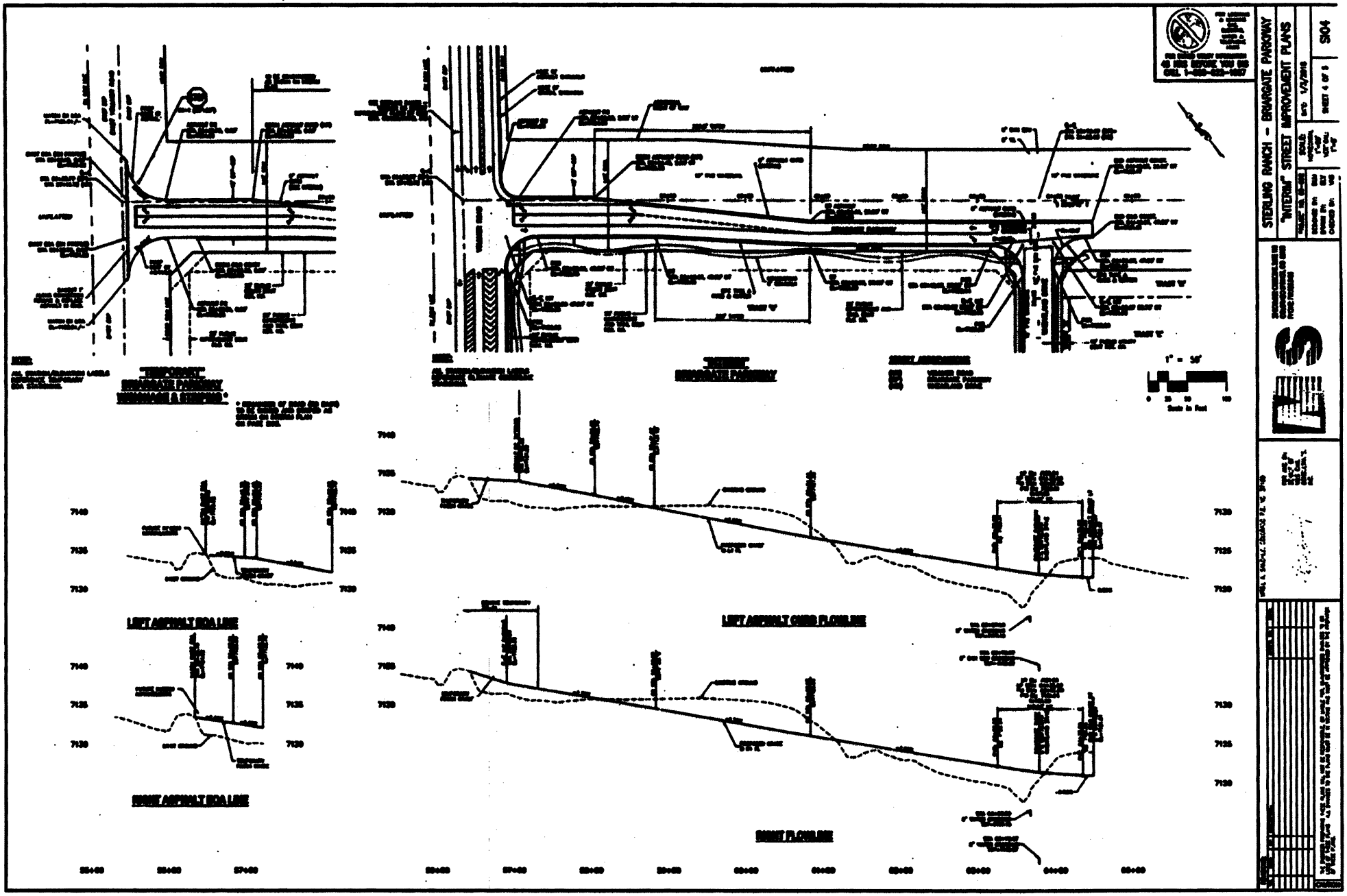
LEFT FLOWLINE



RIGHT FLOWLINE

STERLING RANCH - BRIARGATE PARKWAY
"ULTIMATE" STREET IMPROVEMENT PLANS

S103


STERLING RANCH - BRIARGATE PARKWAY
"INTERIM" STREET IMPROVEMENT PLANS
SHEET 4 OF 6
S04
1" = 50'
LEFT ASPHALT EDA LINE
LEFT ASPHALT CURB FLOWLINE
RIGHT ASPHALT EDA LINE
RIGHT FLOWLINE

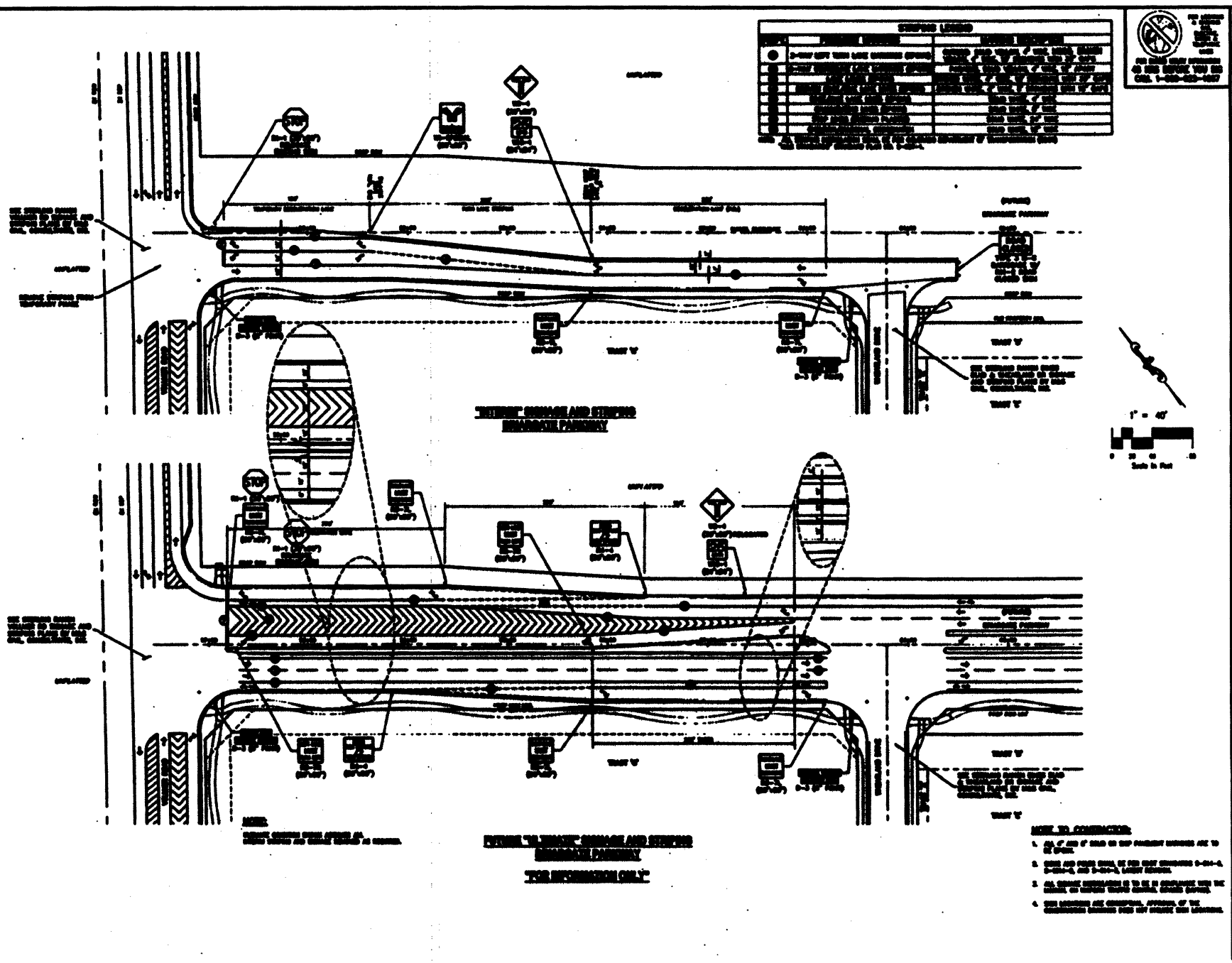

STRIPING LEGEND
"INTERIM" SIGNAGE AND STRIPING
BRIARGATE PARKWAY
FUTURE "ULTIMATE" SIGNAGE AND STRIPING
BRIARGATE PARKWAY
"FOR INFORMATION ONLY"
NOTE TO CONTRACTOR:
STERLING RANCH - BRIARGATE PARKWAY
SIGNAGE & STRIPING PLAN
SIGS

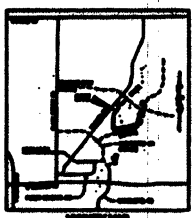
EXHIBIT A-2
SUBDIVISION IMPROVEMENTS AGREEMENT
Branding Iron at Sterling Ranch Filing No. 2

STERLING RANCH-DINES BLVD & WHEATLAND DR.

COUNTY OF EL PASO, STATE OF COLORADO

STREET IMPROVEMENT PLAN

APRIL 2017



[illegible]

SF 19-03

GENERAL CONSTRUCTION NOTES:

1. [illegible]
2. [illegible]
3. [illegible]
4. [illegible]
5. [illegible]
6. [illegible]
7. [illegible]
8. [illegible]
9. [illegible]

SIGNING AND STRIPING NOTES:

1. [illegible]
2. [illegible]
3. [illegible]
4. [illegible]
5. [illegible]
6. [illegible]
7. [illegible]
8. [illegible]
9. [illegible]
10. [illegible]
11. [illegible]
12. [illegible]
13. [illegible]
14. [illegible]

STANDARD NOTES FOR EL PASO COUNTY CONSTRUCTION PLANS:

1. [illegible]
2. [illegible]
3. [illegible]
4. [illegible]
5. [illegible]
6. [illegible]
7. [illegible]
8. [illegible]
9. [illegible]
10. [illegible]
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12. [illegible]
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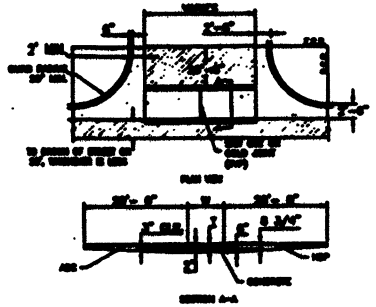
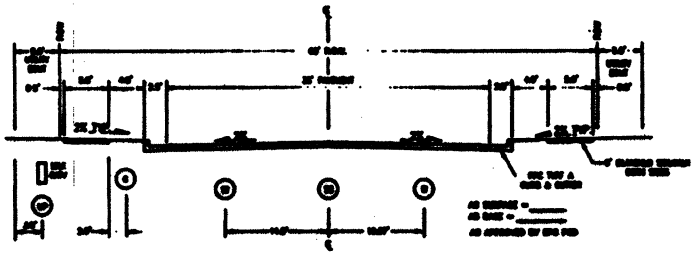
14. [illegible]
15. [illegible]
16. [illegible]

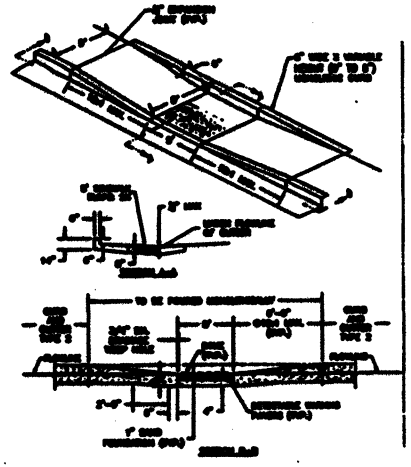


TYPICAL CROSS PAN LAYOUT DETAIL (SD 2-26)

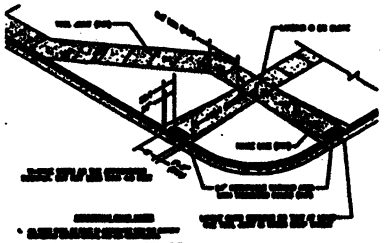


URBAN RESIDENTIAL COLLECTOR "JONES BOULEVARD" & "WHEATLAND DRIVE"

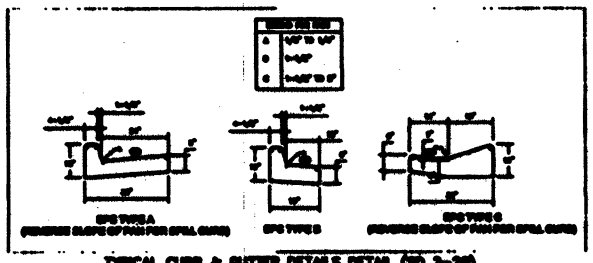
DESIGN SPEED = 40 MPH
POSTED SPEED = 35 MPH



