

SUBDIVISION IMPROVEMENTS AGREEMENT
BRANDING IRON AT STERLING RANCH FILING NO. 2, a Replat of
Tract K, Sterling Ranch Filing No. 1

THIS AGREEMENT, made between **SR LAND, L.L.C.**, (the "Subdivider") **STERLING RANCH METROPOLITAN DISTRICT NO. 1** (the "District") and **EL PASO COUNTY**, by and through the Board of County Commissioners of El Paso County, Colorado (the "County") shall become effective the date of approval of the Final Plat by the Board of County Commissioners.

WITNESSETH:

WHEREAS, the Subdivider, as a condition of approval of the final plat of Branding Iron at Sterling Ranch Filing No. 2 Subdivision ("Branding Iron No. 2") and the District wish to enter into a Subdivision Improvements Agreement, as provided for by Section 30-28-137 (C.R.S.), Chapter 5 of the El Paso County Engineering Criteria Manual and Chapter 8 of the El Paso County Land Development Code incorporated herein; and

WHEREAS, pursuant to the same authority, the Subdivider is obligated to provide security or collateral sufficient in the judgment of the Board of County Commissioners to make reasonable provision for completion of certain public improvements set forth on Exhibit A attached hereto and incorporated herein; and

WHEREAS, the Subdivider wishes to provide collateral to guarantee performance of this Agreement, including construction of the above-referenced improvements, by means of a letter of credit; and

WHEREAS, Branding Iron No. 2 is replat of Tract K, Sterling Ranch Filing No. 1, located within Sterling Ranch, a 1,444 acre master planned community; and

WHEREAS, the parties hereto desire to set forth their understanding and agreement with regard to the construction and installation of the improvements set forth on Exhibit A attached hereto.

NOW, THEREFORE, in consideration of the following mutual covenants and agreements, the Subdivider, the District and the County agree as follows:

1. **Responsibility to Construct:** The Subdivider and District agree to construct and install, at their sole expense, all of those improvements as set forth on Exhibit A attached hereto. Such obligation shall be joint and several unless otherwise set forth herein. To secure and guarantee performance of the Subdivider's and the District's obligations as set forth herein, the Subdivider agrees to provide collateral to remain in effect at all times until the improvements are completed and accepted in accordance with Chapter 5 of the ECM. Security and collateral shall be posted in the form of cash in the amount of \$578,907.20.

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El Paso County, CO



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2. **Renewal of Collateral:** Subdivider is responsible for providing any renewals of collateral to ensure that there is never a lapse in security coverage. Subdivider shall procure renewal/extension/replacement collateral at least fifteen (15) days prior to the expiration of the original or renewal/extension/replacement collateral then in effect. Failure to procure renewal/extension/replacement collateral within this time limit shall be a default under this Agreement and shall allow the County to execute on the collateral. In addition, if Subdivider allows collateral to lapse at any time, no lots in the subdivision may be sold, conveyed or transferred, whether by Deed or Contract, after the expiration date of such collateral until the improvements identified on Exhibit A have been completed and final acceptance is received from the County. If replacement collateral is used for renewal, approval by the Board of County Commissioners is required.
3. **Construction of Improvements or Collateral:** No lots in the subdivision shall be sold, conveyed or transferred, whether by Deed or by Contract, nor shall building permits be issued until and unless the required improvements for the subdivision have been constructed and completed in accordance with the approved construction plans and preliminary acceptance is received from the County. In the alternative, lots within the subdivision may be sold, conveyed or transferred and/or have building permits issued upon receipt of collateral acceptable to the County, pursuant to this Agreement, which is sufficient to guarantee construction of the improvements in the attached Exhibit A.
4. **Roads:** The roads set forth in this final plat will be designed, constructed and dedicated to the County pursuant to the terms and conditions contained herein.
5. **Design Standards:** The Subdivider and District agree that all of the public improvements to be completed as identified in Exhibit A shall be constructed in compliance with the following:
 - a. All laws, resolutions and regulations of the United States, State of Colorado, El Paso County and its various agencies, affected special districts and/or servicing authorities.
 - b. Such other designs, drawings, maps, specifications, sketches and other matter submitted to and approved by any of the above-stated- governmental entities.
6. **Timing of Construction and Acceptance:**
 - a. **General.** All improvements, with the exception of the Branding Iron No. 2 Drainage Improvements, the Channel Improvements (as defined in subsection 5.b. herein below), and the Meridian System, including the Meridian System Connection, shall be completed by the Subdivider, meeting all applicable standards for preliminary acceptance, within 24 (twenty-four) months from the date of notice to proceed in the Construction Permit for the Subdivision.
 - b. **Drainage Improvements and Channel Improvements.**

The drainage ways, detention ponds and bank stabilization (i.e., soil, riprap, and turf reinforcement matting along embankment toes and slopes) associated with this Subdivision (collectively, the "Branding Iron No. 2 Drainage Improvements") shall be completed by the Subdivider, meeting all applicable standards for preliminary acceptance, within twelve (12) months of recording the final plat.

The drainage improvements in Tract D, Sterling Ranch Filing No. 1, located in the Sand Creek Channel, which improvements consist of drop structures, check structures and similar stabilization or protection improvements (collectively, the "Channel Improvements"), shall be completed by the District within the time frames set forth in subsection 6.b. of the *Subdivision Improvements Agreement for Sterling Ranch Filing No. 1*, dated May 30, 2018, and recorded in the real property records for El Paso County, Colorado at reception number 218061175.

If the Subdivider determines that the completion date needs to be extended, the Subdivider shall submit a written request for a change in the completion date to the ECM Administrator at least 90 days in advance of the completion date. The request shall include the reasons for the requested change in completion date, the proposed new completion date, and prove collateral is in place to cover the extension time requested. The completion date for the Subdivision may be extended one time, for a period no longer than 6 months at the discretion of the ECM Administrator. Any additional request for extension of the completion date will be scheduled for hearing by the Board of County Commissioners. The ECM Administrator or the Board of County Commissioners may require an adjustment in the amount of collateral to take into account any increase in cost due to the delay including inflation.

- c. **Vollmer Road.** As more particularly described in the Subdivision Improvements Agreement for Sterling Ranch Filing No. 1, the parties agree that the addition of two lanes to the existing two-lane cross section of Vollmer Road shall be completed no later than May 30, 2021, three years from the date of recording of Filing No. 1. In the event that any portions of the four lane cross section of Vollmer Road are not completed within the three year period, collateral sufficient in the opinion of the County to assure completion of the improvements must be posted by the Subdivider and a deadline by which such road improvements shall be completed shall be established by written agreement.
- d. **Wastewater Treatment.** The District has an intergovernmental agreement, dated on or about September 11, 2014, with Meridian Service Metropolitan District for the provision of wastewater treatment services (the "Meridian System"). The District has also entered into an intergovernmental agreement with the City of Colorado Springs and Colorado Springs Utilities which provides for temporary wastewater treatment services while the District completes its connection to the Meridian System ("Meridian System

Connection"). The agreement with the City provides for interim treatment services for a period of up to one year from the execution of the agreement, or August 12, 2020.

Subdivider has previously provided construction drawings for the Meridian System Connection, including the sewer line and lift station, that have been signed by the Meridian Service Metropolitan District, as well as Financial Assurance Estimates for the completion of such improvements (the "Meridian Line Collateral"). The Meridian System Connection is substantially complete, as set forth in the report dated October 6, 2020, from the District Engineer, Brad Simons of MMI Engineering, LLC, and shall be operationally complete by November 30, 2020. It is understood by the parties hereto that, should it become necessary for the County to draw on the Meridian System Connection Collateral to complete the Meridian System Connection, the County intends to authorize and designate Elite Properties of America, Inc. as the appropriate entity to complete said connection. A copy of an agreement between the Subdivider and Elite addressing this potential work has been provided to the County. Finally, it is agreed that, should it become necessary for the County to draw on the Meridian System Connection Collateral to complete the connection, the County may impose a moratorium on the issuance of additional building permits on lots located in all recorded final plats at Sterling Ranch until the Meridian System Connection is completed.

- e. **Briargate Parkway.** The following roadways shall be completed and ready for preliminary acceptance no later than six (6) months following final plat recording:
 - i. the southerly two lanes of Briargate Parkway from Vollmer Road to Wheatland Drive, in accordance with the Briargate Parkway "Interim" Street Improvement Plans (approved by the County in connection with Sterling Ranch Filing No. 1), a copy of which is attached hereto as Exhibit A-1; and
 - ii. Wheatland Drive from Briargate Parkway to Dines Boulevard, as identified on the Sterling Ranch Dines Boulevard and Wheatland Drive Street Improvement Plans (approved by the County in connection with Sterling Ranch Filing No. 1) a copy of which is attached hereto as Exhibit A-2.

- 7. **Construction Criteria:** The Subdivider and District agree, and the parties acknowledge that the construction of the improvements identified and guaranteed through this Subdivision Improvements Agreement shall follow the inspection and acceptance process that is identified in Chapter 5 of the County's Engineering Criteria Manual. This is to include among other things, a Preliminary Acceptance process, posting of appropriate Warranty collateral at that time, and a 2-year warranty period prior to final acceptance. Where any inconsistency exists between Chapter 5 of the Engineering Criteria Manual and

the Land Development Code with respect to these inspections, collateral and acceptance processes, the Engineering Criteria Manual is the controlling document.

8. **Plat Restriction Remedy:** It is mutually agreed pursuant to the provisions of Section 30-28-137(3) C.R.S. that the County or any purchaser of any lot, lots, tract or tracts of land subject to a plat restriction which is the security portion of a Subdivision Improvements Agreement shall have the authority to bring an action in any District Court to compel the enforcement of any Subdivision Improvements Agreement on the sale, conveyance, or transfer of any such lot, lots, tract or tracts of land or of any other provision of Article 28 of Title 30, Colorado Revised Statutes. Such authority shall include the right to compel rescission of any sale, conveyance, or transfer of any lot, lots, tract or tracts of land contrary to the provisions of any such restrictions set forth on the plat or in any separate recorded instrument, but any such action shall be commenced prior to the issuance of a building permit by the County where so required or other otherwise prior to commencement of construction on any such lot, lots, tract or tracts of land.

9. **Releases:** It is further mutually agreed that, pursuant to the provisions of Section 30-28-137 (2) C.R.S., and Chapter 5 of the County's Engineering Criteria Manual, as improvements are completed, the Subdivider may apply to the Board of County Commissioners for a release of part or all of the collateral deposited with said Board. Upon inspection and approval, the Board shall release said collateral. The County agrees to respond to an inspection request in a reasonable time upon receipt of the request. If the Board determines that any of such improvements are not constructed in substantial compliance with specifications it shall furnish the Subdivider and District a list of specific deficiencies and shall be entitled to withhold collateral sufficient to ensure such substantial compliance.

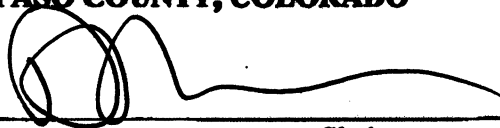
If the Board of County Commissioners determines that the Subdivider or District will not construct any or all of the improvements in accordance with all of the specifications and the provisions of this Agreement, the Board of County Commissioners may withdraw and employ from the deposit of collateral such funds as may be necessary to construct the improvements in accordance with the specifications. In addition, and with respect to the Meridian System Connection only, either as an alternative to the withdrawal of collateral or in connection therewith, at the County's sole discretion, the County may request Elite to complete the Meridian System Connection in accordance with the approved plans and specifications for such connection set forth in Exhibit A-3. If the County draws on the posted collateral and Elite thereafter completes the improvements, the County shall reimburse Elite for such work in the amount of the collateral withdrawn or the cost of such work, whichever is less. If Elite declines to complete the Meridian System Connection, the County shall withdraw and employ from the deposit of collateral such funds as may be necessary to complete the Meridian System Connection in accordance with the specifications.

10. **Title Insurance:** The Subdivider agrees to provide the County with a title insurance commitment at time of final platting evidencing that fee simple title of all lands in the subdivision is vested with the Subdivider.

11. **Plat Approval:** The County agrees to approval of the final plat of the Branding Iron at Sterling Ranch Filing No. 2 Subdivision subject to the terms and conditions of this Agreement.
12. **Amendment:** Parties hereto mutually agree that this Agreement may be amended from time to time provided that such amendment be in writing and signed by all parties hereto.
13. **Effective Date:** This Agreement shall take effect on the date of approval of the Final Plat by the Board of County Commissioners.
14. **Traffic Impact Fees:** The Subdivider agrees for itself and its successors and assigns that Subdivider and/or its said successors and assigns shall be required to pay traffic impact fees in accordance with the El Paso County Road Impact Fee Program at or prior to the time of building permit application. This fee obligation, if not paid in full at final plat recording, shall be documented on plat notes and all sales documents to ensure that a title search would reveal such fee. The Subdivider agrees to the inclusion of Branding Iron at Sterling Ranch Filing No. 2 into the El Paso County Public Improvement District No. 2.

IN WITNESS WHEREOF, the parties have hereunto set their hands and seals the day and year below written.

**BOARD OF COUNTY COMMISSIONERS OF
EL PASO COUNTY, COLORADO**

By: 
_____, Chair

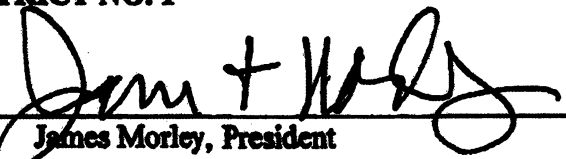
(Date Final Plat Approved)

ATTEST:

County Clerk and Recorder

Approved as to form:
Lori L. Seago
Sr. Asst. County Attorney

**STERLING RANCH METROPOLITAN
DISTRICT NO. 1**

By: 

James Morley, President

SR LAND, LLC
By: 

James Morley, Manager

EXHIBIT A
SUBDIVISION IMPROVEMENTS AGREEMENT
Branding Iron at Sterling Ranch Filing No. 2

2019 Financial Assurance Estimate Form
(with pre-plate construction)

Updated: 12/8/2019

PROJECT INFORMATION		
Branding Iron at Sterling Ranch Filing No. 2	12/8/2020	SF-19-018
Project Name	Date	PCD File No.

Description	Quantity	Units	Unit Cost	Total	(with Pre-Plate Construction)	
					% Complete	Remaining
SECTION 1 - GRADING AND EROSION CONTROL (Construction and Permanent BMPs)						
* Earthwork						
less than 1,000; \$5,000 min	663	CY	\$ 8.00	\$ 5,304.00	80.00%	\$ 1,060.80
1,000-5,000; \$5,000 min		CY	\$ 8.00	\$ -		\$ -
5,001-20,000; \$30,000 min		CY	\$ 6.00	\$ -		\$ -
20,001-50,000; \$100,000 min		CY	\$ 3.50	\$ -		\$ -
50,001-200,000; \$175,000 min		CY	\$ 2.50	\$ -		\$ -
greater than 200,000; \$500,000 min		CY	\$ 2.00	\$ -		\$ -
* Permanent Seeding (inc. noxious weed mgmt.)		AC	\$ 800.00	\$ -		\$ -
* Mulching		AC	\$ 780.00	\$ -		\$ -
* Permanent Erosion Control Blanket (SC200)	10,380	SY	\$ 6.00	\$ 62,280.00	80.00%	\$ 31,098.00
* Permanent Pond/BMP Construction		CY	\$ 20.00	\$ -		\$ -
* Permanent Pond/BMP (Spillway)		EA	\$ 2,300.00	\$ -	80.00%	\$ -
* Permanent Pond/BMP (Outlet Structure)		EA	\$ 6,500.00	\$ -	80.00%	\$ -
Safety Fence		LF	\$ 3.00	\$ -		\$ -
Temporary Erosion Control Blanket (SC100)	48,760	SY	\$ 3.00	\$ 146,280.00	80.00%	\$ 73,140.00
Vehicle Tracking Control	4	EA	\$ 2,370.00	\$ 9,480.00	80.00%	\$ 1,896.00
SR Fence	2,074	LF	\$ 2.80	\$ 5,805.20	80.00%	\$ 1,161.04
Temporary Seeding	12	AC	\$ 628.00	\$ 7,536.00		\$ 7,536.00
Temporary Mulch	12	AC	\$ 780.00	\$ 9,360.00	80.00%	\$ 1,872.00
Erosion Poles	21	EA	\$ 25.00	\$ 525.00	80.00%	\$ 105.00
Erosion Logs/Straw Wadde		LF	\$ 8.00	\$ -		\$ -
Rock Check Dam		EA	\$ 800.00	\$ -		\$ -
Inlet Protection	2	EA	\$ 167.00	\$ 334.00	80.00%	\$ 66.80
Sediment Basin		EA	\$ 1,782.00	\$ -		\$ -
Concrete Washout Basin		EA	\$ 800.00	\$ -		\$ -
<i>Insert items not listed but part of construction plans</i>						
MAINTENANCE (25% of Construction BMPs)				\$ -		\$ -
Section 1 Subtotal				\$ 312,559.80		\$ 182,209.80

* - Subject to defect warranty financial assurance. A minimum of 20% shall be retained until final acceptance (MAXIMUM OF 80% COMPLETE ALLOWED)

SECTION 2 - PUBLIC IMPROVEMENTS *

ROADWAY IMPROVEMENTS						
Construction Traffic Control	1	LF	\$ 3,000.00	\$ 3,000.00	80.00%	\$ 600.00
Aggregate Base Course (135 lbs/cy)	4,700	Tons	\$ 26.00	\$ 121,800.00	80.00%	\$ 24,360.00
Aggregate Base Course (135 lbs/cy)		CY	\$ 80.00	\$ -		\$ -
Asphalt Pavement (2" thick)	3,260	SY	\$ 14.00	\$ 45,640.00	80.00%	\$ 9,128.00
Asphalt Pavement (4" thick)	6,765	SY	\$ 18.00	\$ 121,530.00	80.00%	\$ 24,306.00
Asphalt Pavement (6" thick)		SY	\$ 28.00	\$ -		\$ -
Asphalt Pavement (147 lbs/cy) 2" thick		Tons	\$ 88.00	\$ -		\$ -
Raised Median, Paved		SF	\$ 6.00	\$ -		\$ -
Regulatory Sign/Advisory Sign		EA	\$ 200.00	\$ -		\$ -
Guide/Street Name Sign	8	EA	\$ 250.00	\$ 2,000.00		\$ 2,000.00
Epoxy Pavement Marking		SF	\$ 13.00	\$ -		\$ -
Thermoplastic Pavement Marking		SF	\$ 23.00	\$ -		\$ -
Baricade - Type 3		EA	\$ 280.00	\$ -		\$ -
Delineator - Type 1		EA	\$ 24.00	\$ -		\$ -
Curb and Gutter, Type A (6" Vertical)	4,928	LF	\$ 30.00	\$ 147,840.00	80.00%	\$ 29,568.00
Curb and Gutter, Type B (Median)		LF	\$ 90.00	\$ -		\$ -
Curb and Gutter, Type C (Ramp)	1,538	LF	\$ 30.00	\$ 46,140.00	80.00%	\$ 9,228.00
4' Sidewalk (common areas only)		SY	\$ 48.00	\$ -		\$ -
6' Sidewalk	3,980	SY	\$ 60.00	\$ 238,800.00		\$ 238,800.00
8' Sidewalk		SY	\$ 72.00	\$ -		\$ -
8' Sidewalk		SY	\$ 88.00	\$ -		\$ -
Pedestrian Ramp	22	EA	\$ 1,100.00	\$ 24,200.00	80.00%	\$ 4,840.00
Cross Pan, local (6" thick, 6' wide to include return)	837	LF	\$ 61.00	\$ 51,057.00	80.00%	\$ 10,211.40
Cross Pan, collector (6" thick, 6' wide to include return)		LF	\$ 82.00	\$ -		\$ -
Curb Chase		EA	\$ 1,480.00	\$ -		\$ -
Guardrail Type 3 (W-Beam)		LF	\$ 48.00	\$ -		\$ -
Guardrail Type 7 (Concrete)		LF	\$ 72.00	\$ -		\$ -
Guardrail End Anchorage		EA	\$ 2,000.00	\$ -		\$ -
Guardrail Impact Attenuator		EA	\$ 3,787.00	\$ -		\$ -
Sound Barrier Fence (CMU Block, 6' High)		LF	\$ 78.00	\$ -		\$ -
Sound Barrier Fence (precast, 6' High)		LF	\$ 80.00	\$ -		\$ -
Electrical Conduit, Size =		LF	\$ 16.00	\$ -		\$ -
Traffic Signal, complete intersection		EA	\$ 425,000.00	\$ -		\$ -

PROJECT INFORMATION

Branding Iron at Sterling Ranch Filing No. 2

12/8/2020

SF-19-018

Project Name

Date

PCD File No.

Description	Quantity	Units	Unit Cost	Total	(with Pre-Paid Construction)	
					% Complete	Remaining
<i>(Insert items not listed but part of construction plans)</i>				\$ -		\$ -
STORM DRAIN IMPROVEMENTS						
Concrete Box Culvert (M Standard), Size (W x H)		LF		\$ -		\$ -
18" Reinforced Concrete Pipe		LF	\$ 85.00	\$ -		\$ -
24" Reinforced Concrete Pipe	892	LF	\$ 78.00	\$ 69,576.00	80.00%	\$ 13,915.20
30" Reinforced Concrete Pipe	5	LF	\$ 97.00	\$ 485.00	80.00%	\$ 97.00
36" Reinforced Concrete Pipe		LF	\$ 120.00	\$ -		\$ -
42" Reinforced Concrete Pipe		LF	\$ 180.00	\$ -		\$ -
48" Reinforced Concrete Pipe		LF	\$ 198.00	\$ -		\$ -
54" Reinforced Concrete Pipe		LF	\$ 245.00	\$ -		\$ -
60" Reinforced Concrete Pipe		LF	\$ 288.00	\$ -		\$ -
66" Reinforced Concrete Pipe		LF	\$ 332.00	\$ -		\$ -
72" Reinforced Concrete Pipe		LF	\$ 390.00	\$ -		\$ -
18" Corrugated Steel Pipe		LF	\$ 84.00	\$ -		\$ -
24" Corrugated Steel Pipe		LF	\$ 96.00	\$ -		\$ -
30" Corrugated Steel Pipe		LF	\$ 122.00	\$ -		\$ -
36" Corrugated Steel Pipe		LF	\$ 147.00	\$ -		\$ -
42" Corrugated Steel Pipe		LF	\$ 188.00	\$ -		\$ -
48" Corrugated Steel Pipe		LF	\$ 178.00	\$ -		\$ -
54" Corrugated Steel Pipe		LF	\$ 288.00	\$ -		\$ -
60" Corrugated Steel Pipe		LF	\$ 280.00	\$ -		\$ -
66" Corrugated Steel Pipe		LF	\$ 340.00	\$ -		\$ -
72" Corrugated Steel Pipe		LF	\$ 400.00	\$ -		\$ -
78" Corrugated Steel Pipe		LF	\$ 480.00	\$ -		\$ -
84" Corrugated Steel Pipe		LF	\$ 680.00	\$ -		\$ -
Flared End Section (FES) RCP Size = 18 (with cast-in-place manhole)		EA	\$ 390.00	\$ -		\$ -
Flared End Section (FES) CSP Size = 42 (with cast-in-place manhole)		EA	\$ 980.00	\$ -		\$ -
End Treatment- Headwall		EA	\$ 12,000.00	\$ -		\$ -
End Treatment- Wingwall		EA	\$ 6,000.00	\$ -		\$ -
End Treatment - Cutoff Wall		EA	\$ 1,000.00	\$ -		\$ -
Curb Inlet (Type R) L=8', Depth < 8'		EA	\$ 8,542.00	\$ -		\$ -
Curb Inlet (Type R) L=8', 8' ≤ Depth < 10'	1	EA	\$ 7,188.00	\$ 7,188.00	80.00%	\$ 1,437.60
Curb Inlet (Type R) L=8', 10' ≤ Depth < 15'	1	EA	\$ 8,346.00	\$ 8,346.00	80.00%	\$ 1,669.20
Curb Inlet (Type R) L=10', Depth < 8'		EA	\$ 7,827.00	\$ -		\$ -
Curb Inlet (Type R) L=10', 8' ≤ Depth < 10'		EA	\$ 7,891.00	\$ -		\$ -
Curb Inlet (Type R) L=10', 10' ≤ Depth < 15'		EA	\$ 8,841.00	\$ -		\$ -
Curb Inlet (Type R) L=15', Depth < 8'		EA	\$ 8,918.00	\$ -		\$ -
Curb Inlet (Type R) L=15', 8' ≤ Depth < 10'		EA	\$ 10,833.00	\$ -		\$ -
Curb Inlet (Type R) L=15', 10' ≤ Depth < 15'		EA	\$ 11,827.00	\$ -		\$ -
Curb Inlet (Type R) L=20', Depth < 8'		EA	\$ 10,870.00	\$ -		\$ -
Curb Inlet (Type R) L=20', 8' ≤ Depth < 10'		EA	\$ 11,887.00	\$ -		\$ -
Grated Inlet (Type C), Depth < 8'		EA	\$ 4,840.00	\$ -		\$ -
Grated Inlet (Type D), Depth < 8'		EA	\$ 5,731.00	\$ -		\$ -
Storm Sewer Manhole, Box Base	3	EA	\$ 11,827.00	\$ 34,881.00	80.00%	\$ 6,976.20
Storm Sewer Manhole, Slab Base		EA	\$ 8,388.00	\$ -		\$ -
Geotextile (Erosion Control)		SY	\$ 8.00	\$ -		\$ -
Rip Rap, 600 size from 8" to 24"		Tons	\$ 80.00	\$ -		\$ -
Rip Rap, Grouted		Tons	\$ 96.00	\$ -		\$ -
Drainage Channel Construction, Size (W x H)		LF		\$ -		\$ -
Drainage Channel Lining, Concrete		CY	\$ 878.00	\$ -		\$ -
Drainage Channel Lining, Rip Rap		CY	\$ 112.00	\$ -		\$ -
Drainage Channel Lining, Grass		AC	\$ 1,488.00	\$ -		\$ -
Drainage Channel Lining, Other Stabilization				\$ -		\$ -
<i>(Insert items not listed but part of construction plans)</i>				\$ -		\$ -
				Section 2 Subtotal	\$ 916,087.00	\$ 356,657.40

* - Subject to detect warranty financial occurrence. A minimum of 50% shall be retained until final acceptance (APPROVAL OF 80% COMPLETE ALLOWED)

PROJECT INFORMATION

Branding Iron at Starling Ranch Filing No. 2

12/8/2020

SF-19-018

Project Name

Date

PCD File No.

Description	Quantity	Units	Unit Cost	Total	(with Pre-Plan Construction)		
					% Complete	Remaining	
SECTION 3 - COMMON DEVELOPMENT IMPROVEMENTS (Private or District and NOT Maintained by EPC)**							
ROADWAY IMPROVEMENTS							
			=	\$ -		\$ -	
			=	\$ -		\$ -	
			=	\$ -		\$ -	
			=	\$ -		\$ -	
			=	\$ -		\$ -	
			=	\$ -		\$ -	
			=	\$ -		\$ -	
			=	\$ -		\$ -	
			=	\$ -		\$ -	
STORM DRAIN IMPROVEMENTS (Exception: Permanent Pond/BMP shall be itemized under Section 1)							
Rip Rap Protection	609	Ton	\$ 80.00	=	\$ 48,720.00	25.00%	\$ 34,540.00
			=	\$ -		\$ -	
			=	\$ -		\$ -	
			=	\$ -		\$ -	
			=	\$ -		\$ -	
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			=	\$ -		\$ -	
			=	\$ -		\$ -	
WATER SYSTEM IMPROVEMENTS							
Water Main Pipe (PVC), Size 8"	3,248	LF	\$ 84.00	=	\$ 272,712.00	100.00%	\$ -
Water Main Pipe (Ductile Iron), Size 8"		LF	\$ 75.00	=	\$ -		\$ -
Gate Valves, 8"	20	EA	\$ 1,850.00	=	\$ 37,000.00	100.00%	\$ -
Fire Hydrant Assembly, w/ all valves	9	EA	\$ 6,997.00	=	\$ 62,973.00	100.00%	\$ -
Water Service Line Installation, inc. tap and valves	73	EA	\$ 1,324.00	=	\$ 96,652.00	100.00%	\$ -
Fire Cistern Installation, complete		EA		=	\$ -		\$ -
			=	\$ -		\$ -	
			=	\$ -		\$ -	
<i>(Insert items not listed but part of construction plans)</i>							
			=	\$ -		\$ -	
			=	\$ -		\$ -	
SEWERAGE IMPROVEMENTS							
Sewer Main Pipe (PVC), Size 8"	3,623	LF	\$ 84.00	=	\$ 304,752.00	100.00%	\$ -
Sanitary Sewer Manhole, Depth < 18 feet	14	EA	\$ 4,390.00	=	\$ 61,460.00	100.00%	\$ -
Sanitary Service Line Installation, complete	73	EA	\$ 1,402.00	=	\$ 103,346.00	100.00%	\$ -
Sanitary Sewer LR Station, complete		EA		=	\$ -		\$ -
			=	\$ -		\$ -	
			=	\$ -		\$ -	
<i>(Insert items not listed but part of construction plans)</i>							
			=	\$ -		\$ -	
			=	\$ -		\$ -	
LANDSCAPING IMPROVEMENTS (Per subdivision specific condition of approval, or PUD)							
		SF		=	\$ -		\$ -
		EA		=	\$ -		\$ -
		EA		=	\$ -		\$ -
		EA		=	\$ -		\$ -
		EA		=	\$ -		\$ -
		EA		=	\$ -		\$ -
		EA		=	\$ -		\$ -
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		EA		=	\$ -		\$ -
		EA		=	\$ -		\$ -
		EA		=	\$ -		\$ -
		EA		=	\$ -		\$ -
		EA		=	\$ -		\$ -
		EA		=	\$ -		\$ -
Section 3 Subtotal				=	\$ 812,451.00		\$ 34,540.00

** - Section 3 is not subject to detailed warranty requirements

PROJECT INFORMATION

Branding Iron at Sterling Ranch Filing No. 2	12/8/2020	SF-19-018
Project Name	Date	PCD File No.

Description	Quantity	Units	Unit Cost	Total	(with Pre-Plat Construction)	
					% Complete	Remaining
AS-BUILT PLANS (Public Improvements Inc. Permanent WQCV BMPs)		LS	\$ 2,500.00	= \$ 2,500.00		\$ 2,500.00
POND/BMP CERTIFICATION (Inc. elevations and volume calculations)		LS		= \$ -		\$ -
Total Construction Financial Assurance					\$ 2,044,597.00	
(Sum of all section subtotals plus as-builts and pond/BMP certification)						
Total Remaining Construction Financial Assurance (with Pre-Plat Construction)					\$ 578,907.20	
(Sum of all section totals less credit for items complete plus as-builts and pond/BMP certification)						
Total Defect Warranty Financial Assurance					\$ 196,697.40	
(20% of all items identified as (*). To be collateralized at time of preliminary acceptance)						

Approvals

I hereby certify that this is an accurate and complete estimate of costs for the work as shown on the Grading and Erosion Control Plan and Construction Drawings associated with the Project.

 Engineer (P.E. Seal Required)

[Handwritten Signature]

 Approved by Owner / Applicant

 Date

12/8/2020

APPROVED
Engineering Department

 Approved by El Paso County Engineer / ECM Adm

12/08/2020 1:54 PM

 Date

EPC Planning & Community
 Development Department

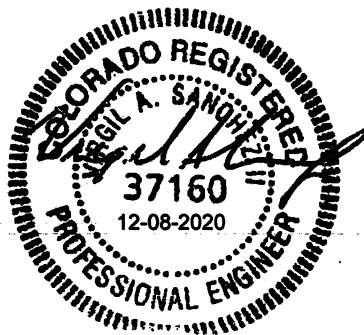
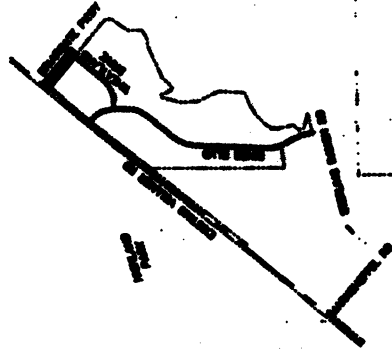
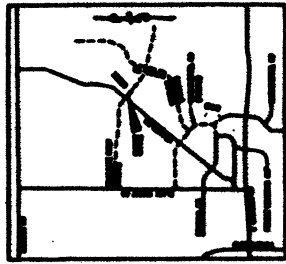


EXHIBIT A-1
SUBDIVISION IMPROVEMENTS AGREEMENT
Branding Iron at Sterling Ranch Filing No. 2

STERLING RANCH - BRIARGATE PARKWAY FROM VOLLMER ROAD - WHEATLAND DRIVE COUNTY OF EL PASO, STATE OF COLORADO STREET IMPROVEMENT PLANS

INCLUDING SIGNAGE AND STRIPING PLAN
JANUARY 2016



ITEM NO.	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
101	ASPHALT PAVEMENT	100	LINEAL FEET	100.00	10000.00
102	CONCRETE CURBS	100	LINEAL FEET	100.00	10000.00
103	PAVEMENT MARKING	100	LINEAL FEET	100.00	10000.00
104	TRAFFIC SIGNALS	1	SIGNAL	10000.00	10000.00
105	STREET LIGHTS	100	LIGHT	100.00	10000.00
106	SIGNAGE	100	SIGN	100.00	10000.00
107	LANDSCAPING	100	PLANT	100.00	10000.00
108	UTILITY WORK	100	LINEAL FEET	100.00	10000.00
109	CONCRETE DRIVEWAYS	100	LINEAL FEET	100.00	10000.00
110	PAVEMENT REPAIRS	100	LINEAL FEET	100.00	10000.00
111	STREET CLEANING	100	LINEAL FEET	100.00	10000.00
112	TRAFFIC CONTROL	100	LINEAL FEET	100.00	10000.00
113	CONCRETE SIDEWALKS	100	LINEAL FEET	100.00	10000.00
114	PAVEMENT STRIPES	100	LINEAL FEET	100.00	10000.00
115	TRAFFIC SIGNALS	1	SIGNAL	10000.00	10000.00
116	STREET LIGHTS	100	LIGHT	100.00	10000.00
117	SIGNAGE	100	SIGN	100.00	10000.00
118	LANDSCAPING	100	PLANT	100.00	10000.00
119	UTILITY WORK	100	LINEAL FEET	100.00	10000.00
120	CONCRETE DRIVEWAYS	100	LINEAL FEET	100.00	10000.00
121	PAVEMENT REPAIRS	100	LINEAL FEET	100.00	10000.00
122	STREET CLEANING	100	LINEAL FEET	100.00	10000.00
123	TRAFFIC CONTROL	100	LINEAL FEET	100.00	10000.00
124	CONCRETE SIDEWALKS	100	LINEAL FEET	100.00	10000.00
125	PAVEMENT STRIPES	100	LINEAL FEET	100.00	10000.00

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES.

2. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND STRUCTURES UNDERGROUND AND ABOVEGROUND.

4. THE CONTRACTOR SHALL MAINTAIN TRAFFIC CONTROL AND SAFETY THROUGHOUT THE PROJECT.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMEDIATION OF ANY DAMAGE TO THE SURROUNDING ENVIRONMENT.

6. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ALL WORK DONE AND MATERIALS USED.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF ALL WASTE MATERIALS.

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL HISTORIC AND CULTURAL RESOURCES.

9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL NEIGHBORHOODS AND COMMUNITIES.

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PUBLIC UTILITIES AND STRUCTURES.

11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PRIVATE UTILITIES AND STRUCTURES.

12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.

13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PUBLIC SAFETY AND SECURITY.

14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ENVIRONMENTAL RESOURCES.

15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL SOCIAL AND ECONOMIC RESOURCES.

16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CULTURAL AND HISTORIC RESOURCES.

17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ARCHITECTURAL AND ARTISTIC RESOURCES.

18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL SCIENTIFIC AND EDUCATIONAL RESOURCES.

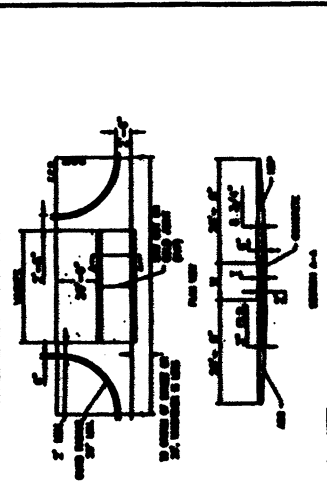
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL RECREATIONAL AND LEISURE RESOURCES.

20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL COMMUNITY AND SOCIAL RESOURCES.

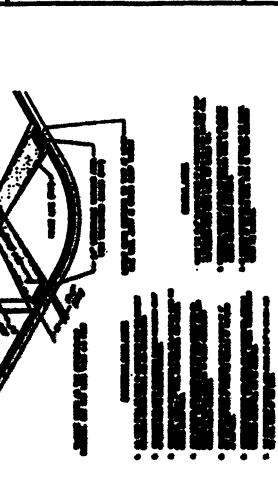
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SF-1403



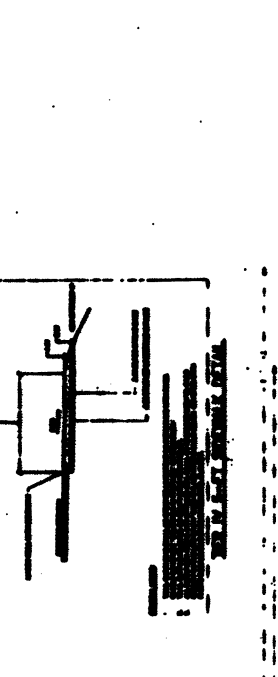
1. ALL BRIDGE DECKS SHALL BE CONCRETE ON 18" MINIMUM THICKNESS OF 4" MINIMUM COVER. ALL BRIDGE DECKS SHALL BE FINISHED WITH A 1/2" THICK CURB ON THE OUTSIDE EDGE. ALL BRIDGE DECKS SHALL BE FINISHED WITH A 1/2" THICK CURB ON THE INSIDE EDGE. ALL BRIDGE DECKS SHALL BE FINISHED WITH A 1/2" THICK CURB ON THE INSIDE EDGE.



1. ALL BRIDGE PIERS SHALL BE CONCRETE ON 18" MINIMUM THICKNESS OF 4" MINIMUM COVER. ALL BRIDGE PIERS SHALL BE FINISHED WITH A 1/2" THICK CURB ON THE OUTSIDE EDGE. ALL BRIDGE PIERS SHALL BE FINISHED WITH A 1/2" THICK CURB ON THE INSIDE EDGE. ALL BRIDGE PIERS SHALL BE FINISHED WITH A 1/2" THICK CURB ON THE INSIDE EDGE.

GENERAL CONSTRUCTION NOTES:
 1. ALL BRIDGE DECKS SHALL BE CONCRETE ON 18" MINIMUM THICKNESS OF 4" MINIMUM COVER. ALL BRIDGE DECKS SHALL BE FINISHED WITH A 1/2" THICK CURB ON THE OUTSIDE EDGE. ALL BRIDGE DECKS SHALL BE FINISHED WITH A 1/2" THICK CURB ON THE INSIDE EDGE. ALL BRIDGE DECKS SHALL BE FINISHED WITH A 1/2" THICK CURB ON THE INSIDE EDGE.

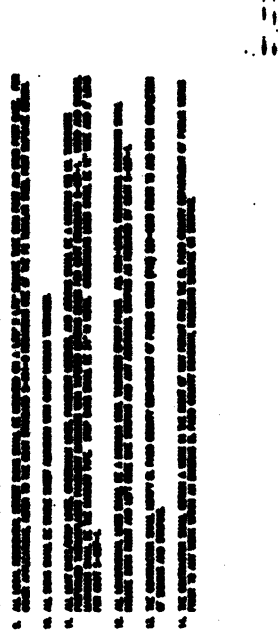
GENERAL CONSTRUCTION NOTES:
 1. ALL BRIDGE DECKS SHALL BE CONCRETE ON 18" MINIMUM THICKNESS OF 4" MINIMUM COVER. ALL BRIDGE DECKS SHALL BE FINISHED WITH A 1/2" THICK CURB ON THE OUTSIDE EDGE. ALL BRIDGE DECKS SHALL BE FINISHED WITH A 1/2" THICK CURB ON THE INSIDE EDGE. ALL BRIDGE DECKS SHALL BE FINISHED WITH A 1/2" THICK CURB ON THE INSIDE EDGE.