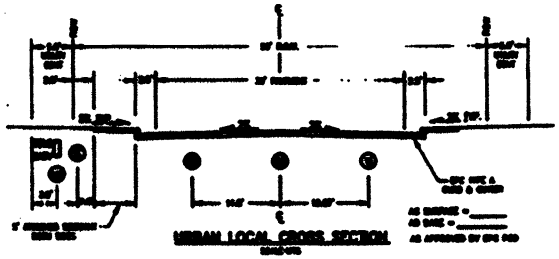
PARALLEL PEDESTRIAN RAMP DETAIL (SD 2-50)



PEDESTRIAN INTERSECTION RAMP (SD 2-41)



TYPICAL CURB & GUTTER DETAILS DETAIL (SD 2-20)



URBAN LOCAL CROSS SECTION

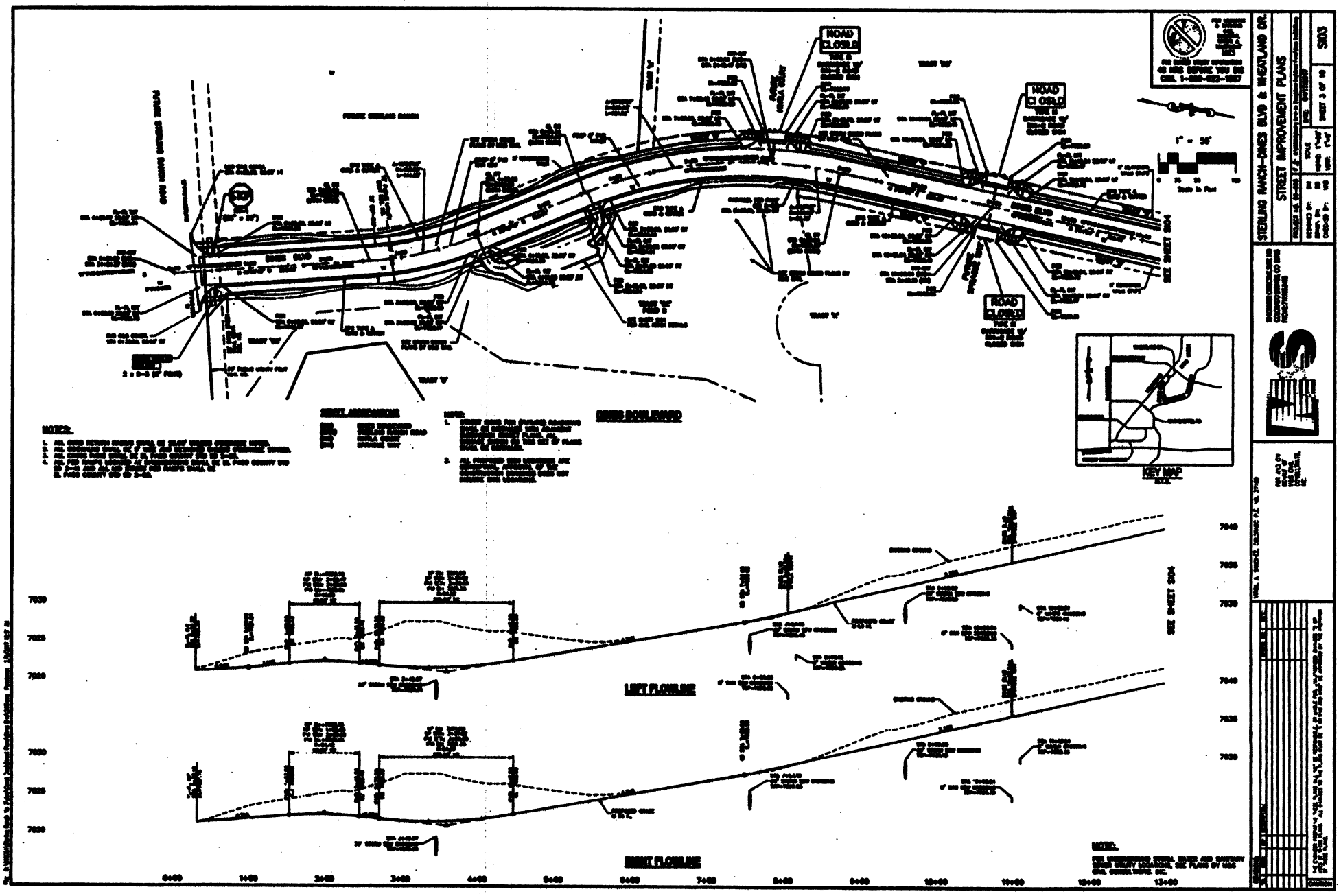
DESIGN SPEED = 25 MPH
POSTED SPEED = 25 MPH

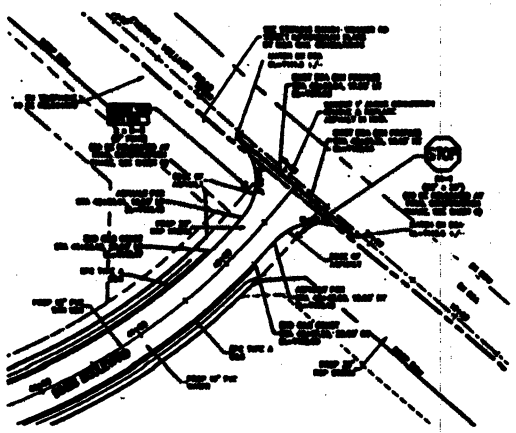
STERLING RANCH–JONES BLVD & WHEATLAND DR.

NOTES & DETAIL SHEET

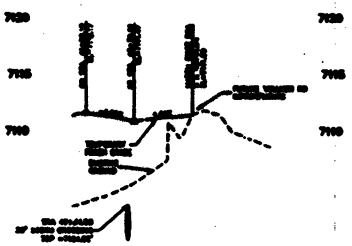
SD2

SHEET 2 OF 10

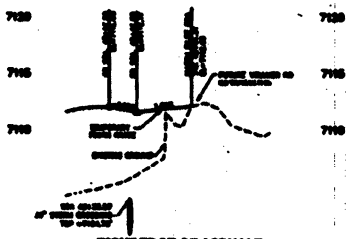

STERLING RANCH-DINES BLVD & WHEATLAND DR.
STREET IMPROVEMENT PLANS
SHEET 3 OF 10
SR03
ROAD CLOSED
DINES BOULEVARD
KEY MAP
LEFT FLOWLINE
RIGHT FLOWLINE
SEE SHEET SR04
NOTES:



"TEMPORARY"
DIRT BOULEVARD



LEFT EDGE OF ASPHALT



RIGHT EDGE OF ASPHALT

NOTES:

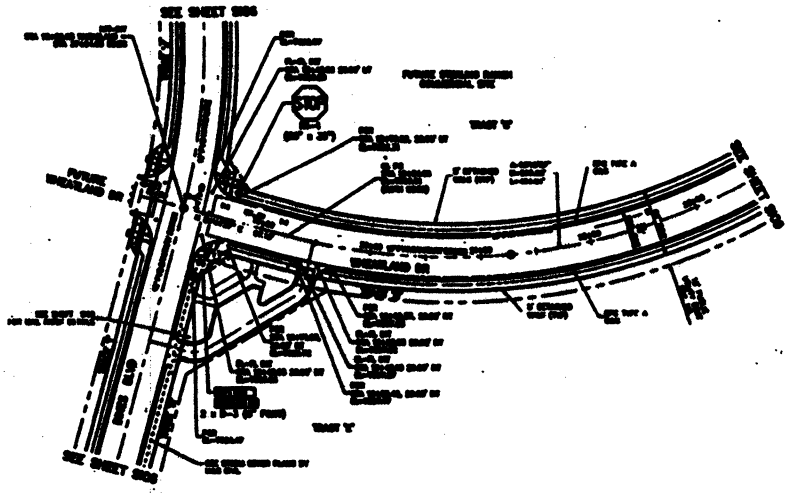
NOTES:

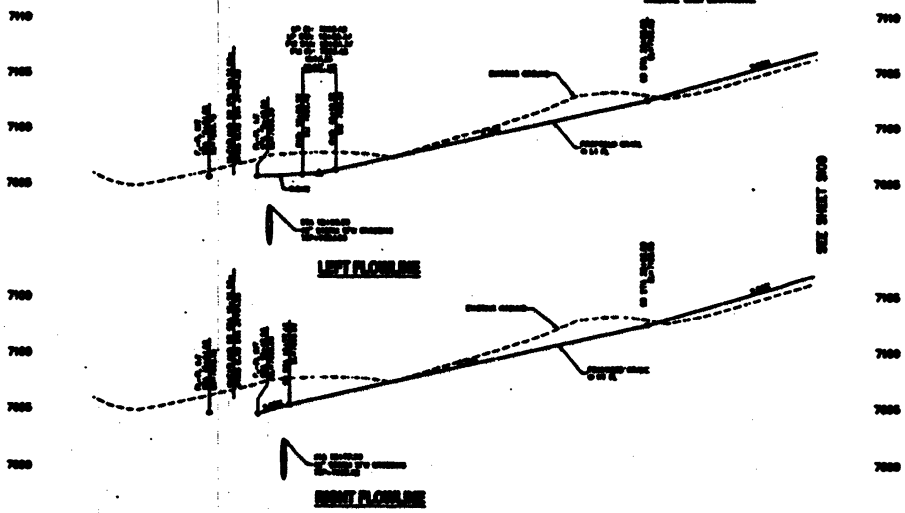
NOTES:

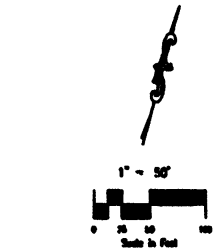
STERLING RANCH–DINES BLVD & WEATLAND DR

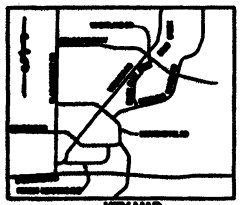
STREET IMPROVEMENT PLANS

S107









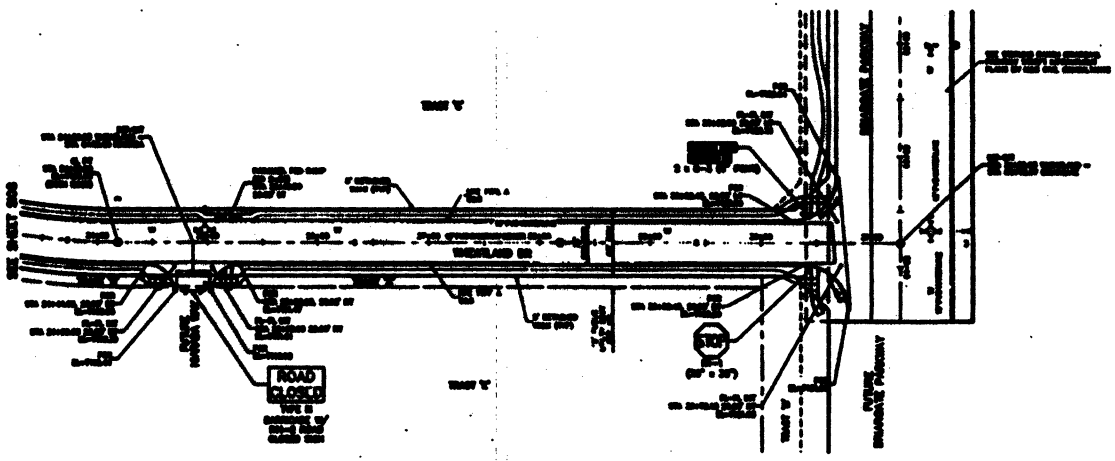
FOR DIG SAFE INFORMATION
48 HRS BEFORE YOU DIG
CALL 1-800-922-1987

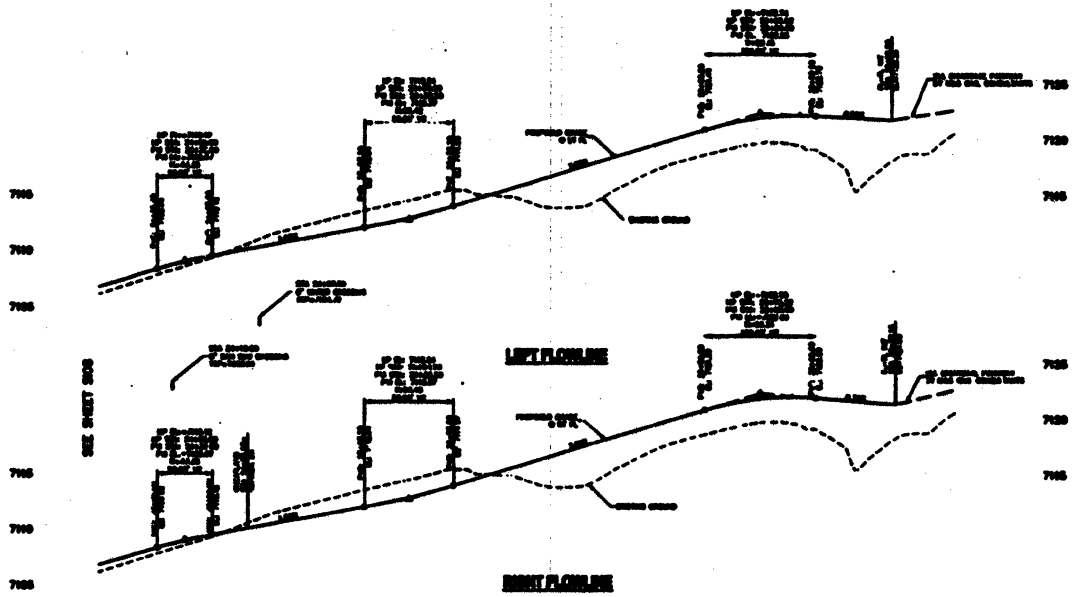
STERLING RANCH–DINES BLVD & WHEATLAND DR.