GENERAL CONSTRUCTION NOTES:
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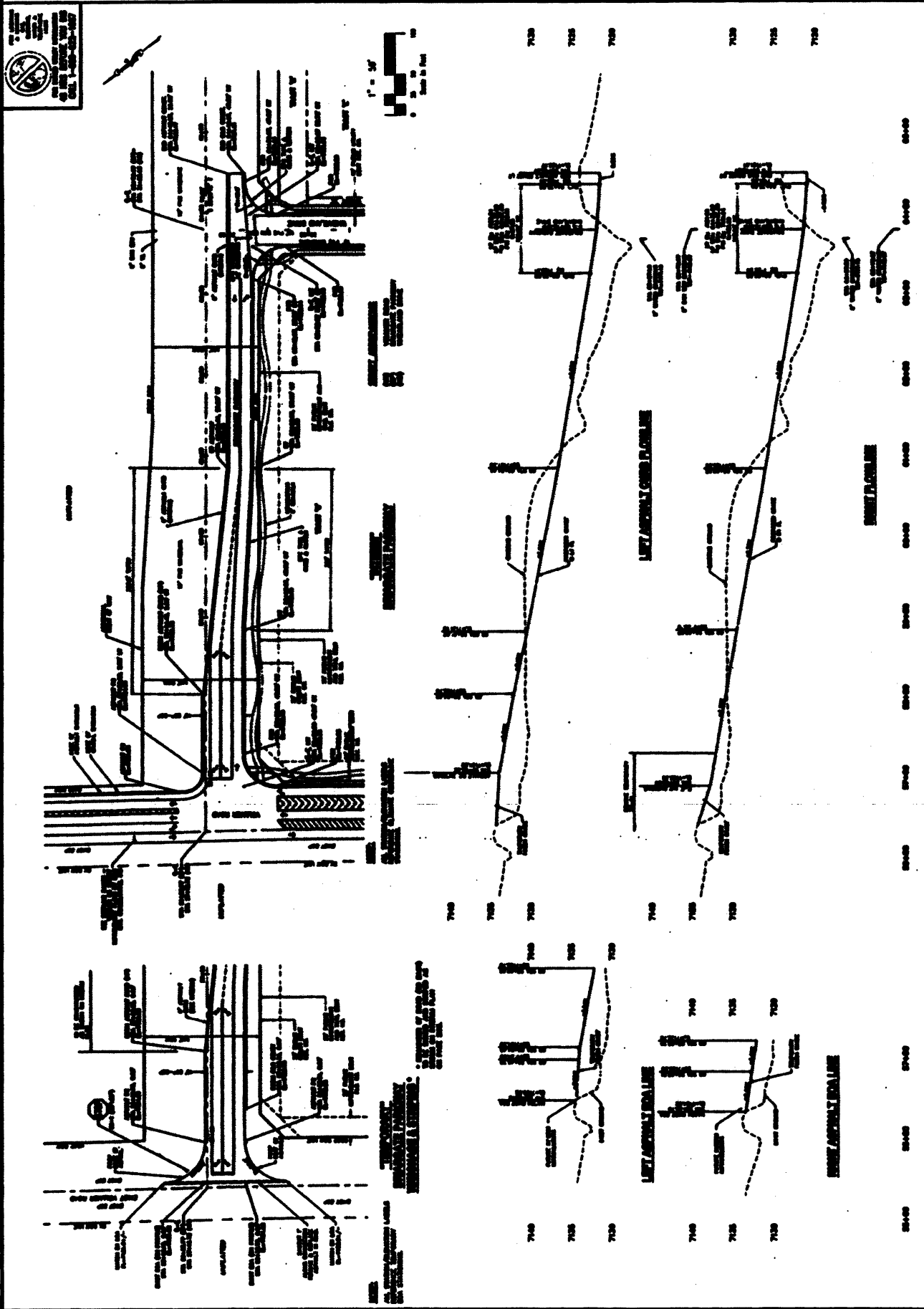
GENERAL CONSTRUCTION NOTES:
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BRWAGATE PARKWAY
 BRIDGE NO. 100
 BRIDGE SPEED - 35 MPH
 POSTED SPEED - 35 MPH



NOTES:

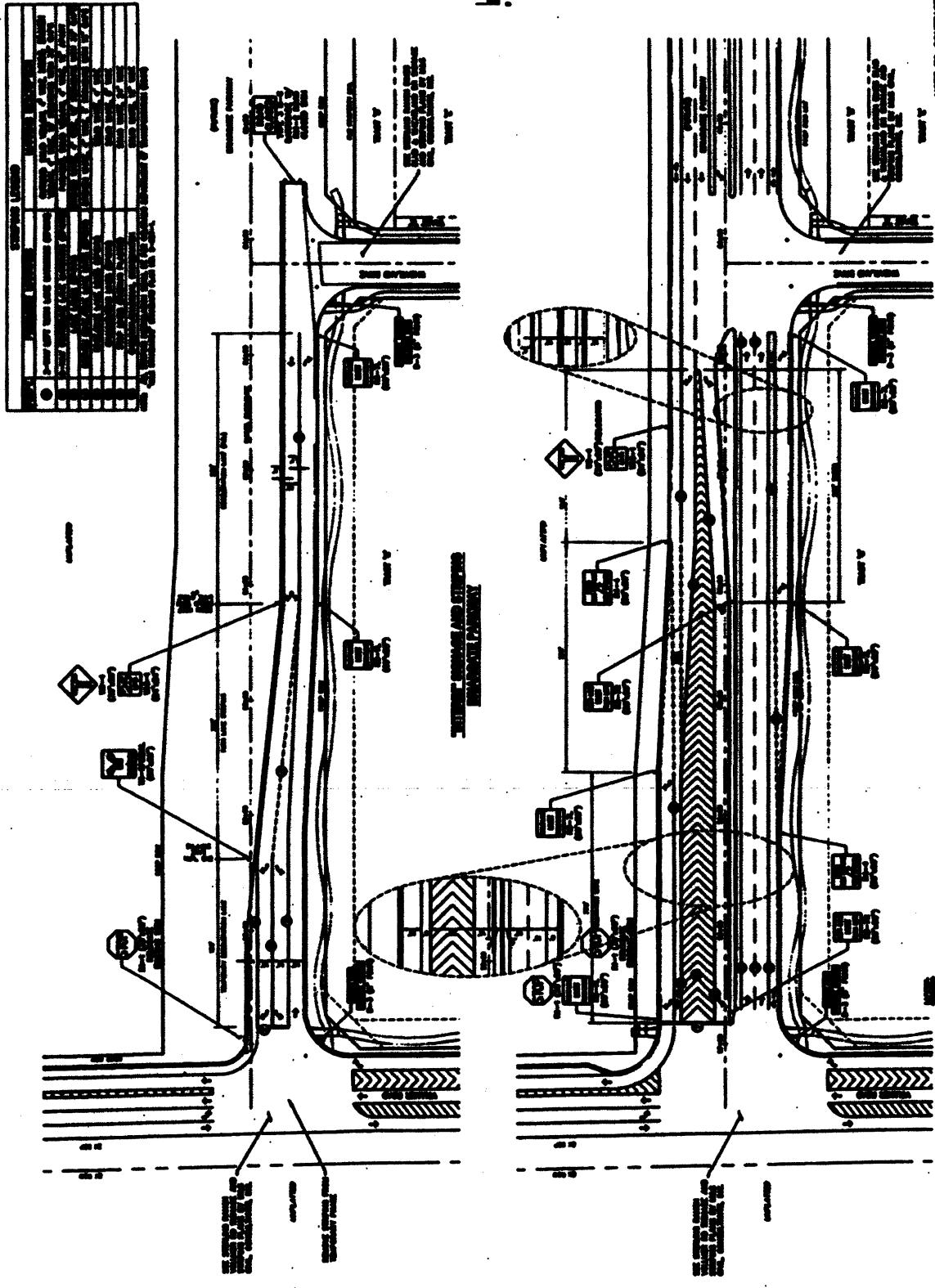
1. ALL DIMENSIONS ARE IN FEET AND INCHES.
2. ALL DISTANCES ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
3. ALL EASEMENTS ARE SHOWN AS DASHED LINES.
4. ALL PROPOSED IMPROVEMENTS ARE SHOWN AS SOLID LINES.
5. ALL EXISTING IMPROVEMENTS ARE SHOWN AS DOTTED LINES.
6. ALL UTILITY LOCATIONS ARE SHOWN AS DASHED LINES WITH 'X' MARKERS.
7. ALL CONFLICTS WITH EXISTING UTILITIES SHALL BE RESOLVED BY THE CONTRACTOR.
8. ALL CONFLICTS WITH EXISTING STRUCTURES SHALL BE RESOLVED BY THE CONTRACTOR.
9. ALL CONFLICTS WITH EXISTING EASEMENTS SHALL BE RESOLVED BY THE CONTRACTOR.
10. ALL CONFLICTS WITH EXISTING PROPERTY LINES SHALL BE RESOLVED BY THE CONTRACTOR.

NO.	DATE	REVISION

PROJECT NO. 21002
 DATE 12/2/80
 SHEET NO. 1 OF 1



PROJECT NO. 21002
 DATE 12/2/80
 SHEET NO. 1 OF 1
**STERLING RANCH - BRANGATE PARKWAY
 STORAGE & STRIPING PLAN**
 SCALE: 1/2" = 1'-0"



NO.	DATE	REVISION

- NOTE ON CONSTRUCTION:**
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS, LATEST EDITION.
 2. ALL UTILITIES SHALL BE LOCATED AND MARKED PRIOR TO CONSTRUCTION.
 3. ALL EXISTING TREES TO BE PRESERVED SHALL BE IDENTIFIED AND MARKED PRIOR TO CONSTRUCTION.
 4. ALL EXISTING UTILITIES SHALL BE PROTECTED AND NOT REMOVED UNLESS REQUIRED BY THE CITY ENGINEER.

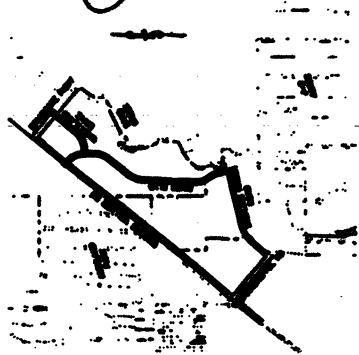
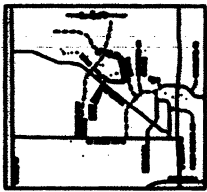
FOR THE CITY ENGINEER AND THE CITY COUNCIL:
THE ENGINEER ONLY
 STATE STREET ASSOCIATES
 ENGINEERS ARCHITECTS

EXHIBIT A-2
SUBDIVISION IMPROVEMENTS AGREEMENT
Branding Iron at Sterling Ranch Filing No. 2

STERLING RANCH-DINES BLVD & WHEATLAND DR.

**COUNTY OF EL PASO, STATE OF COLORADO
STREET IMPROVEMENT PLAN**

APRIL 2017



[Illegible text, likely project description or notes]

[Handwritten signature]
STRICK

DATE	BY	SCALE	PROJECT NO.	DATE	BY	SCALE	PROJECT NO.

THE OFFICE OF THE CITY ENGINEER

EL PASO, TEXAS

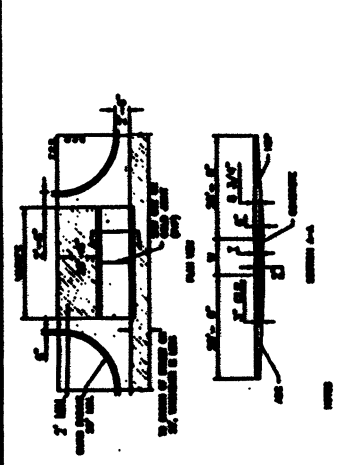
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04/17



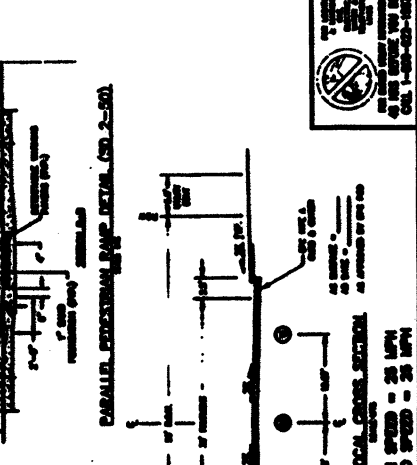
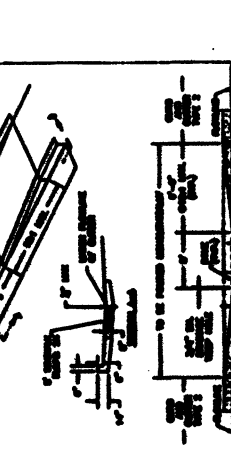
PROJECT NO. 2017-001
 DATE: 12/15/17
 DRAWN BY: J. W. WILSON
 CHECKED BY: J. W. WILSON

NO.	DESCRIPTION	DATE



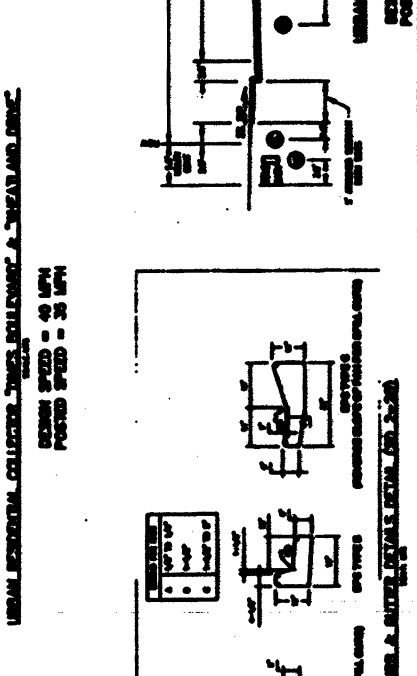
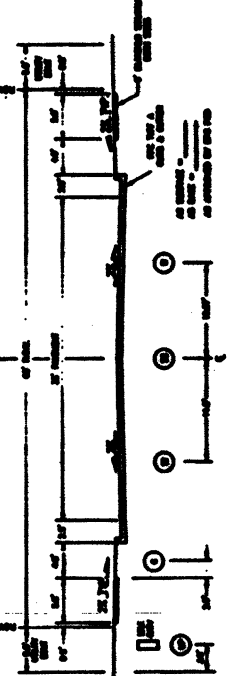
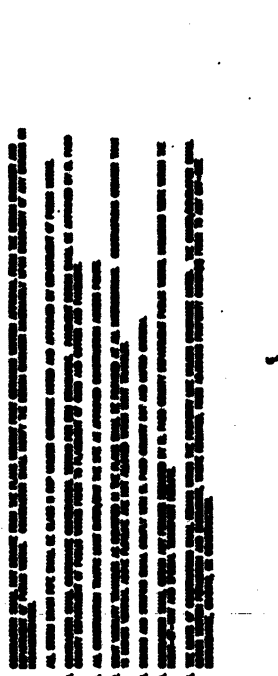
TYPICAL CROSS-PART LAYOUT DETAIL (NO. 2-501)

1. ALL DIMENSIONS SHOWN ARE TO FACE UNLESS OTHERWISE NOTED.
2. ALL MATERIALS SHALL BE AS SHOWN OR APPROVED BY THE ARCHITECT.
3. ALL SURFACES SHALL BE FINISHED TO THE STANDARD SPECIFICATIONS FOR THE PROJECT.
4. ALL JOINTS SHALL BE MADE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR THE PROJECT.



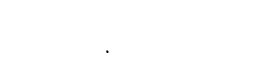
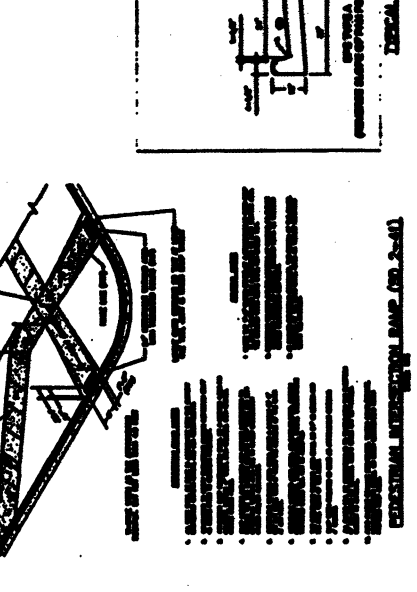
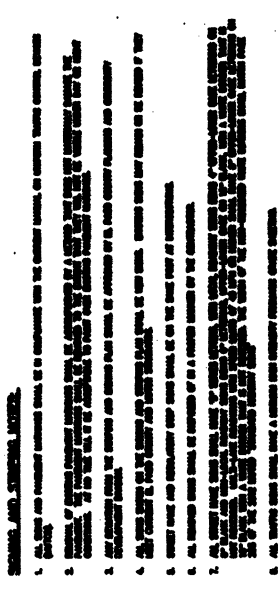
GENERAL NOTES FOR ALL RAMP ASSEMBLY COMPONENTS:

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20. ALL FINISHES SHALL BE MADE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR THE PROJECT.



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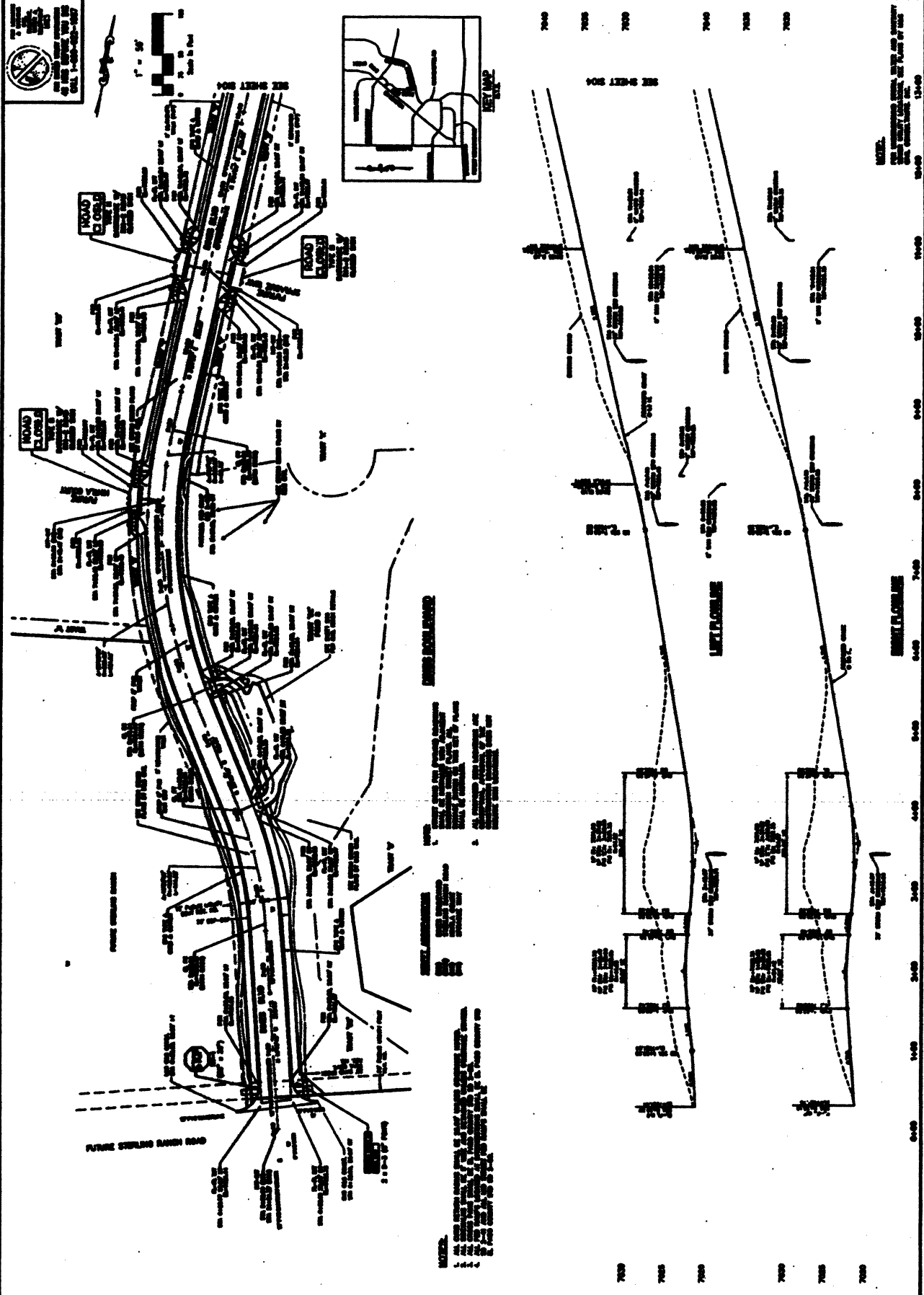


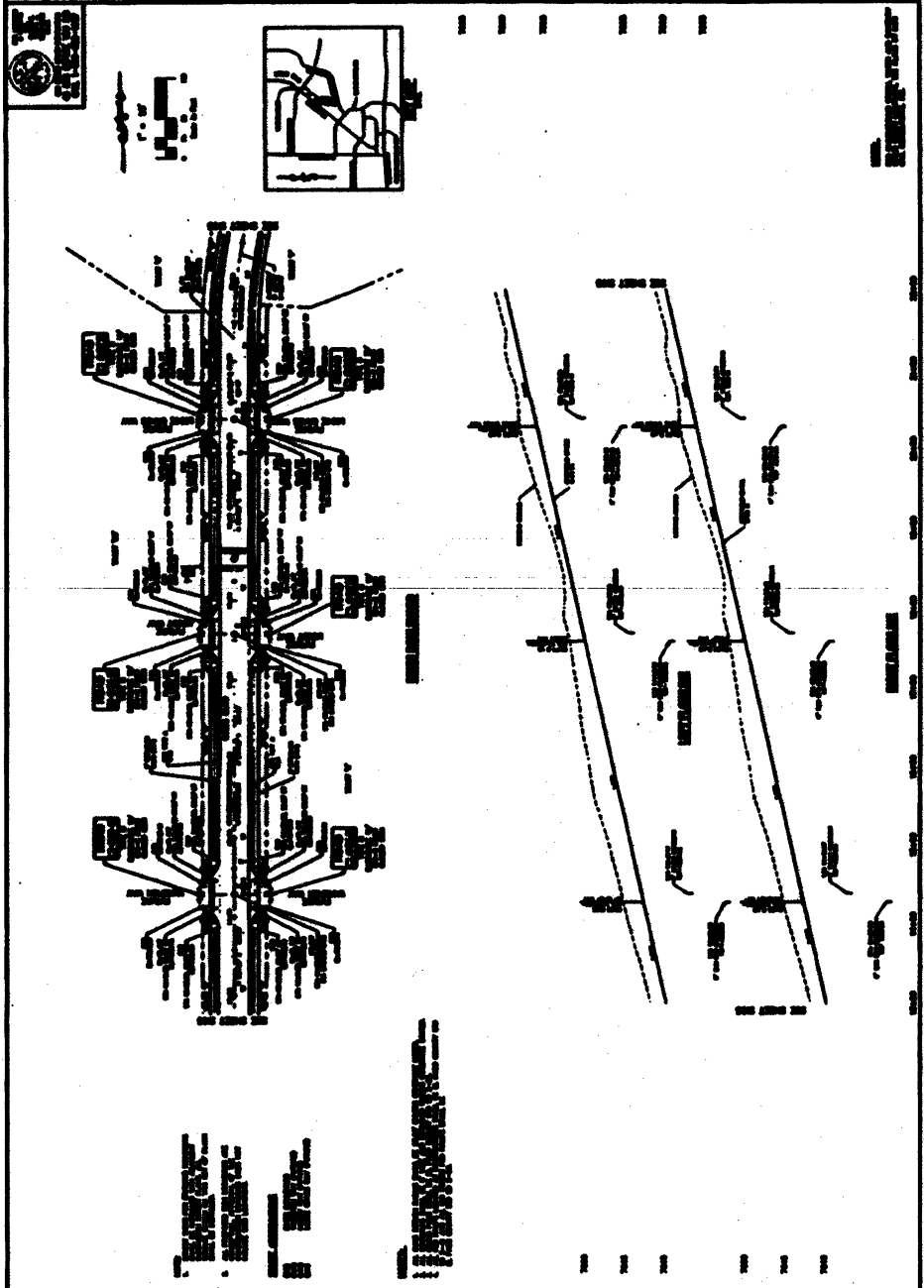
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 DATE: 12/15/17
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 CHECKED BY: J. W. WILSON

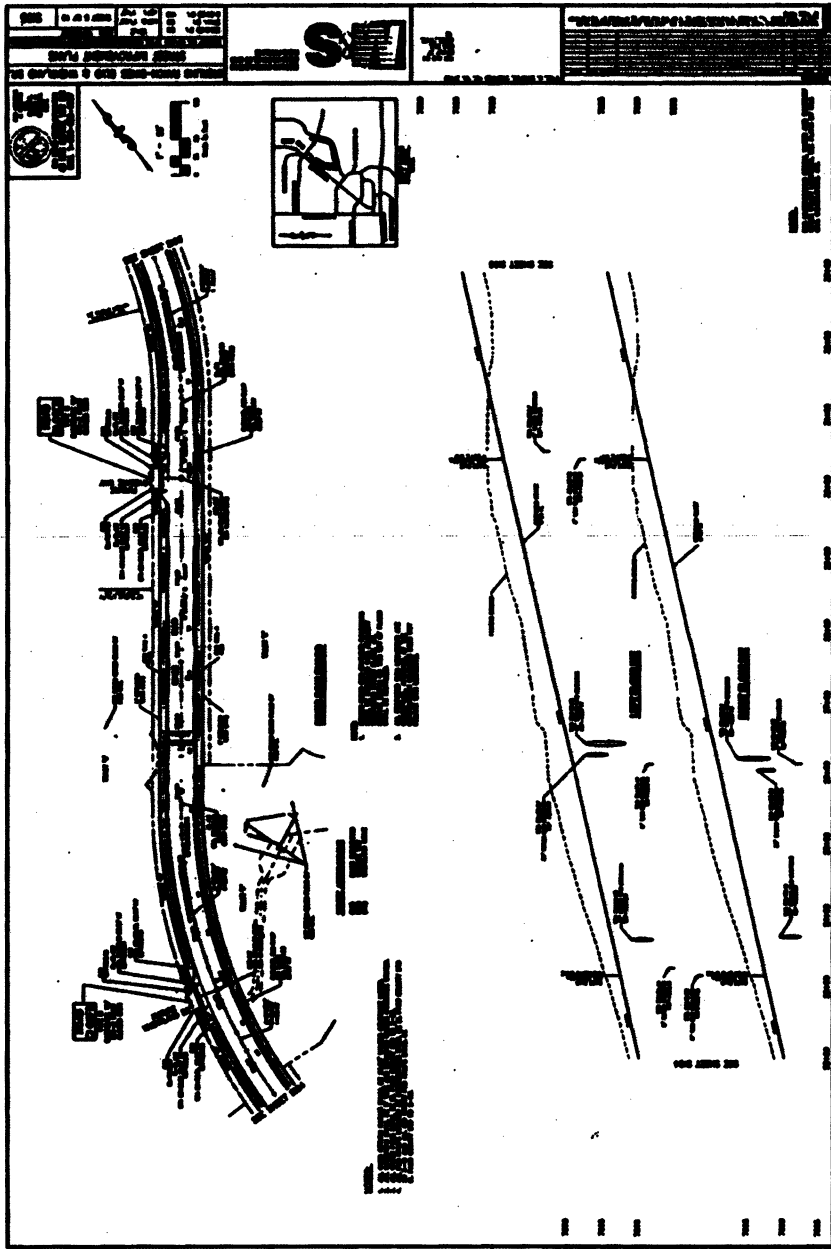
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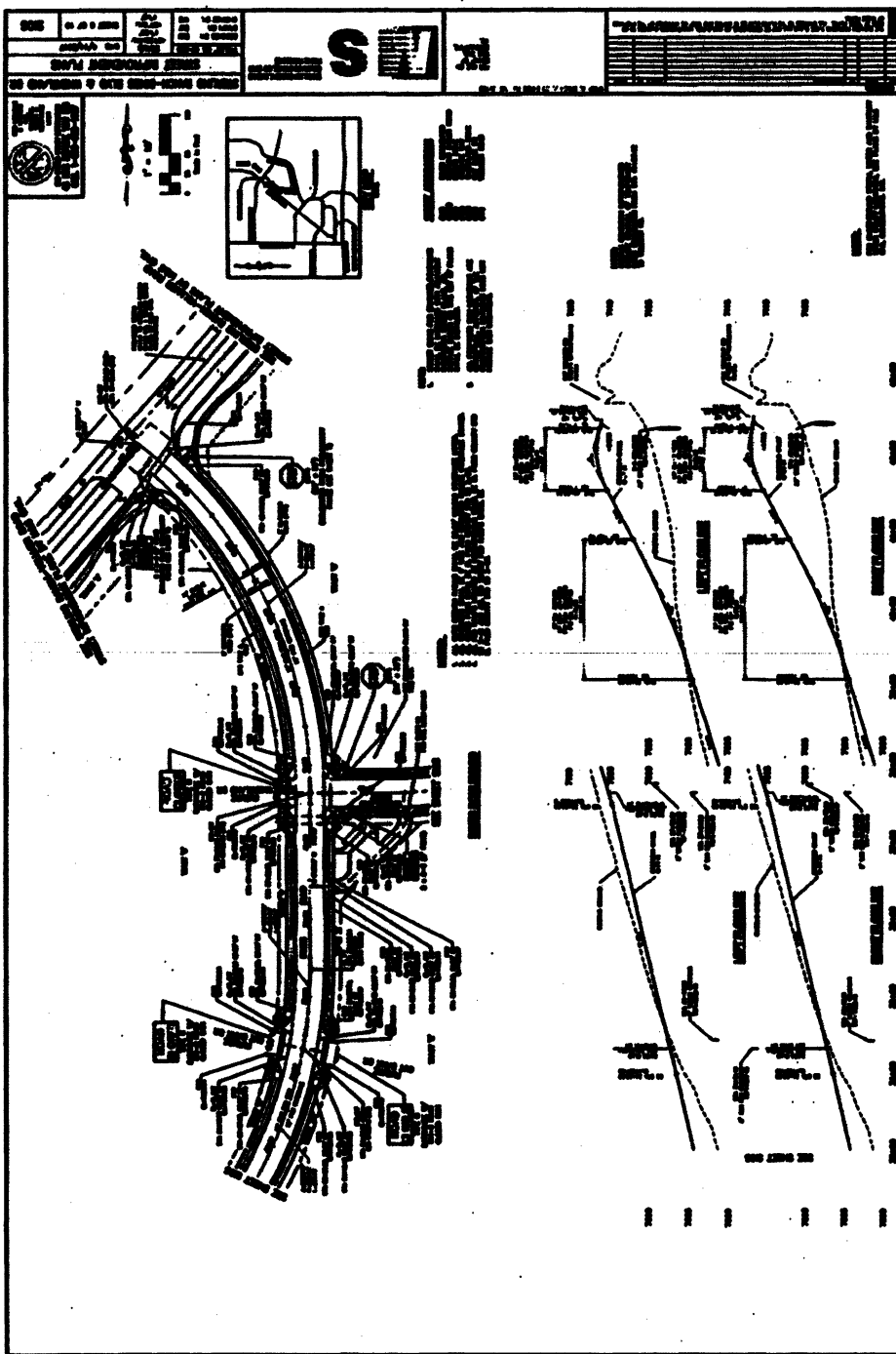


NO. 1	NO. 2	NO. 3	NO. 4	NO. 5	NO. 6	NO. 7	NO. 8	NO. 9	NO. 10









DATE: 4/1/2017	
PROJECT NO. 15-001	SCALE: 1" = 40'
DESIGNED BY: [Redacted]	CHECKED BY: [Redacted]
DRAWN BY: [Redacted]	DATE: 4/1/2017



STREET IMPROVEMENTS
 15000 S. 150TH ST., SUITE 100
 CLARK COUNTY, NEVADA 89136
 (702) 261-1111

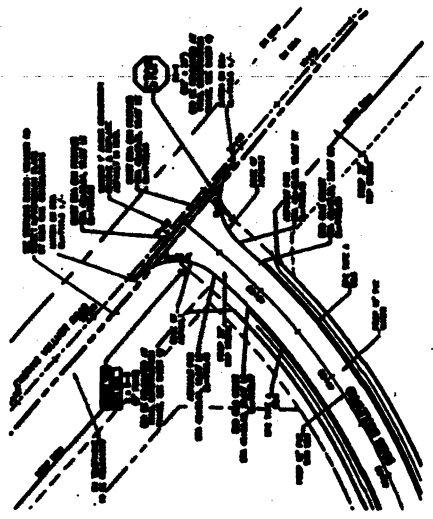
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DESIGNED BY: [Redacted]	CHECKED BY: [Redacted]
DRAWN BY: [Redacted]	DATE: 4/1/2017

STERLING RANCH-DONES BLVD & WHELAND DR
 STREET IMPROVEMENT PLANS
 SHEET 7 OF 10
 S107

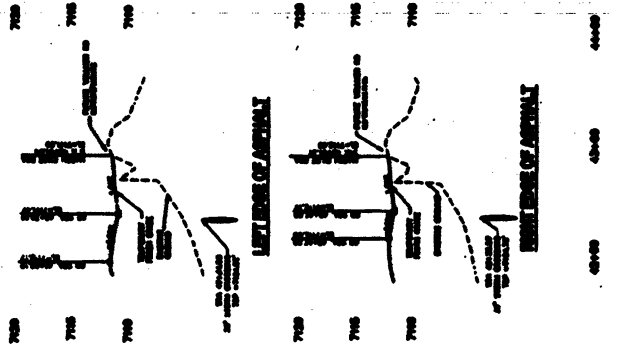
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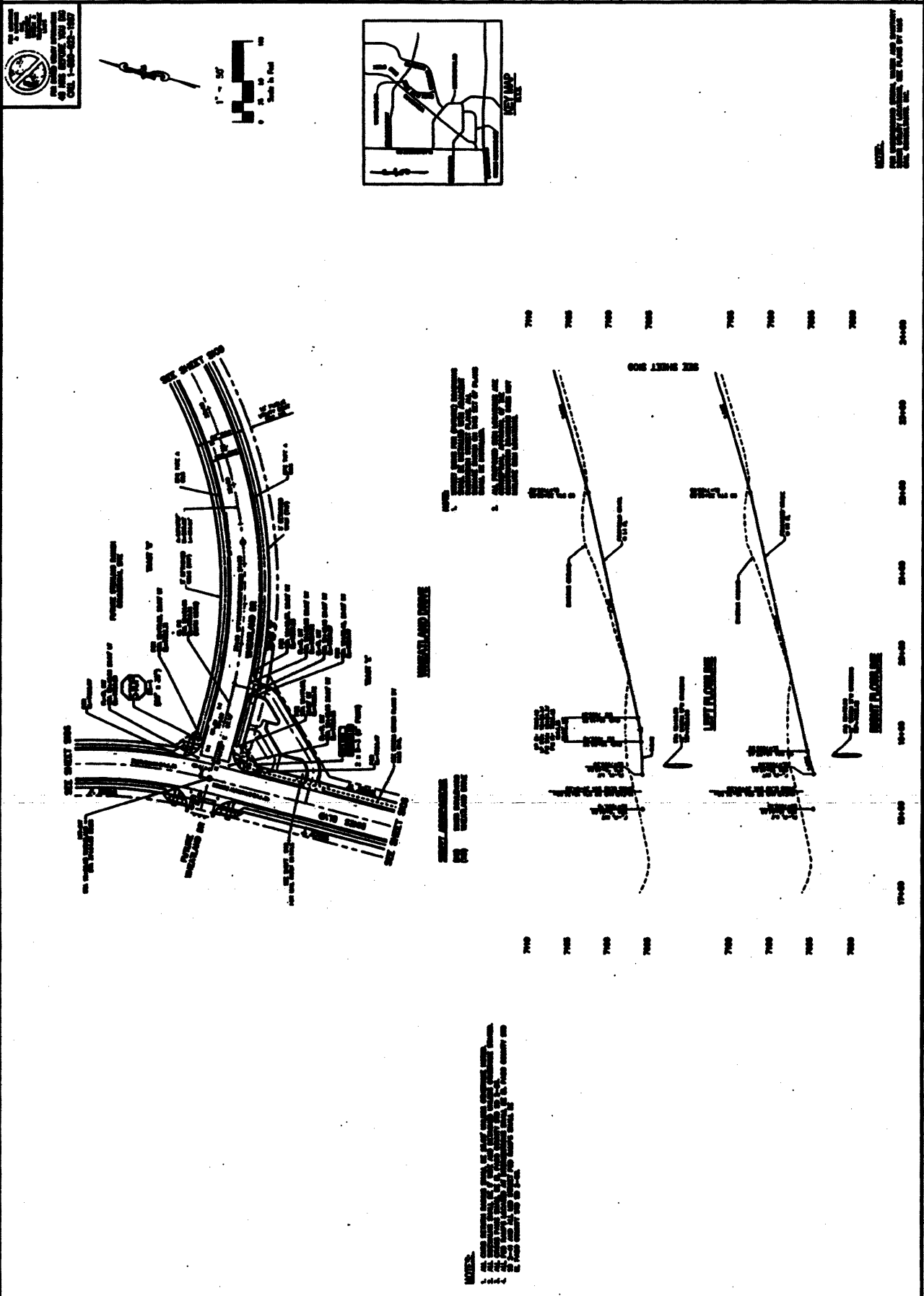
STERLING RANCH-DONES BLVD & WHELAND DR
 STREET IMPROVEMENT PLANS
 SHEET 7 OF 10
 S107

STERLING RANCH-DONES BLVD & WHELAND DR
 STREET IMPROVEMENT PLANS
 SHEET 7 OF 10
 S107

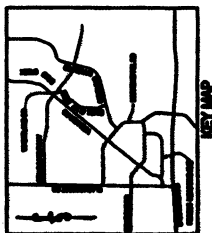


TEMPORARY
 DRIVE IMPROVEMENT





11/11/11
 11/11/11
 11/11/11
 11/11/11



THE CITY OF LOS ANGELES
 DEPARTMENT OF PUBLIC WORKS
 DIVISION OF STREETS AND SANITATION

NOTES:
 1. ALL DIMENSIONS ARE IN FEET AND INCHES.
 2. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

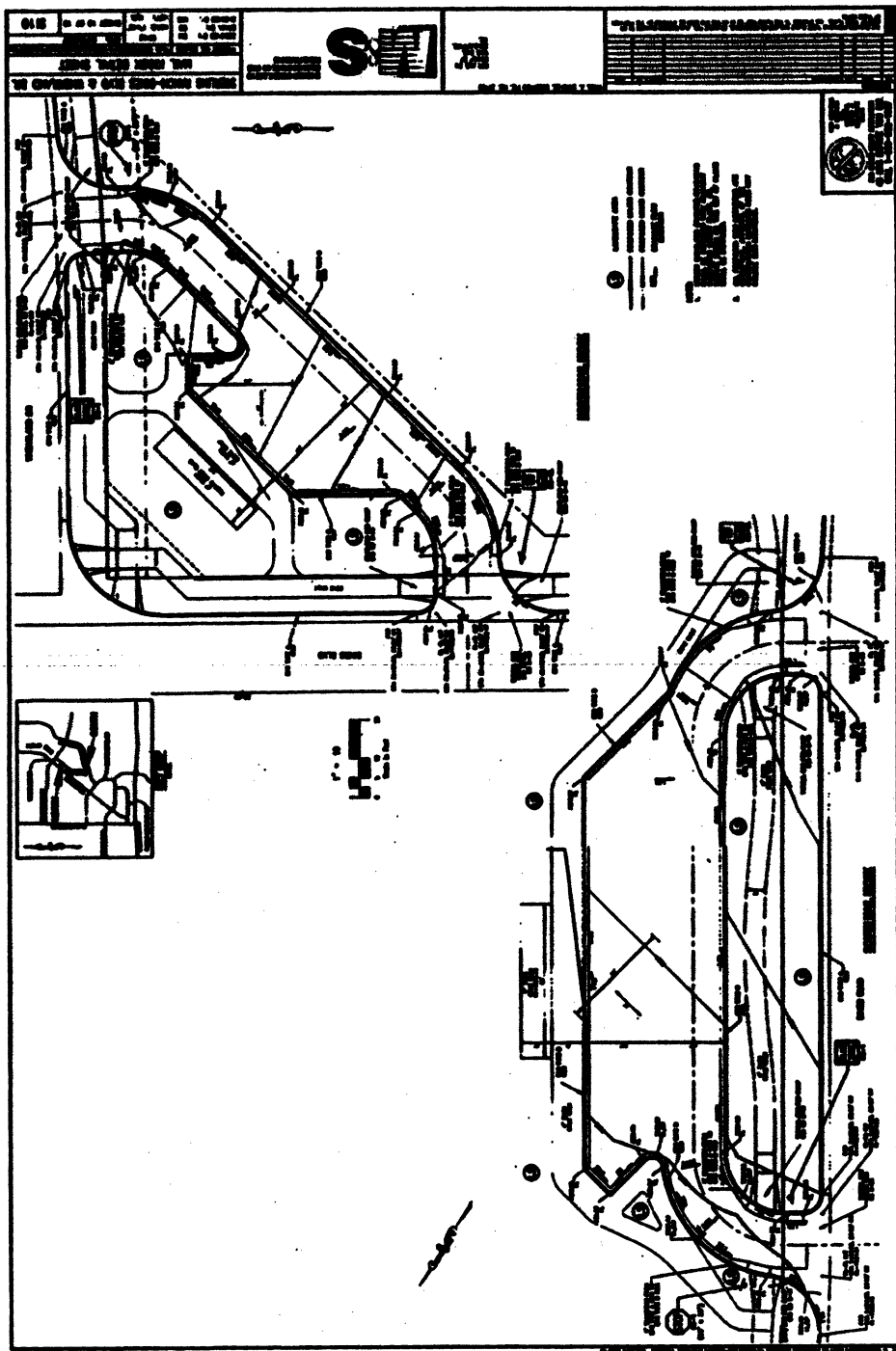


EXHIBIT A-3
SUBDIVISION IMPROVEMENTS AGREEMENT
Branding Iron at Sterling Ranch Filing No. 2

STERLING RANCH LIFT STATION AND FORCE MAIN

EL PASO COUNTY, COLORADO

APRIL 24, 2007












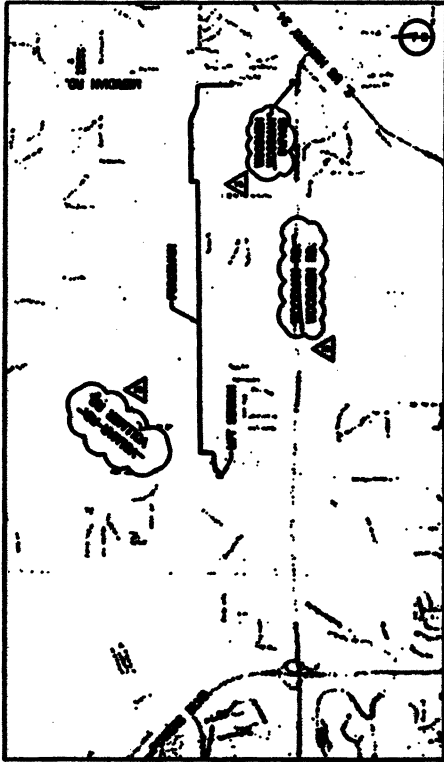










INDEX OF SHEETS

NO.	DESCRIPTION	DATE
1	GENERAL NOTES	04/24/07
2	CONCRETE	04/24/07
3	STEEL	04/24/07
4	MECHANICAL	04/24/07
5	ELECTRICAL	04/24/07
6	PLUMBING	04/24/07
7	PAVING	04/24/07
8	LANDSCAPE	04/24/07
9	UTILITY	04/24/07
10	FOUNDATION	04/24/07
11	ROOFING	04/24/07
12	CLADDING	04/24/07
13	MECHANICAL	04/24/07
14	ELECTRICAL	04/24/07
15	PLUMBING	04/24/07
16	PAVING	04/24/07
17	LANDSCAPE	04/24/07
18	UTILITY	04/24/07
19	FOUNDATION	04/24/07
20	ROOFING	04/24/07
21	CLADDING	04/24/07
22	MECHANICAL	04/24/07
23	ELECTRICAL	04/24/07
24	PLUMBING	04/24/07
25	PAVING	04/24/07
26	LANDSCAPE	04/24/07
27	UTILITY	04/24/07
28	FOUNDATION	04/24/07
29	ROOFING	04/24/07
30	CLADDING	04/24/07