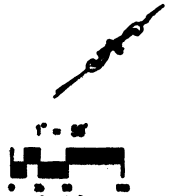
STREET IMPROVEMENT PLANS

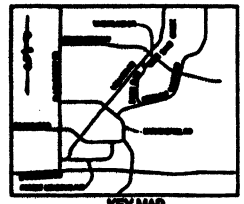
SHEET 8 OF 10

3006









NOTES:

1. [illegible]
2. [illegible]

NOTES:

FOR UNDERGROUND UTILITIES, WATER AND SANITARY SEWER SERVICE LOCATIONS, SEE PLANS BY HAS ENGINEERING, INC.

FOR UTILITY LOCATIONS
48 HRS BEFORE YOU DIG
CALL 1-800-922-1987

STERLING RANCH-DAVIS BLVD & WHEATLAND DR.

STREET IMPROVEMENT PLANS

SHEET 9 OF 10

3000

EXHIBIT A-3

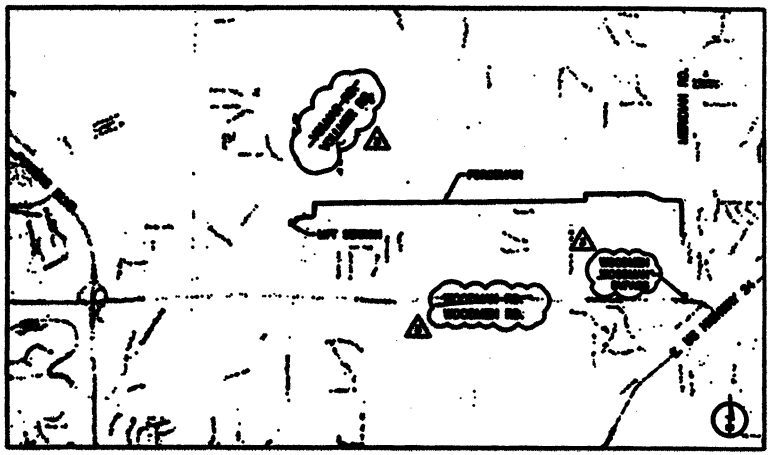
SUBDIVISION IMPROVEMENTS AGREEMENT

Branding Iron at Sterling Ranch Filing No. 2

STERLING RANCH
LIFT STATION AND FORCE MAIN

EL PASO COUNTY, COLORADO

APRIL 24, 207



VICINITY MAP

INDEX OF SHEETS

LAMP RYNEARSON & ASSOCIATES
12596 West Bayaud Avenue, Suite 330
Lakewood, Colorado 80228
LRA-Inc.com / tza4water.com
303.971.0030 | P
303.971.0077 | F

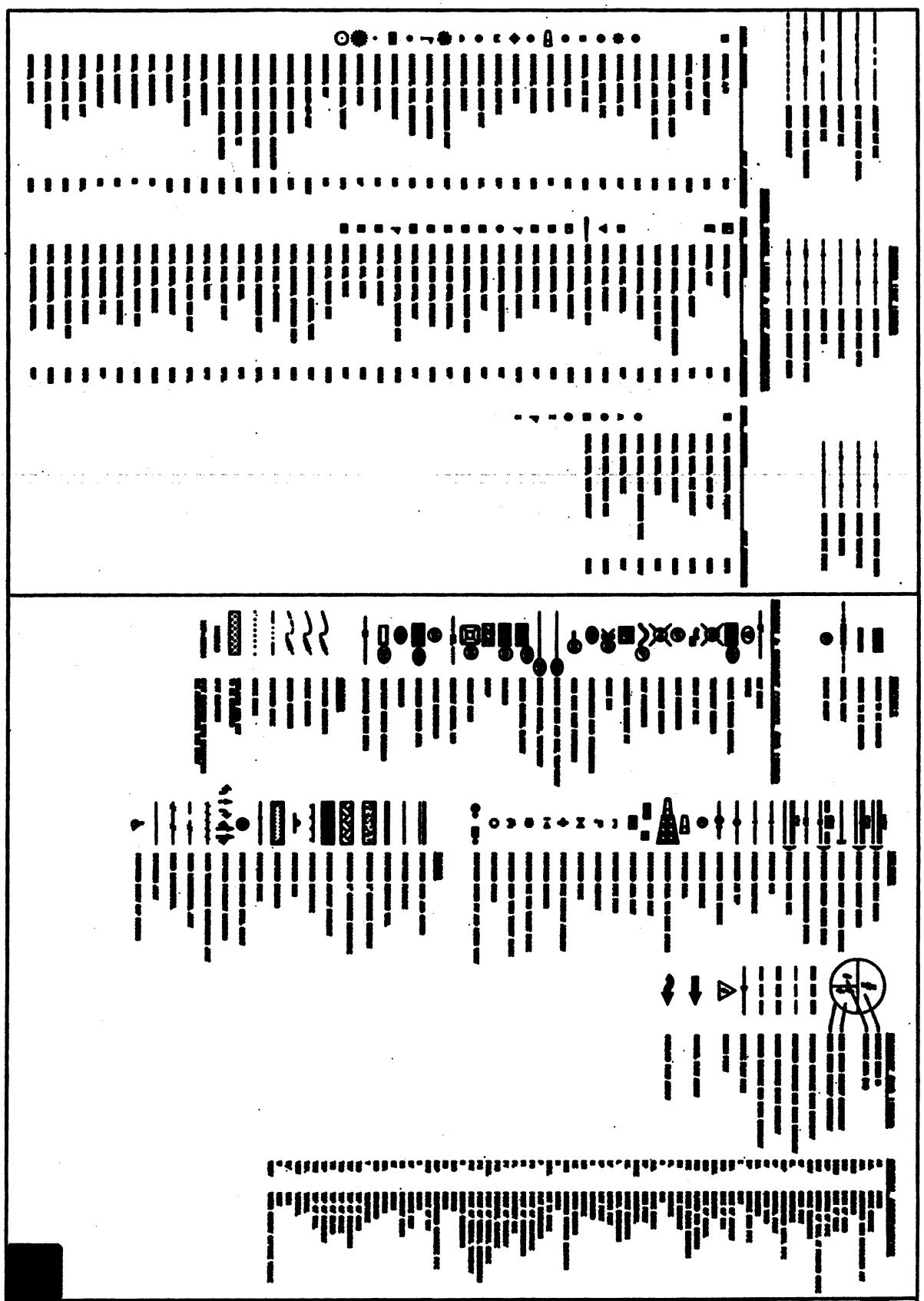
MMI

LAMP RYNEARSON & ASSOCIATES

STERLING RANCH LIFT STATION AND FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1

FORCE MAIN
GENERAL NOTES

G0.2

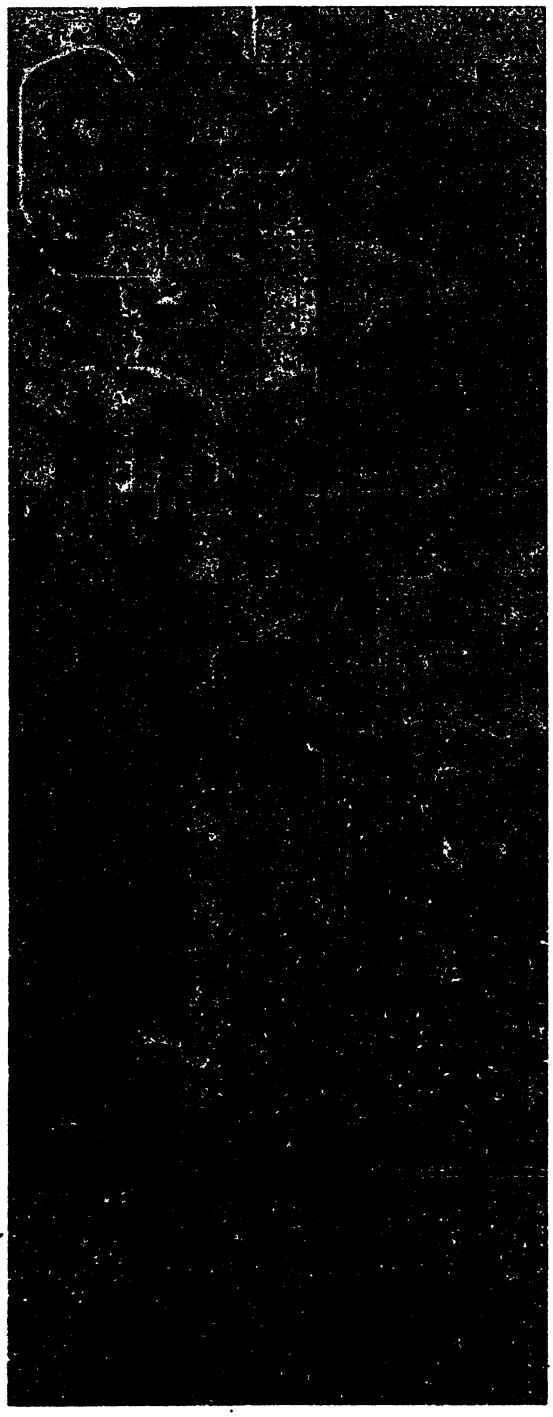


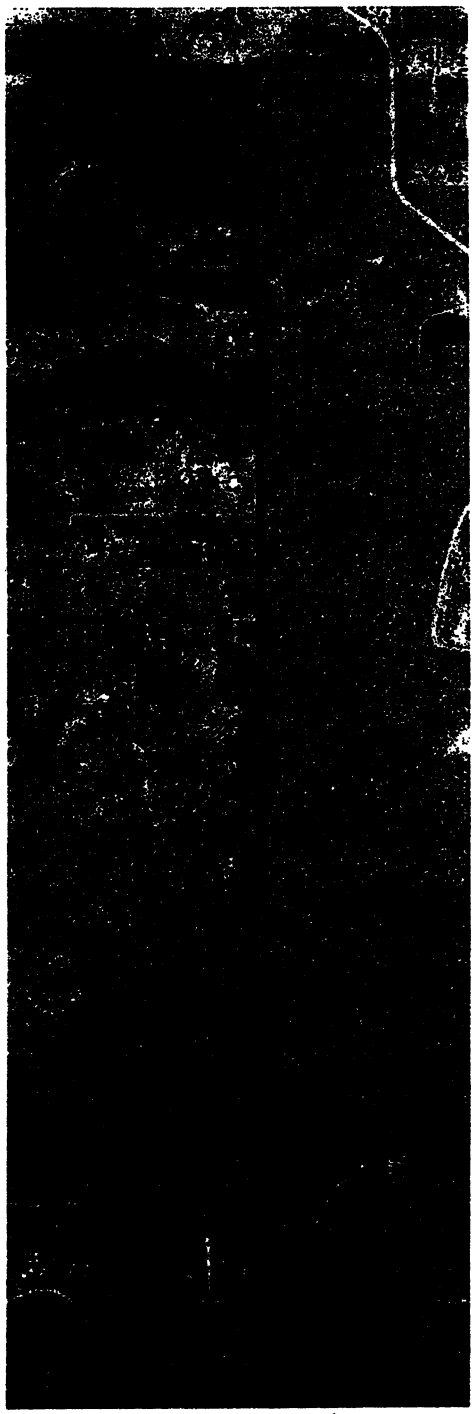
FORCE MAIN
LEGEND

LAMP RYNEARSON & ASSOCIATES

STERLING RANCH LIFT STATION AND FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1