303.971.0030 | P
303.971.0077 | F

12596 West Bayaud Avenue, Suite 330
Lakewood, Colorado 80228
LRA-Inc.com / tza-4water.com

LAMP RYNEARSON
& ASSOCIATES



12-11-77
12-11-77
12-11-77
12-11-77
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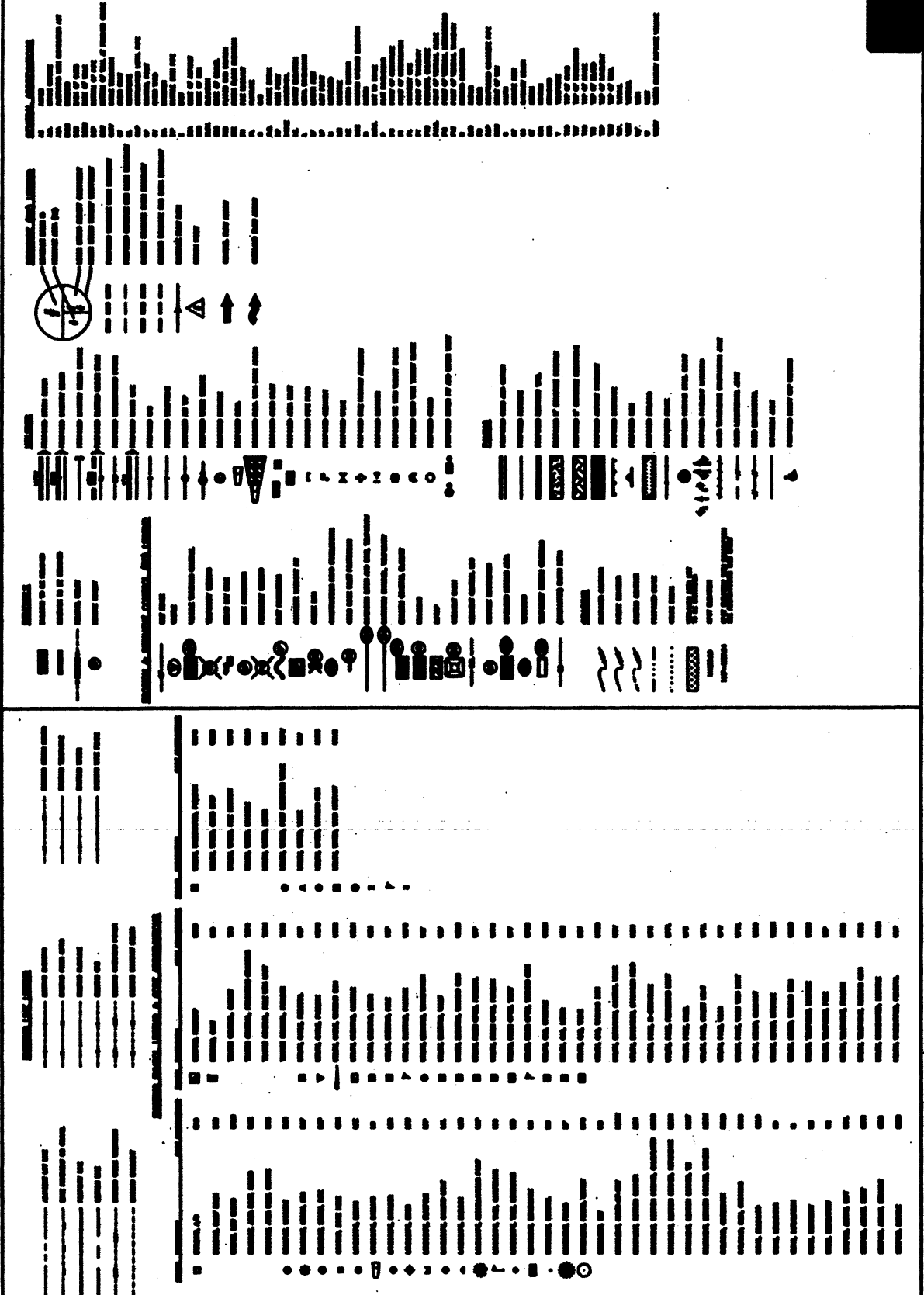
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LAMP RYNEARSON & ASSOCIATES

FORCE MAN
GENERAL NOTES

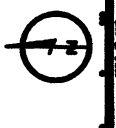
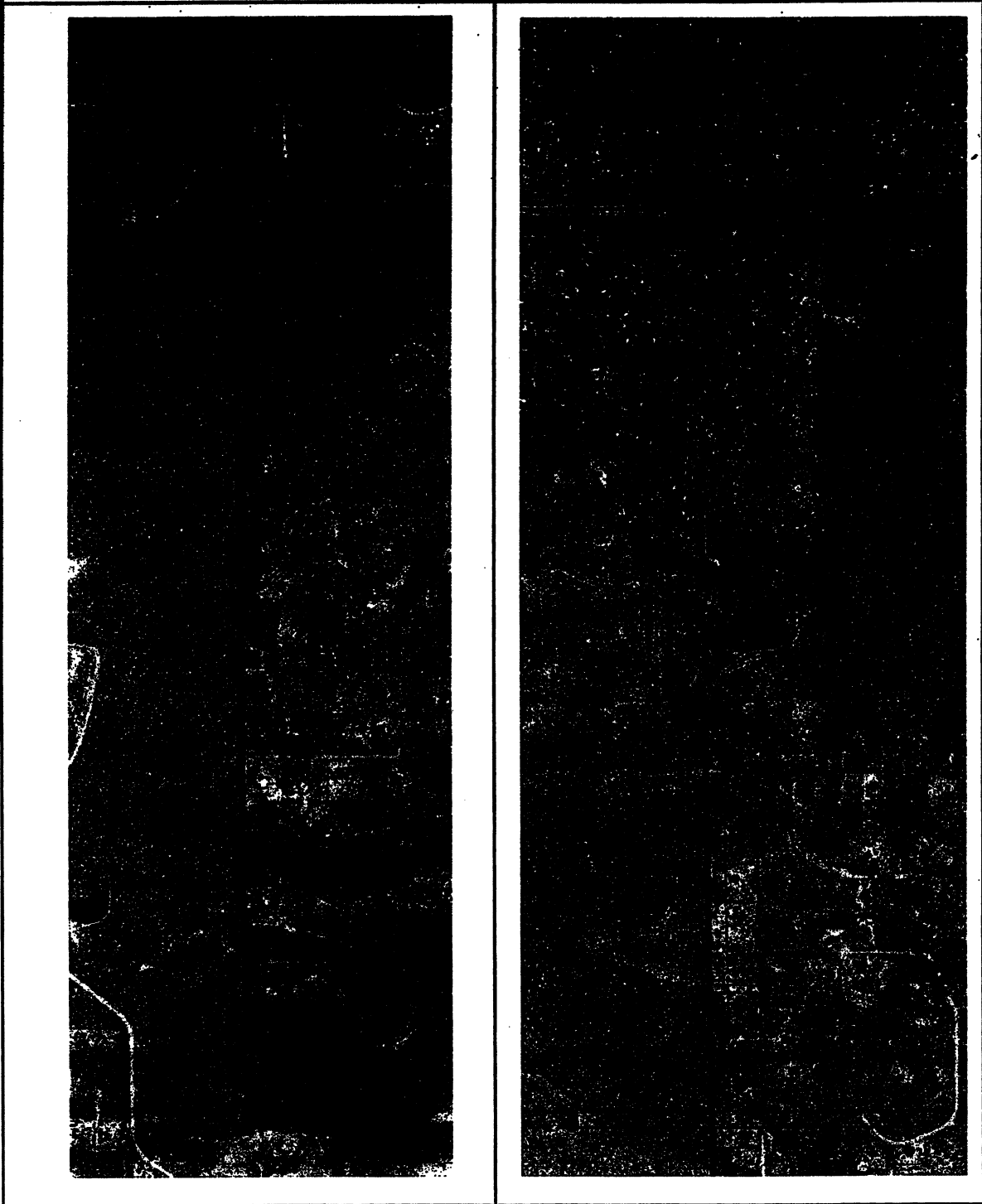


303

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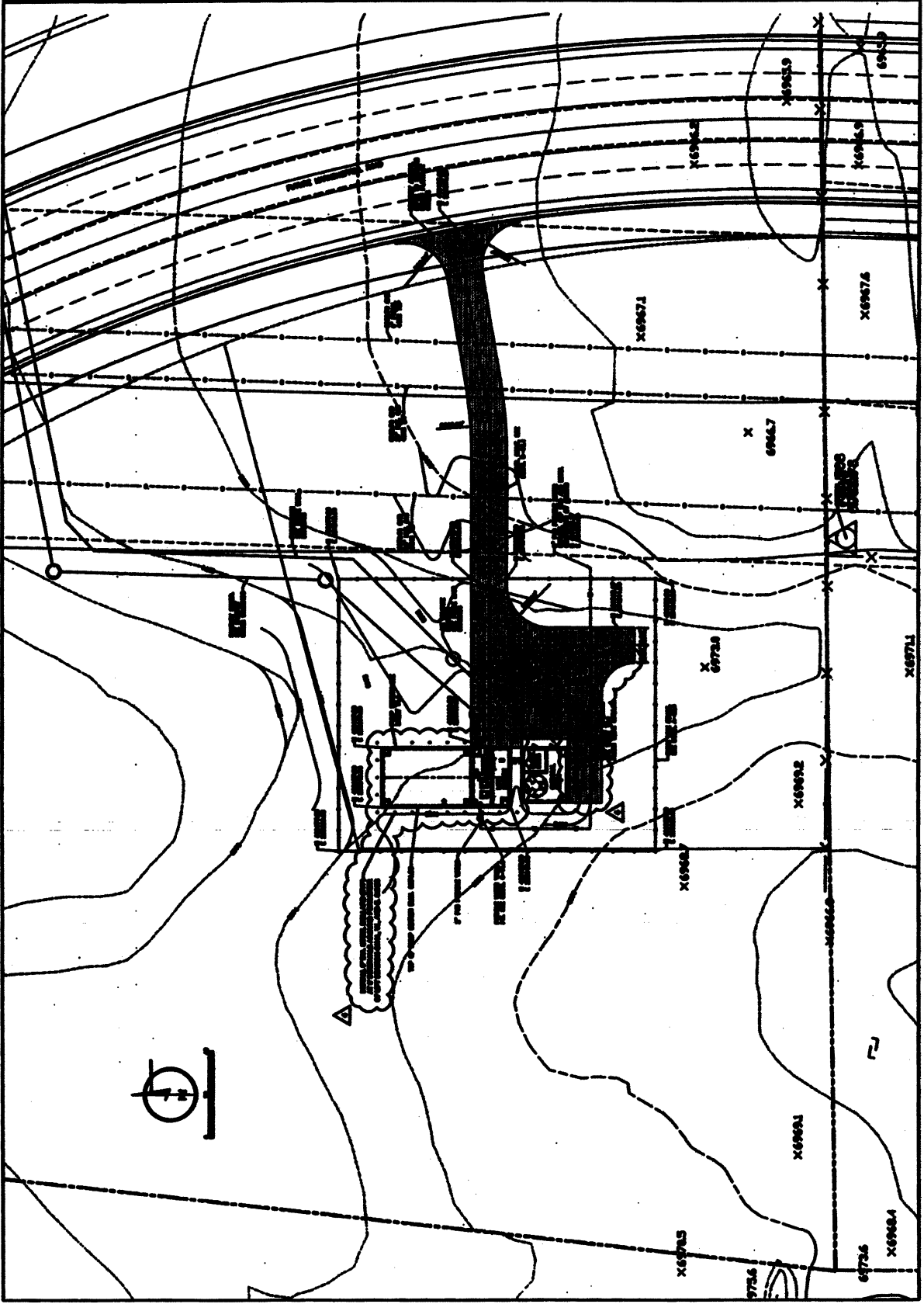


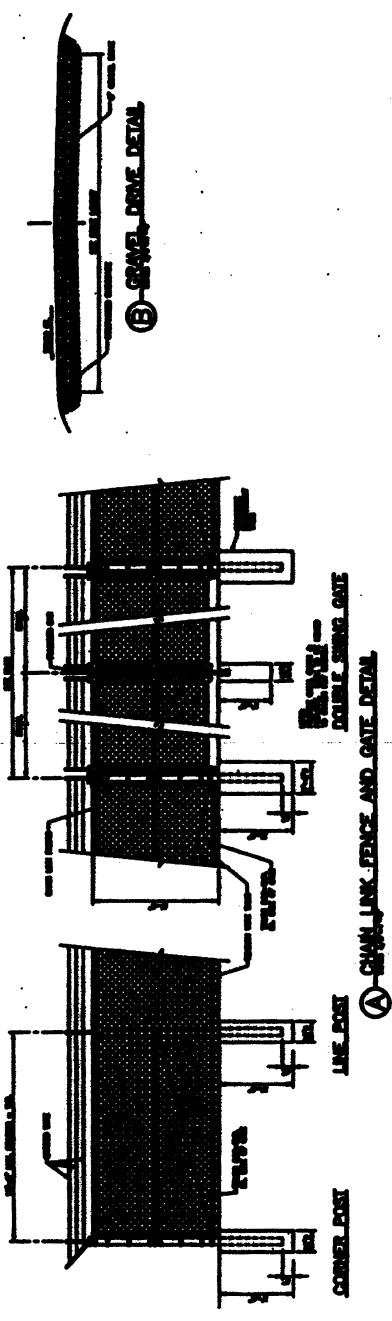
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 SCALE: AS SHOWN
 PROJECT NO. 01-0000-0000-0000
 DRAWING NO. 01-0000-0000-0000

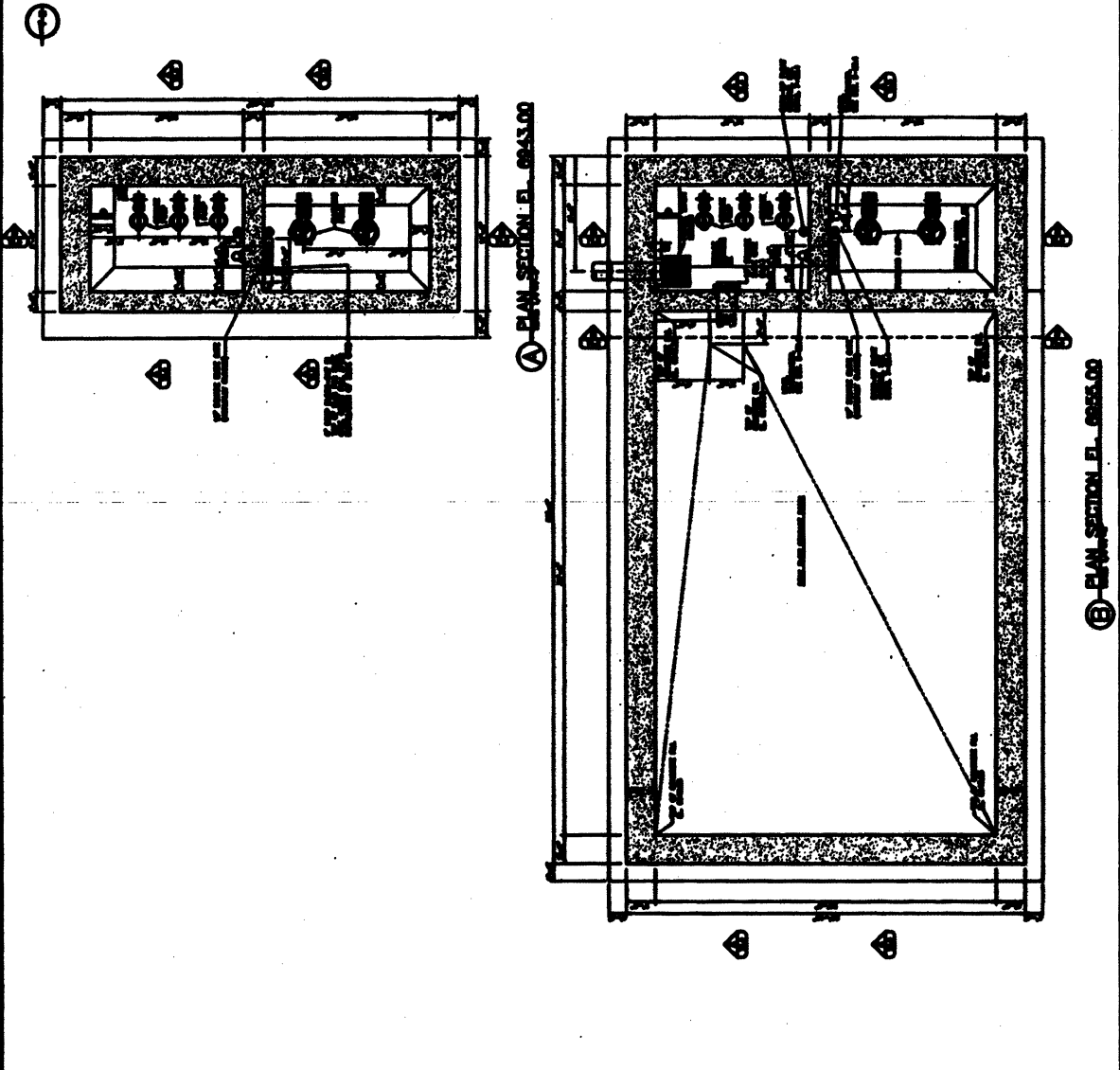


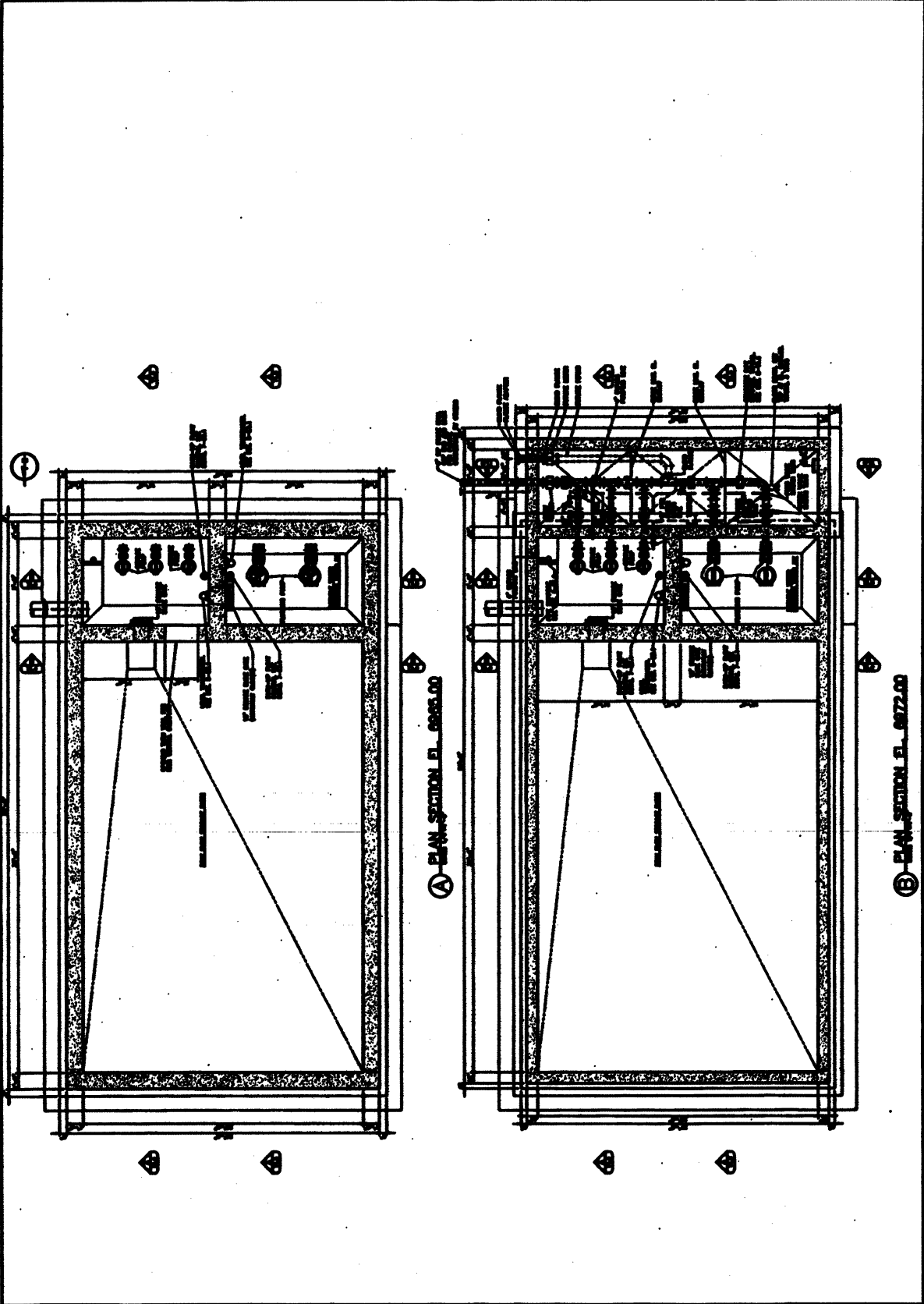
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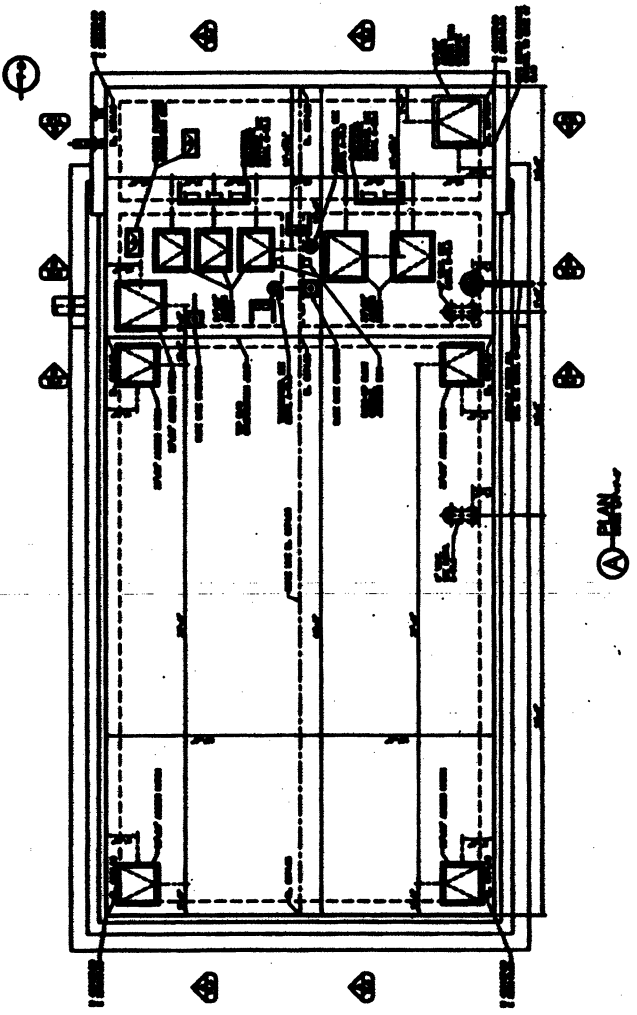


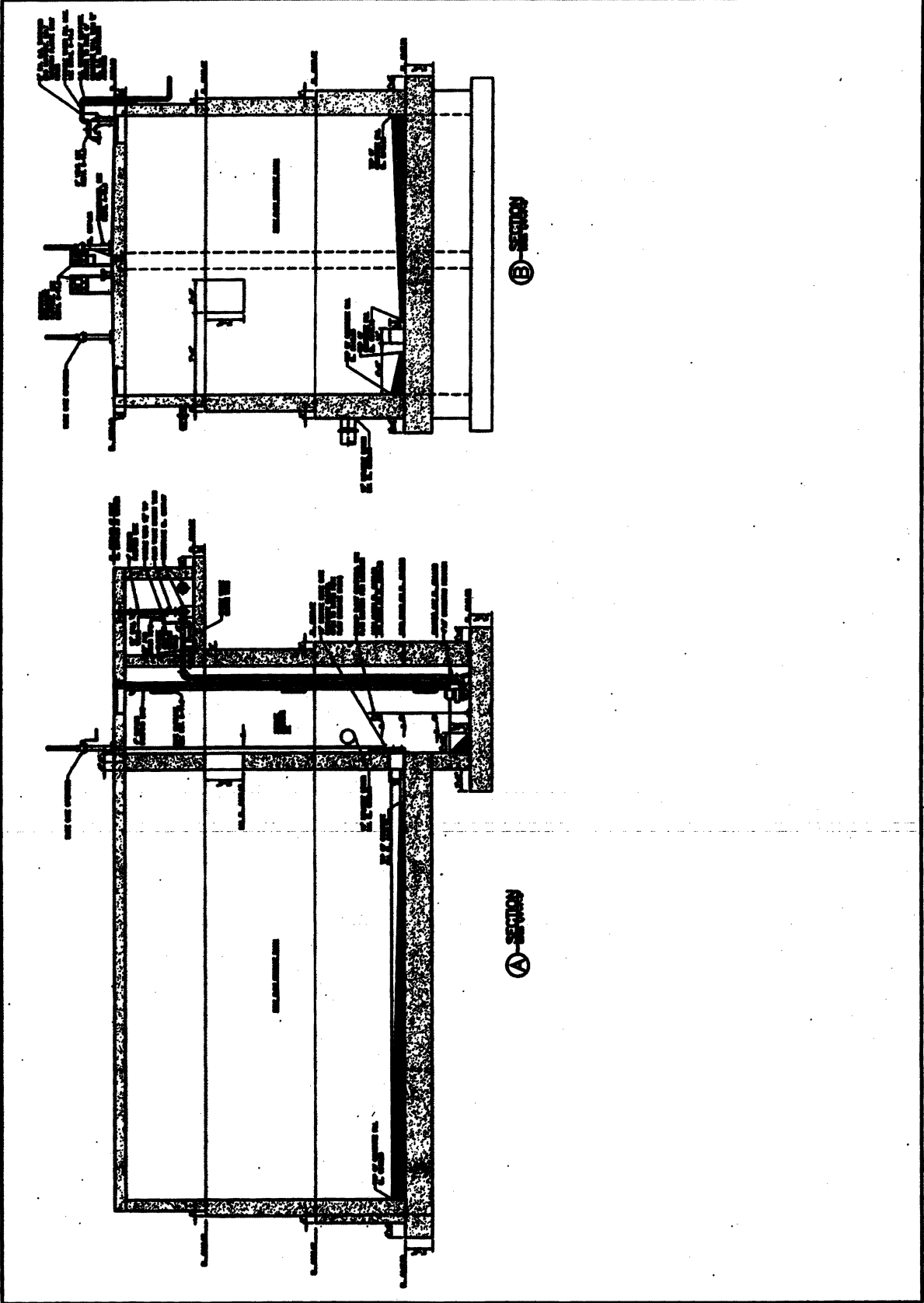


LAMP RYNEARSON & ASSOCIATES
 ARCHITECTS AND ENGINEERS
 1000 BROADWAY, SUITE 2000
 NEW YORK, N.Y. 10018







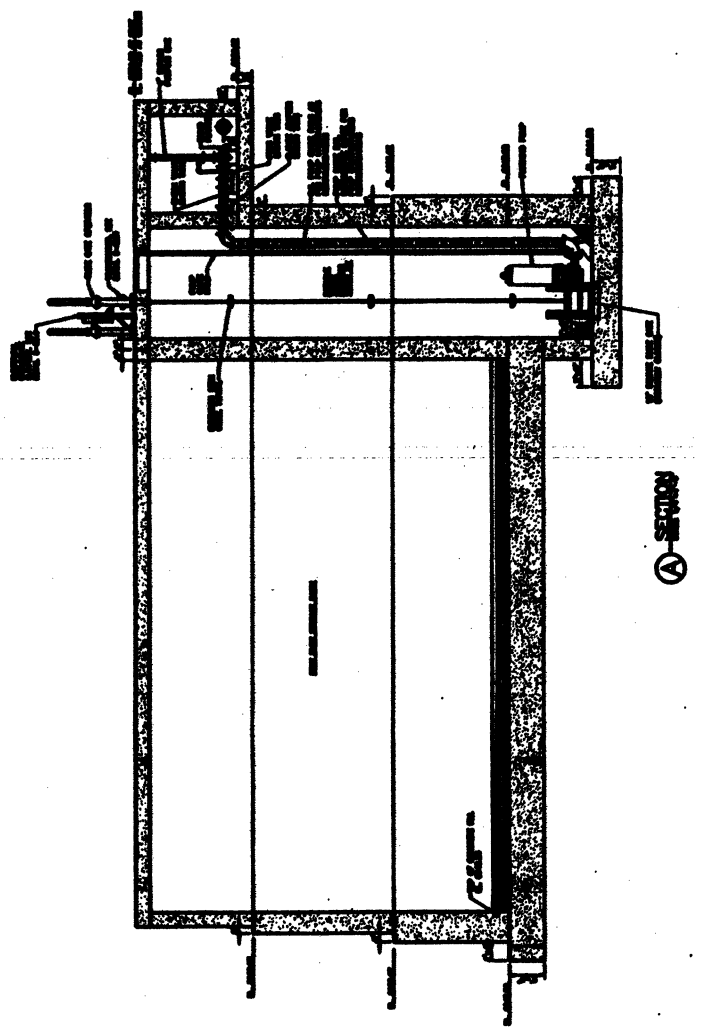
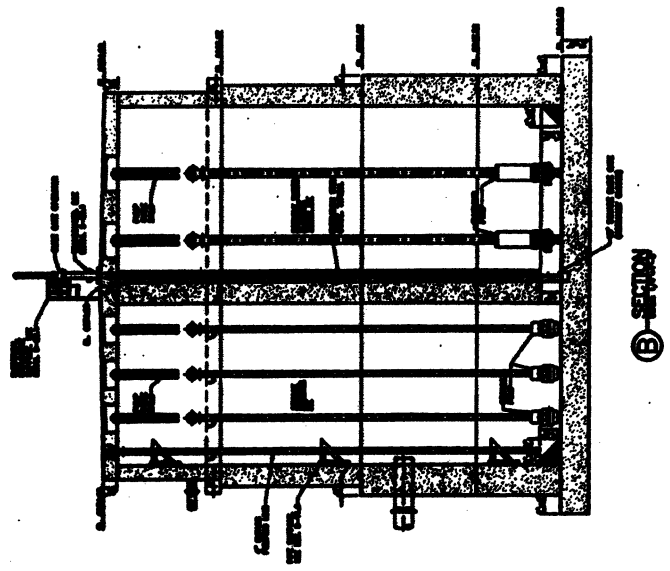
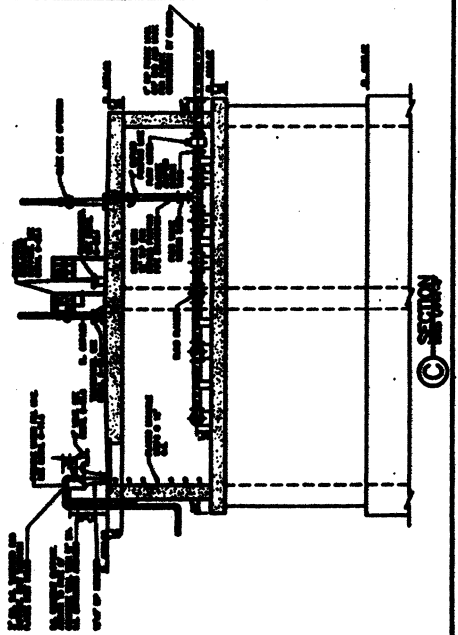




LIFT SECTION
SECTIONS

LAMP RYEARSON & ASSOCIATES
STEERING ROOM LIFT SECTION & FORCE MAIN
STEERING ROOM MEMORANDUM DISTRICT NO. 1

NO.	REVISION



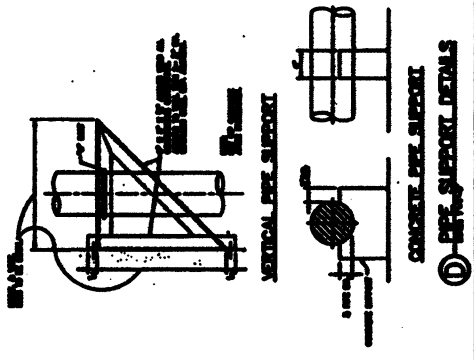
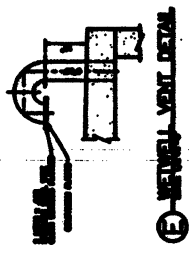
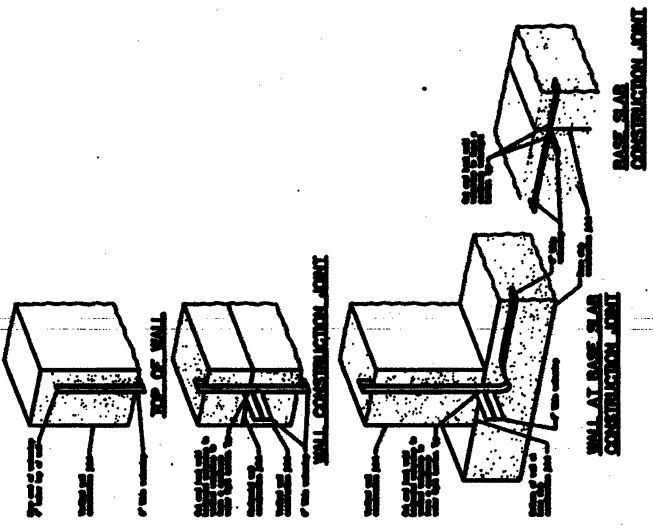
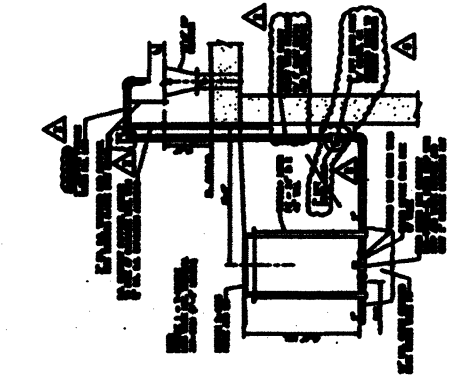
SECTION C

SECTION B

SECTION A



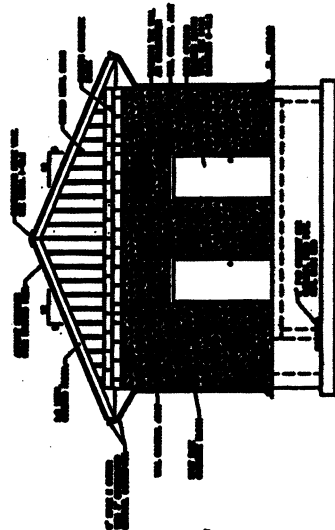
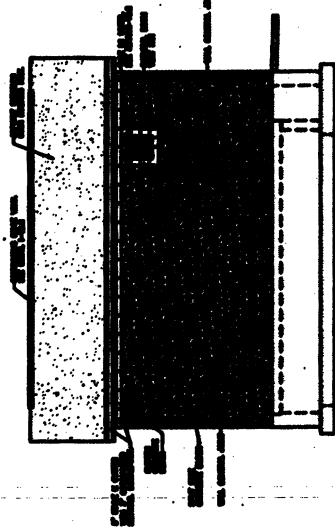
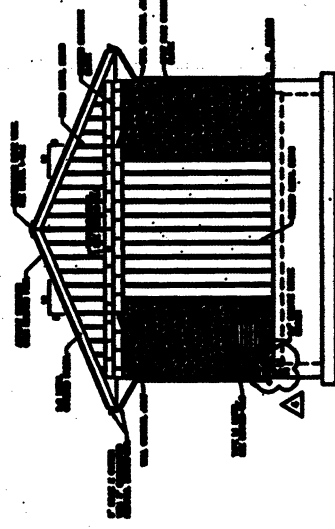
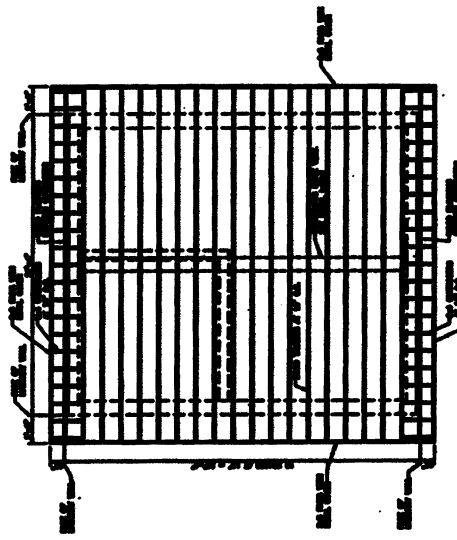
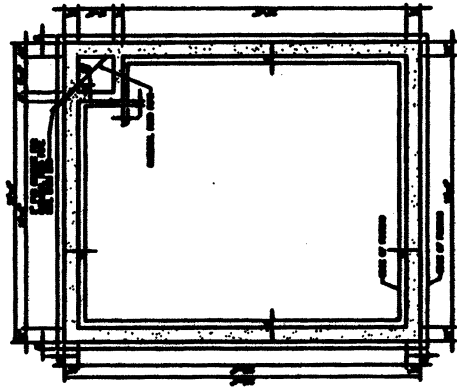
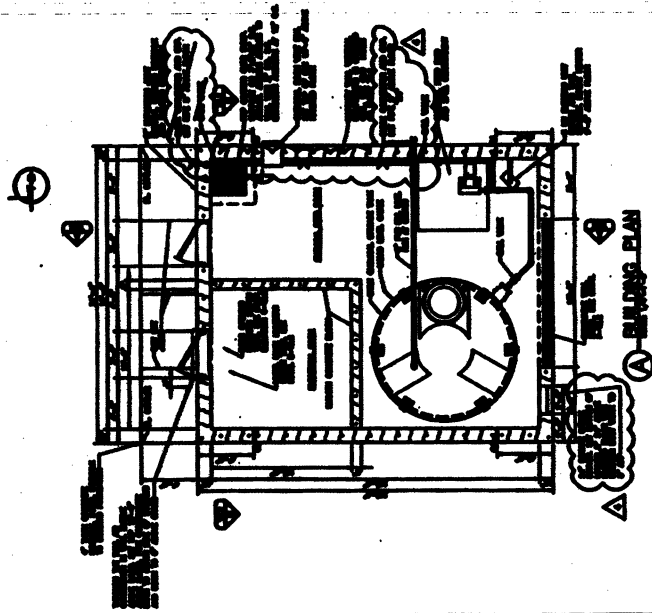
NO.	DESCRIPTION	DATE



(B) INTERIOR DETAILS

(E) VENTILATION DETAIL

(D) PIPE SUPPORT DETAILS

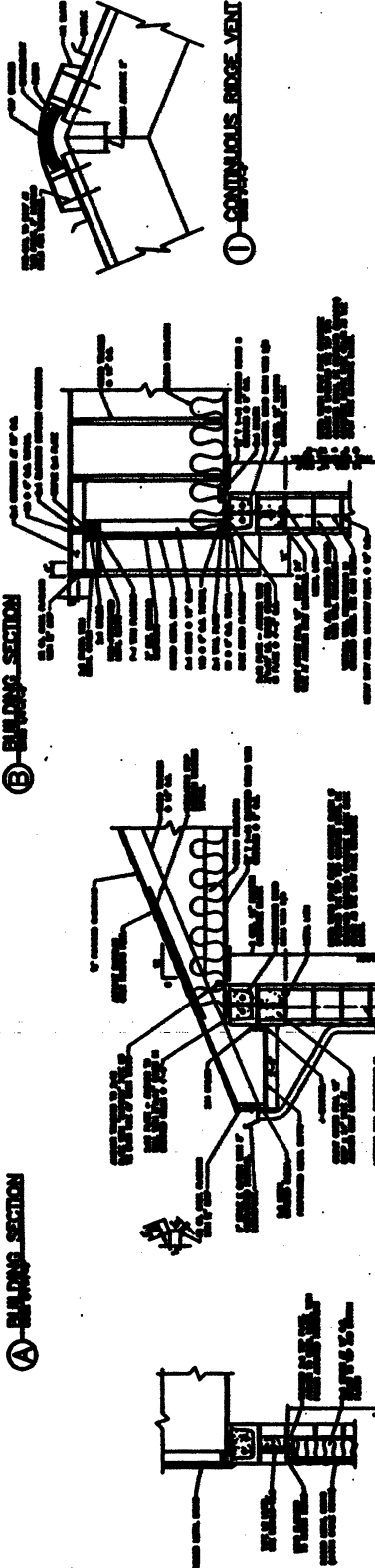
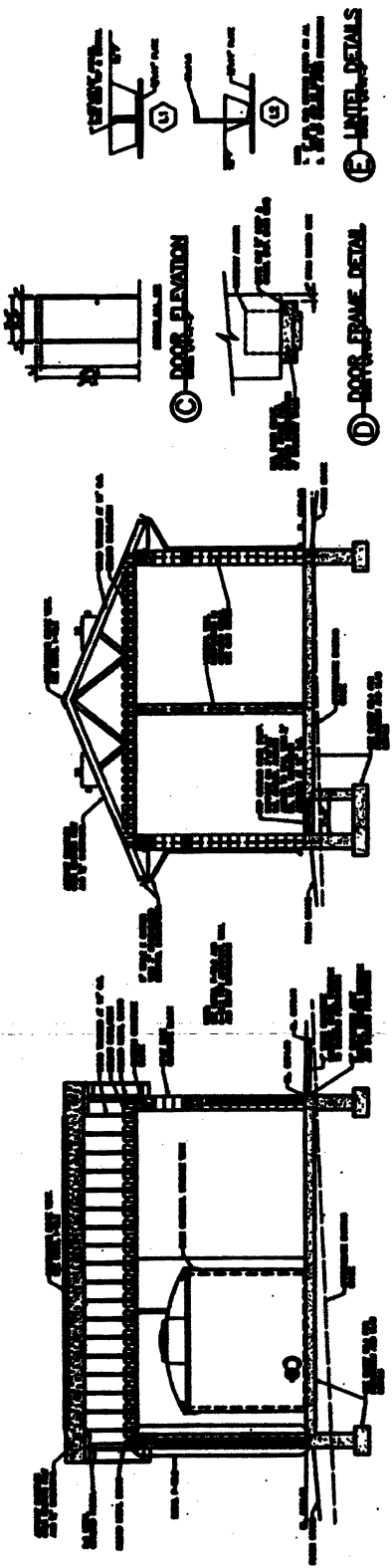




CHECK, AND ELECTRICAL BUILDING SECTIONS AND DETAILS

LAMP RYNEARSON
& ASSOCIATES
STERLING RAVEN LEFT SECTION & FORCE MAIN
STERLING RAVEN MEMORIAL DISTRICT NO. 1

NO.	DESCRIPTION
1	GENERAL CONTRACTOR
2	ARCHITECT
3	ELECTRICAL ENGINEER
4	MUNICIPALITY
5	STATE
6	FEDERAL



THE ROOF SHALL BE CONSTRUCTED AS FOLLOWS: SHEATHING SHALL BE 1/2\"

BATTENS SHALL BE 1\"

RAFTERS SHALL BE 2\"

INSULATION SHALL BE 1\"

FINISH SHALL BE 1\"

ALL MATERIALS SHALL BE AS SHOWN OR APPROVED BY THE ARCHITECT.