003



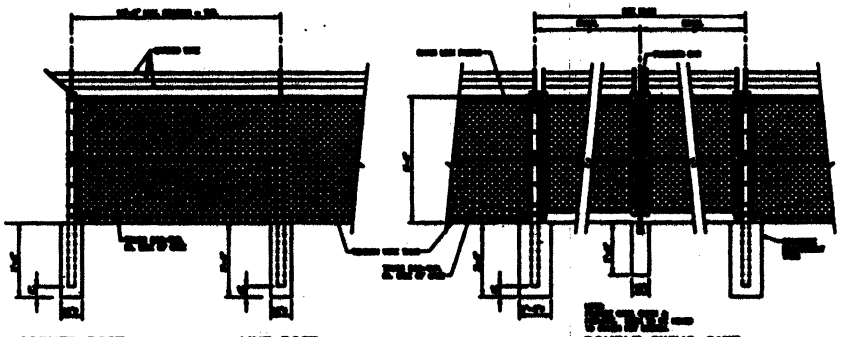


FORCE MAIN
OVERALL PLAN & PROJECT CONTROL

LAMP RYNEARSON & ASSOCIATES

STERLING RANCH LIFT STATION AND FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1

LIFT STATION
SITE PLAN
LAMP RYNEARSON
& ASSOCIATES
STERLING RANCH LIFT STATION & FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1
C1.1



Ⓐ CHAIN LINK FENCE AND GATE DETAIL

Ⓑ GRAVEL DRIVE DETAIL

LAMP RYNEARSON & ASSOCIATES

STERLING RANCH LIFT STATION & FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1

LIFT STATION
SITE DETAILS

C2.1

LAMP RYNEARSON
& ASSOCIATES
STERLING RANCH LIFT STATION & FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1
LIFT STATION
PLAN SECTIONS
T1.1
PLAN SECTION EL. 6943.00
PLAN SECTION EL. 6956.00

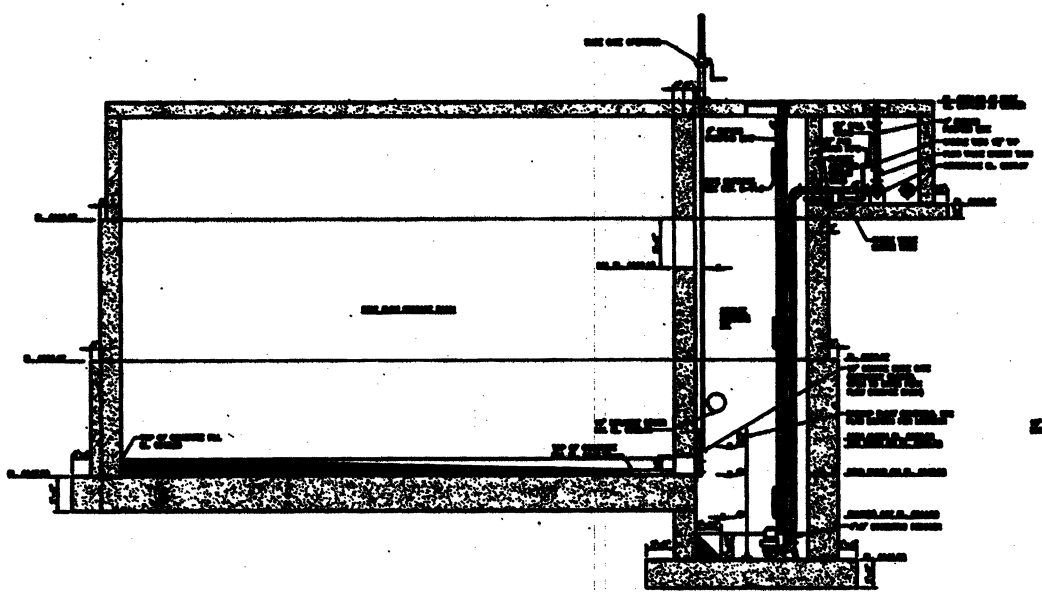
LIFT STATION
PLAN SECTIONS

LAMP RYNEARSON & ASSOCIATES

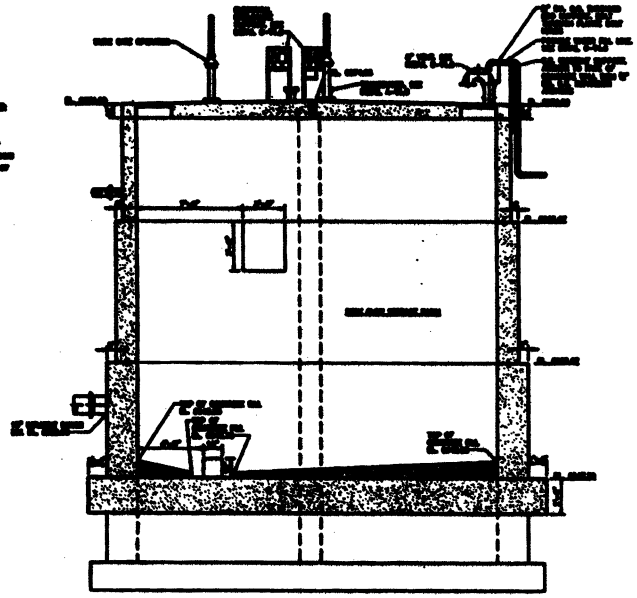
STERLING RANCH LIFT STATION & FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1

T1.2

LIFT STATION
PLAN
LAMP RYNEARSON
& ASSOCIATES
STERLING RANCH LIFT STATION & FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1
PLAN



Ⓐ-SECTION



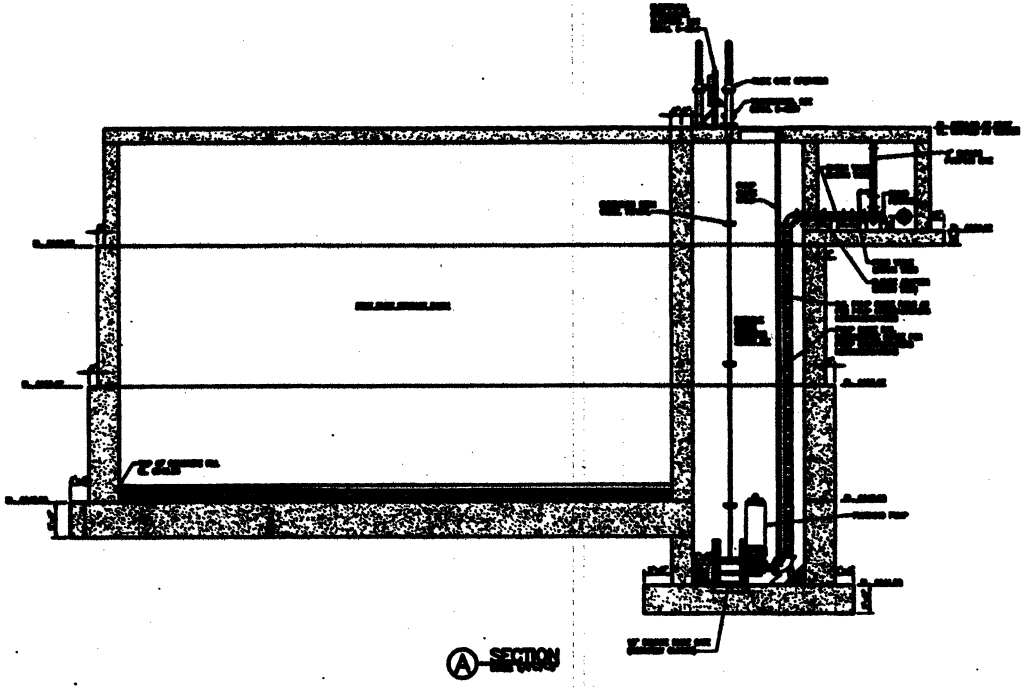
Ⓑ-SECTION

LAMP RYNEARSON & ASSOCIATES

STERLING RANCH LIFT STATION & FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1

LIFT STATION SECTIONS

T1.4



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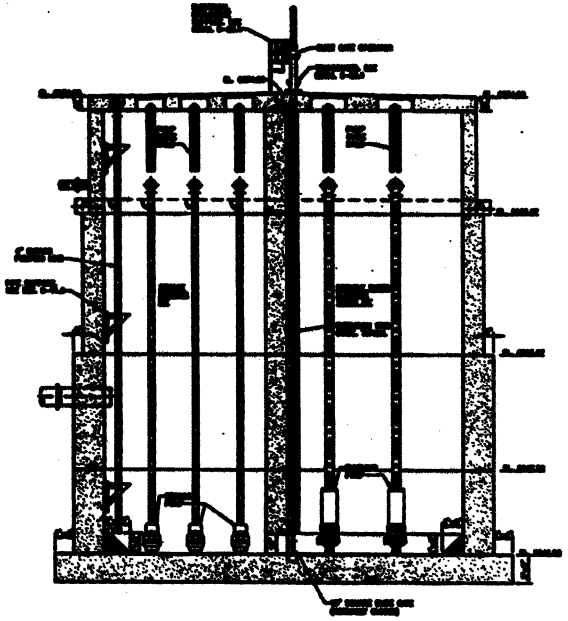

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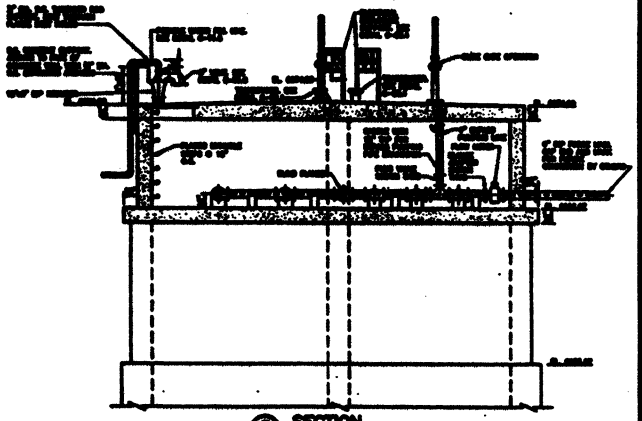


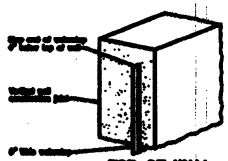
Ⓒ SECTION

LAMP RYNEARSON & ASSOCIATES

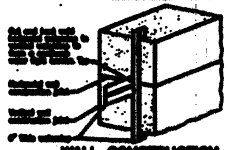
STERLING RANCH LIFT STATION & FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1