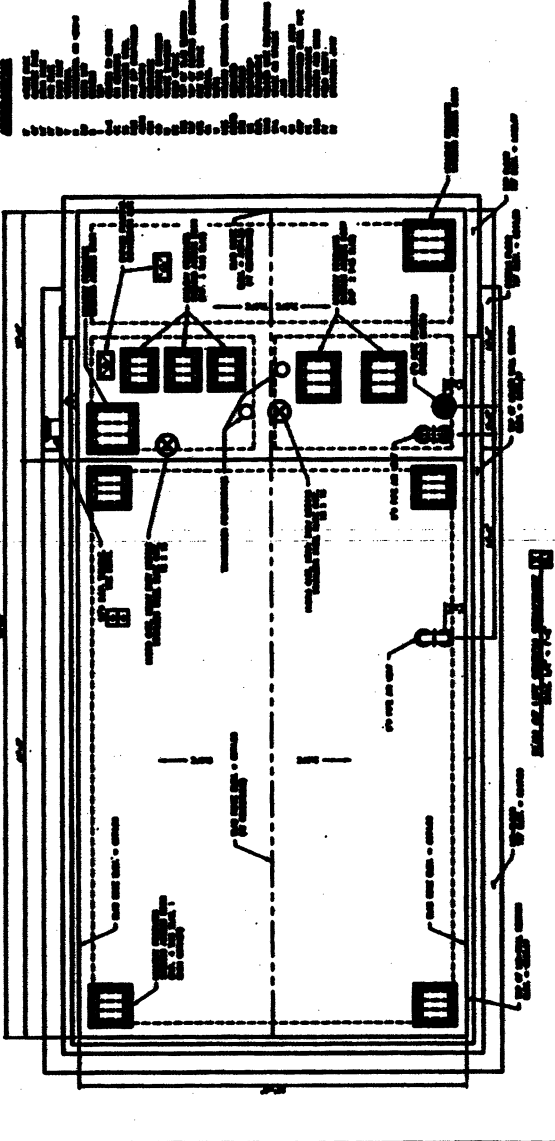
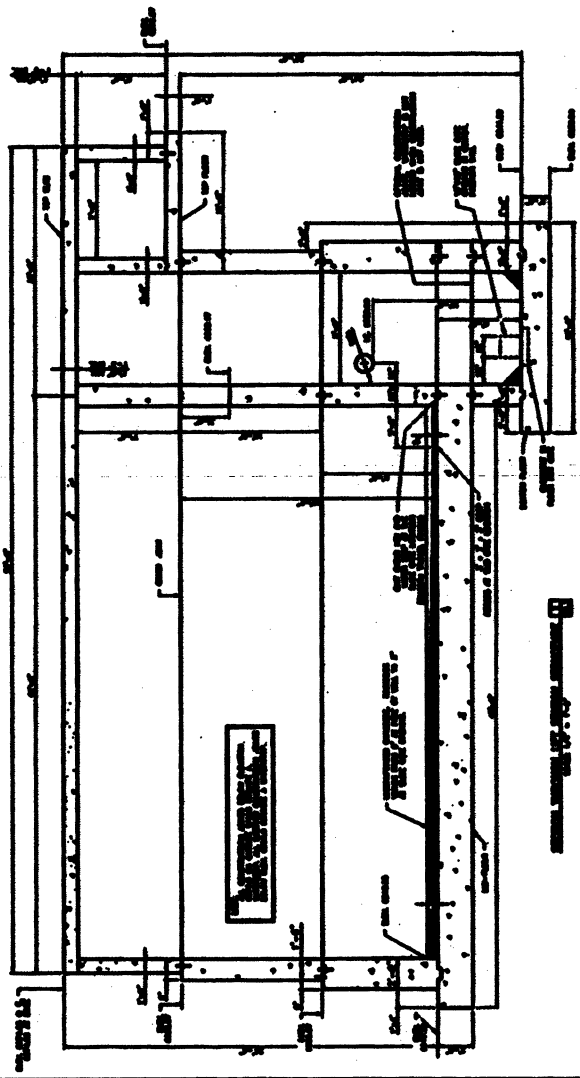
LAMP RYHEARSON & ASSOCIATES

STEARNS RANCH LFT SECTION & POWER MAIN
STEARNS RANCH REMEDIATION DISTRICT NO. 1

THIS SECTION AND PLAN SHOWS THE LAYOUT OF THE LFT SECTION AND POWER MAIN FOR THE STEARNS RANCH REMEDIATION DISTRICT NO. 1. THE LFT SECTION IS A RECTANGULAR STRUCTURE WITH A LENGTH OF 100 FEET AND A WIDTH OF 20 FEET. THE POWER MAIN IS A RECTANGULAR STRUCTURE WITH A LENGTH OF 100 FEET AND A WIDTH OF 10 FEET. THE LFT SECTION IS LOCATED TO THE NORTH OF THE POWER MAIN. THE LFT SECTION IS DIVIDED INTO TWO MAIN AREAS BY A CENTRAL CORRIDOR. THE NORTH AREA CONTAINS THE LFT SECTION EQUIPMENT AND THE SOUTH AREA CONTAINS THE POWER MAIN EQUIPMENT. THE EQUIPMENT IS LOCATED AS FOLLOWS:

- 1. LFT SECTION EQUIPMENT: TWO UNITS, EACH 10 FEET LONG AND 10 FEET WIDE, LOCATED IN THE NORTH AREA.
- 2. POWER MAIN EQUIPMENT: TWO UNITS, EACH 10 FEET LONG AND 10 FEET WIDE, LOCATED IN THE SOUTH AREA.
- 3. CENTRAL CORRIDOR: A CORRIDOR 10 FEET WIDE, LOCATED BETWEEN THE NORTH AND SOUTH AREAS.
- 4. ACCESS DOORS: TWO DOORS, EACH 10 FEET WIDE, LOCATED ON THE WEST WALL OF THE LFT SECTION.
- 5. ELECTRICAL PANELS: TWO PANELS, EACH 10 FEET WIDE, LOCATED ON THE EAST WALL OF THE LFT SECTION.
- 6. ELECTRICAL PANELS: TWO PANELS, EACH 10 FEET WIDE, LOCATED ON THE EAST WALL OF THE POWER MAIN.
- 7. ELECTRICAL PANELS: TWO PANELS, EACH 10 FEET WIDE, LOCATED ON THE WEST WALL OF THE POWER MAIN.

THE LFT SECTION AND POWER MAIN ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE STEARNS RANCH REMEDIATION DISTRICT NO. 1. THE LFT SECTION AND POWER MAIN ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE STEARNS RANCH REMEDIATION DISTRICT NO. 1.



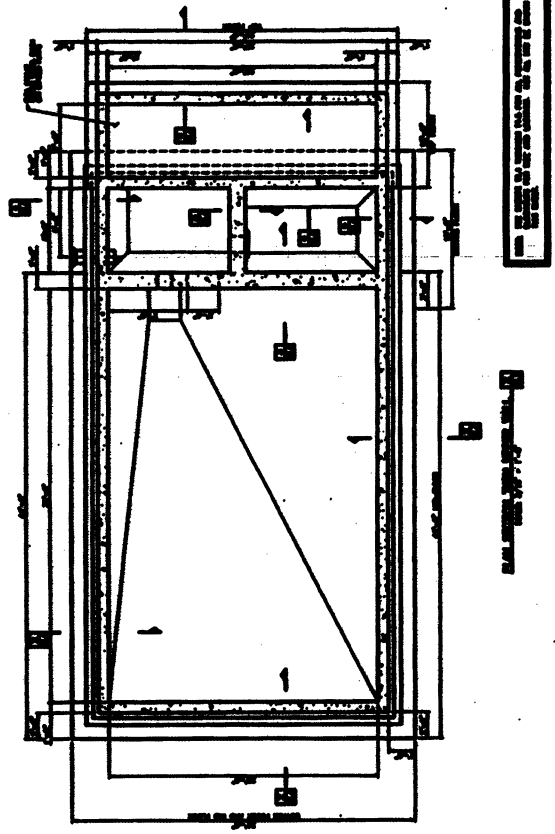
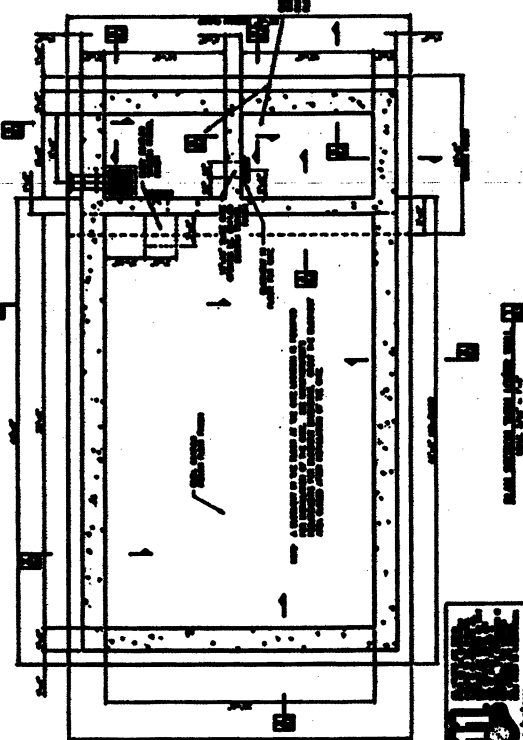
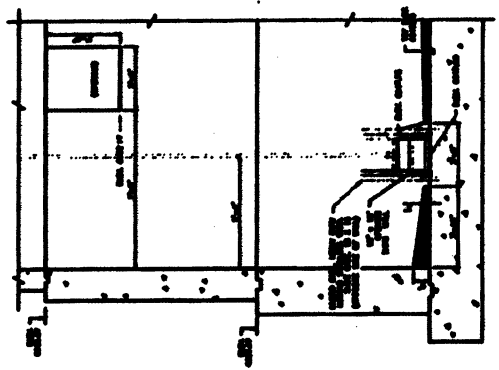
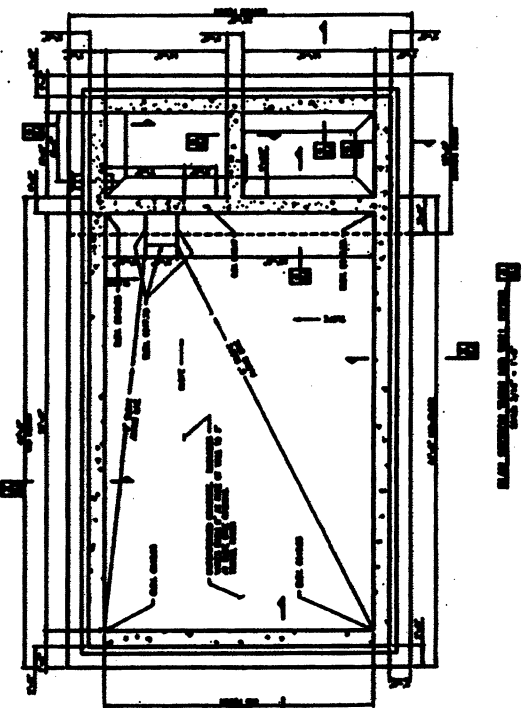


718

LIFT STATION
PLAN SECTION

LAMP RYNEARSON & ASSOCIATES
ENGINEERING ARCHITECTURE INTERIOR DESIGN
1000 BROADWAY, SUITE 2000
NEW YORK, NY 10018
TEL: (212) 512-1000
WWW.LAMP-RA.COM

NO.	DATE	DESCRIPTION

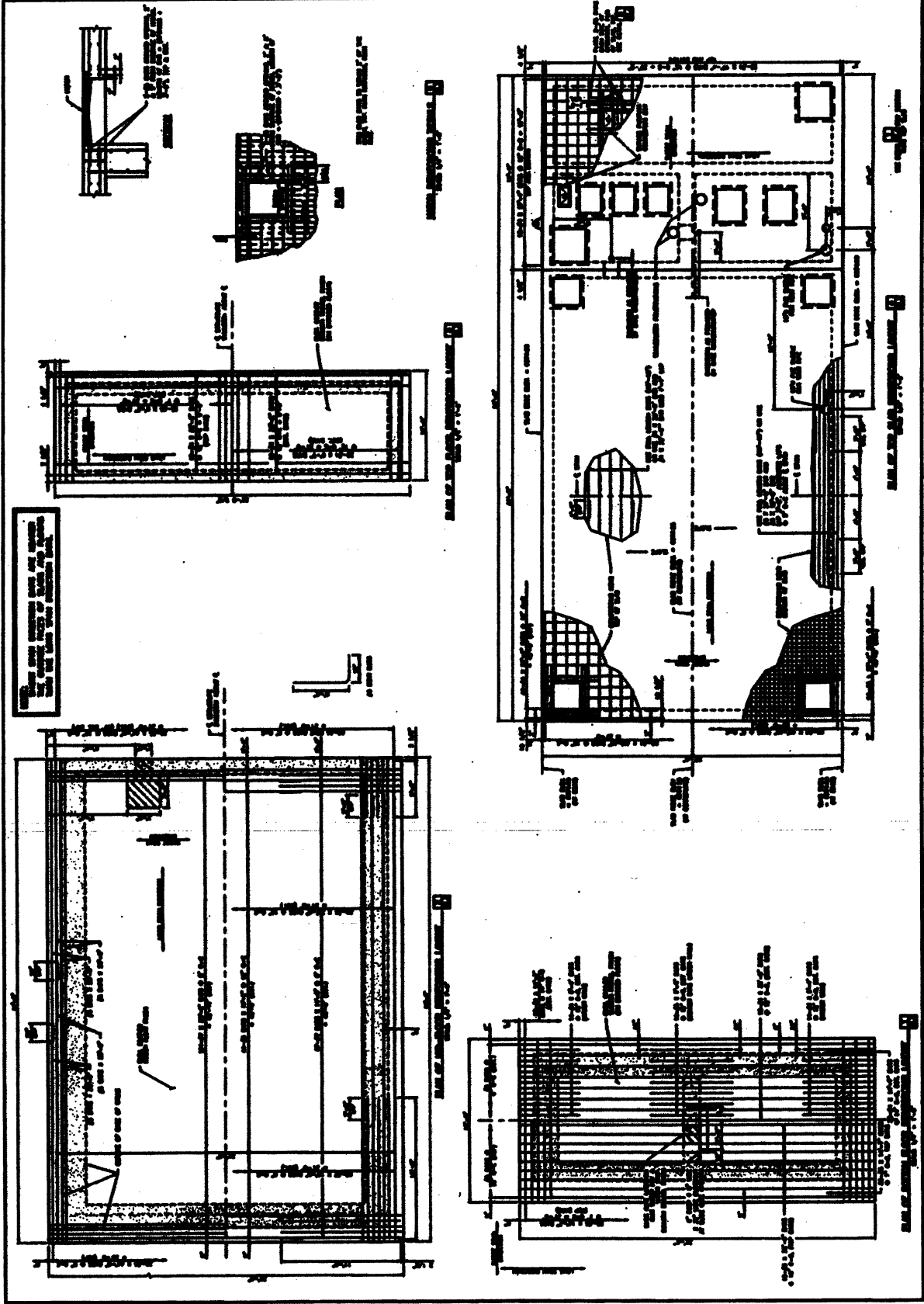


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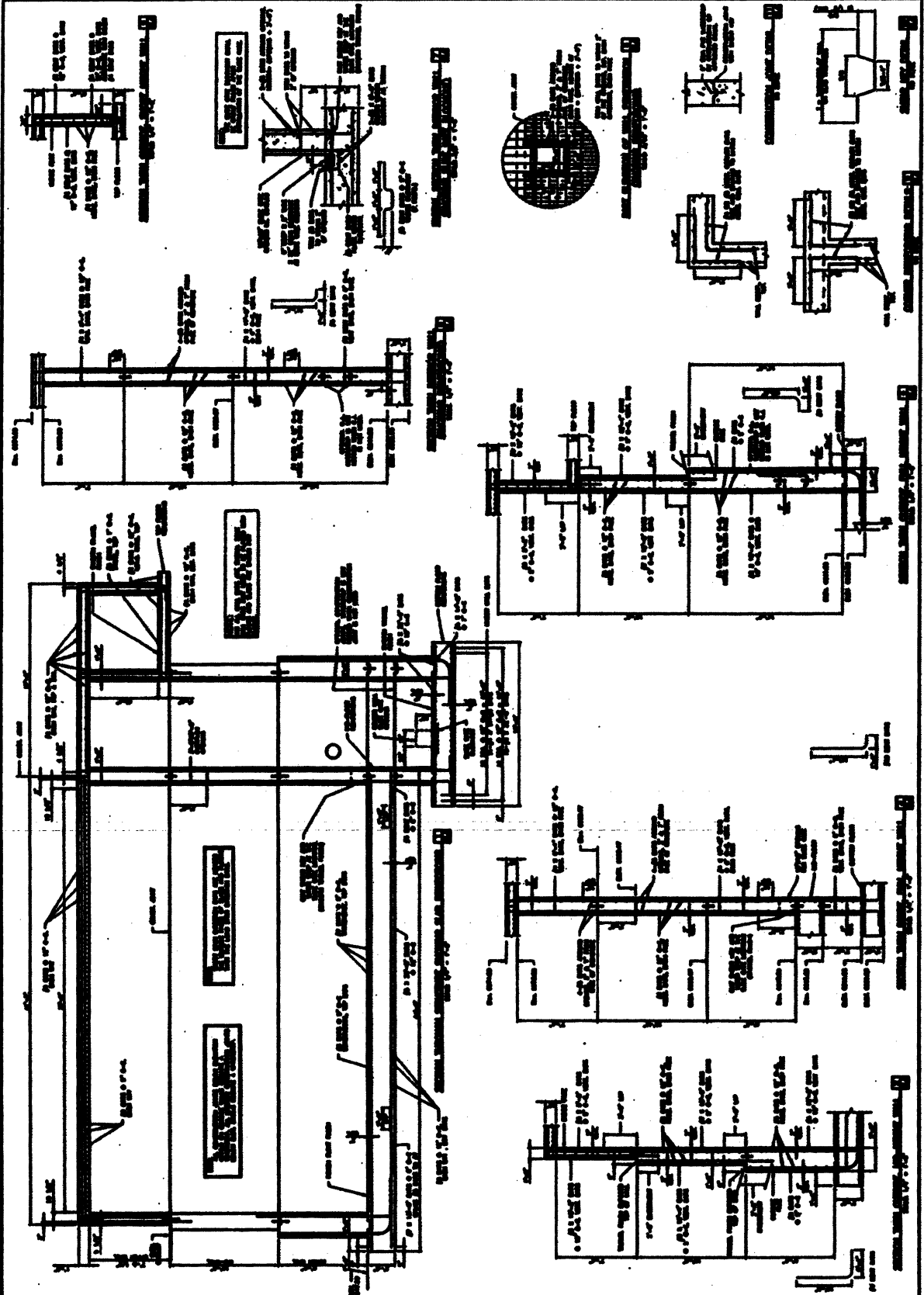
LIFT STATION
 FLOOR & SLAB REVISIONS

LAMP RYERSON & ASSOCIATES
 ARCHITECTS
 1515 BROADWAY, SUITE 1000
 NEW YORK, N.Y. 10019
 TEL: (212) 697-1000
 FAX: (212) 697-1001
 WWW: WWW.LAMP-RYERSON.COM

STERLING MANOR LIFT STATION & FORCE MAIN
 STERLING MANOR MEMORIAL DISTRICT NO. 1
 1515 BROADWAY, SUITE 1000
 NEW YORK, N.Y. 10019
 TEL: (212) 697-1000
 FAX: (212) 697-1001
 WWW: WWW.LAMP-RYERSON.COM



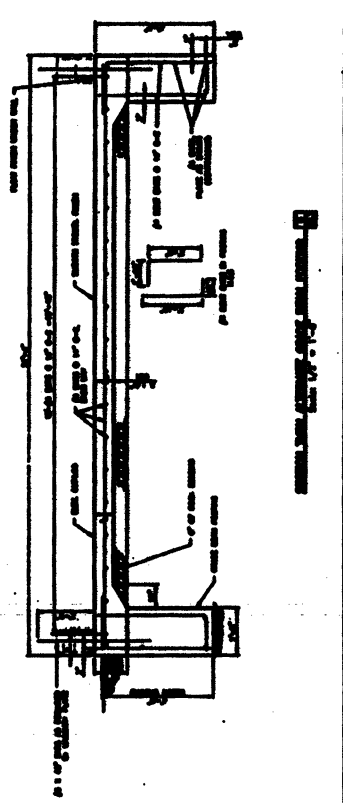
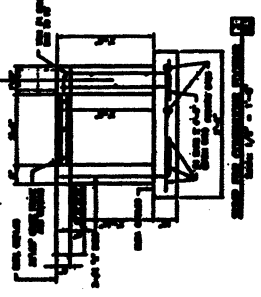
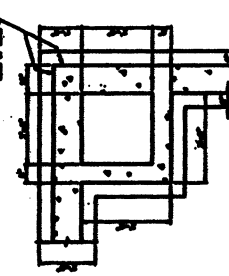
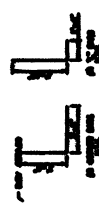
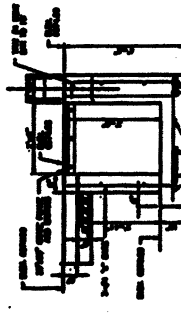
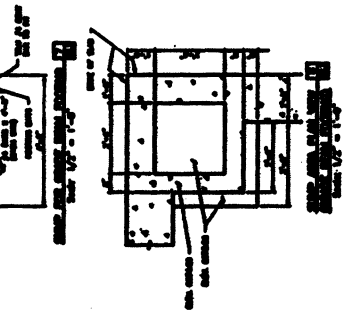
LIFT STATION
 WALL REINFORCING & DETAILS



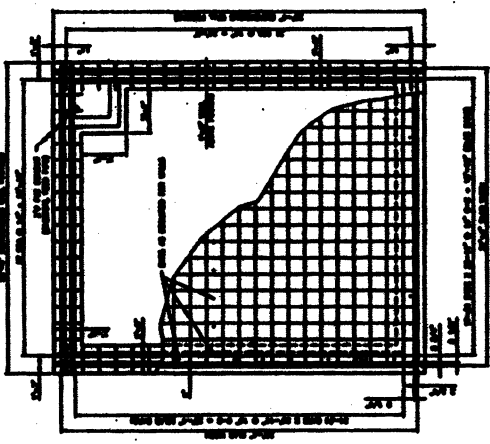
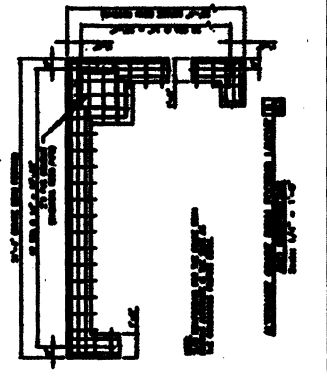
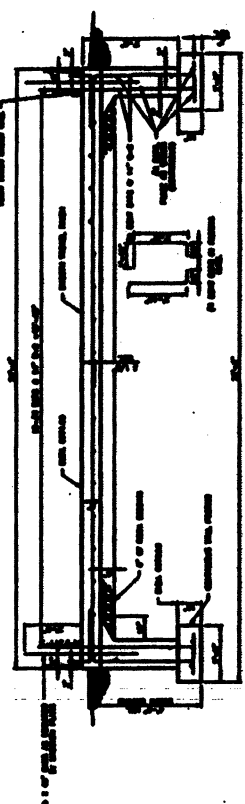


CHEMICAL AND ELECTRONIC BUILDINGS
SLAB AND FOUNDATION DETAILS

LAMP RYNEARSON & ASSOCIATES
STEERING RANCH LIFT STATION & POND MAIN
STEERING RANCH METROPOLITAN DISTRICT NO. 1



1. THE SLAB SHALL BE CAST IN PLACE AND SHALL BE SUPPORTED BY THE FOUNDATION WALLS AND PIERCEMENTS. THE SLAB SHALL BE CAST WITH A MINIMUM OF 4" CONCRETE AND SHALL BE REINFORCED WITH #4 BARS AT 12" O.C. IN BOTH DIRECTIONS. THE REINFORCEMENT SHALL BE PLACED AS SHOWN IN THE DETAILS AND SHALL BE TIED TOGETHER AT ALL INTERSECTIONS. THE SLAB SHALL BE CAST WITH A MINIMUM OF 4" CONCRETE AND SHALL BE REINFORCED WITH #4 BARS AT 12" O.C. IN BOTH DIRECTIONS. THE REINFORCEMENT SHALL BE PLACED AS SHOWN IN THE DETAILS AND SHALL BE TIED TOGETHER AT ALL INTERSECTIONS.



STIRLING RANCH LIFT STATION & FORCE MAIN
STIRLING RANCH WETWELL DISTRICT NO. 1

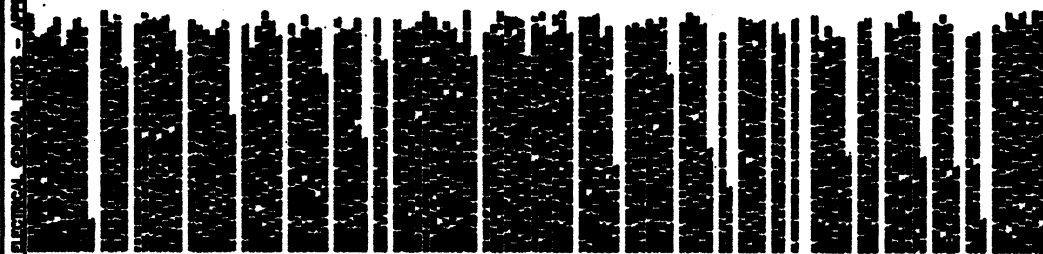
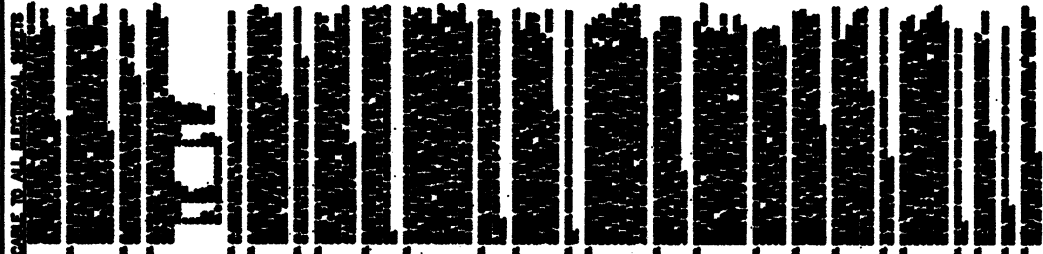
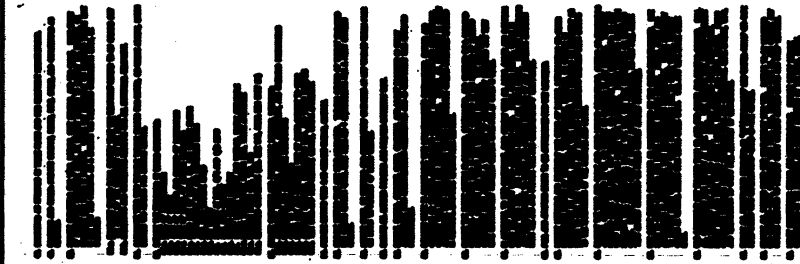
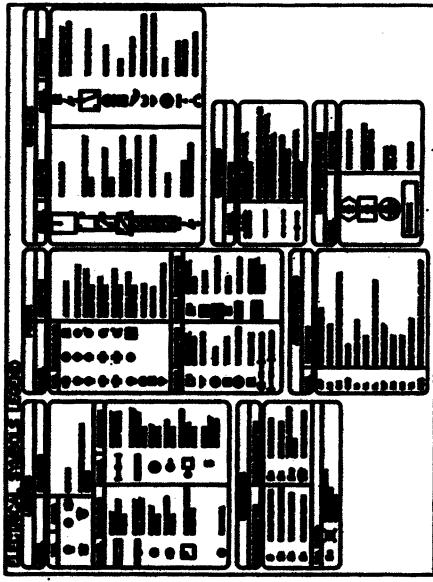
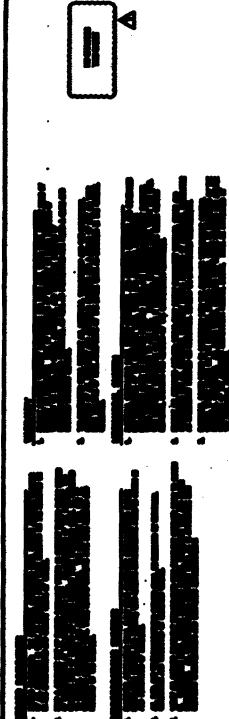
LAMP RYNEARSON & ASSOCIATES
ENGINEERS ARCHITECTS AND PLANNERS
1000 WEST 10TH AVENUE, SUITE 100
DENVER, COLORADO 80202
TEL: 303.733.1100 FAX: 303.733.1101

LEFT STATION
LEGEND AND GENERAL NOTES

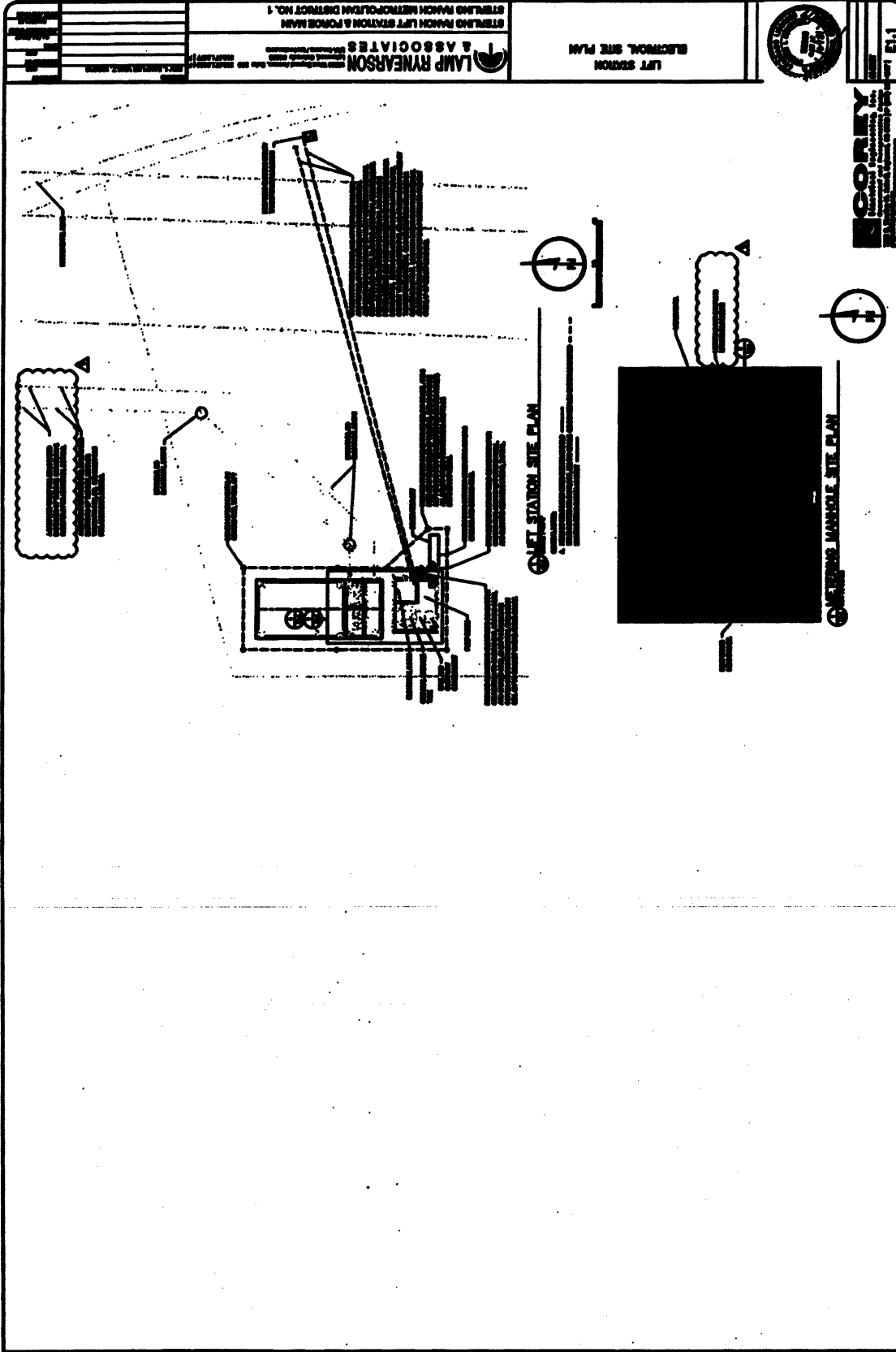


Sheet No. 1

MOORE
INCORPORATED
1000 WEST 10TH AVENUE, SUITE 100
DENVER, COLORADO 80202
TEL: 303.733.1100 FAX: 303.733.1101



LEGEND - GENERAL NOTES - REFER TO ALL SUBMITTALS



DATE	
BY	
CHECKED	
APPROVED	
SCALE	

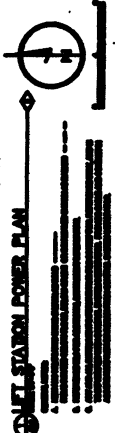
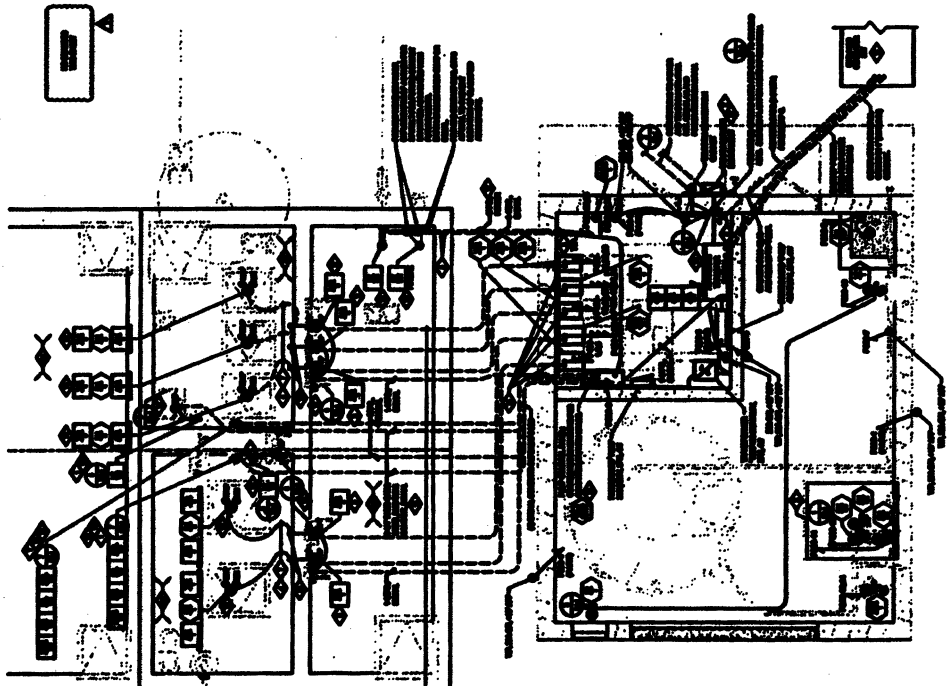
STERLING MANHOLE NETWORK/DISTRICT NO. 1
 LIFT STATION & FORCE MAIN
LAMP RYBARSON & ASSOCIATES
 ENGINEERS, ARCHITECTS & PLANNERS
 1000 WEST 10TH AVENUE, SUITE 200
 DENVER, COLORADO 80202
 PHONE: 303.733.1100
 FAX: 303.733.1101
 WWW.LAMP-RYBARSON.COM

LIFT STATION
 ELEVATION, SITE PLAN



NOORLY
 ENGINEERS, ARCHITECTS & PLANNERS
 1000 WEST 10TH AVENUE, SUITE 200
 DENVER, COLORADO 80202
 PHONE: 303.733.1100
 FAX: 303.733.1101
 WWW.NOORLY.COM

51.1



SPECIAL NOTES

1.	ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFAS).
2.	ALL ELECTRICAL WORK SHALL BE SUBJECT TO THE APPROVAL OF THE METROPOLITAN DISTRICT ENGINEER.
3.	ALL ELECTRICAL WORK SHALL BE SUBJECT TO THE APPROVAL OF THE METROPOLITAN DISTRICT ENGINEER.
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LAMP RYNEARSON & ASSOCIATES
LIGHTING PLAN

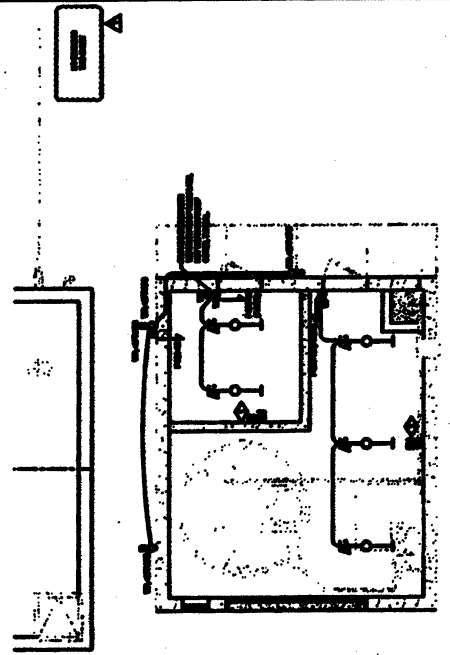
STIRLING RANCH LEFT STATION & FORCE MAIN
NEW AND EXISTING METEOROLOGICAL DISTRICT NO. 1

MOOREY
A Division of
S&B Engineering & Construction, Inc.
10000 West 10th Avenue, Suite 100
Denver, Colorado 80202
Tel: 303.750.0000

NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	1000	1	EA	1000	1000
2	2000	2	EA	2000	4000
3	3000	3	EA	3000	9000
4	4000	4	EA	4000	16000
5	5000	5	EA	5000	25000
6	6000	6	EA	6000	36000
7	7000	7	EA	7000	49000
8	8000	8	EA	8000	64000
9	9000	9	EA	9000	81000
10	10000	10	EA	10000	100000



LEFT STATION LIGHTING PLAN



GENERAL NOTES:

1. All lighting fixtures shall be installed in accordance with the manufacturer's instructions.
2. All lighting fixtures shall be installed in accordance with the National Electrical Code (NEC).
3. All lighting fixtures shall be installed in accordance with the International Building Code (IBC).
4. All lighting fixtures shall be installed in accordance with the International Fire Code (IFC).
5. All lighting fixtures shall be installed in accordance with the International Energy Conservation Code (IECC).
6. All lighting fixtures shall be installed in accordance with the International Green Building Code (IGBC).
7. All lighting fixtures shall be installed in accordance with the International Plumbing Code (IPC).
8. All lighting fixtures shall be installed in accordance with the International Mechanical Code (IMC).
9. All lighting fixtures shall be installed in accordance with the International Fire and Code Book (IFCB).
10. All lighting fixtures shall be installed in accordance with the International Building Code (IBC).

GENERAL NOTES:

1. All lighting fixtures shall be installed in accordance with the manufacturer's instructions.
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10. All lighting fixtures shall be installed in accordance with the International Building Code (IBC).