LIFT STATION SECTIONS

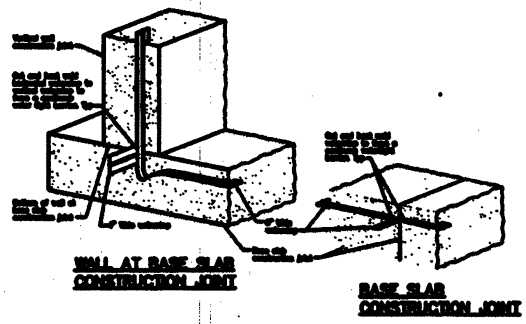
T1.5



TOP OF WALL



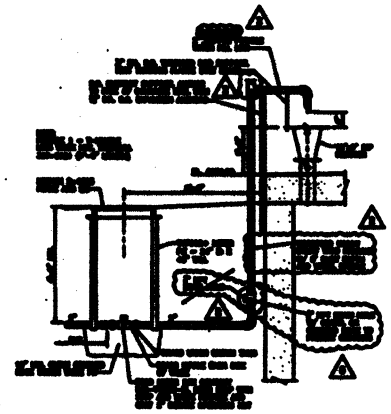
WALL CONSTRUCTION JOINT



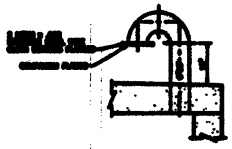
WALL AT BASE SLAB CONSTRUCTION JOINT

BASE SLAB CONSTRUCTION JOINT

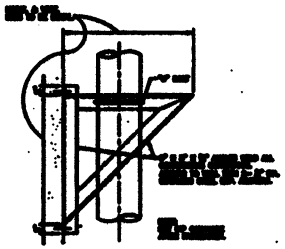
(B) WATERSTOP DETAILS



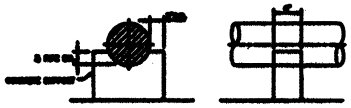
(C) POTABLE WATER FILL DETAIL



(E) WETWELL VENT DETAIL



VERTICAL PIPE SUPPORT



CONCRETE PIPE SUPPORT

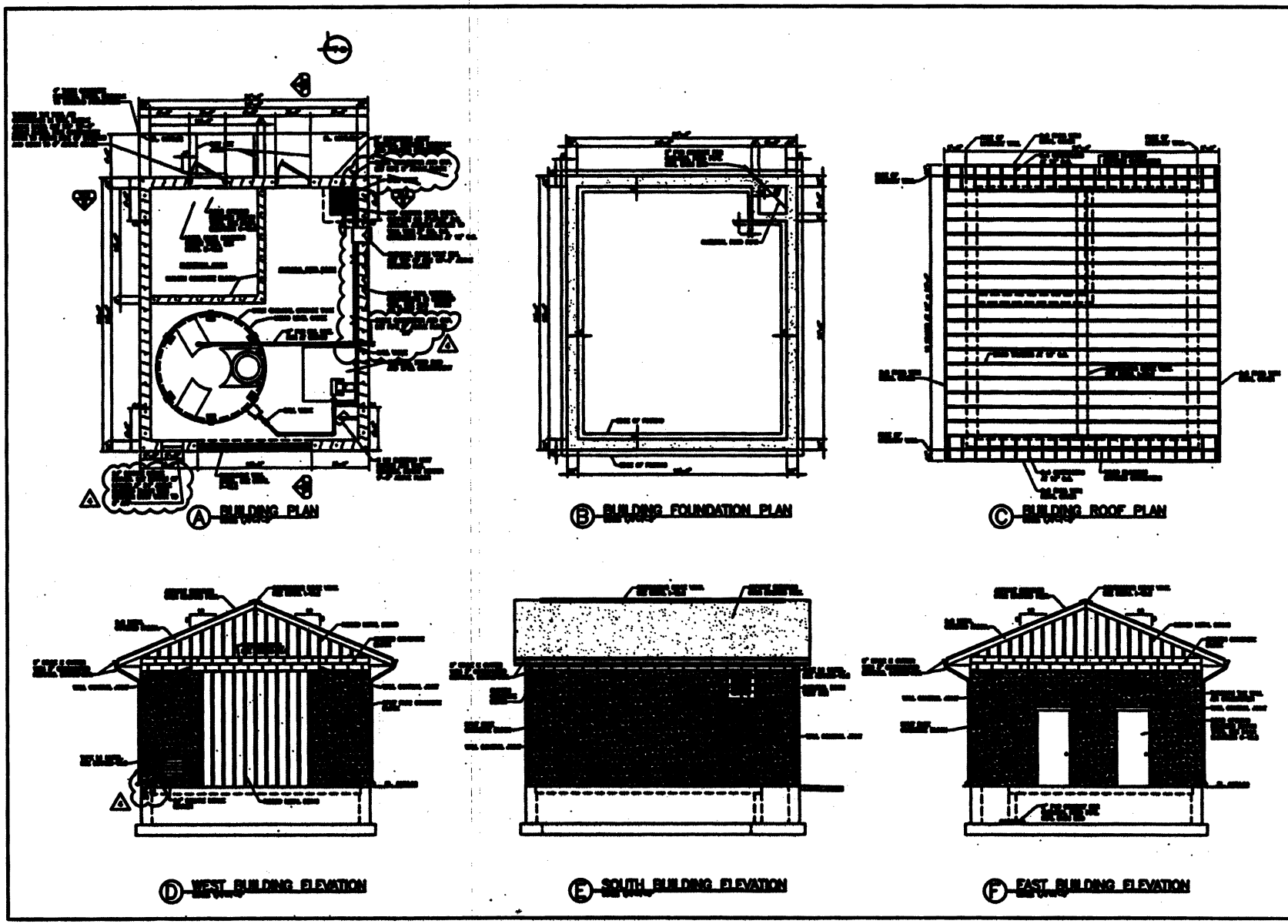
(D) PIPE SUPPORT DETAILS

LAMP RYNEARSON & ASSOCIATES

STERLING RANCH LIFT STATION & FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1

LIFT STATION
MISCELLANEOUS DETAILS

T1.6

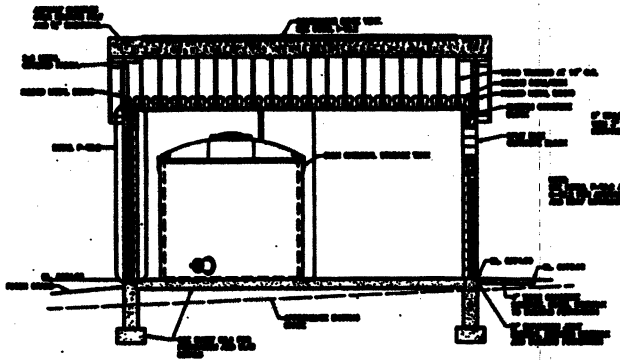


LAMP RYNEARSON & ASSOCIATES

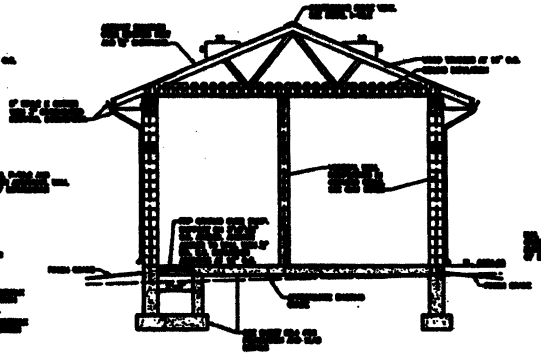
STERLING RANCH LIFT STATION & FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1