Lighting Compliance

Professional Seal

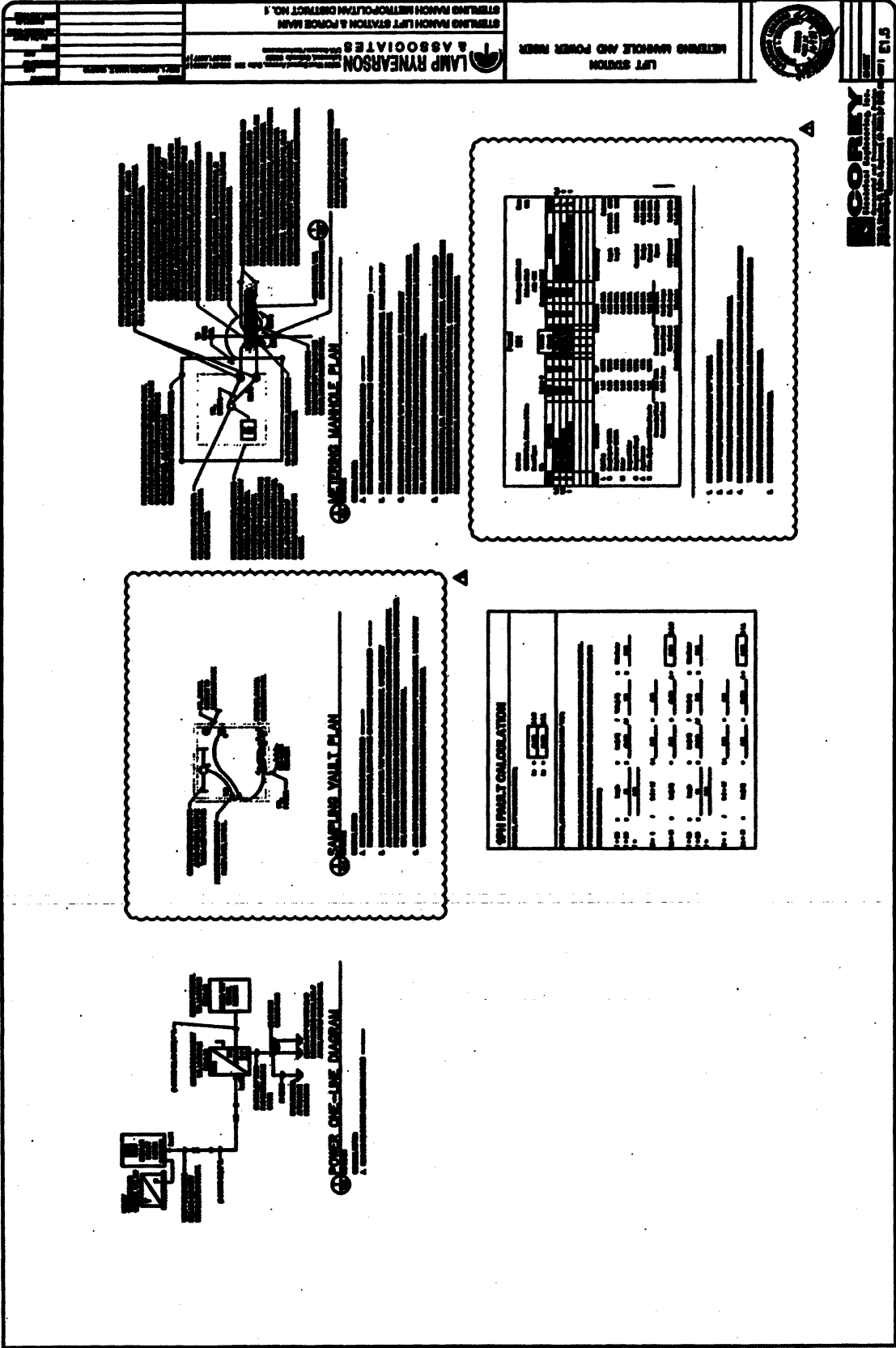
Professional Seal



Lighting Compliance

Professional Seal

Professional Seal

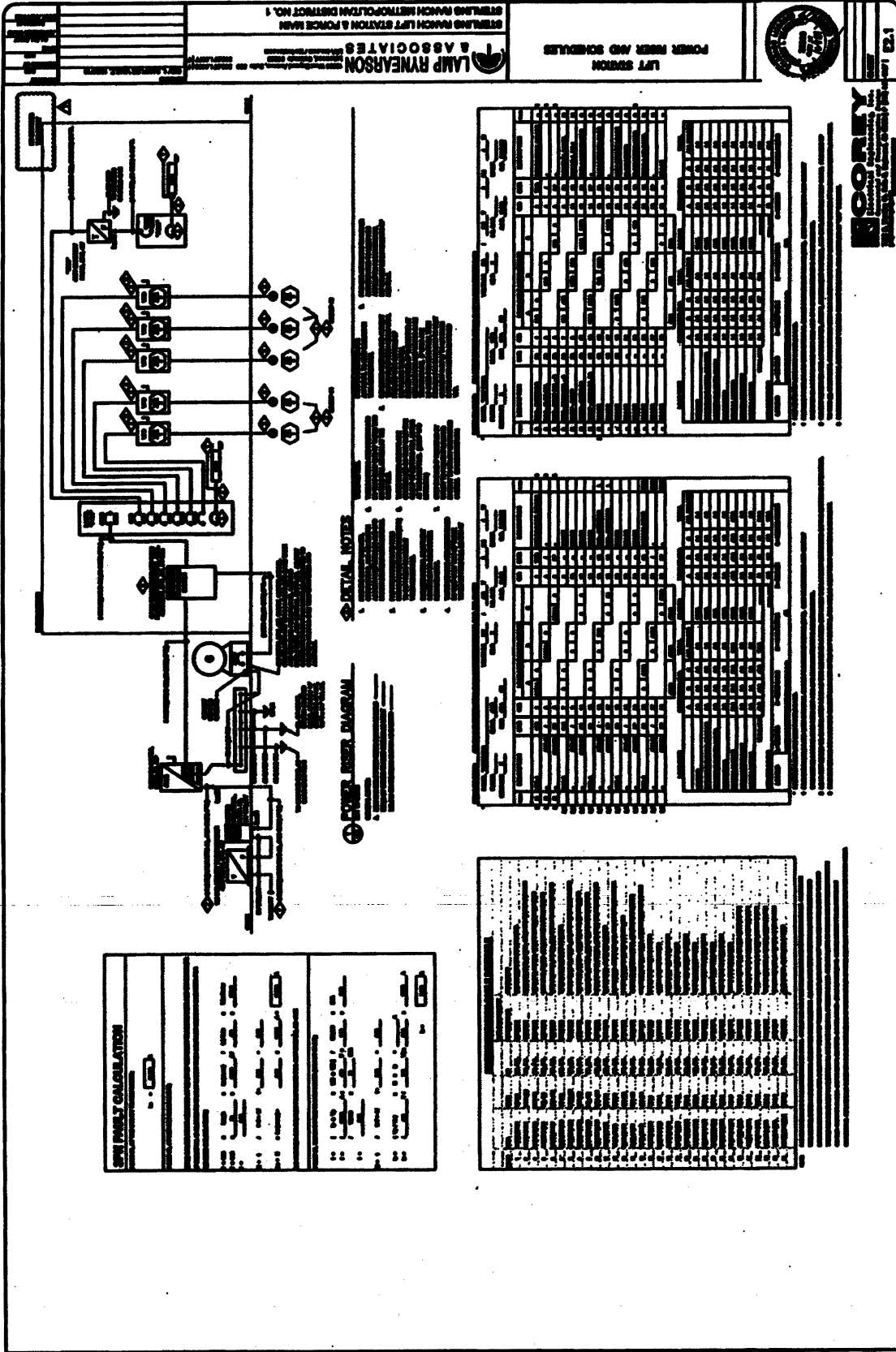


SCORRY
 CONSULTING ENGINEERS
 1000 ...
 ...

LIFT STATION
 METERING MANHOLE AND POWER Riser

LAMP RYNEARSON & ASSOCIATES
 ENGINEERS ARCHITECTS AND SURVEYORS
 1000 ...
 ...

STERLING MANHOLE LIFT STATION & POWER MAIN
 STERLING MANHOLE LIFT STATION & POWER MAIN
 DISTRICT NO. 1



NO. 1	NO. 2	NO. 3	NO. 4	NO. 5	NO. 6	NO. 7	NO. 8	NO. 9	NO. 10
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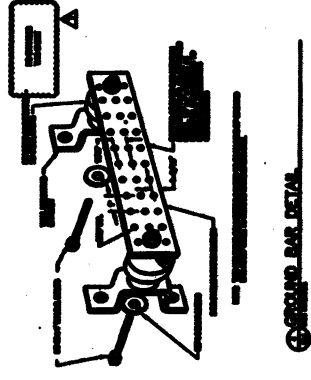
STERLING RAYSON LEFT STATION & FORCE MAIN
STERLING RAYSON INSTRUMENTATION DISTRICT NO. 1
LAMP RYNEARSON & ASSOCIATES
1000 WEST 10TH AVENUE, SUITE 1000
DENVER, COLORADO 80202
TELEPHONE 333-1111

LEFT STATION
ELECTRICAL DETAILS

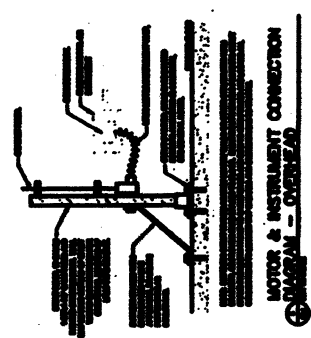


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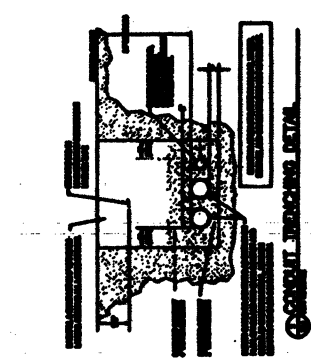
MOORE
ELECTRICAL ENGINEERING
1000 WEST 10TH AVENUE, SUITE 1000
DENVER, COLORADO 80202
TELEPHONE 333-1111



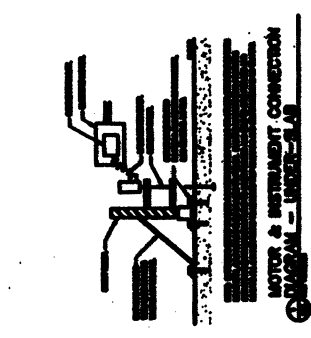
GROUND BAR DETAIL



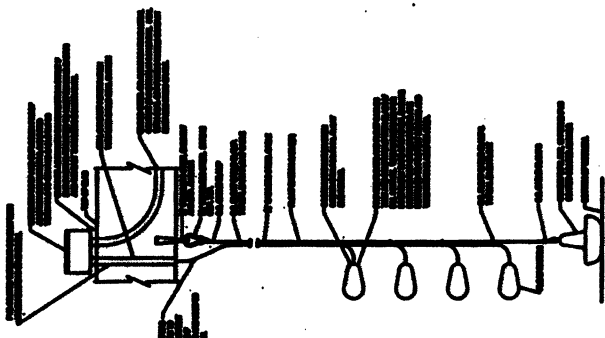
MOTOR & INSTRUMENT CONNECTION
SIGNAL - UNDER-ALARM



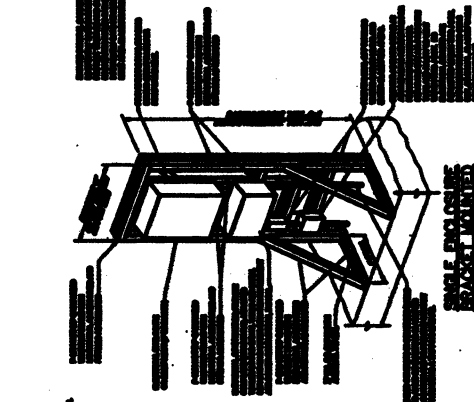
SIGNAL TRANSFORMER DETAIL



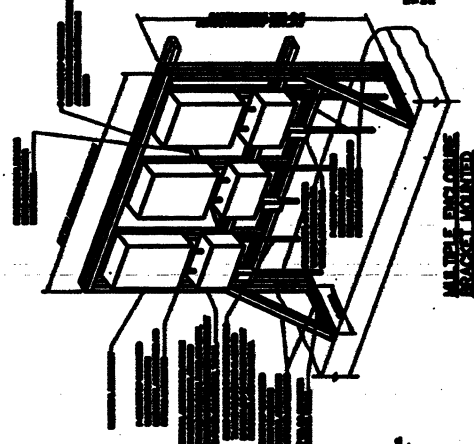
MOTOR & INSTRUMENT CONNECTION
SIGNAL - UNDER-ALARM



TRAY CABLE DETAIL



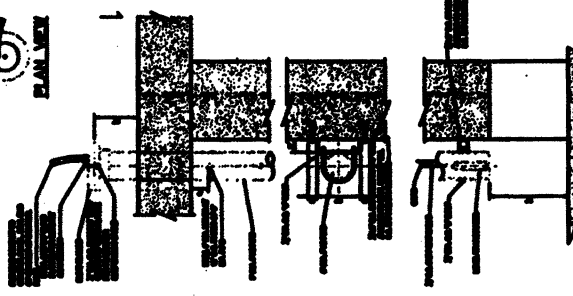
SINGLE ENCLOSURE
BASKET MOUNTED



MULTIPLE ENCLOSURE
BASKET MOUNTED

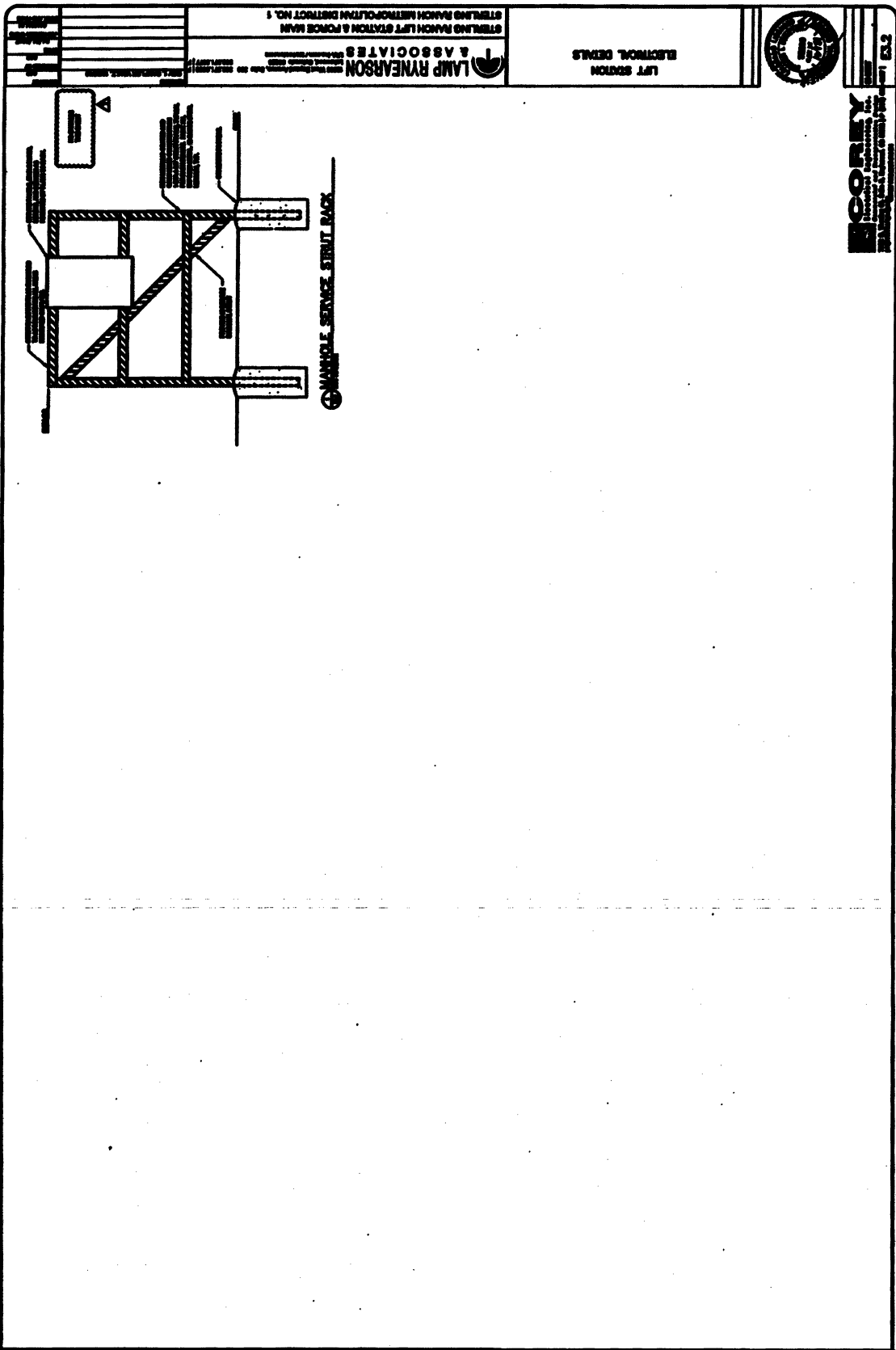
ENCLOSURE SUPPORT

6
PLAN VIEW



ELEVATION

TRANSFORMER DETAIL



STERLING RANCH LIFT STATION & POWER MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1
LAMP RYNEARSON & ASSOCIATES
ELECTRICAL ENGINEERS
1000 WEST 10TH AVENUE, SUITE 100
DENVER, COLORADO 80202
TEL: 303.733.1111

LIFT STATION
ELECTRICAL DETAILS



NOBLE
1000 WEST 10TH AVENUE, SUITE 100
DENVER, COLORADO 80202
TEL: 303.733.1111



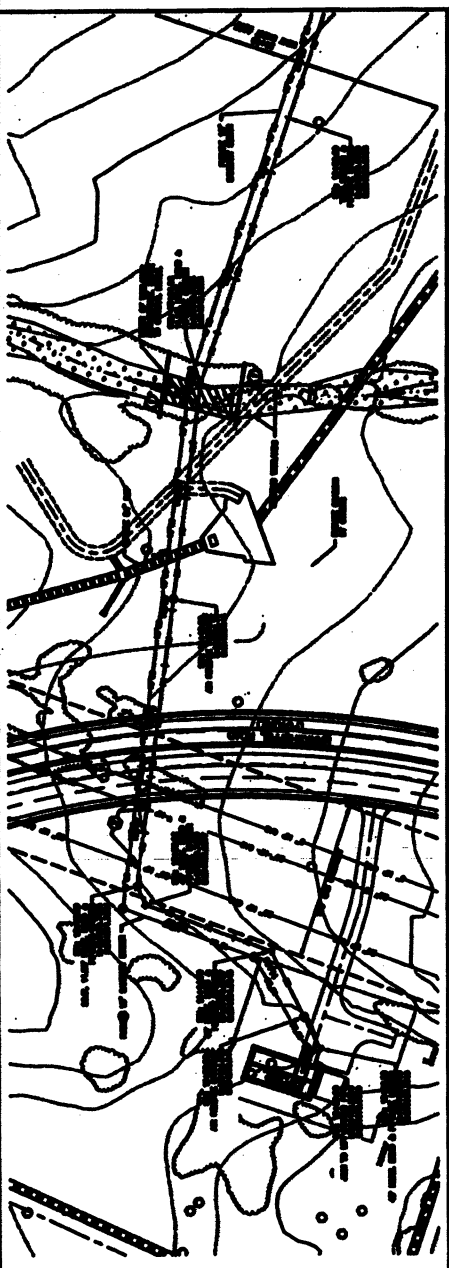
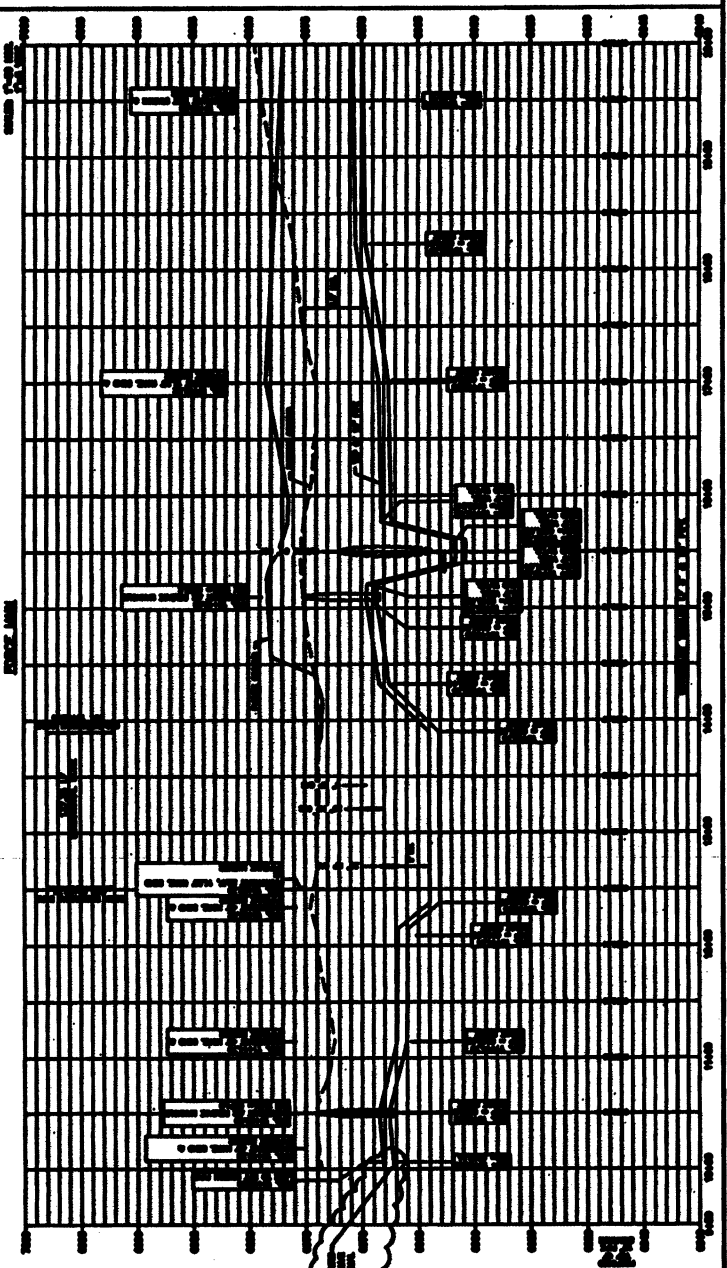
PAGE 1

FORCE MAIN PLAN & PROFILE
SHEET - 1

LAMP RYNEARSON
& ASSOCIATES

STERLING RANCH LIFT STATION AND FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1

NO.	DESCRIPTION
1	EXISTING FORCE MAIN
2	PROPOSED FORCE MAIN
3	PROPOSED LIFT STATION
4	PROPOSED MANHOLE
5	PROPOSED VALVE
6	PROPOSED CLEANOUT
7	PROPOSED STRUCTURE
8	PROPOSED UTILITY
9	PROPOSED EASEMENT
10	PROPOSED EROSION CONTROL
11	PROPOSED LANDSCAPE
12	PROPOSED SIGNAGE
13	PROPOSED FENCE
14	PROPOSED LIGHTING
15	PROPOSED PAVEMENT
16	PROPOSED CURB
17	PROPOSED GUTTER
18	PROPOSED DRAINAGE
19	PROPOSED UTILITIES
20	PROPOSED EROSION CONTROL
21	PROPOSED LANDSCAPE
22	PROPOSED SIGNAGE
23	PROPOSED FENCE
24	PROPOSED LIGHTING
25	PROPOSED PAVEMENT
26	PROPOSED CURB
27	PROPOSED GUTTER
28	PROPOSED DRAINAGE
29	PROPOSED UTILITIES
30	PROPOSED EROSION CONTROL
31	PROPOSED LANDSCAPE
32	PROPOSED SIGNAGE
33	PROPOSED FENCE
34	PROPOSED LIGHTING
35	PROPOSED PAVEMENT
36	PROPOSED CURB
37	PROPOSED GUTTER
38	PROPOSED DRAINAGE
39	PROPOSED UTILITIES
40	PROPOSED EROSION CONTROL
41	PROPOSED LANDSCAPE
42	PROPOSED SIGNAGE
43	PROPOSED FENCE
44	PROPOSED LIGHTING
45	PROPOSED PAVEMENT
46	PROPOSED CURB
47	PROPOSED GUTTER
48	PROPOSED DRAINAGE
49	PROPOSED UTILITIES
50	PROPOSED EROSION CONTROL
51	PROPOSED LANDSCAPE
52	PROPOSED SIGNAGE
53	PROPOSED FENCE
54	PROPOSED LIGHTING
55	PROPOSED PAVEMENT
56	PROPOSED CURB
57	PROPOSED GUTTER
58	PROPOSED DRAINAGE
59	PROPOSED UTILITIES
60	PROPOSED EROSION CONTROL
61	PROPOSED LANDSCAPE
62	PROPOSED SIGNAGE
63	PROPOSED FENCE
64	PROPOSED LIGHTING
65	PROPOSED PAVEMENT
66	PROPOSED CURB
67	PROPOSED GUTTER
68	PROPOSED DRAINAGE
69	PROPOSED UTILITIES
70	PROPOSED EROSION CONTROL
71	PROPOSED LANDSCAPE
72	PROPOSED SIGNAGE
73	PROPOSED FENCE
74	PROPOSED LIGHTING
75	PROPOSED PAVEMENT
76	PROPOSED CURB
77	PROPOSED GUTTER
78	PROPOSED DRAINAGE
79	PROPOSED UTILITIES
80	PROPOSED EROSION CONTROL
81	PROPOSED LANDSCAPE
82	PROPOSED SIGNAGE
83	PROPOSED FENCE
84	PROPOSED LIGHTING
85	PROPOSED PAVEMENT
86	PROPOSED CURB
87	PROPOSED GUTTER
88	PROPOSED DRAINAGE
89	PROPOSED UTILITIES
90	PROPOSED EROSION CONTROL
91	PROPOSED LANDSCAPE
92	PROPOSED SIGNAGE
93	PROPOSED FENCE
94	PROPOSED LIGHTING
95	PROPOSED PAVEMENT
96	PROPOSED CURB
97	PROPOSED GUTTER
98	PROPOSED DRAINAGE
99	PROPOSED UTILITIES
100	PROPOSED EROSION CONTROL





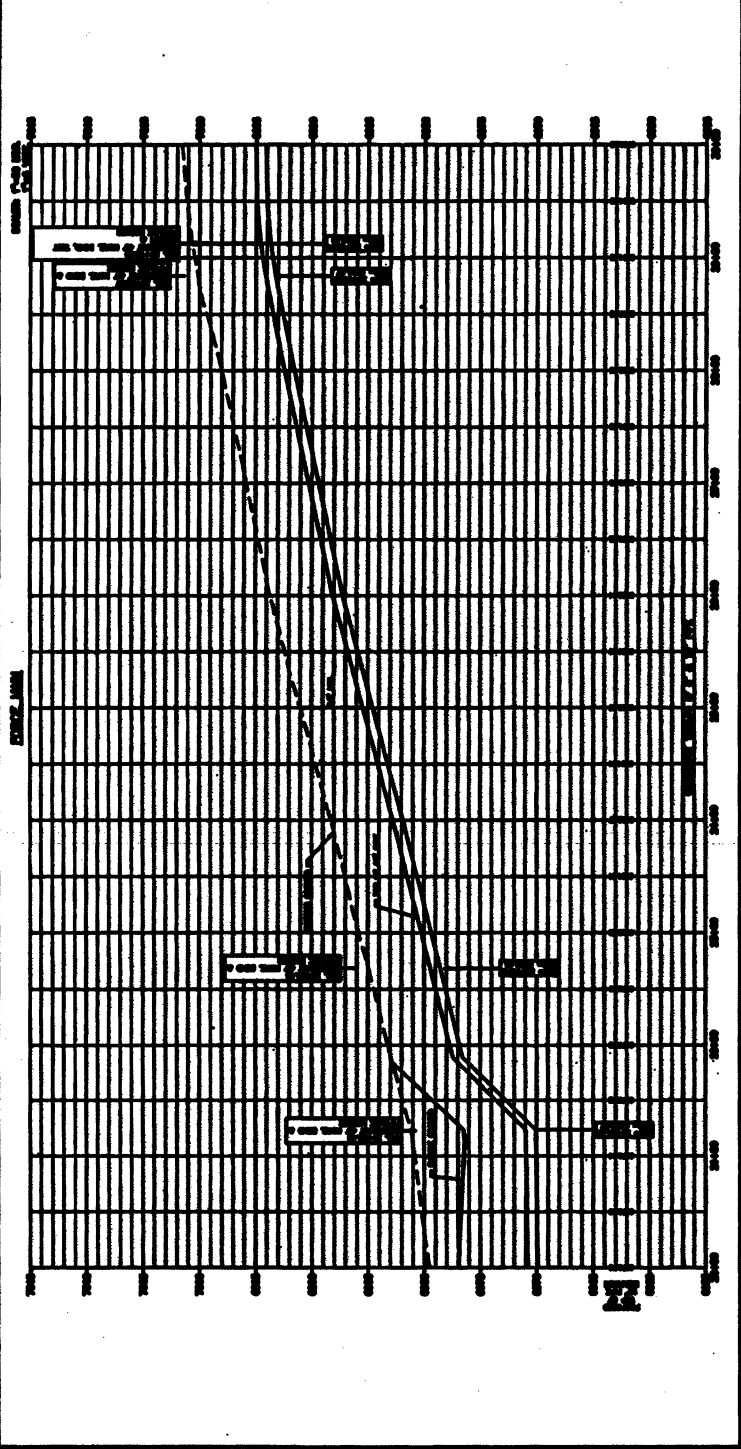
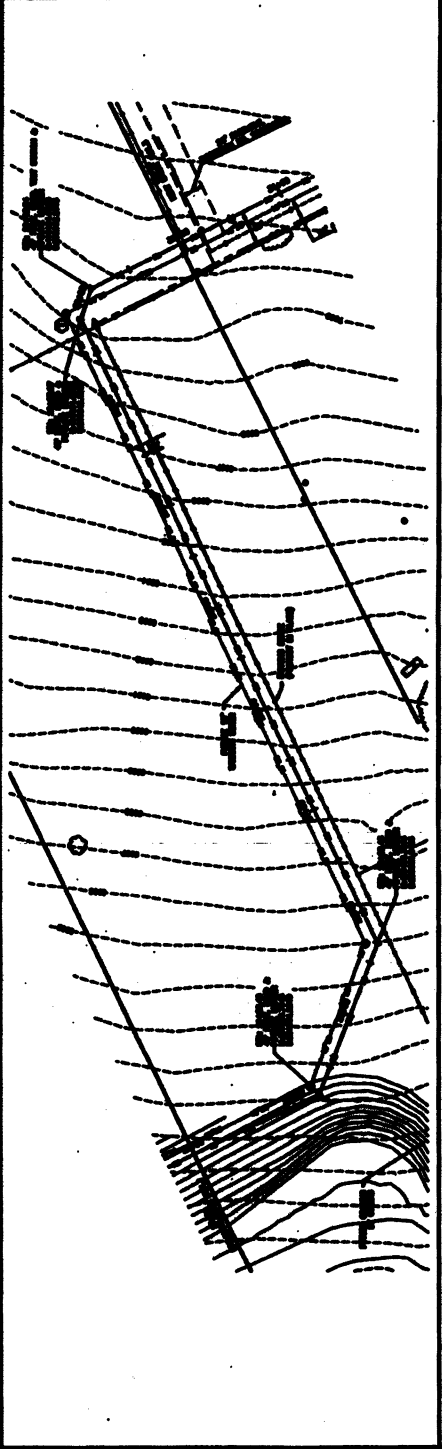
FORCE MAIN PLAN & PROFILE
STA. 20+00 TO STA. 30+00

LAMP RYNEARSON
& ASSOCIATES

STERLING RANCH LEFT SECTION AND FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1



- 1. FORCE MAIN CENTERLINE
- 2. FORCE MAIN RIGHT OF WAY
- 3. FORCE MAIN LEFT OF WAY
- 4. FORCE MAIN EXISTING
- 5. FORCE MAIN PROPOSED
- 6. FORCE MAIN PROPOSED UNDER CONSTRUCTION
- 7. FORCE MAIN PROPOSED TO BE DELETED
- 8. FORCE MAIN PROPOSED TO BE RELOCATED
- 9. FORCE MAIN PROPOSED TO BE ENLARGED
- 10. FORCE MAIN PROPOSED TO BE REDUCED
- 11. FORCE MAIN PROPOSED TO BE ABANDONED
- 12. FORCE MAIN PROPOSED TO BE RECONSTRUCTED
- 13. FORCE MAIN PROPOSED TO BE REPAIRED
- 14. FORCE MAIN PROPOSED TO BE MAINTAINED
- 15. FORCE MAIN PROPOSED TO BE INSPECTED
- 16. FORCE MAIN PROPOSED TO BE CLEANED
- 17. FORCE MAIN PROPOSED TO BE TESTED
- 18. FORCE MAIN PROPOSED TO BE VALUED
- 19. FORCE MAIN PROPOSED TO BE RECORDED
- 20. FORCE MAIN PROPOSED TO BE AS-BUILT



C11.3



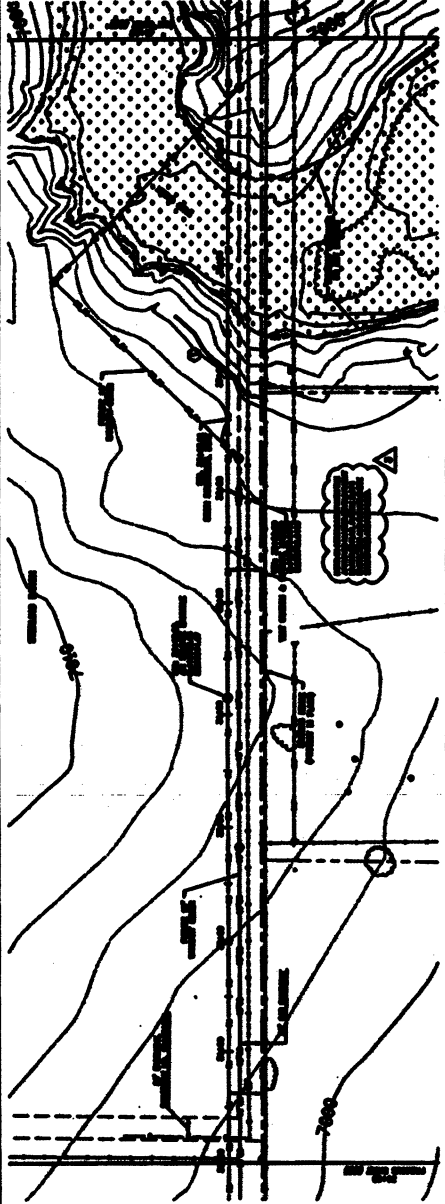
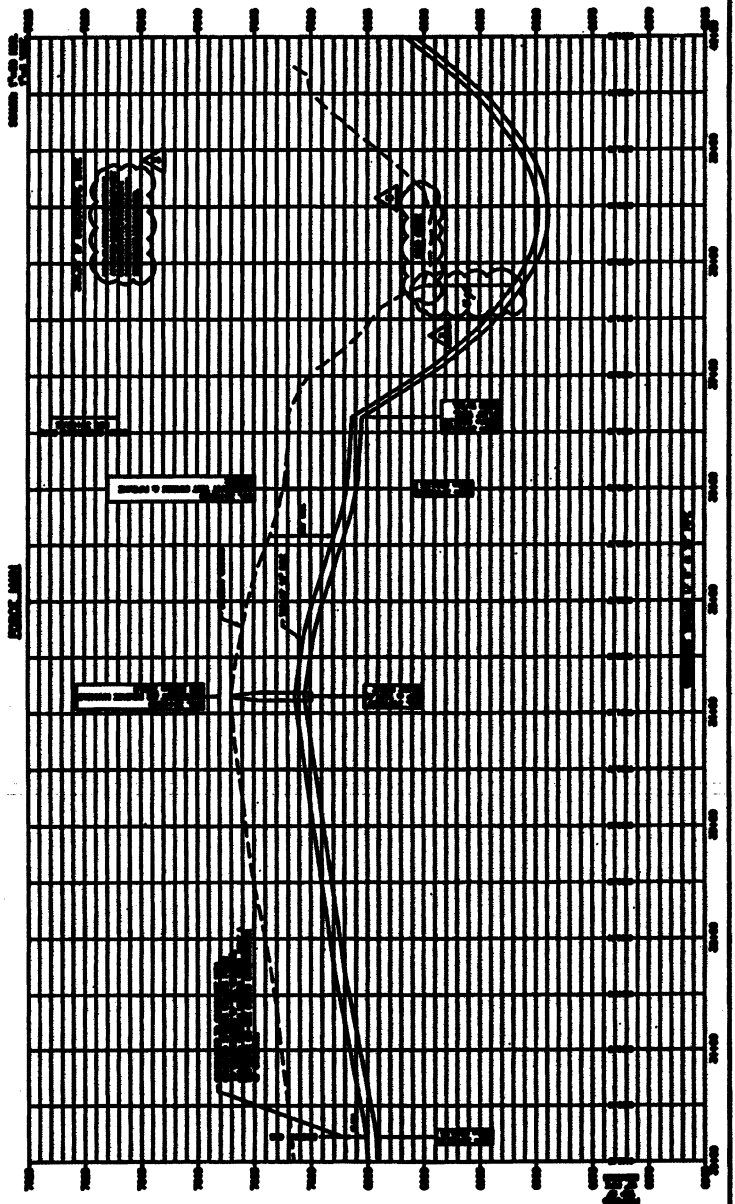
FORCE MAIN PLAN & PROFILE
STN. 30+00 TO STN. 40+00

STERLING RANCH LEFT STATION AND FORCE MAIN
STERLING RANCH MEMORANDUM DISTRICT NO. 1

LAMP RYANSON & ASSOCIATES

DATE	DESCRIPTION

- 1. FORCE MAIN
- 2. EXISTING STREETS
- 3. EXISTING SIDEWALKS
- 4. EXISTING CURBS
- 5. EXISTING DRIVEWAYS
- 6. EXISTING UTILITY LINES
- 7. EXISTING TOPOGRAPHY
- 8. EXISTING BUILDINGS
- 9. EXISTING VEGETATION
- 10. EXISTING LANDSCAPE
- 11. EXISTING PAVEMENT
- 12. EXISTING UTILITIES
- 13. EXISTING SIGNAGE
- 14. EXISTING LIGHTING
- 15. EXISTING FENCING
- 16. EXISTING FENCES
- 17. EXISTING WALLS
- 18. EXISTING STRUCTURES
- 19. EXISTING EROSION CONTROL
- 20. EXISTING DRAINAGE

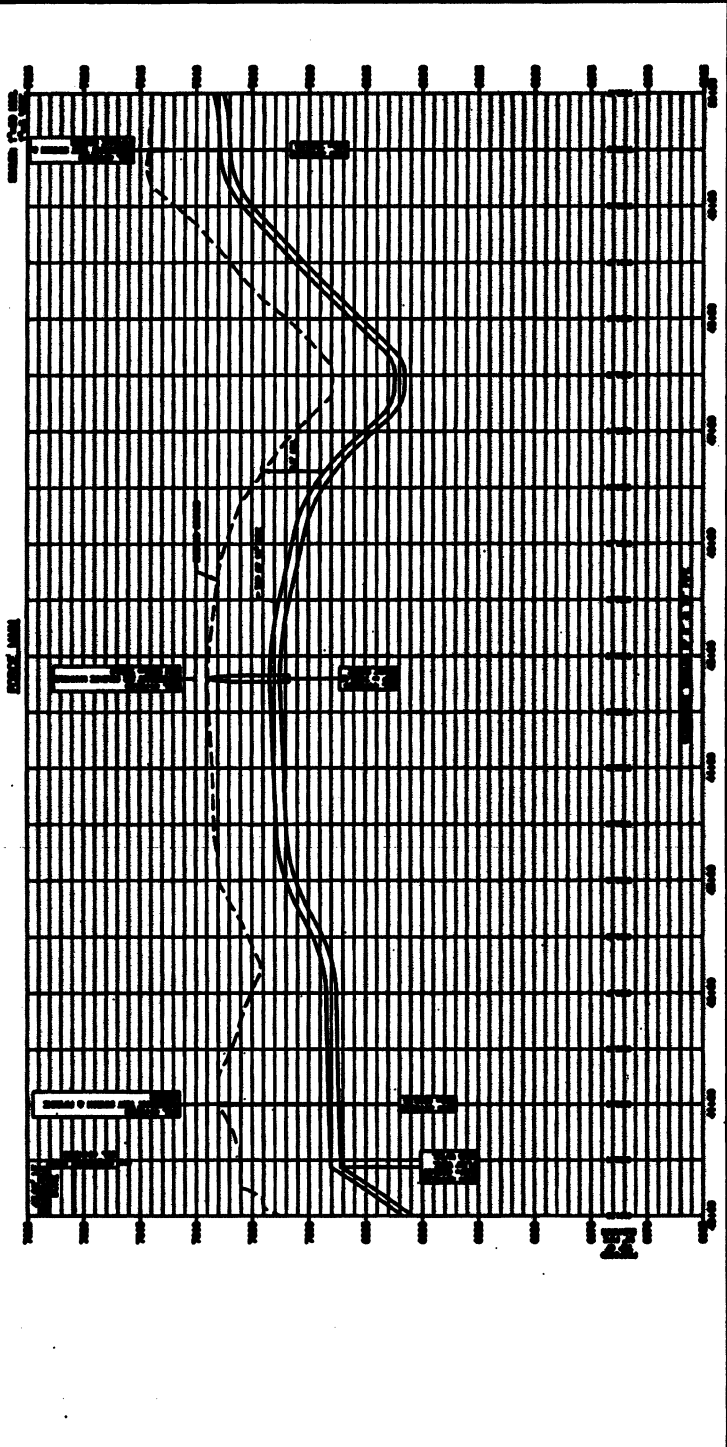
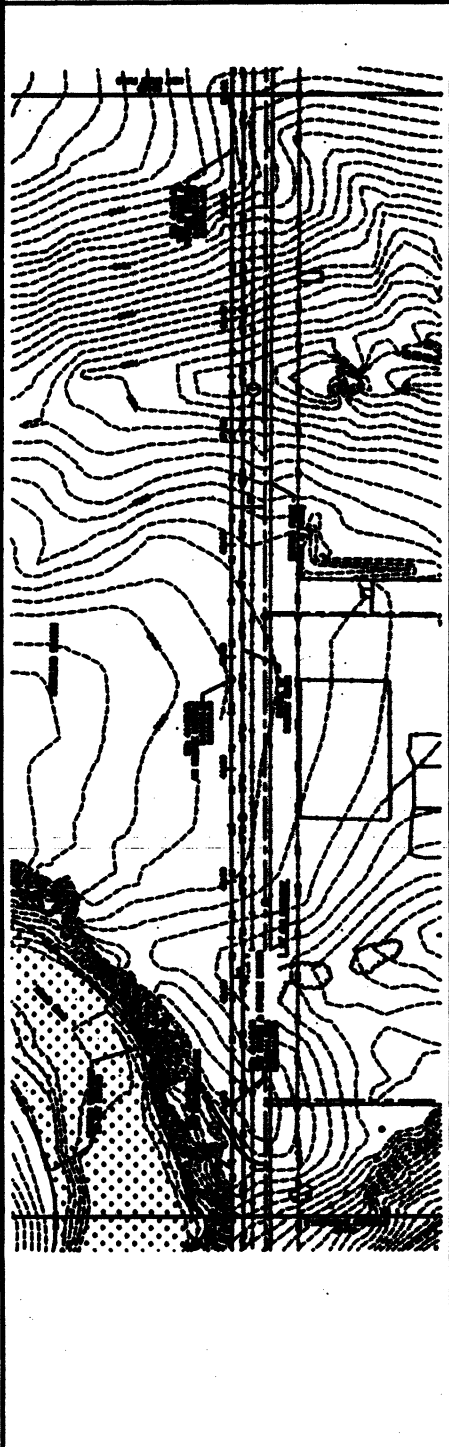