CHEMICAL AND ELECTRICAL BUILDING
PLAN AND ELEVATIONS

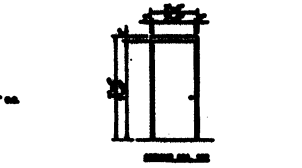
T2.1



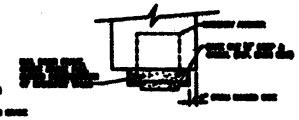
A BUILDING SECTION



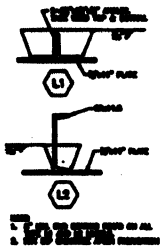
B BUILDING SECTION



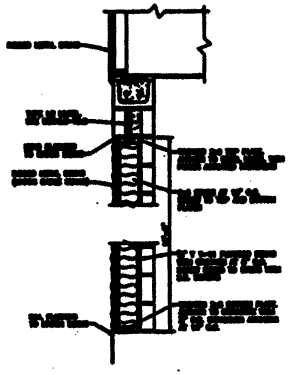
C DOOR ELEVATION



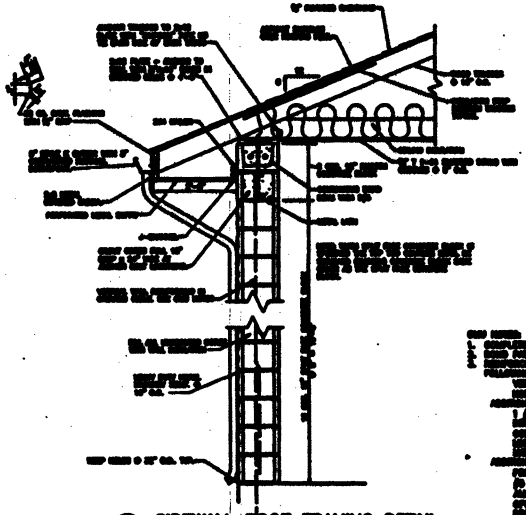
D DOOR FRAME DETAIL



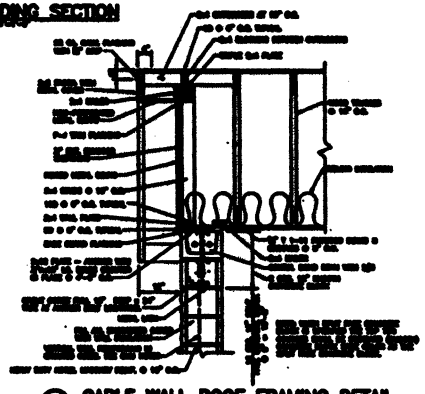
E LINTEL DETAILS



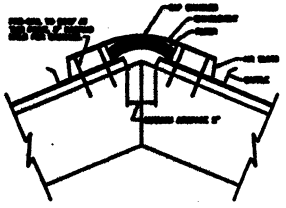
F REMOVABLE WALL PANEL



G SIDEWALL ROOF FRAMING DETAIL



H GABLE WALL ROOF FRAMING DETAIL



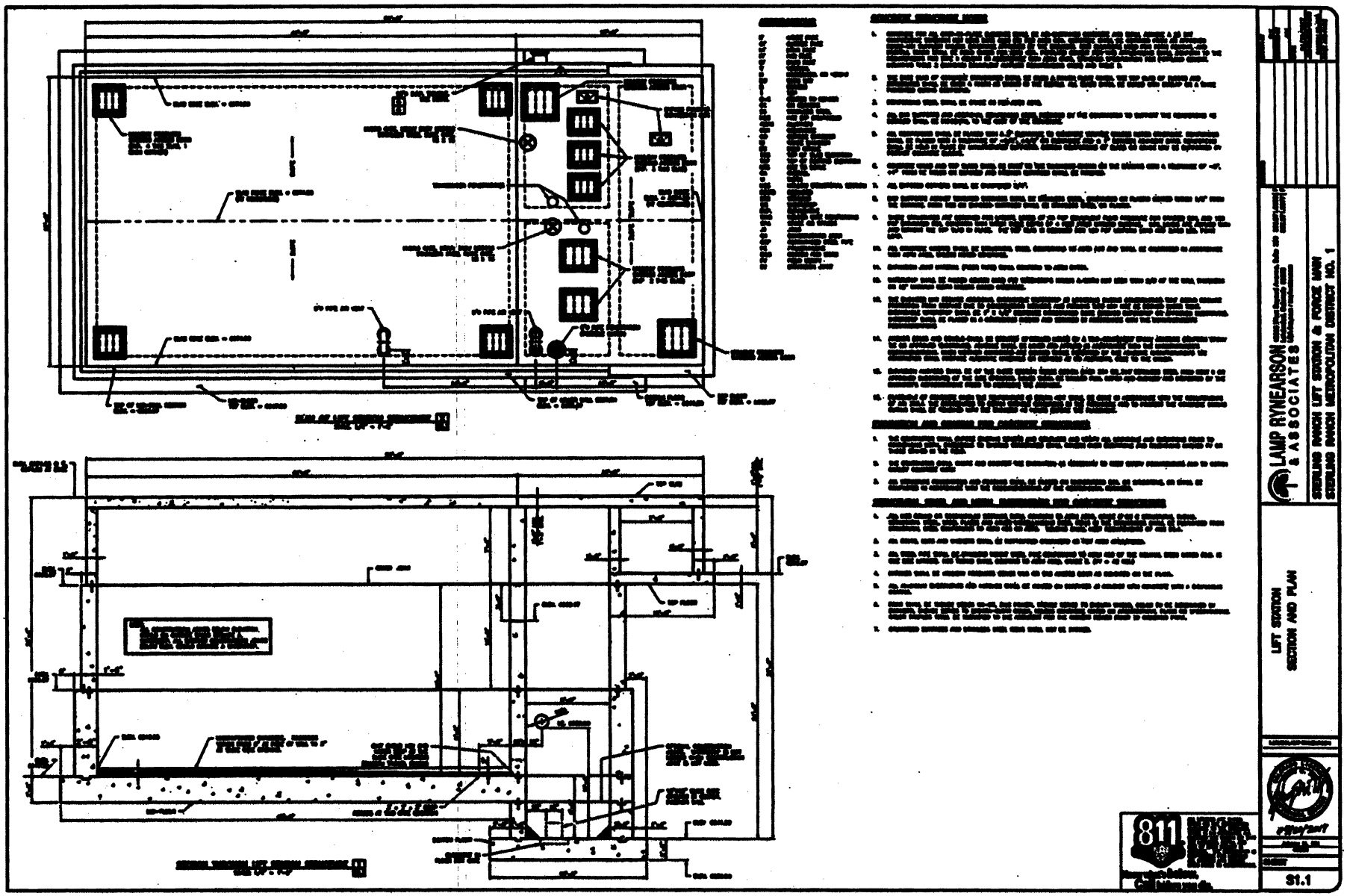
I CONTINUOUS RIDGE VENT

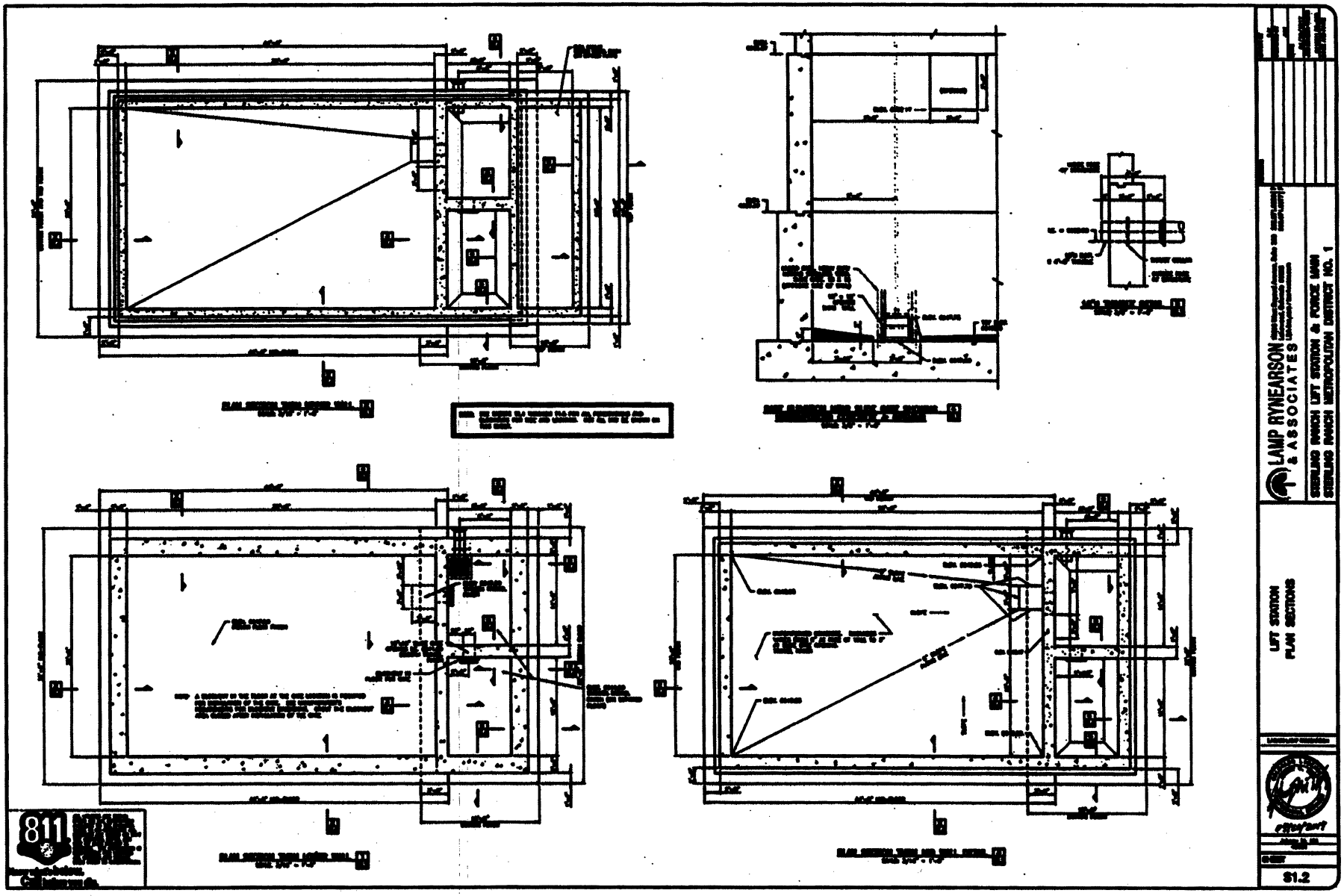
LAMP RYNEARSON & ASSOCIATES

STERLING RANCH LIFT STATION & FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1

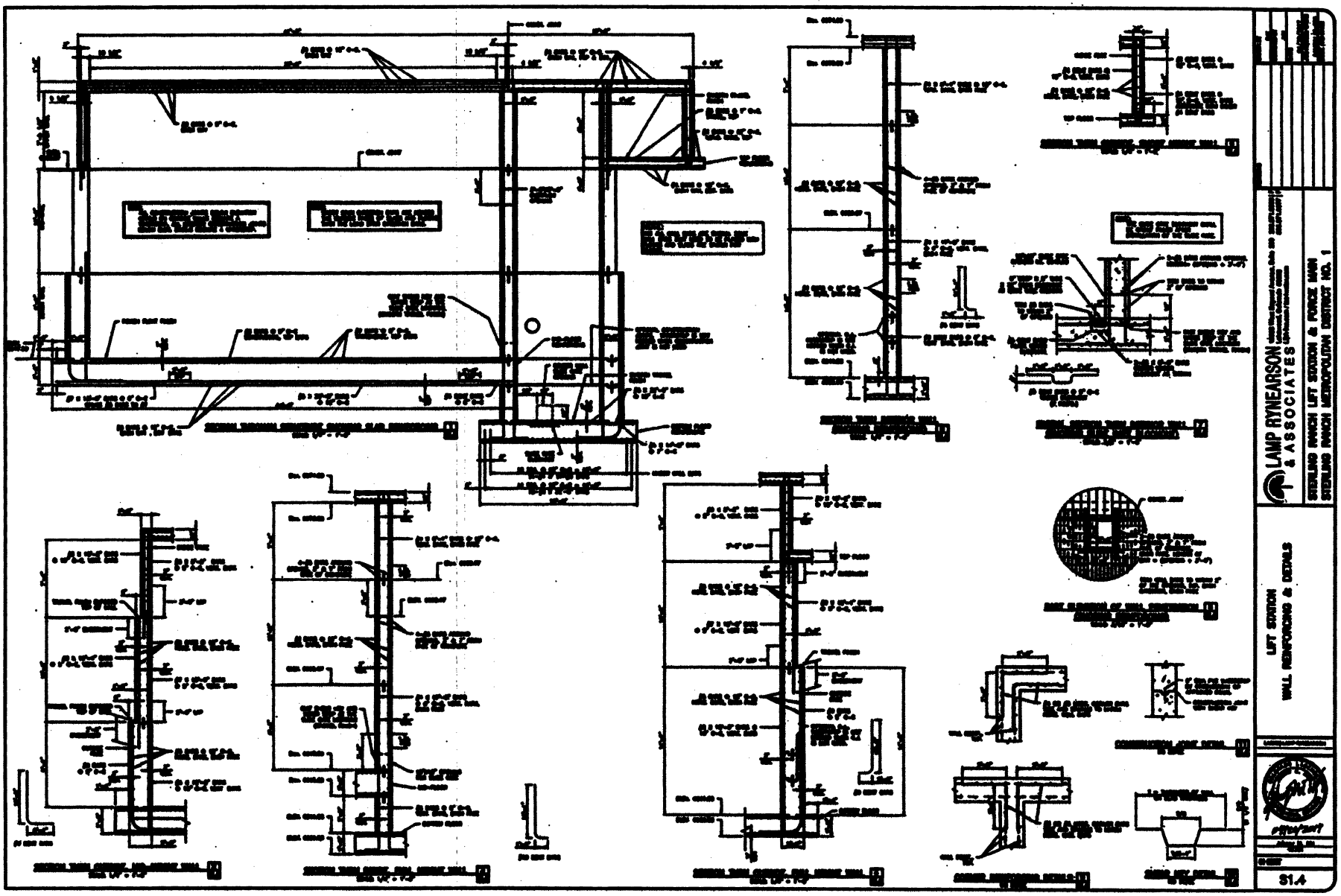
CHEMICAL AND ELECTRICAL BUILDING
SECTIONS AND DETAILS

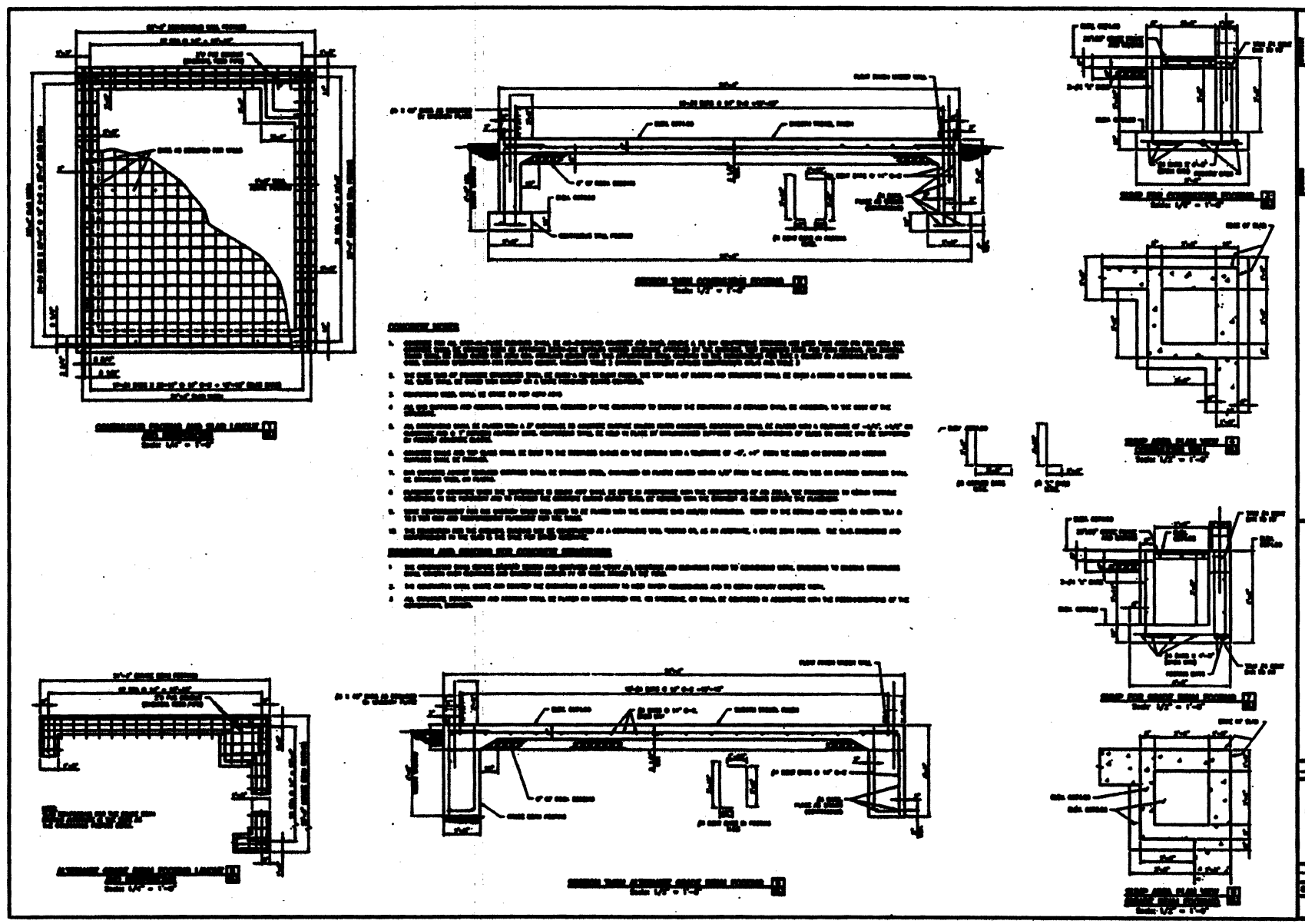
T2.2


LAMP RYNEARSON & ASSOCIATES
SIERLING RANCH LIFT STATION & FORCE MAIN
SIERLING RANCH METROPOLITAN DISTRICT NO. 1
LIFT STATION SECTION AND PLAN
S1.1


LAMP RYNEARSON & ASSOCIATES
SEBELIUS RANCH LIFT STATION & FORCE MAIN
SEBELIUS RANCH METROPOLITAN DISTRICT NO. 1
LIFT STATION
PLAN SECTIONS
S1.2
811

LIFT STATION
FLOOR & SLAB REINFORCING
LAMP RYNEARSON
& ASSOCIATES
STERLING RANCH LIFT STATION & FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1
S1.3


LAMP RYNEARSON & ASSOCIATES
STERLING RANCH LIFT STATION & FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1
LIFT STATION
WALL REINFORCING & DETAILS
S1.4


LAMP RYNEARSON & ASSOCIATES
STERLING RANCH LIFT STATION & FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1
CHEMICAL AND ELECTRICAL BUILDING
SLAB AND FOUNDATION DETAILS
S2.1

ELECTRICAL GENERAL NOTES – APPLICABLE TO ALL ELECTRICAL SHEETS

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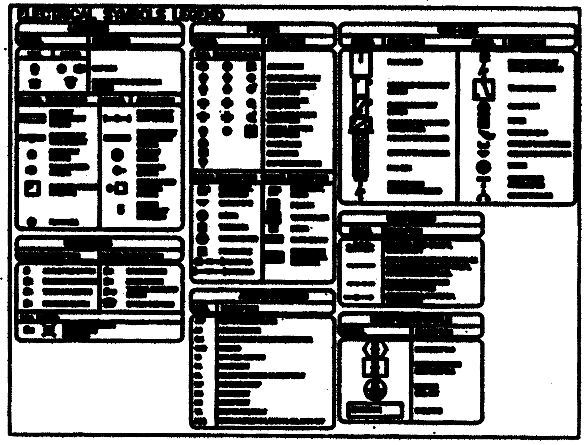

ELECTRICAL SYMBOLS LEGEND

LIFT STATION
LEGEND AND GENERAL NOTES

LAMP RYNEARSON
& ASSOCIATES

STERLING RANCH LIFT STATION & FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1

COREY
Electrical Engineering, Inc.