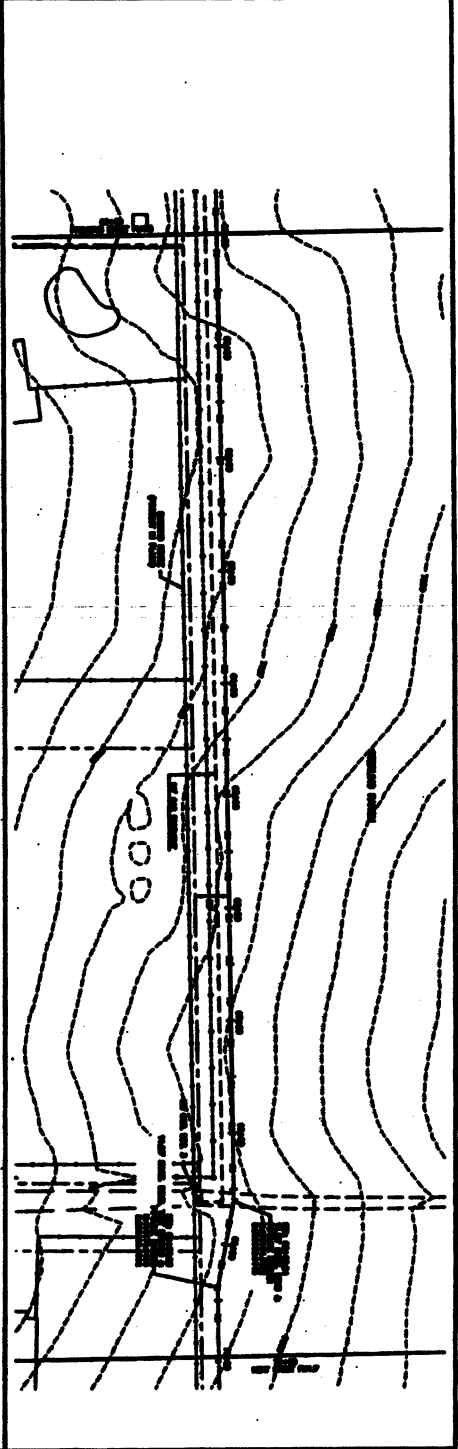
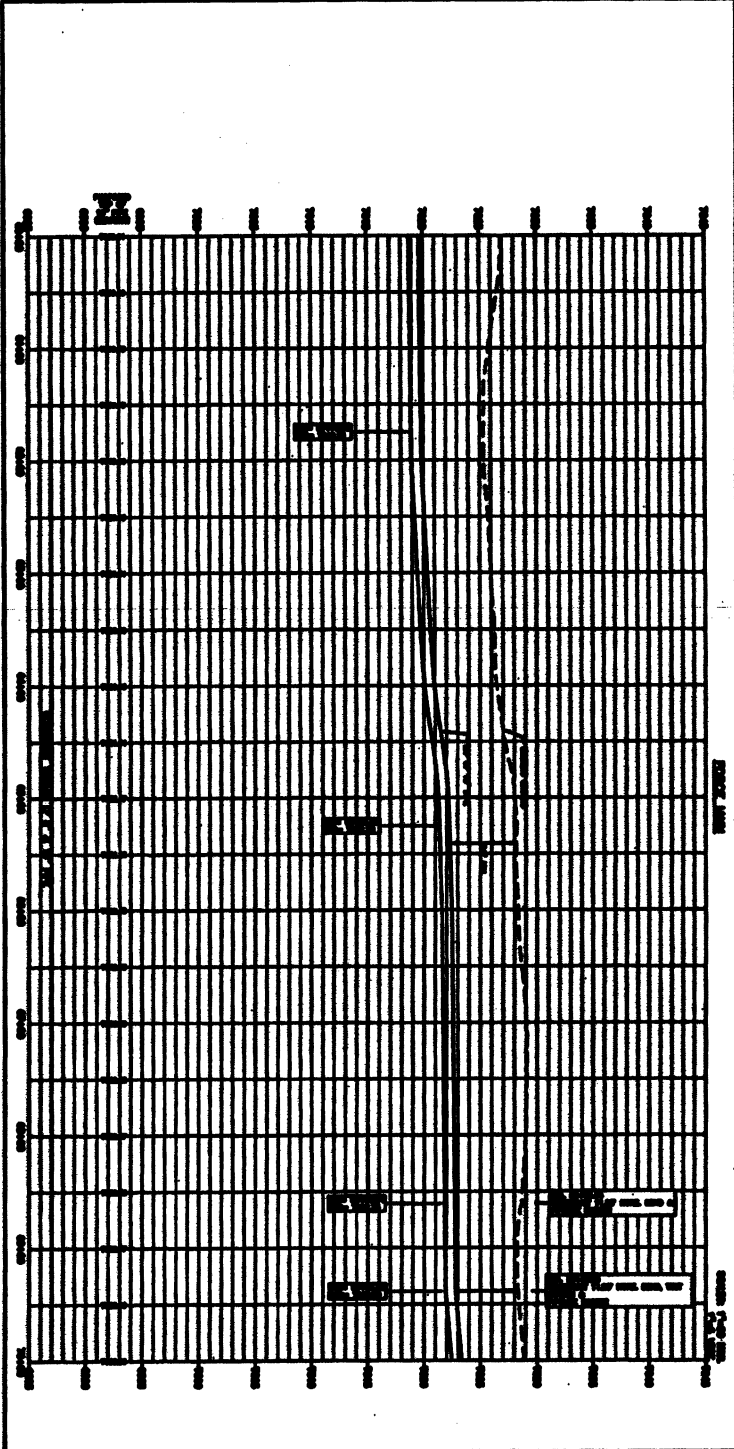
FORCE MAIN PLAN & PROFILE
 STA. 40+00 TO STA. 50+00



PMT. 4

1. ALL DIMENSIONS ARE IN FEET AND INCHES.
 2. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
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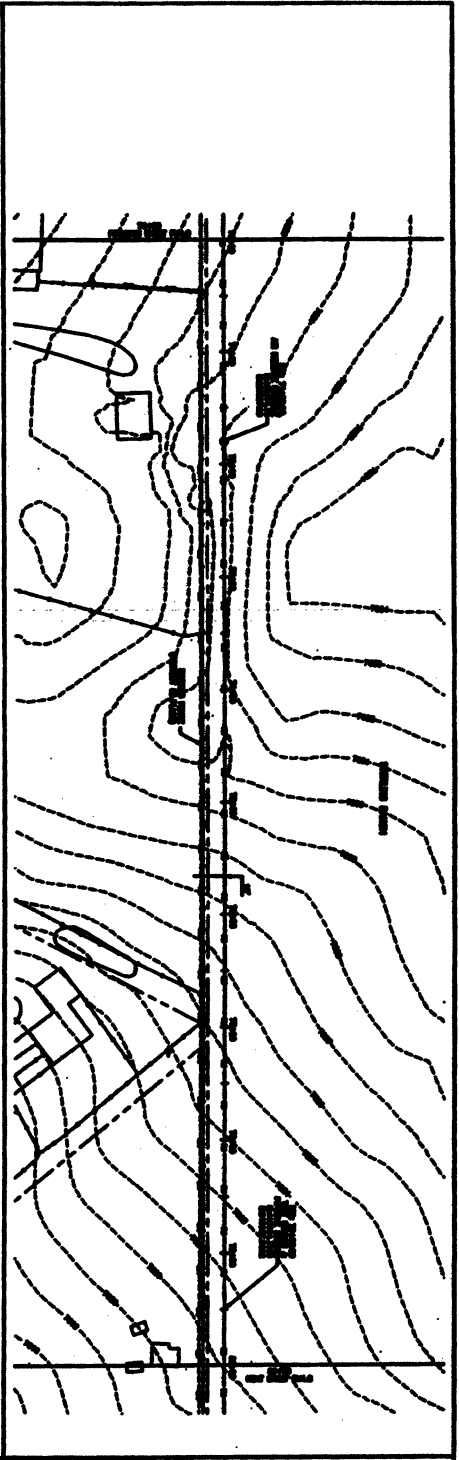
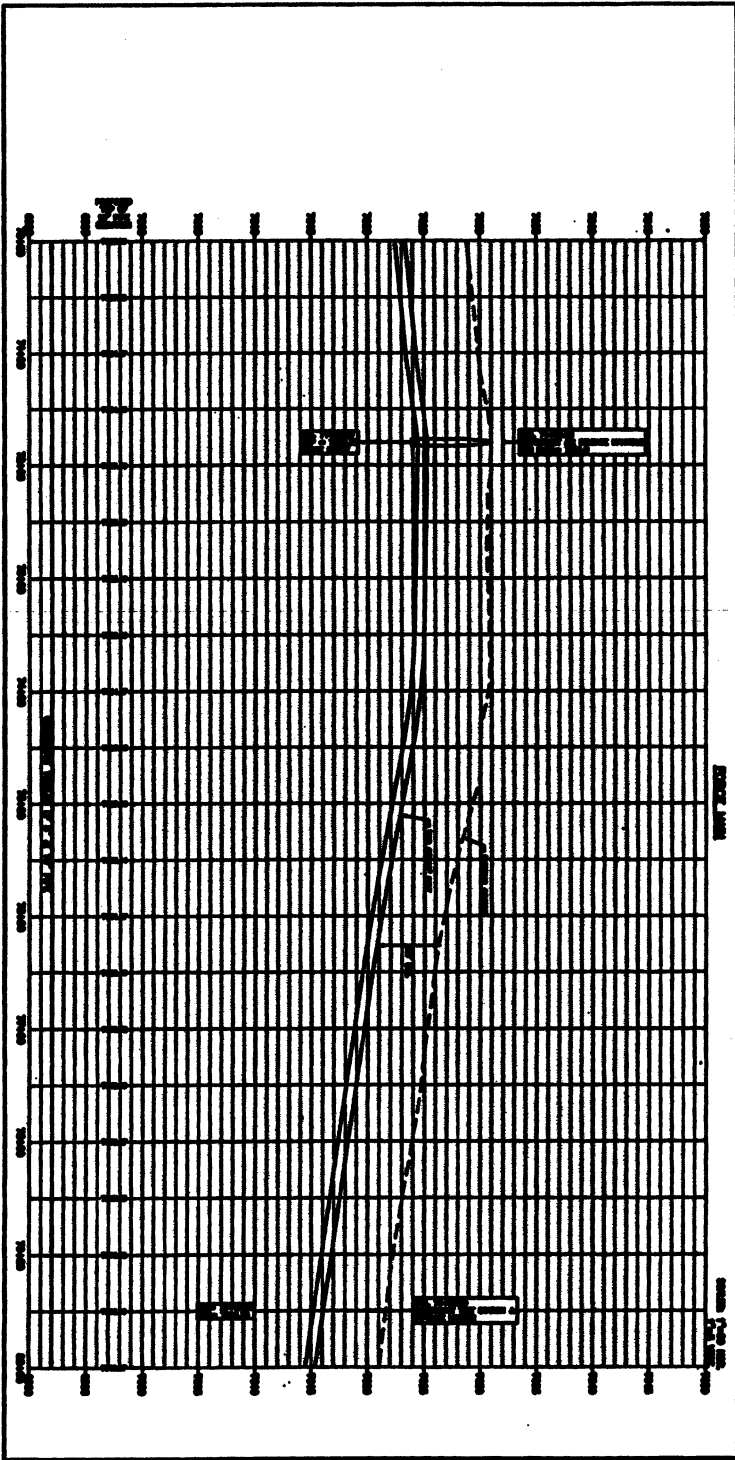


	<p>1. FORCE MAIN</p> <p>2. MANHOLE</p> <p>3. LIFT STATION</p> <p>4. ...</p>
	<p>5. ...</p> <p>6. ...</p> <p>7. ...</p> <p>8. ...</p>
<p>9. ...</p> <p>10. ...</p> <p>11. ...</p> <p>12. ...</p>	<p>13. ...</p> <p>14. ...</p> <p>15. ...</p> <p>16. ...</p>

FORCE MAIN PLAN & PROFILE
 STA. 60+00 TO STA. 70+00

LAMP RYNEARSON & ASSOCIATES
 1000 ...
 ...
 ...

STERLING RANCH LIFT STATION AND FORCE MAIN
 STERLING RANCH METROPOLITAN DISTRICT NO. 1



- 1. EXISTING GROUND SURFACE
- 2. PROPOSED FORCE MAIN
- 3. PROPOSED MANHOLE
- 4. PROPOSED VALVE
- 5. PROPOSED CLEANOUT
- 6. PROPOSED TIE-IN
- 7. PROPOSED SERVICE LINE
- 8. PROPOSED STREET CLOSURE
- 9. PROPOSED TRAVEL WAY
- 10. PROPOSED SIDEWALK
- 11. PROPOSED BIKEWAY
- 12. PROPOSED PLANTING
- 13. PROPOSED LIGHTING
- 14. PROPOSED SIGNAGE
- 15. PROPOSED UTILITIES
- 16. PROPOSED FENCE
- 17. PROPOSED DRIVEWAY
- 18. PROPOSED PAVEMENT
- 19. PROPOSED CURB
- 20. PROPOSED GUTTER
- 21. PROPOSED DRAINAGE
- 22. PROPOSED EROSION CONTROL
- 23. PROPOSED LANDSCAPE ARCHITECTURE
- 24. PROPOSED TRAFFIC CONTROL
- 25. PROPOSED PUBLIC WORKS
- 26. PROPOSED MAINTENANCE
- 27. PROPOSED SAFETY
- 28. PROPOSED ACCESSIBILITY
- 29. PROPOSED SUSTAINABILITY
- 30. PROPOSED COMMUNITY ENGAGEMENT

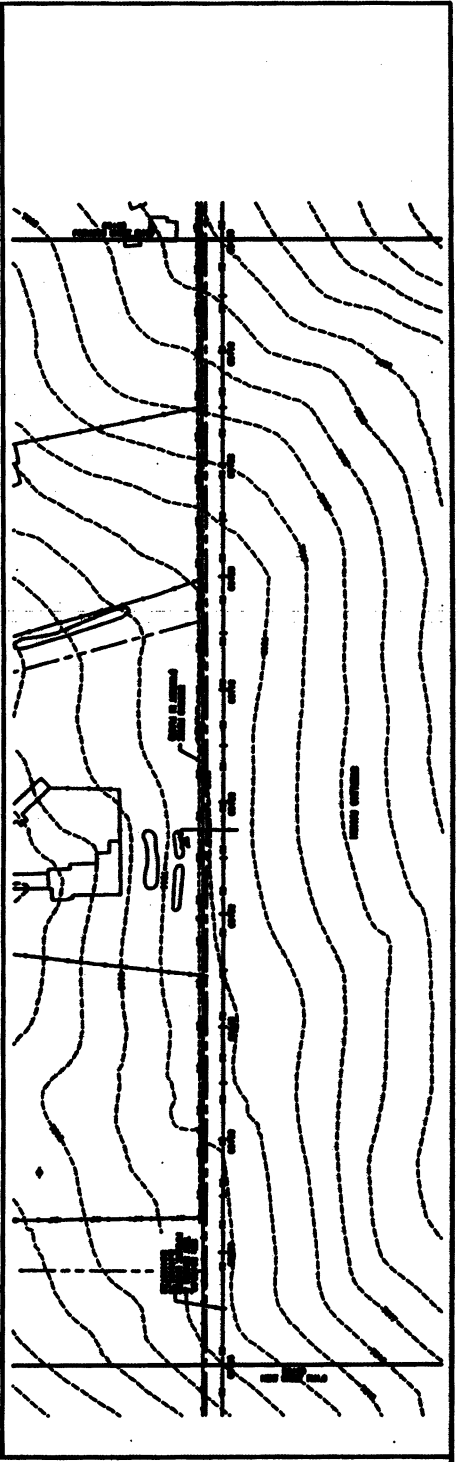
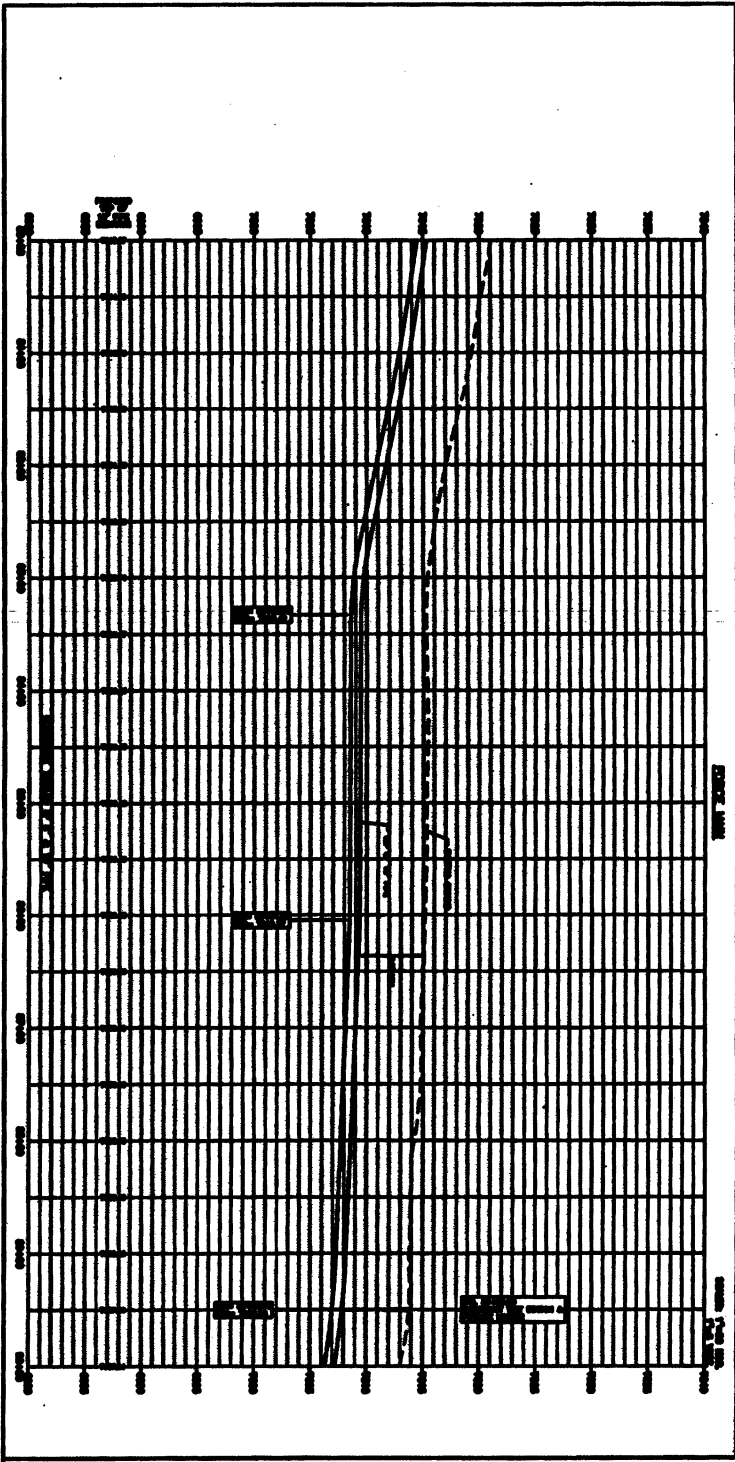


FORCE MAIN PLAN & PROFILE
 STA. 70+00 TO STA. 80+00

LAMP RYNEARSON & ASSOCIATES
 1000 West 10th Street, Suite 1000, Denver, Colorado 80202
 (303) 733-1111
 www.lamprynearson.com

STERLING RANCH LEFT STATION AND FORCE MAIN
 STERLING RANCH METROPOLITAN DISTRICT NO. 1

DATE	
BY	
CHECKED	
APPROVED	
SCALE	
PROJECT NO.	
DRAWING NO.	



- 1. PROPOSED FORCE MAIN
- 2. EXISTING FORCE MAIN
- 3. EXISTING GROUND
- 4. PROPOSED GROUND
- 5. EXISTING MANHOLE
- 6. PROPOSED MANHOLE
- 7. EXISTING UTILITY
- 8. PROPOSED UTILITY
- 9. EXISTING BUILDING
- 10. PROPOSED BUILDING
- 11. EXISTING DRIVEWAY
- 12. PROPOSED DRIVEWAY
- 13. EXISTING FENCE
- 14. PROPOSED FENCE
- 15. EXISTING TREES
- 16. PROPOSED TREES
- 17. EXISTING ROADS
- 18. PROPOSED ROADS
- 19. EXISTING UTILITIES
- 20. PROPOSED UTILITIES

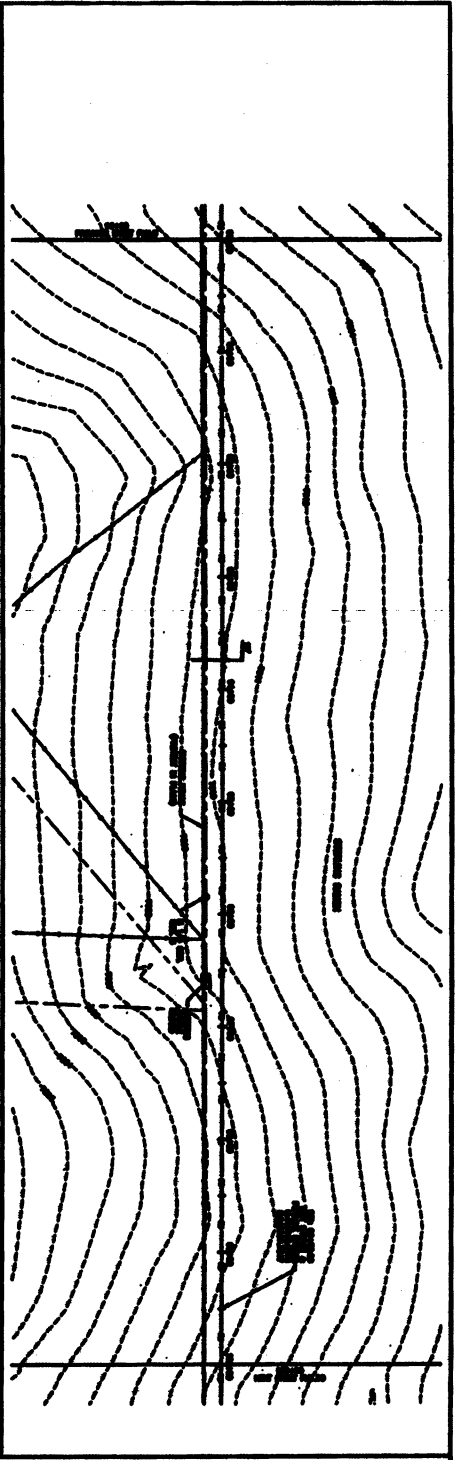
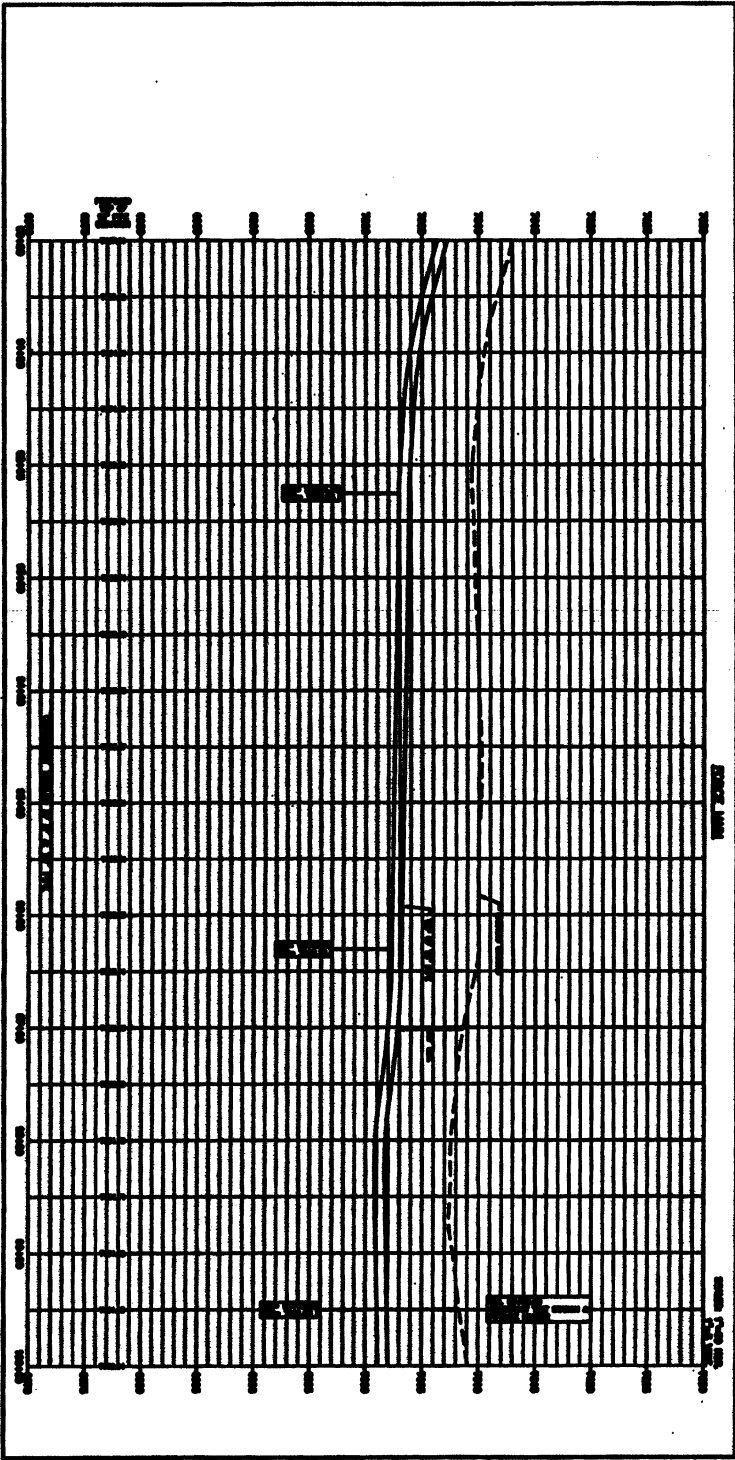


FORCE MAIN PLAN & PROFILE
 STA. 80+00 TO STA. 80+00

LAMP RYNEARSON & ASSOCIATES
 1000 West Grand Avenue, Suite 400
 Colorado Springs, Colorado 80904
 (719) 534-1111
 FAX (719) 534-1112
 www.lampryne.com

DATE	DESCRIPTION

STERLING RANCH LIFT STATION AND FORCE MAIN
 STERLING RANCH METROPOLITAN DISTRICT NO. 1



- 1. EXISTING FORCE MAIN
- 2. PROPOSED FORCE MAIN
- 3. PROPOSED FORCE MAIN
- 4. PROPOSED FORCE MAIN
- 5. PROPOSED FORCE MAIN
- 6. PROPOSED FORCE MAIN
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- 20. PROPOSED FORCE MAIN

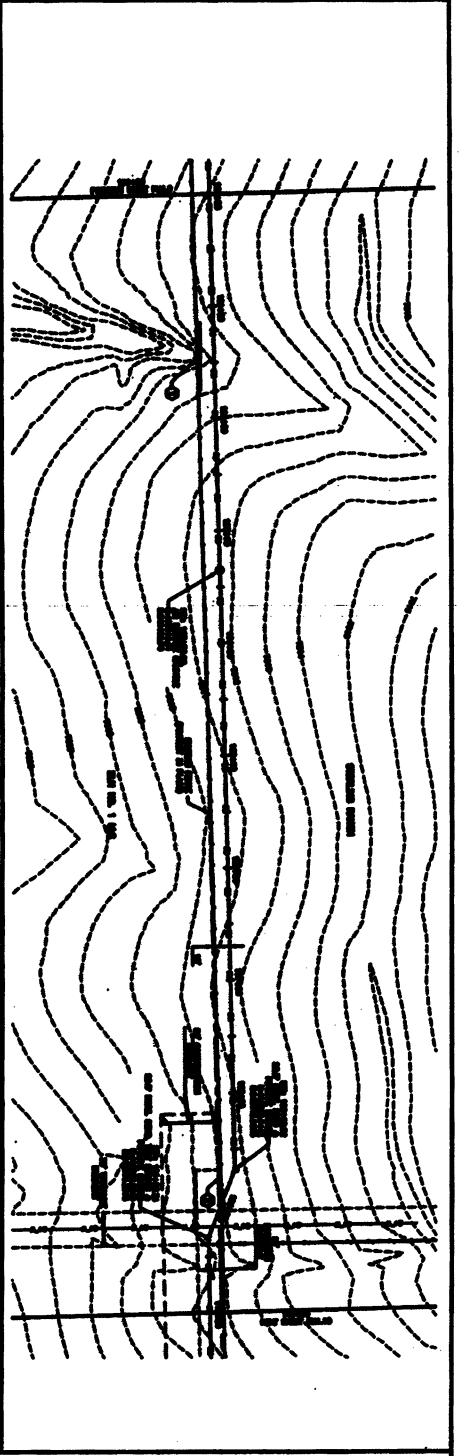
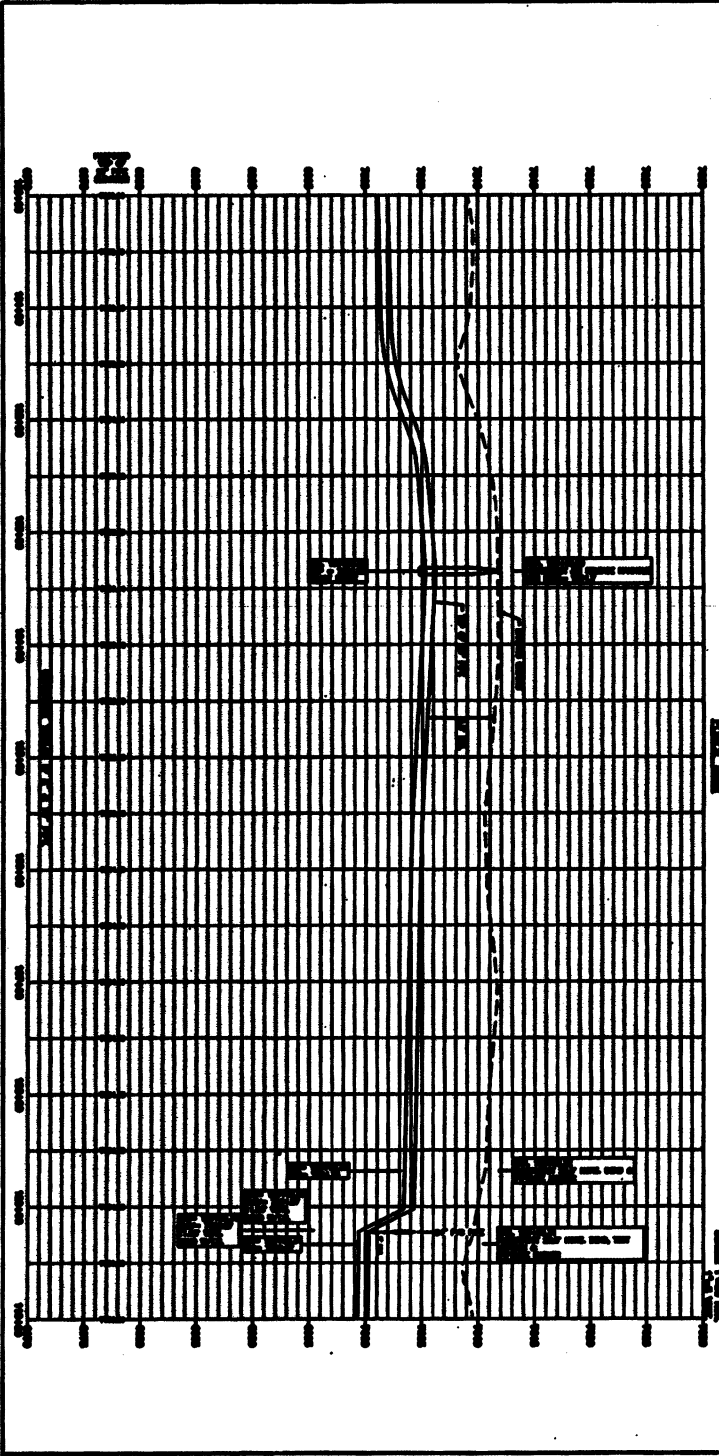




FORCE MAIN PLAN & PROFILE
 STA. 90+00 TO STA. 100+00

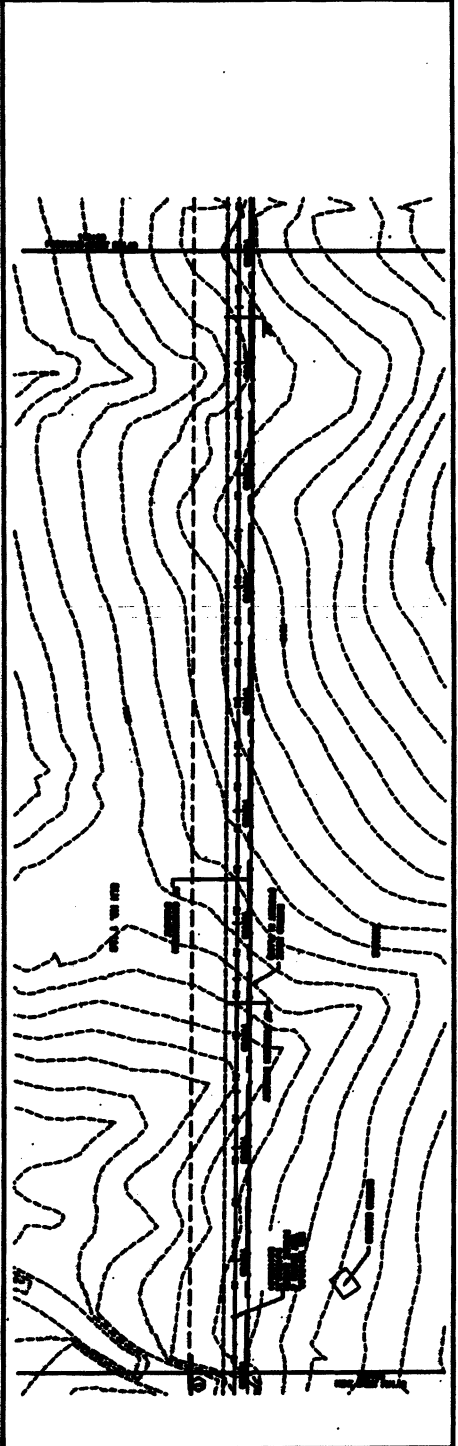
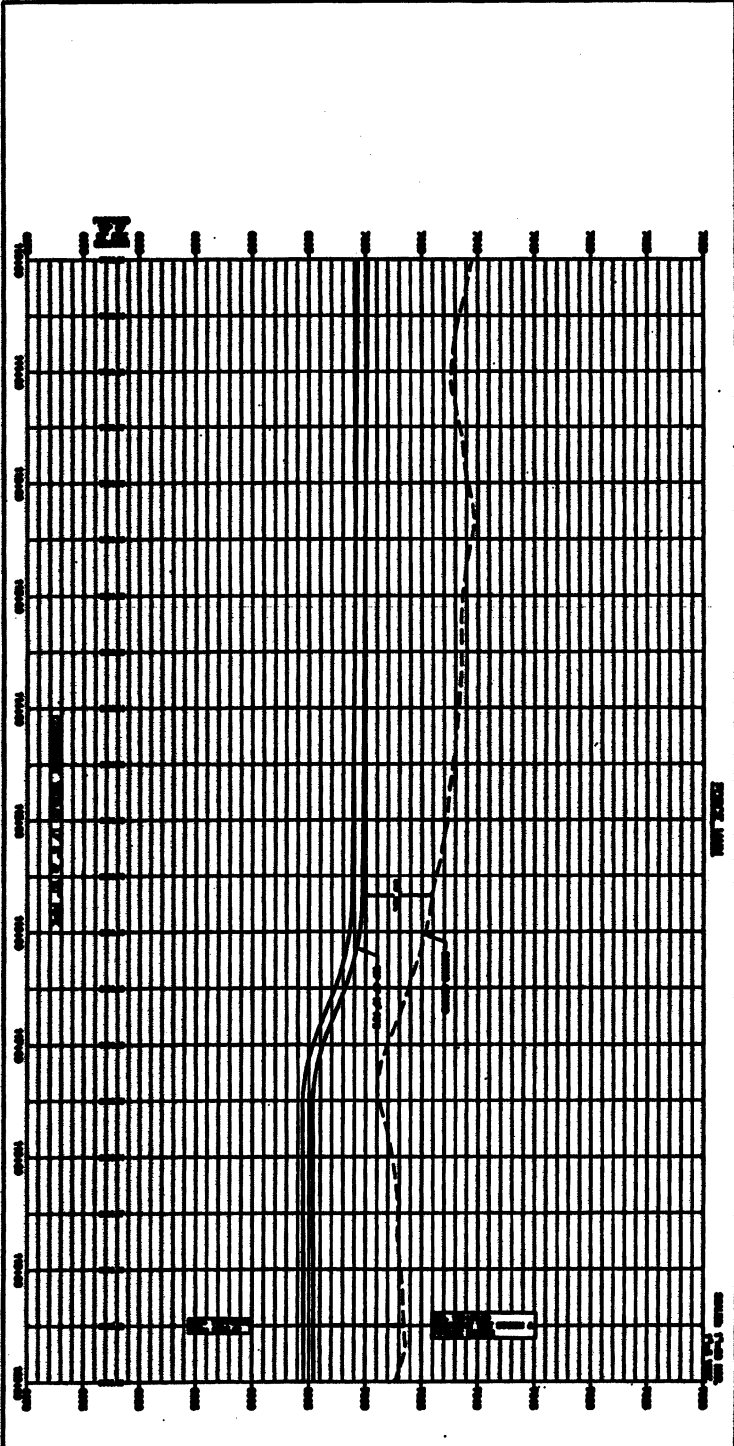
LAMP RYNEARSON & ASSOCIATES
 4000 West Grand Avenue, Suite 500
 Denver, Colorado 80202
 303.733.1234
 www.lamprynearson.com