SHEET
E0.1

LIFT STATION SITE PLAN
METERING MANHOLE SITE PLAN
LIFT STATION
SITE PLAN
LAMP RYNEARSON & ASSOCIATES
STERLING RANCH LIFT STATION & FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1
COREY
E1.1

LIFT STATION
POWER & SIGNAL PLAN
LAMP RYNEARSON
& ASSOCIATES
STERLING RANCH LIFT STATION & FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1
DETAIL NOTES
LIFT STATION POWER PLAN
CORRY
E1.2

Interior Lighting Compliance Certificate

Exterior Lighting Compliance Certificate

DETAIL NOTES

LIFT STATION LIGHTING PLAN

LIGHTING FIXTURE SCHEDULE

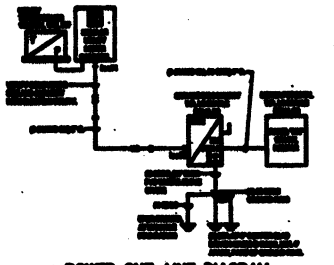
LAMP RYNEARSON & ASSOCIATES

STERLING RANCH LIFT STATION & FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1

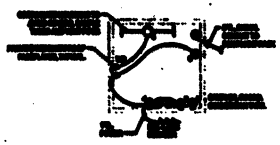
LIFT STATION
LIGHTING PLAN

CORREY Electrical Engineering, Inc.

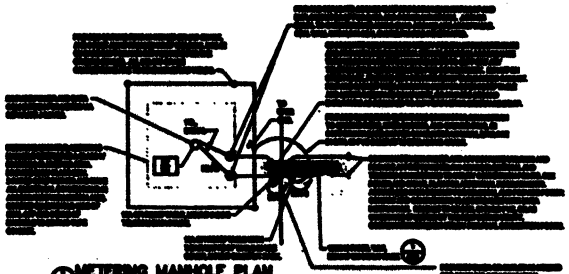
E1.3



POWER ONE-LINE DIAGRAM



SAMPLING VAULT PLAN



METERING MANHOLE PLAN

1PH FAULT CALCULATION

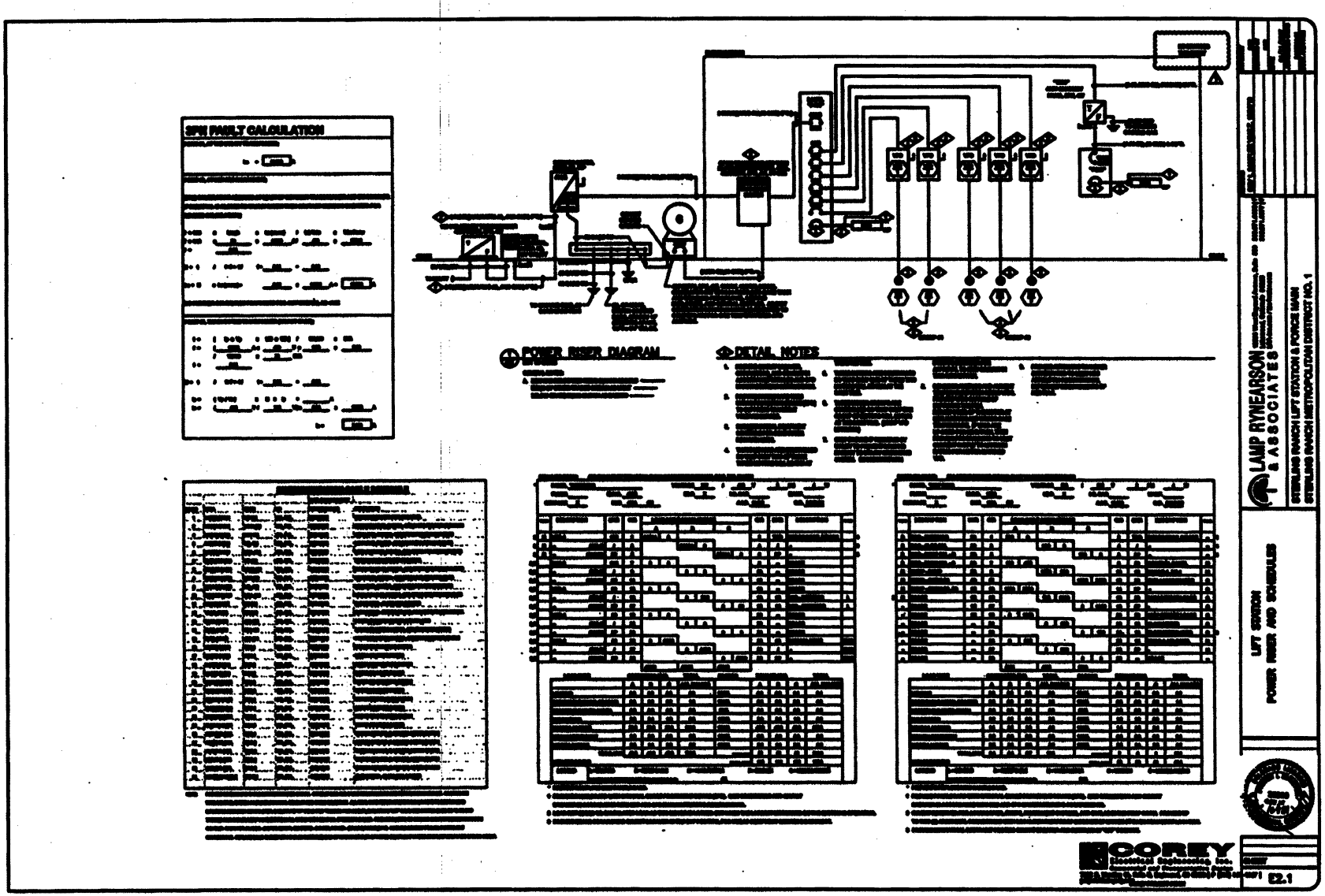
LAMP RYNEARSON & ASSOCIATES

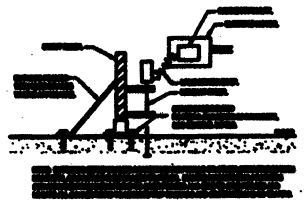
STERLING RANCH LIFT STATION & FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1

LIFT STATION
METERING MANHOLE AND POWER RISER

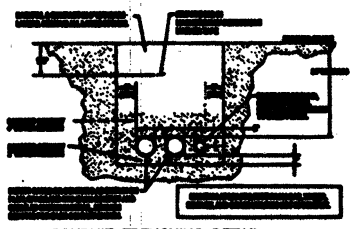
COREY Electrical Engineering, Inc.

E1.5

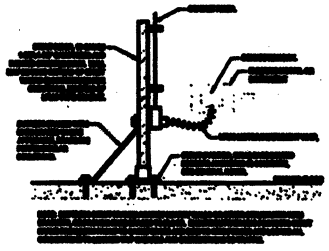

SPN FAULT CALCULATION
POWER RISER DIAGRAM
DETAIL NOTES
LAMP RYNEARSON & ASSOCIATES
STERLING RANCH LIFT STATION & FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1
LIFT STATION
POWER RISER AND SCHEDULES
COREY
E2.1



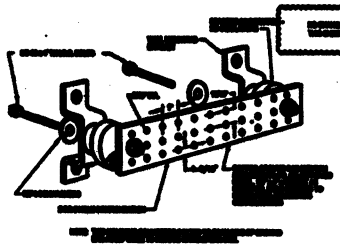
MOTOR & INSTRUMENT CONNECTION DIAGRAM – UNDER-SLAB



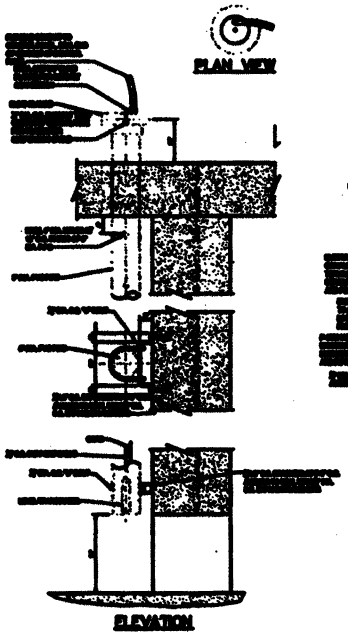
CONDUIT TRENCHING DETAIL



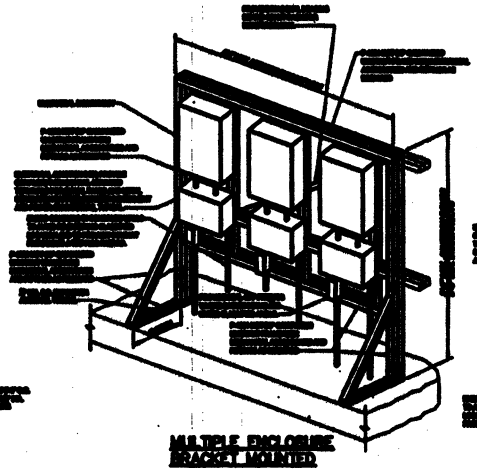
MOTOR & INSTRUMENT CONNECTION DIAGRAM – OVERHEAD



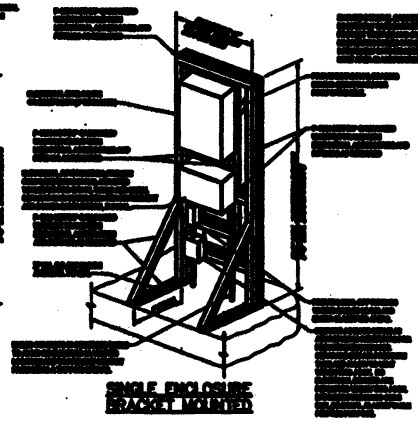
GROUND BAR DETAIL



TRANSDUCER DETAIL

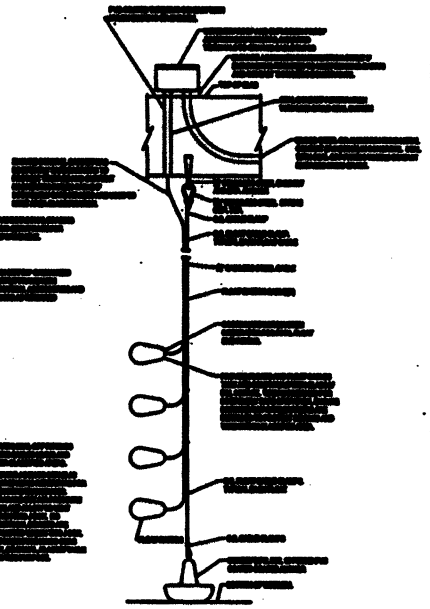


MULTIPLE ENCLOSURE BRACKET MOUNTED



SINGLE ENCLOSURE BRACKET MOUNTED

ENCLOSURE SUPPORT



FLOAT GUIDE CABLE DETAIL

LAMP RYNEARSON & ASSOCIATES

STERLING RANCH LIFT STATION & FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1

LIFT STATION
ELECTRICAL DETAILS

CORREY Residential Engineering, Inc.

E3.1

MANHOLE SERVICE STRUT RACK
LAMP RYNEARSON
& ASSOCIATES
STERLING RANCH LIFT STATION & FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1
LIFT STATION
ELECTRICAL DETAILS
COREY
E-2

FORCE MAIN PLAN & PROFILE
SHEET - 1
LAMP RYNEARSON
& ASSOCIATES
STERLING RANCH LIFT STATION AND FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1
FM1.1

FORCE MAIN PLAN & PROFILE
STA. 20+00 TO STA. 30+00
LAMP RYNEARSON
& ASSOCIATES
STERLING RANCH LIFT STATION AND FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1
FM1.2

FORCE MAIN PLAN & PROFILE
STA. 30+00 TO STA. 40+00
LAMP RYNEARSON
& ASSOCIATES
STERLING RANCH LIFT STATION AND FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1
PM1.3

FORCE MAIN PLAN & PROFILE
STA. 40+00 TO STA. 50+00

LAMP RYNEARSON
& ASSOCIATES

STERLING RANCH LIFT STATION AND FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1

FM1.4

FM1.5

FORCE MAIN PLAN & PROFILE
STA. 50+00 TO STA. 60+00

LAMP RYNEARSON & ASSOCIATES

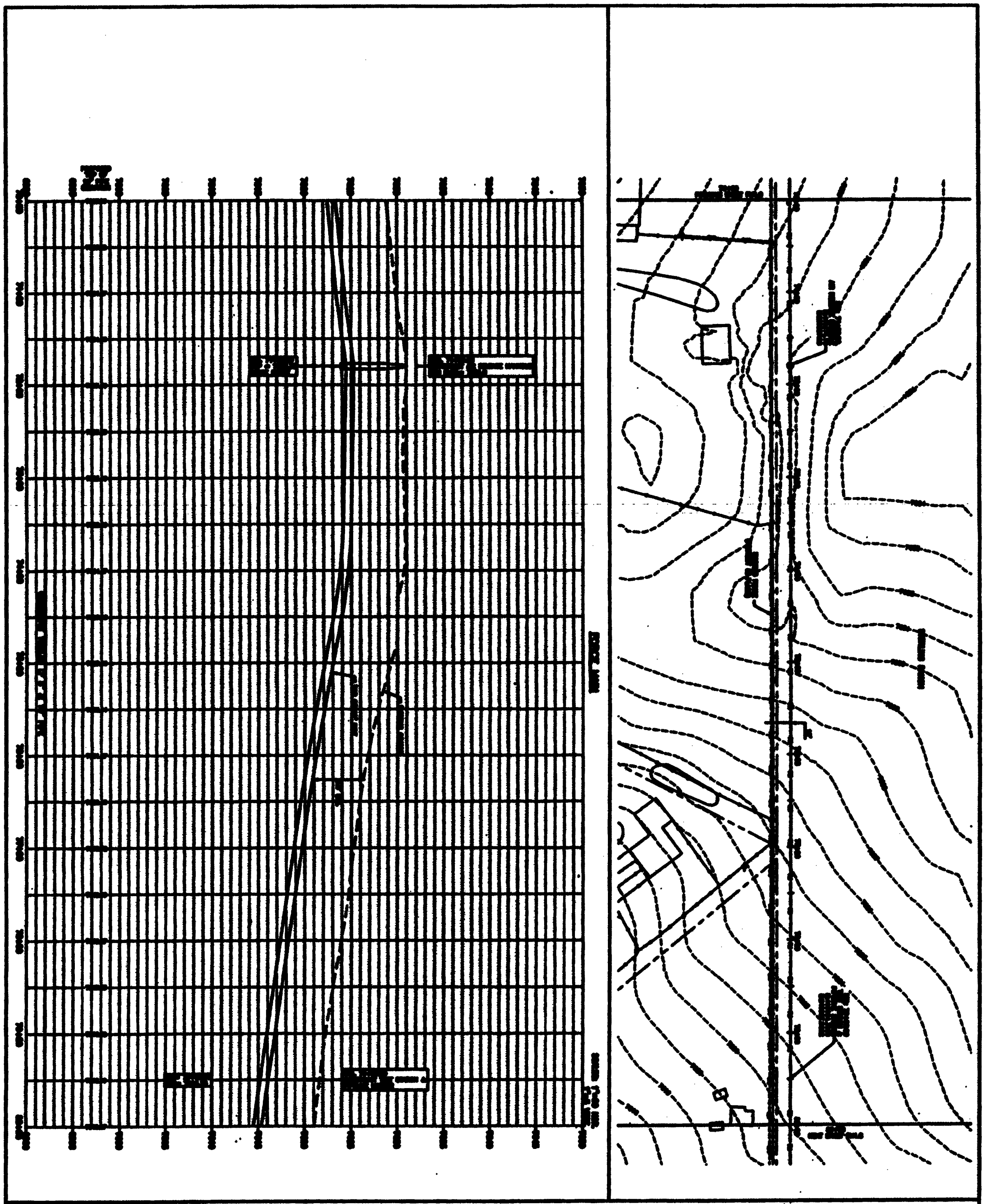
STERLING RANCH LIFT STATION AND FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1

FORCE MAIN PLAN & PROFILE
STA. 60+00 TO STA. 70+00

LAMP RYNEARSON & ASSOCIATES

STERLING RANCH LIFT STATION AND FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1

PM1.6



FORCE MAIN PLAN & PROFILE
STA. 70+00 TO STA. 80+00

LAMP RYNEARSON
& ASSOCIATES

STERLING RANCH LIFT STATION AND FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1

FM1.7

FORCE MAIN PLAN & PROFILE
STA. 80+00 TO STA. 90+00

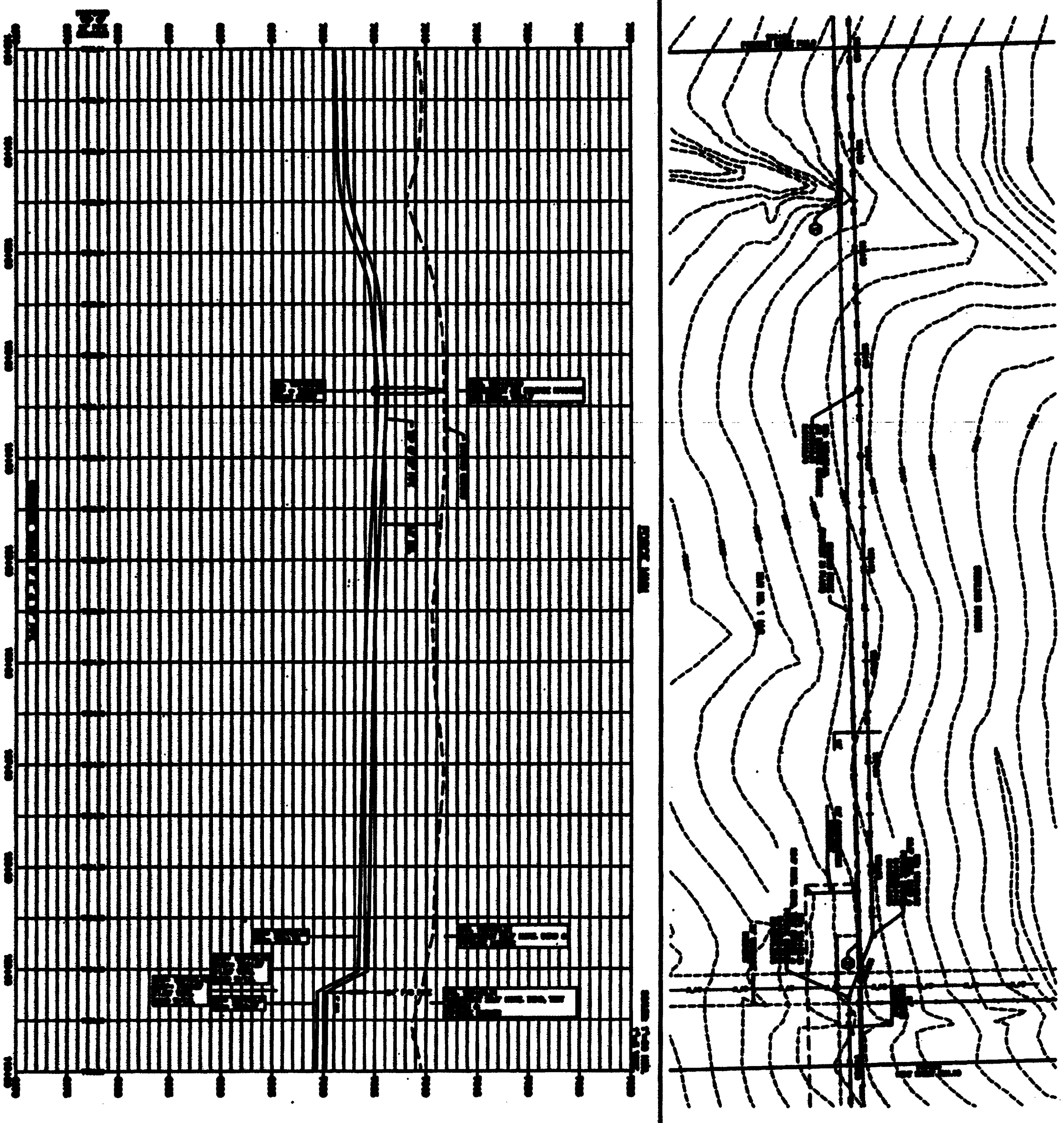
LAMP RYNEARSON & ASSOCIATES

STERLING RANCH LIFT STATION AND FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1

FORCE MAIN PLAN & PROFILE
STA. 90+00 TO STA. 100+00

LAMP RYNEARSON & ASSOCIATES

STERLING RANCH LIFT STATION AND FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1



FM1.10

FORCE MAIN PLAN & PROFILE
STA. 100+00 TO STA. 110+00

LAMP RYNEARSON
& ASSOCIATES

STERLING RANCH LIFT STATION AND FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1

FM.11

FORCE MAIN PLAN & PROFILE
STA. 110+00 TO STA. 120+00

LAMP RYNEARSON & ASSOCIATES

STERLING RANCH LIFT STATION AND FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1

FORCE MAIN PLAN & PROFILE
STA. 120+00 TO STA. 130+00

LAMP RYNEARSON & ASSOCIATES

STERLING RANCH LIFT STATION AND FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1

PM.12

FORCE MAIN PLAN & PROFILE
STA. 130+00 TO STA. 140+00

LAMP RYNEARSON & ASSOCIATES

STERLING RANCH LIFT STATION AND FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1

FM-13

FORCE MAIN PLAN & PROFILE
STA. 140+00 TO STA. 150+00

LAMP RYNEARSON & ASSOCIATES

STERLING RANCH LIFT STATION AND FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1

PM-14

FORCE MAIN PLAN & PROFILE
STA. 150+00 TO STA. 160+00
LAMP RYNEARSON
& ASSOCIATES
STERLING RANCH LIFT STATION AND FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1
FM1.15

FORCE MAIN PLAN & PROFILE
STA. 160+00 TO STA. 170+00
LAMP RYNEARSON & ASSOCIATES
STERLING RANCH LIFT STATION AND FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1
FM1.16

FORCE MAIN PLAN & PROFILE
STA. 170+00 TO STA. 180+00
LAMP RYNEARSON
& ASSOCIATES
STERLING RANCH LIFT STATION AND FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1
FM1.17

FORCE MAIN PLAN & PROFILE
STA. 180+00 TO STA. 190+00
LAMP RYNEARSON
& ASSOCIATES
STERLING RANCH LIFT STATION AND FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1
FM1.18

FORCE MAIN PLAN & PROFILE
STA. 190+00 TO STA. 200+00

LAMP RYNEARSON & ASSOCIATES

STERLING RANCH LIFT STATION AND FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1

FM1.19

FORCE MAIN PLAN & PROFILE
STA. 200+00 TO STA. 210+00
LAMP RYNEARSON
& ASSOCIATES
STERLING RANCH LIFT STATION AND FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1
FM1.20

FM1-21
FORCE MAIN PLAN & PROFILE
STA. 210+00 TO STA. 220+00
LAMP RYNEARSON
& ASSOCIATES
STERLING RANCH LIFT STATION AND FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1

FORCE MAIN PLAN & PROFILE
STA. 220+00 TO STA. 230+00
LAMP RYNEARSON
& ASSOCIATES
STERLING RANCH LIFT STATION AND FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1
PM1.22

FORCE MAIN PLAN & PROFILE
STA. 230+00 TO STA. 240+00

LAMP RYNEARSON & ASSOCIATES

STERLING RANCH LIFT STATION AND FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1

FM1.23

FORCE MAIN PLAN & PROFILE
STA. 240+00 TO STA. 250+00

LAMP RYNEARSON
& ASSOCIATES

STERLING RANCH LIFT STATION AND FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1

FM1.24

FORCE MAIN PLAN & PROFILE
STA. 240+00 TO STA. 251+63.43
AND
PROPOSED RETENTION MANHOLE
LAMP RYNEARSON
& ASSOCIATES
STERLING RANCH LIFT STATION AND FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1
FM1.25

SANITARY SEWER PLAN & PROFILE
WOODMAN BYPASS

LAMP RYNEARSON & ASSOCIATES

STERLING RANCH LIFT STATION AND FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1

FM1.26

FORCE MAIN
CONSTRUCTION DETAILS
FM2.1
LAMP RYNEARSON
& ASSOCIATES
STERLING RANCH LIFT STATION AND FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1

FORCE MAIN
CONSTRUCTION DETAILS
LAMP RYNEARSON
& ASSOCIATES
STERLING RANCH LIFT STATION AND FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1
FM2.2

FORCE MAIN
CONSTRUCTION DETAILS
LAMP RYNEARSON
& ASSOCIATES
STERLING RANCH LIFT STATION AND FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1
FM2.3

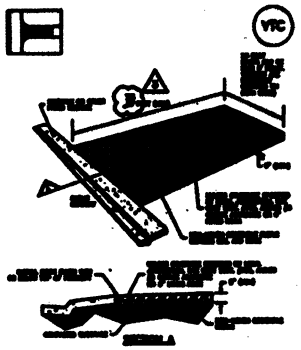
Temporary and Permanent Seeding (TSPS) SC-5

SC-5 Temporary and Permanent Seeding (TSPS)

Temporary and Permanent Seeding (TSPS) SC-5

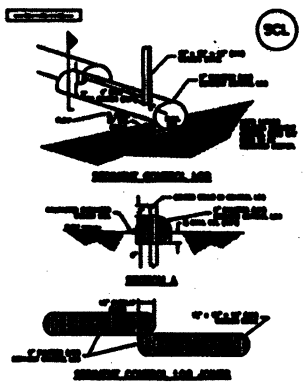
SC-5 Temporary and Permanent Seeding (TSPS)

Vehicle Tracking Control (VTC) SM-4



GRADED BERM

Sediment Control Log (SCL) SC-6



Sediment Control Log (SCL) SC-6

LAMP RYNEARSON & ASSOCIATES

STERLING RANCH LIFT STATION AND FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1

FORCE MAIN
EROSION CONTROL DETAILS

FM2.4