STERLING RANCH LIFT STATION AND FORCE MAIN
 STERLING RANCH METROPOLITAN DISTRICT NO. 1

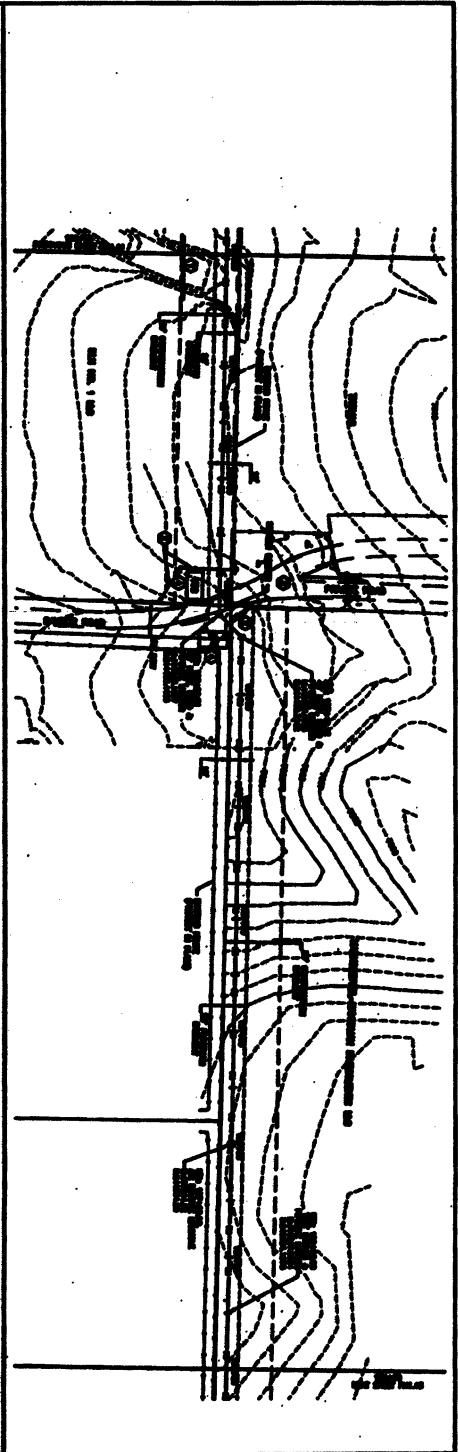
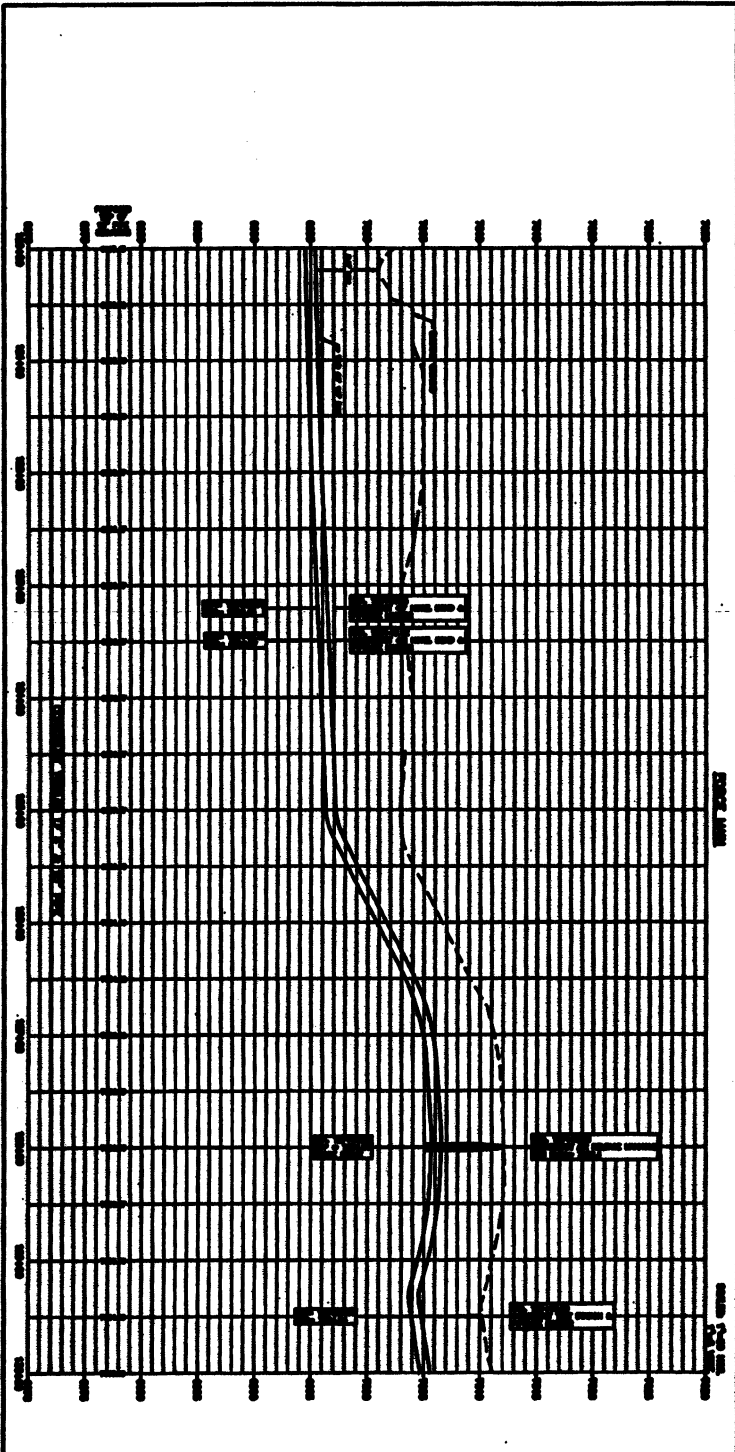
DATE	10/15/2010
BY	J. RYNEARSON
CHECKED BY	J. RYNEARSON
SCALE	AS SHOWN
PROJECT NO.	SR-10-001
DISTRICT	STERLING RANCH METROPOLITAN DISTRICT NO. 1



	<p>FORCE MAIN PLAN & PROFILE STA. 100+00 TO STA. 110+00</p>	<p>LAMP RYNEARSON & ASSOCIATES</p> <p>STERLING RANCH LIFT STATION AND FORCE MAIN STERLING RANCH METROPOLITAN DISTRICT NO. 1</p>	
	<p>01' HORIZ 1" VERT</p>		



	<p>FORCE MAIN PLAN & PROFILE STA. 110+00 TO STA. 120+00</p>	<p>LAMP RYNEARSON & ASSOCIATES 1000 West Grand Avenue, Suite 100 Denver, Colorado 80202 (303) 733-1111</p>	<p>STERLING RANCH LIFT STATION AND FORCE MAIN STERLING RANCH METROPOLITAN DISTRICT NO. 1</p>
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	<ul style="list-style-type: none"> ● EXISTING FORCE MAIN ○ PROPOSED FORCE MAIN ○ EXISTING MANHOLE ○ PROPOSED MANHOLE ○ EXISTING VALVE ○ PROPOSED VALVE ○ EXISTING STRUCTURE ○ PROPOSED STRUCTURE ○ EXISTING UTILITY ○ PROPOSED UTILITY ○ EXISTING STREET ○ PROPOSED STREET ○ EXISTING CURB ○ PROPOSED CURB ○ EXISTING SIDEWALK ○ PROPOSED SIDEWALK ○ EXISTING DRIVEWAY ○ PROPOSED DRIVEWAY ○ EXISTING LOT ○ PROPOSED LOT ○ EXISTING PROPERTY ○ PROPOSED PROPERTY ○ EXISTING BOUNDARY ○ PROPOSED BOUNDARY ○ EXISTING EASEMENT ○ PROPOSED EASEMENT ○ EXISTING RIGHT-OF-WAY ○ PROPOSED RIGHT-OF-WAY ○ EXISTING ZONING ○ PROPOSED ZONING ○ EXISTING DISTRICT ○ PROPOSED DISTRICT 	<p>FORCE MAIN PLAN & PROFILE STA. 130+00 TO STA. 130+00</p>	<p>LAMP RYNEARSON & ASSOCIATES <small>1000 West 10th Street, Suite 100 Oklahoma City, Oklahoma 73106 Phone: (405) 231-1111 Fax: (405) 231-1112</small></p>	<table border="1"> <tr> <td>DATE</td> <td> </td> </tr> <tr> <td>BY</td> <td> </td> </tr> <tr> <td>CHECKED</td> <td> </td> </tr> <tr> <td>APPROVED</td> <td> </td> </tr> </table>	DATE		BY		CHECKED		APPROVED	
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<p>STERLING RANCH LIFT STATION AND FORCE MAIN STERLING RANCH METROPOLITAN DISTRICT NO. 1</p>	<p>DATE: 11/13/01</p>	<p>BY: [Signature]</p>	<p>CHECKED: [Signature]</p>									

PART 12



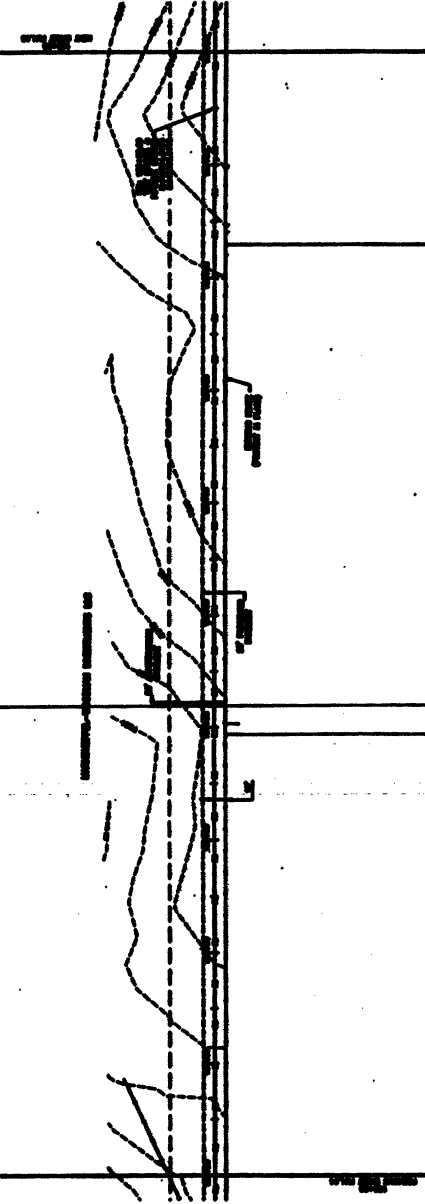
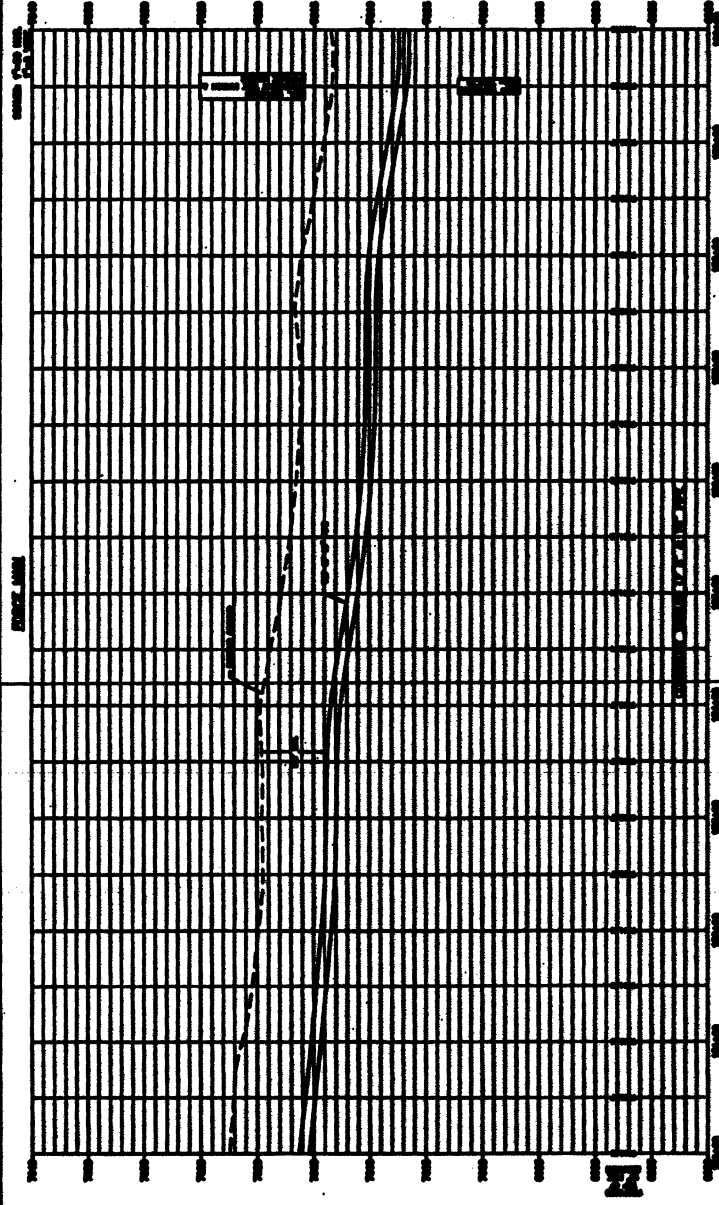
FORCE MAIN PLAN & PROFILE
STN. 180+00 TO STN. 180+00

LAMP RYNEARSON
& ASSOCIATES

STERLING RANCH LEFT STATION AND FORCE MAIN
DISTRICT NO. 1



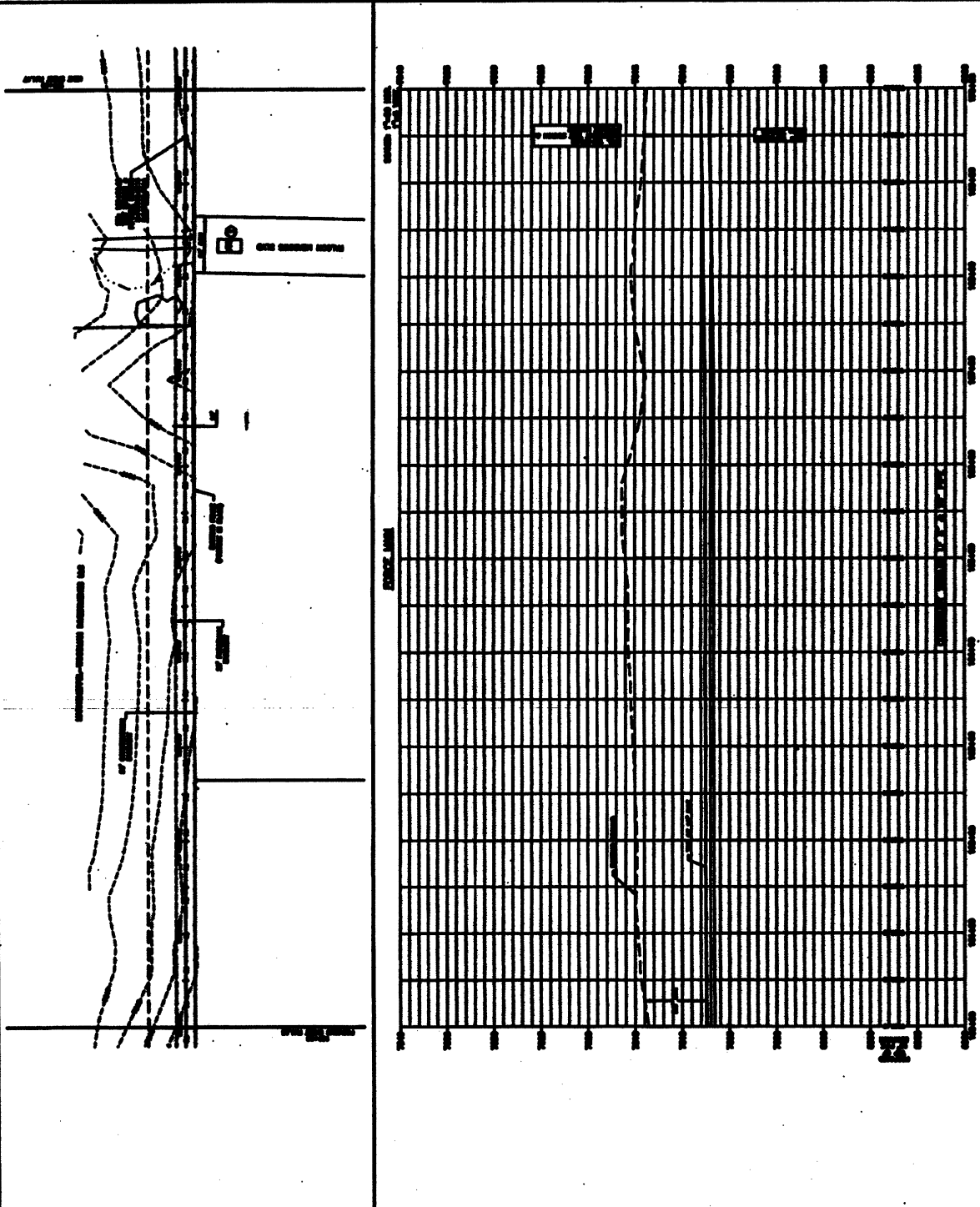
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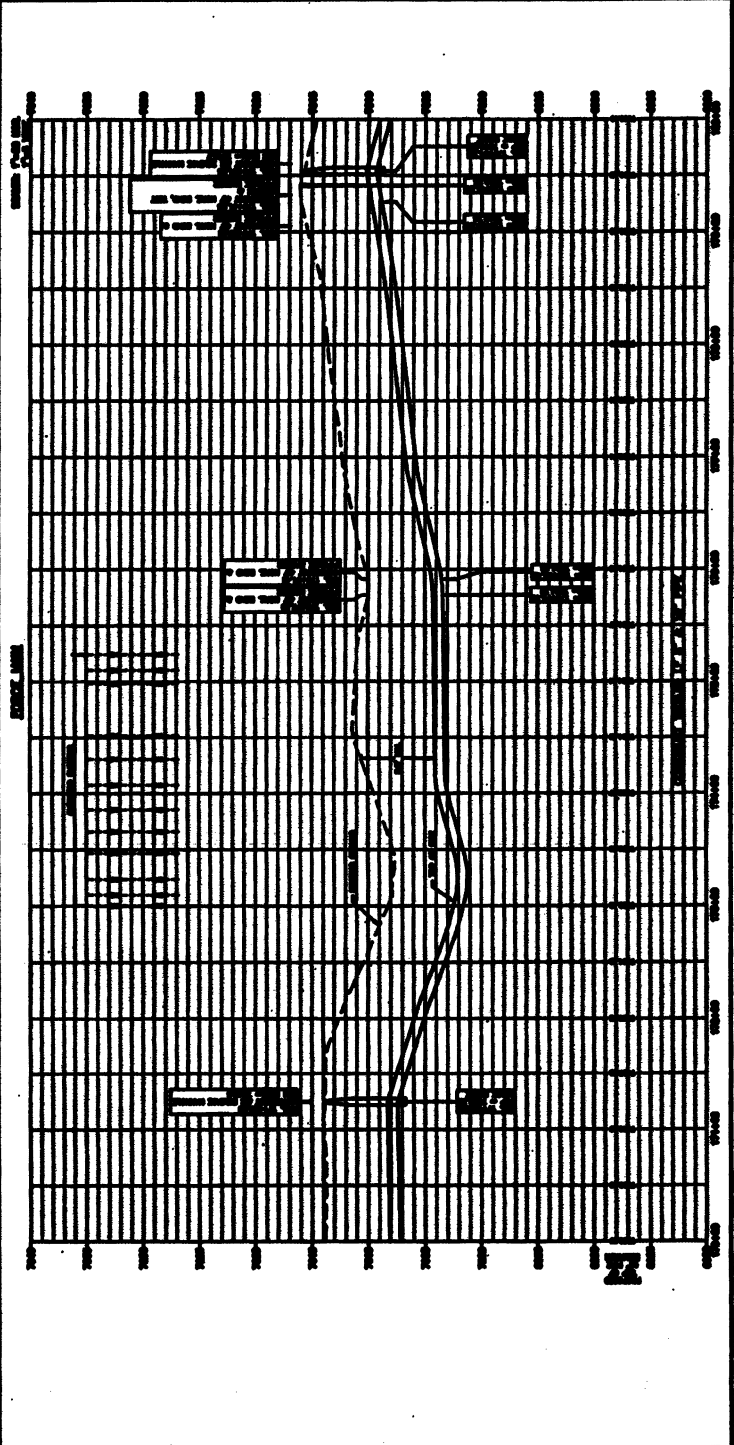
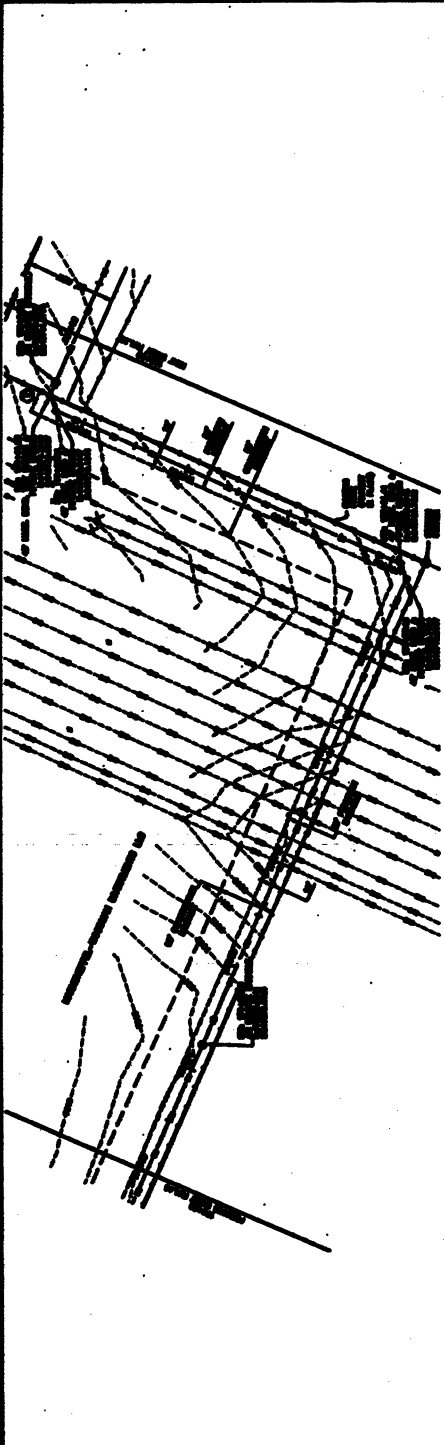
FORCE MAIN PLAN & PROFILE
STA. 170+00 TO STA. 180+00

STERLING RANCH LIFT STATION AND FORCE MAIN
STERLING RANCH MEMORIAL DISTRICT NO. 1

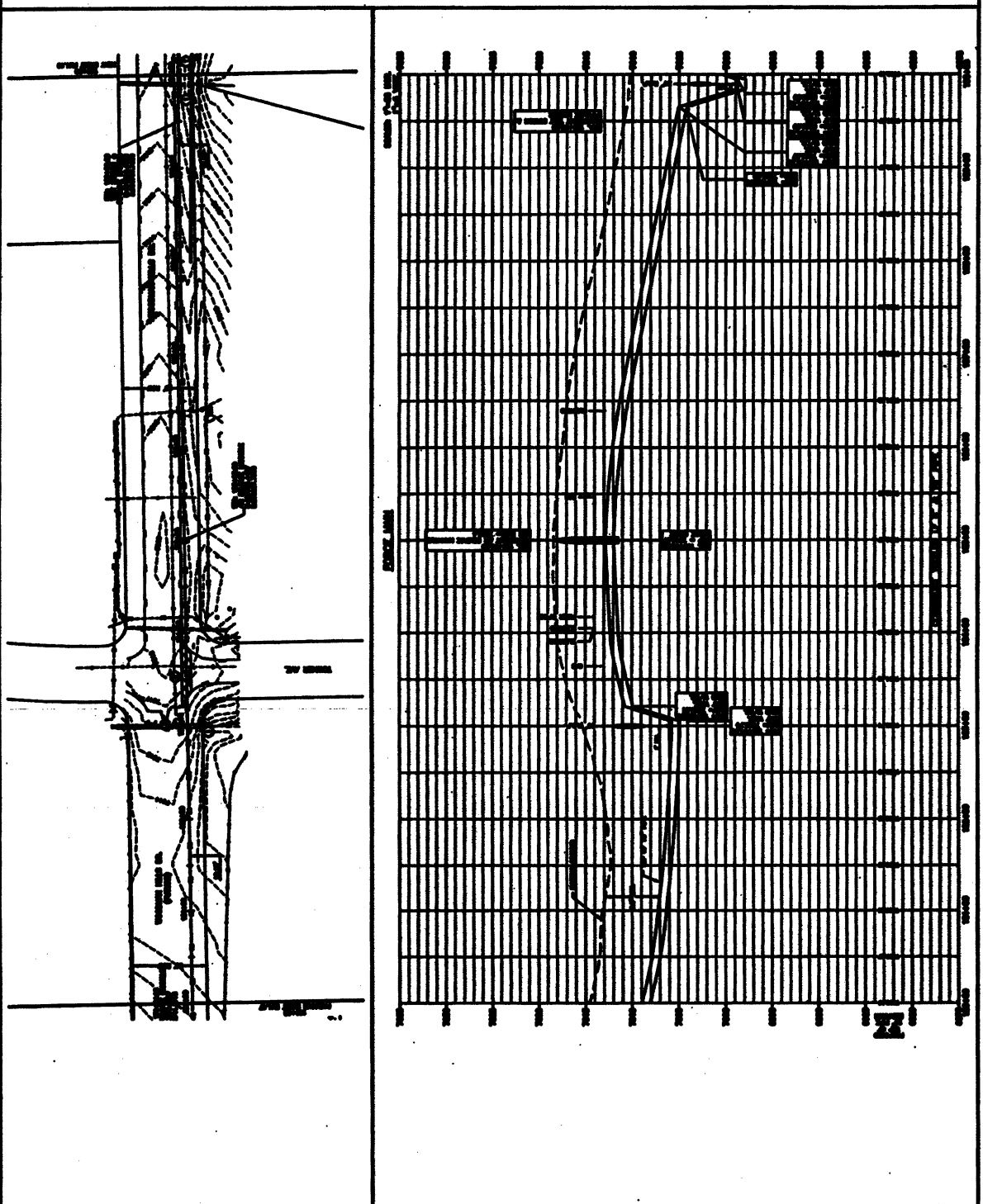
LAMP RYNEARSON & ASSOCIATES
10101 W. BUCKLEBOURNE RD. SUITE 100
DALLAS, TEXAS 75243
(972) 241-8800

DATE	
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APPROVED	

- NOTES:**
- SEE SHEET 170-01 FOR GENERAL NOTES.
 - SEE SHEET 170-02 FOR GENERAL NOTES.
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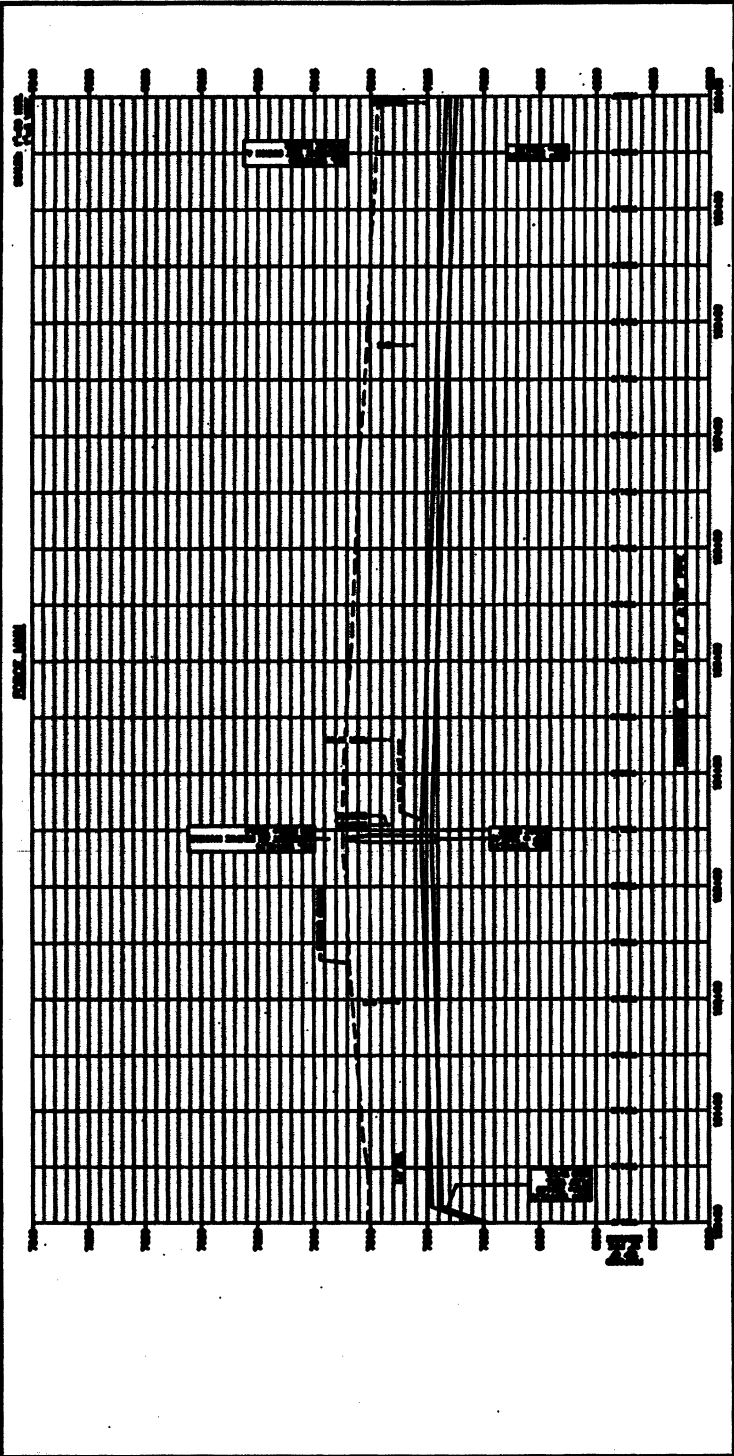
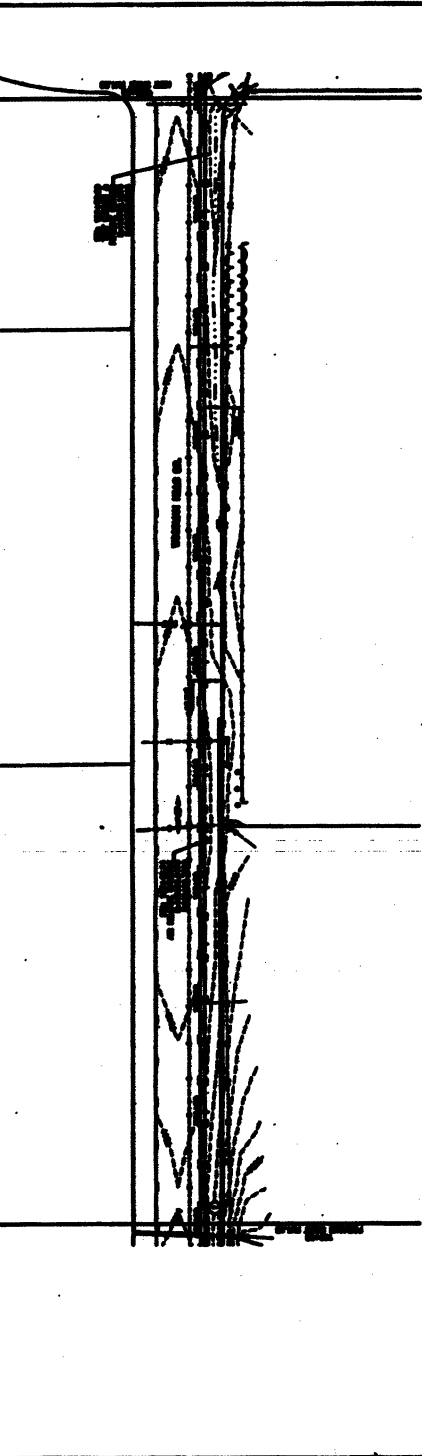
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 - 173. 1044" DIA. FORCE MAIN
 - 174. 1050" DIA. FORCE MAIN
 - 175. 1056" DIA. FORCE MAIN
 - 176. 1062" DIA. FORCE MAIN
 - 177. 1068" DIA. FORCE MAIN
 - 178. 1074" DIA. FORCE MAIN
 - 179. 1080" DIA. FORCE MAIN
 - 180. 1086" DIA. FORCE MAIN
 - 181. 1092" DIA. FORCE MAIN
 - 182. 1098" DIA. FORCE MAIN
 - 183. 1104" DIA. FORCE MAIN
 - 184. 1110" DIA. FORCE MAIN
 - 185. 1116" DIA. FORCE MAIN
 - 186. 1122" DIA. FORCE MAIN
 - 187. 1128" DIA. FORCE MAIN
 - 188. 1134" DIA. FORCE MAIN
 - 189. 1140" DIA. FORCE MAIN
 - 190. 1146" DIA. FORCE MAIN
 - 191. 1152" DIA. FORCE MAIN
 - 192. 1158" DIA. FORCE MAIN
 - 193. 1164" DIA. FORCE MAIN
 - 194. 1170" DIA. FORCE MAIN
 - 195. 1176" DIA. FORCE MAIN
 - 196. 1182" DIA. FORCE MAIN
 - 197. 1188" DIA. FORCE MAIN
 - 198. 1194" DIA. FORCE MAIN
 - 199. 1200" DIA. FORCE MAIN



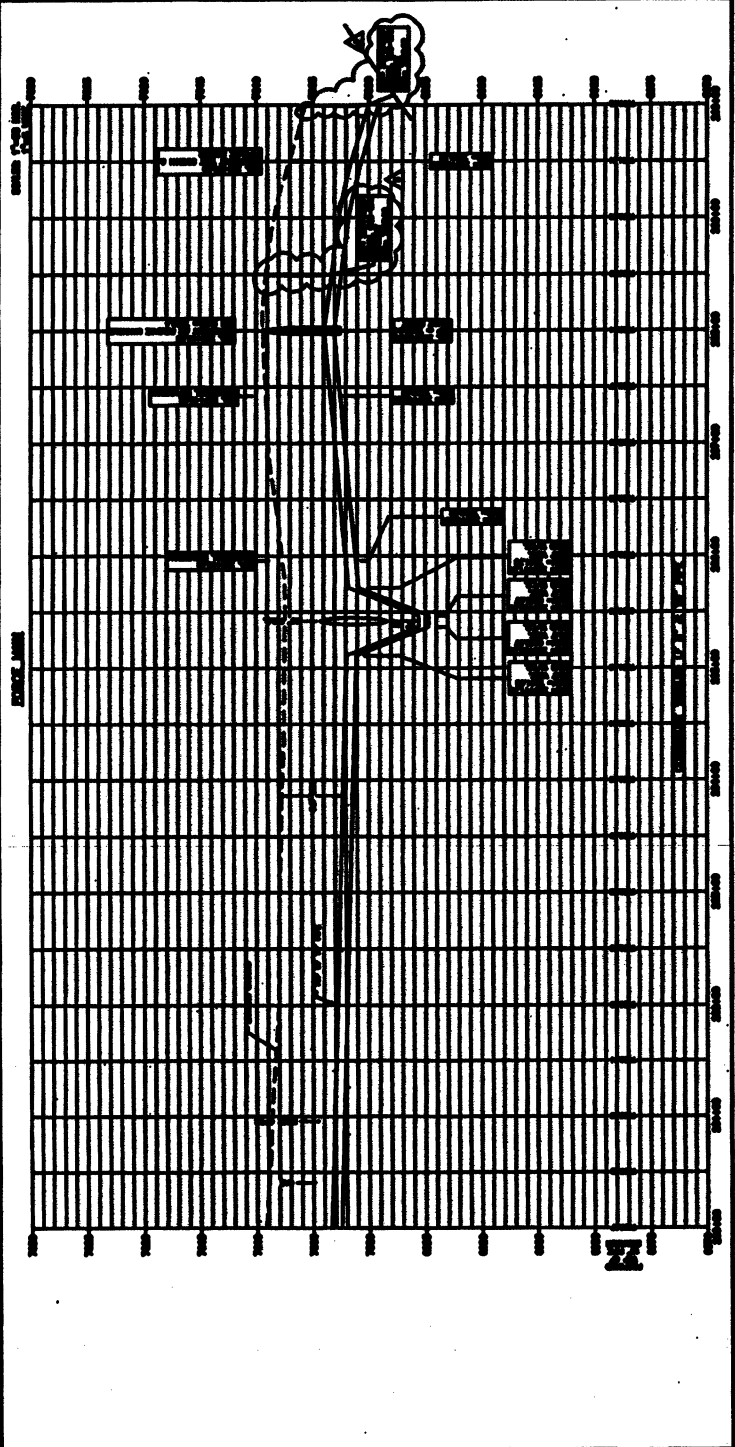
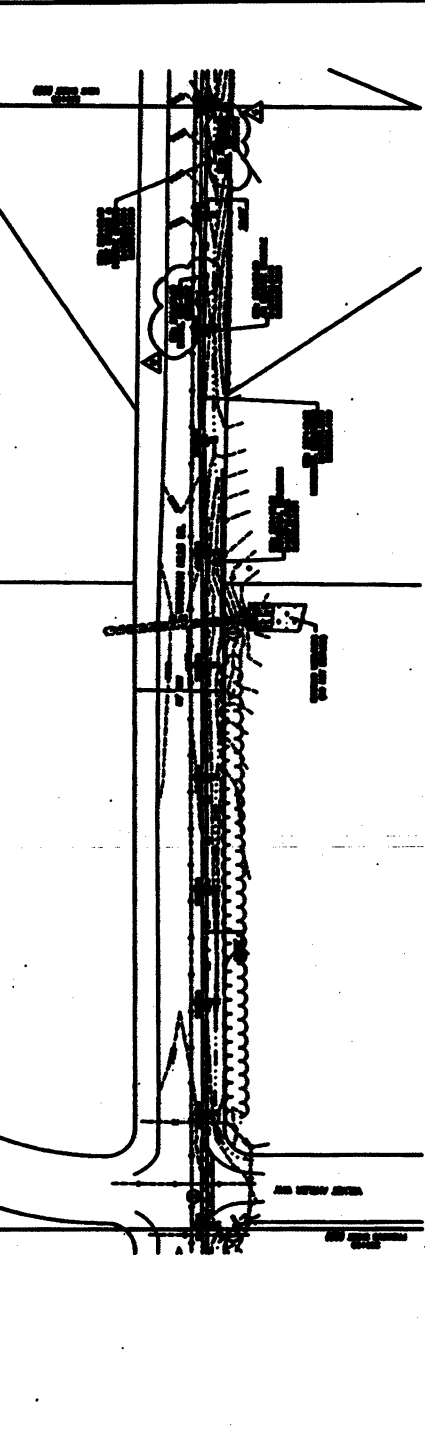


FORCE MAIN PLAN & PROFILE
STA. 200+00 TO STA. 210+00

LAMP RYNEARSON & ASSOCIATES
STERLING RANCH LIFT STATION AND FORCE MAIN
STERLING RANCH MEMORIAL DISTRICT NO. 1

DATE	
BY	
CHECKED	
APPROVED	
SCALE	
PROJECT NO.	
SHEET NO.	

- LEGEND**
- 12" DIA. FORCE MAIN
 - 18" DIA. FORCE MAIN
 - 24" DIA. FORCE MAIN
 - 30" DIA. FORCE MAIN
 - 36" DIA. FORCE MAIN
 - 42" DIA. FORCE MAIN
 - 48" DIA. FORCE MAIN
 - 54" DIA. FORCE MAIN
 - 60" DIA. FORCE MAIN
 - 66" DIA. FORCE MAIN
 - 72" DIA. FORCE MAIN
 - 78" DIA. FORCE MAIN
 - 84" DIA. FORCE MAIN
 - 90" DIA. FORCE MAIN
 - 96" DIA. FORCE MAIN
 - 102" DIA. FORCE MAIN
 - 108" DIA. FORCE MAIN
 - 114" DIA. FORCE MAIN
 - 120" DIA. FORCE MAIN
 - 126" DIA. FORCE MAIN
 - 132" DIA. FORCE MAIN
 - 138" DIA. FORCE MAIN
 - 144" DIA. FORCE MAIN
 - 150" DIA. FORCE MAIN
 - 156" DIA. FORCE MAIN
 - 162" DIA. FORCE MAIN
 - 168" DIA. FORCE MAIN
 - 174" DIA. FORCE MAIN
 - 180" DIA. FORCE MAIN
 - 186" DIA. FORCE MAIN
 - 192" DIA. FORCE MAIN
 - 198" DIA. FORCE MAIN
 - 204" DIA. FORCE MAIN
 - 210" DIA. FORCE MAIN
 - 216" DIA. FORCE MAIN
 - 222" DIA. FORCE MAIN
 - 228" DIA. FORCE MAIN
 - 234" DIA. FORCE MAIN
 - 240" DIA. FORCE MAIN
 - 246" DIA. FORCE MAIN
 - 252" DIA. FORCE MAIN
 - 258" DIA. FORCE MAIN
 - 264" DIA. FORCE MAIN
 - 270" DIA. FORCE MAIN
 - 276" DIA. FORCE MAIN
 - 282" DIA. FORCE MAIN
 - 288" DIA. FORCE MAIN
 - 294" DIA. FORCE MAIN
 - 300" DIA. FORCE MAIN





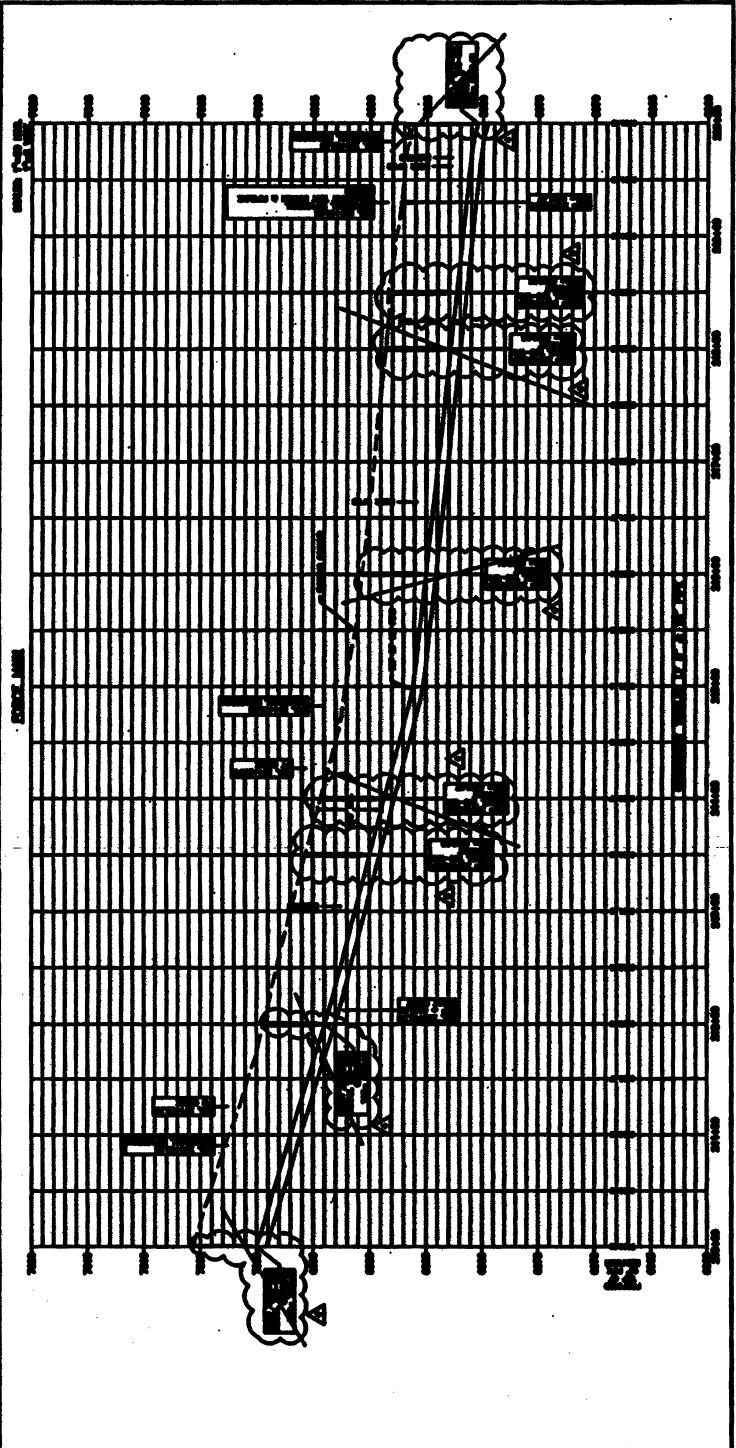
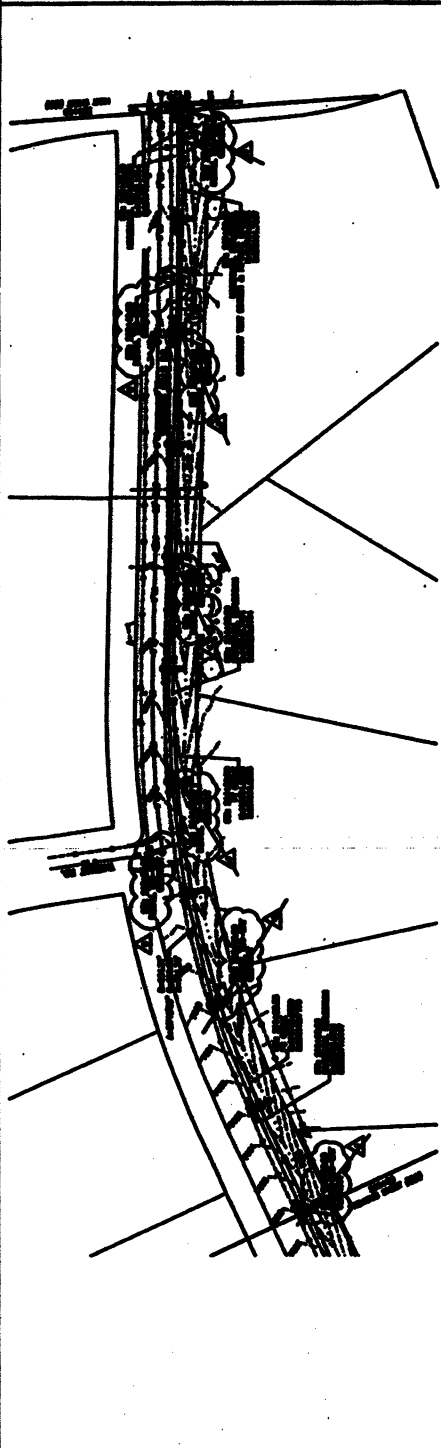
FORCE MAN PLAN & PROFILE
STA. 210+00 TO STA. 220+00

LAMP RYNEARSON & ASSOCIATES

STERLING RANCH LIFT STATION AND FORCE MAIN
DISTRICT NO. 1



- 1. FORCE MAIN
- 2. LIFT STATION
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FORCE MAIN PLAN & PROFILE
STA. 230+00 TO STA. 230+00

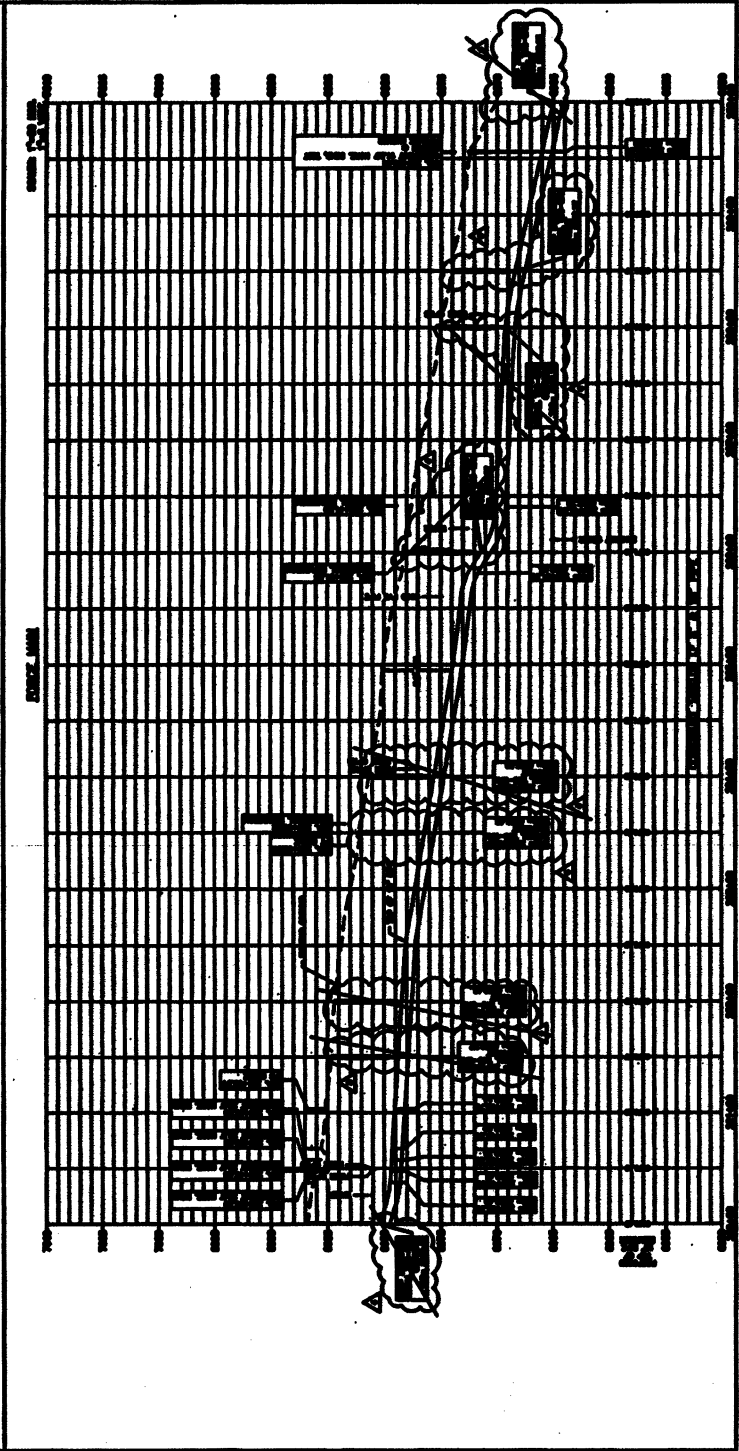
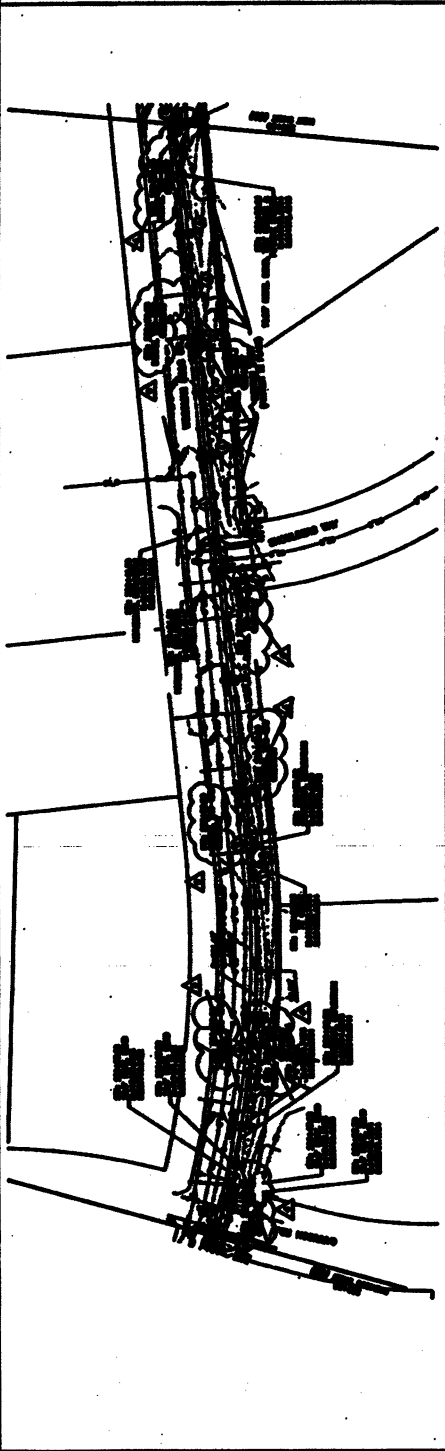
STERLING RAVEN LIFT STATION AND FORCE MAIN
DISTRICT NO. 1

LAMP RYNEARSON
& ASSOCIATES

DATE:	
SCALE:	
PROJECT NO.:	
CLIENT:	
LOCATION:	
DESIGNED BY:	
CHECKED BY:	
APPROVED BY:	



- 1. FORCE MAIN SIZE AND DEPTH SHALL BE AS SHOWN.
- 2. ALL FORCE MAINS SHALL BE 4' DIA. UNLESS OTHERWISE NOTED.
- 3. ALL FORCE MAINS SHALL BE 15' DEEP UNLESS OTHERWISE NOTED.
- 4. ALL FORCE MAINS SHALL BE 15' DEEP UNLESS OTHERWISE NOTED.
- 5. ALL FORCE MAINS SHALL BE 15' DEEP UNLESS OTHERWISE NOTED.
- 6. ALL FORCE MAINS SHALL BE 15' DEEP UNLESS OTHERWISE NOTED.
- 7. ALL FORCE MAINS SHALL BE 15' DEEP UNLESS OTHERWISE NOTED.
- 8. ALL FORCE MAINS SHALL BE 15' DEEP UNLESS OTHERWISE NOTED.
- 9. ALL FORCE MAINS SHALL BE 15' DEEP UNLESS OTHERWISE NOTED.
- 10. ALL FORCE MAINS SHALL BE 15' DEEP UNLESS OTHERWISE NOTED.



DATE	
SCALE	
PROJECT NO.	
DESIGNER	
CHECKER	
APPROVED	

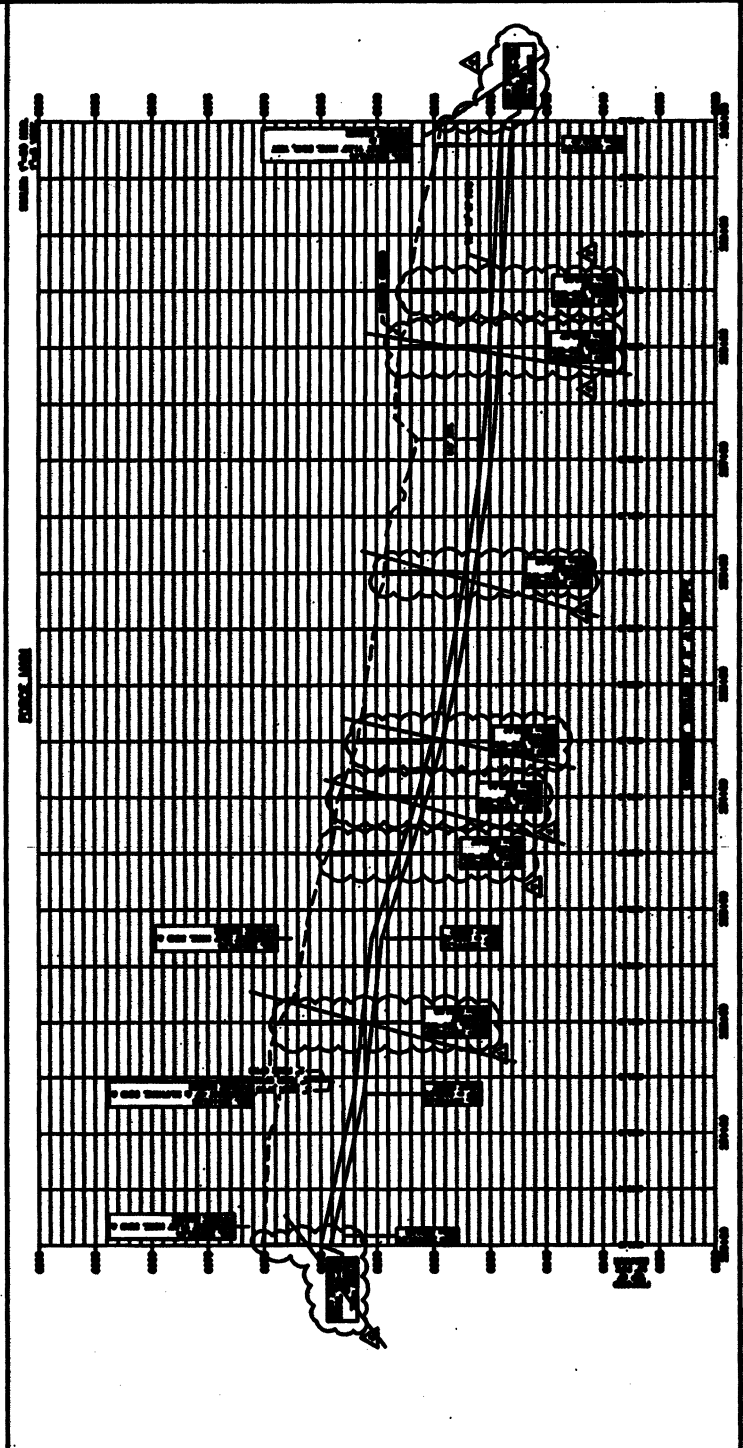
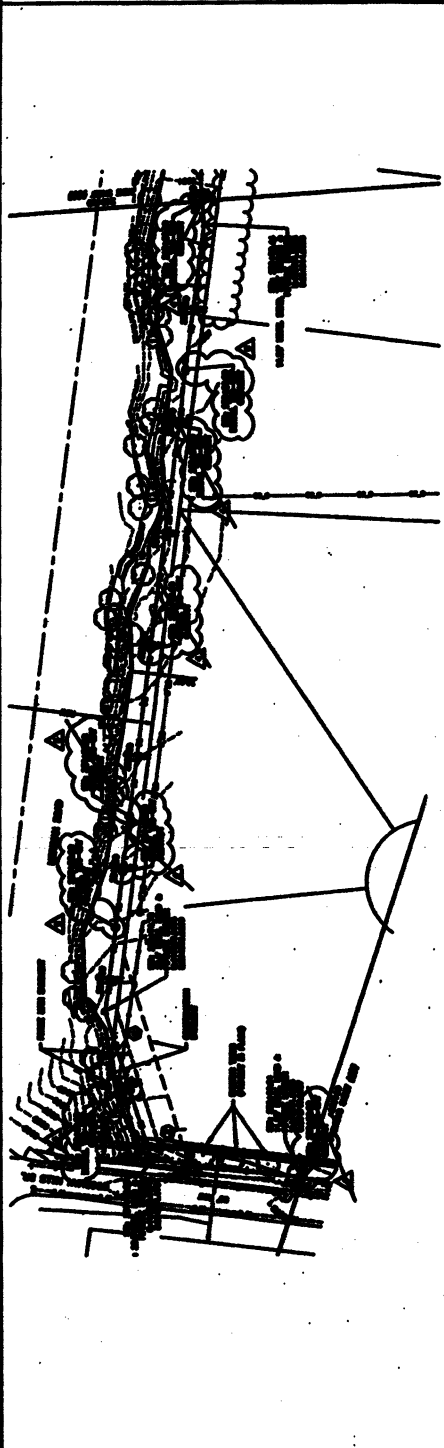
STRENGTH RATCH LEFT STATION AND FORCE MAIN
 STRENGTH RATCH MEMPHIS DISTRICT NO. 1
LAMP RYNEARSON & ASSOCIATES
 1000 SOUTH GUYTON AVENUE, SUITE 200
 MEMPHIS, TENNESSEE 38103
 (901) 525-1234

FORCE MAIN PLAN & PROFILE
 STA. 230+00 TO STA. 240+00



PM-23

- 1. SEE SHEET FOR EXISTING CONDITIONS.
- 2. SEE SHEET FOR EXISTING CONDITIONS.
- 3. SEE SHEET FOR EXISTING CONDITIONS.
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- 100. SEE SHEET FOR EXISTING CONDITIONS.



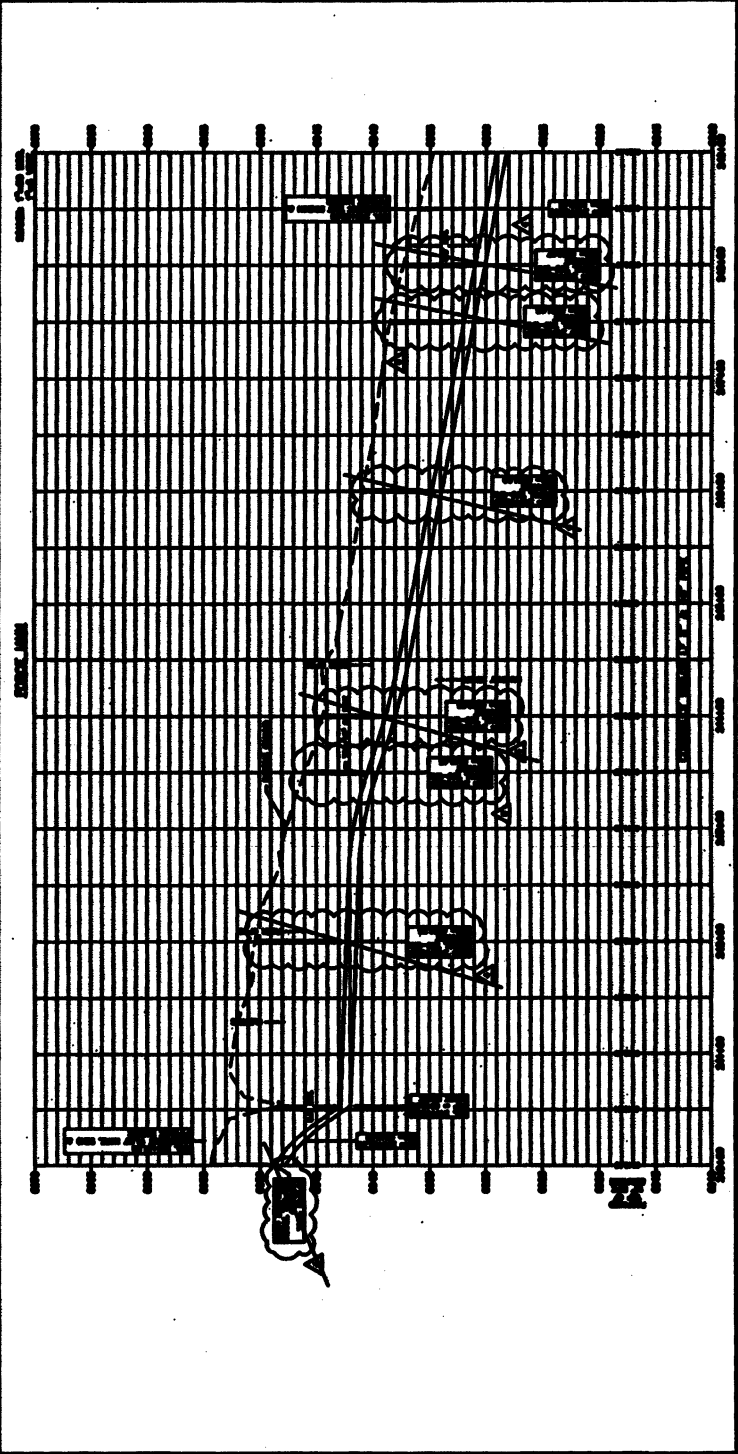
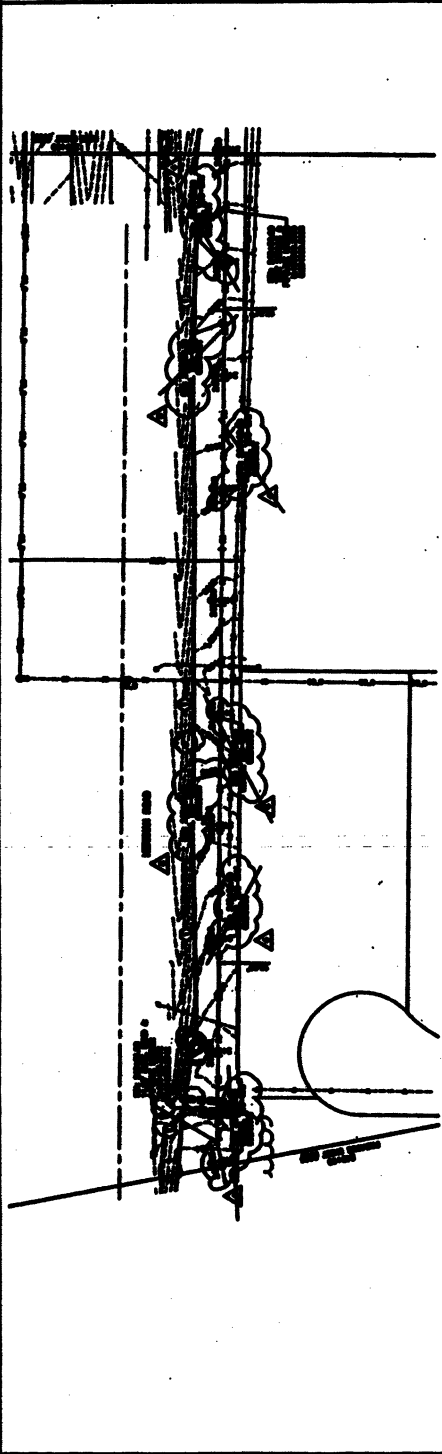
FORCE MAIN PLAN & PROFILE
 STA. 240+00 TO STA. 250+00



PM11.24
 DATE: 11/11/04
 DRAWN BY: [Signature]



- 1. ALL DIMENSIONS ARE IN FEET UNLESS OTHERWISE NOTED.
- 2. ALL ELEVATIONS ARE IN FEET UNLESS OTHERWISE NOTED.
- 3. ALL CONCRETE SHALL BE 3000 PSI UNLESS OTHERWISE NOTED.
- 4. ALL STRUCTURES SHALL BE CONCRETE ON GRADE UNLESS OTHERWISE NOTED.
- 5. ALL STRUCTURES SHALL BE 12" MIN. THICK UNLESS OTHERWISE NOTED.
- 6. ALL STRUCTURES SHALL BE 12" MIN. HIGH UNLESS OTHERWISE NOTED.
- 7. ALL STRUCTURES SHALL BE 12" MIN. WIDE UNLESS OTHERWISE NOTED.
- 8. ALL STRUCTURES SHALL BE 12" MIN. DEEP UNLESS OTHERWISE NOTED.
- 9. ALL STRUCTURES SHALL BE 12" MIN. SPACING UNLESS OTHERWISE NOTED.
- 10. ALL STRUCTURES SHALL BE 12" MIN. SPACING UNLESS OTHERWISE NOTED.
- 11. ALL STRUCTURES SHALL BE 12" MIN. SPACING UNLESS OTHERWISE NOTED.
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- 18. ALL STRUCTURES SHALL BE 12" MIN. SPACING UNLESS OTHERWISE NOTED.
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- 20. ALL STRUCTURES SHALL BE 12" MIN. SPACING UNLESS OTHERWISE NOTED.



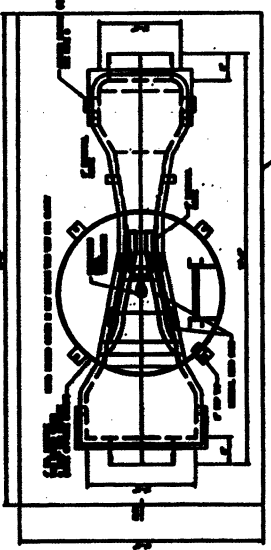
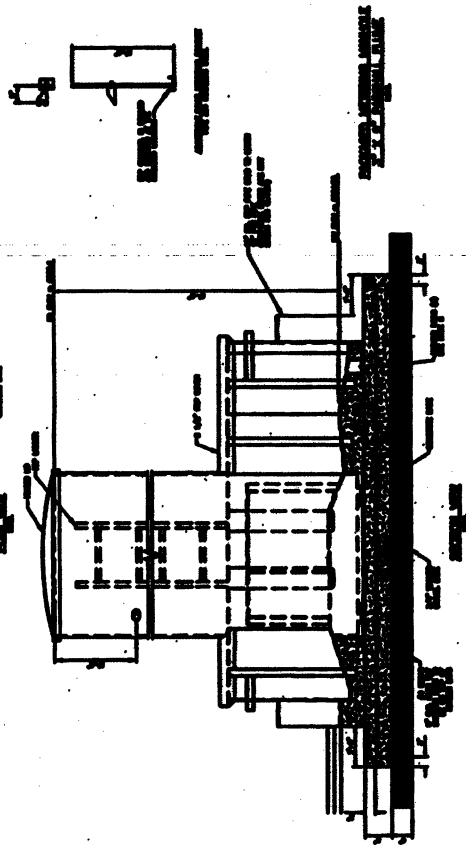
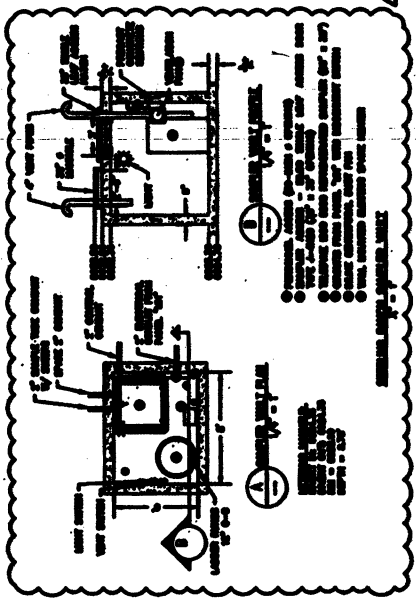
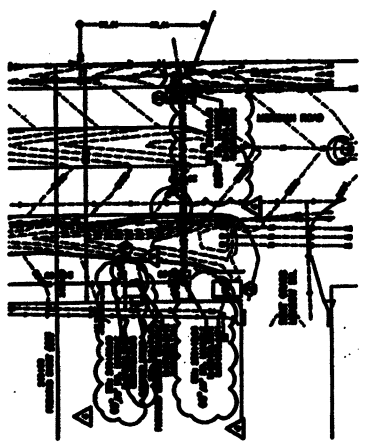
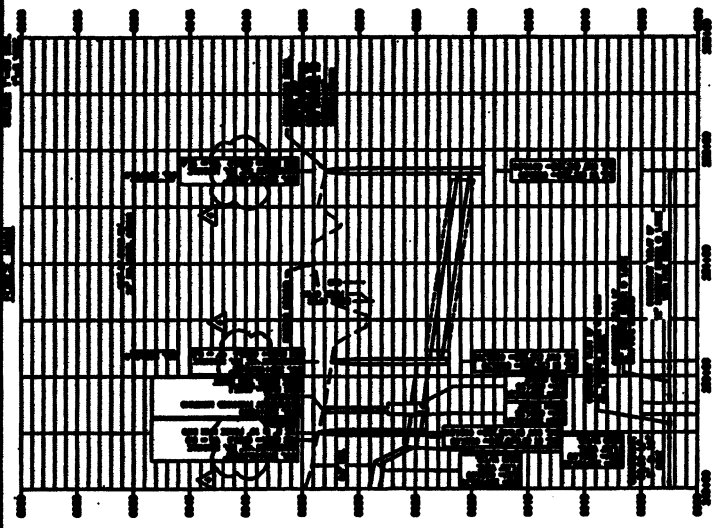


FORCE MAIN PLAN & PROFILE
STA. 246+00 TO STA. 251+63.43
AND
PACKAGED RETURNING MANHOLE

STERLING MANHOLE LIFT STATION AND FORCE MAIN
STERLING MANHOLE METROPOLITAN DISTRICT NO. 1

LAMP RYNEARSON
& ASSOCIATES

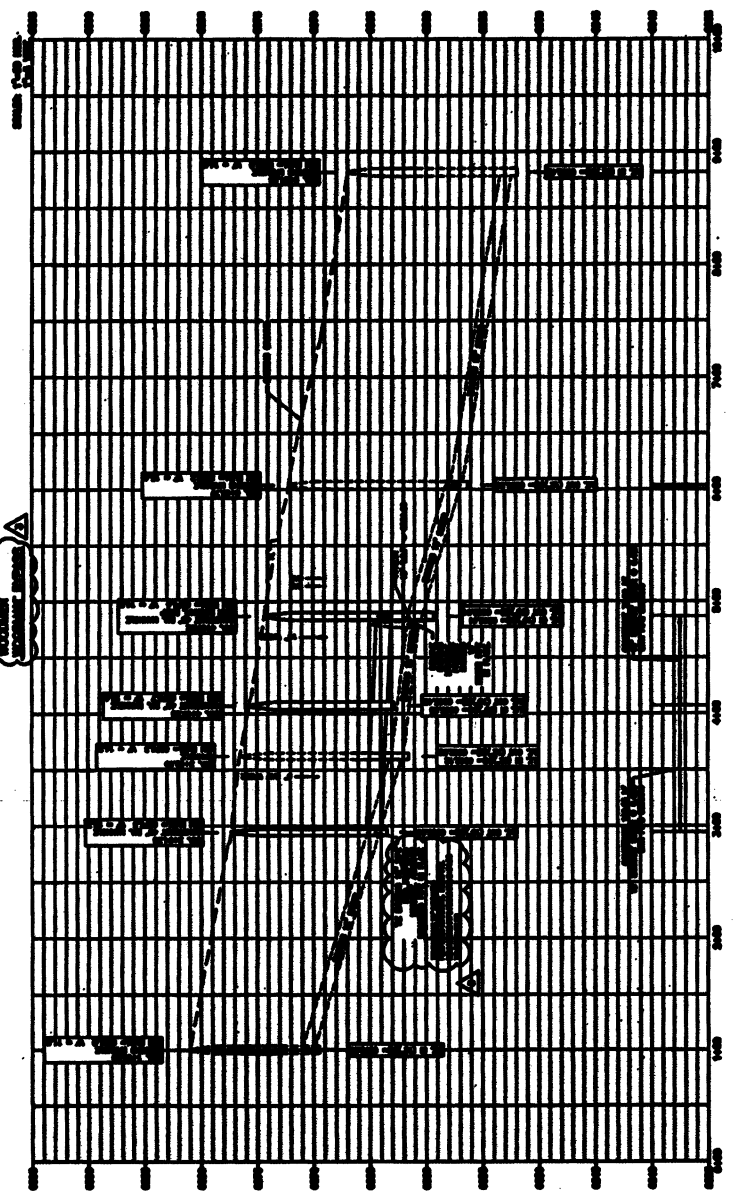
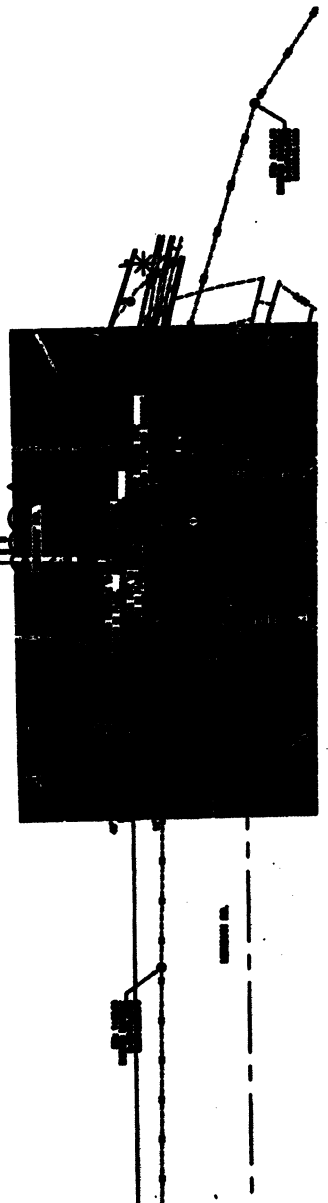
- 1. ALL DIMENSIONS ARE IN FEET AND INCHES.
- 2. ALL DIMENSIONS ARE TO CENTER UNLESS OTHERWISE NOTED.
- 3. ALL DIMENSIONS ARE TO CENTER UNLESS OTHERWISE NOTED.
- 4. ALL DIMENSIONS ARE TO CENTER UNLESS OTHERWISE NOTED.
- 5. ALL DIMENSIONS ARE TO CENTER UNLESS OTHERWISE NOTED.
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- 8. ALL DIMENSIONS ARE TO CENTER UNLESS OTHERWISE NOTED.
- 9. ALL DIMENSIONS ARE TO CENTER UNLESS OTHERWISE NOTED.
- 10. ALL DIMENSIONS ARE TO CENTER UNLESS OTHERWISE NOTED.





PM1.26

- NOTES:**
1. SEE ALL NOTES ON SHEETS PM1.25 THROUGH PM1.29.
 2. ALL EXISTING AND PROPOSED SEWER LINES SHALL BE 15' DEEP UNLESS OTHERWISE NOTED.
 3. ALL EXISTING AND PROPOSED SEWER LINES SHALL BE 12" DIA. UNLESS OTHERWISE NOTED.
 4. ALL EXISTING AND PROPOSED SEWER LINES SHALL BE 15' DEEP UNLESS OTHERWISE NOTED.
 5. ALL EXISTING AND PROPOSED SEWER LINES SHALL BE 12" DIA. UNLESS OTHERWISE NOTED.
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 20. ALL EXISTING AND PROPOSED SEWER LINES SHALL BE 15' DEEP UNLESS OTHERWISE NOTED.

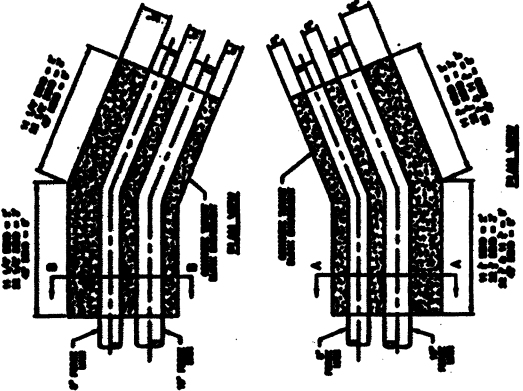
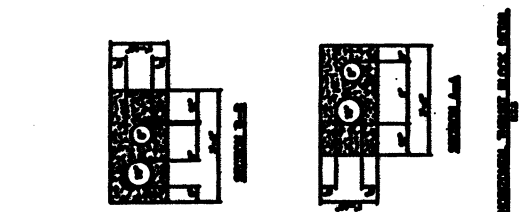
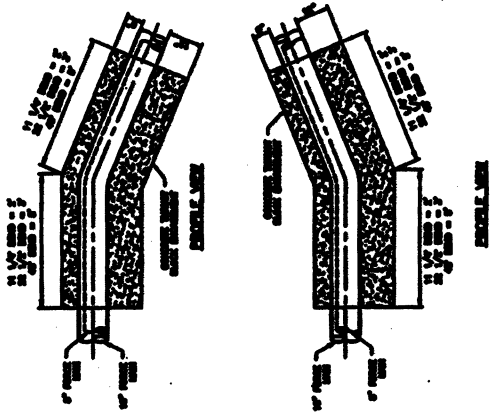
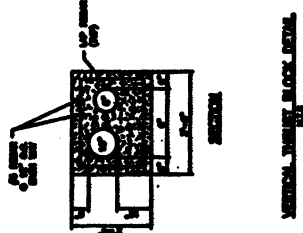




FORCE MAIN
CONSTRUCTION DETAILS

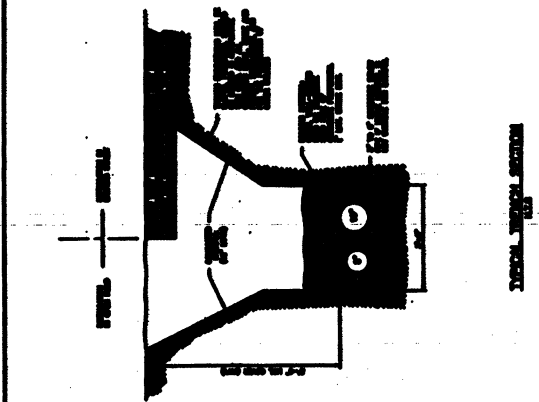
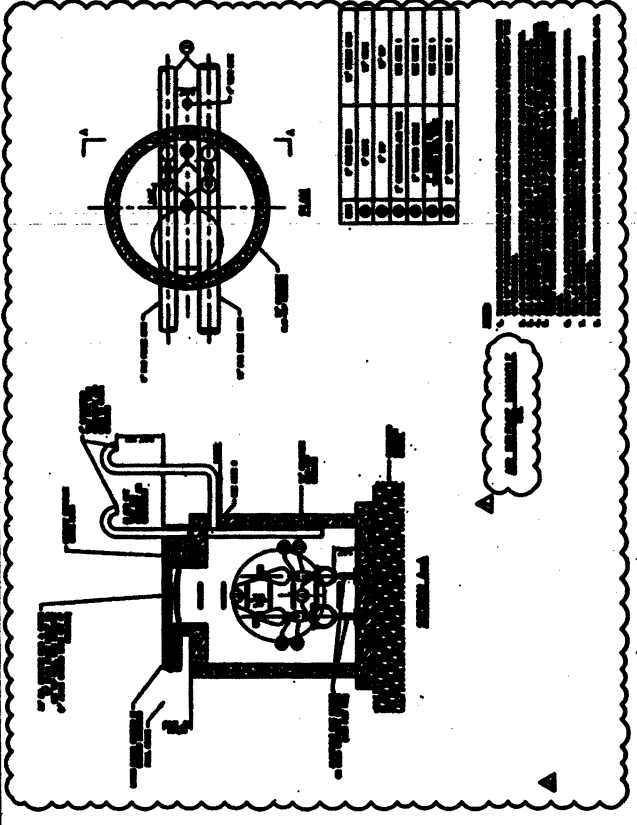
LAMP RYANERSON & ASSOCIATES
1000 WEST 10TH AVENUE, SUITE 200
DENVER, COLORADO 80202
TELEPHONE: 333-1111
FAX: 333-1111

STERLING RANCH LIFT STATION AND FORCE MAIN
DISTRICT NO. 1



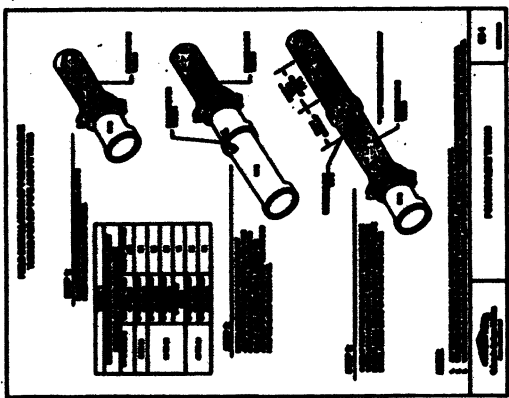
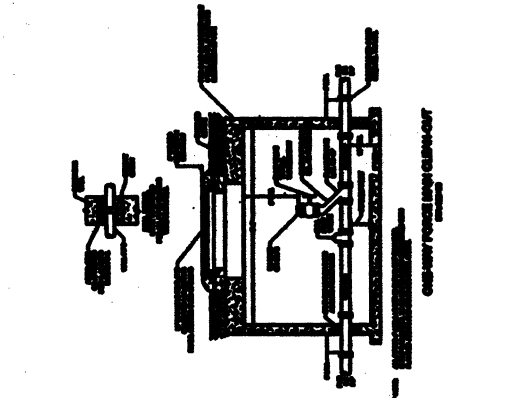
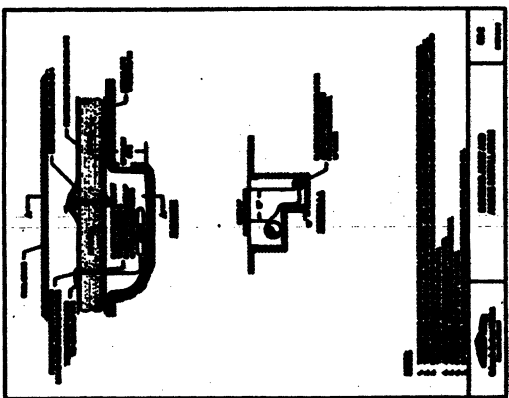
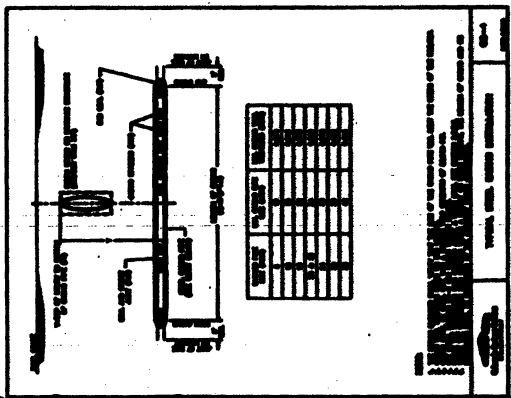
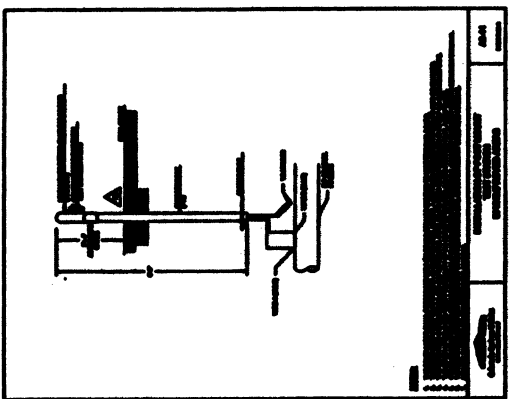
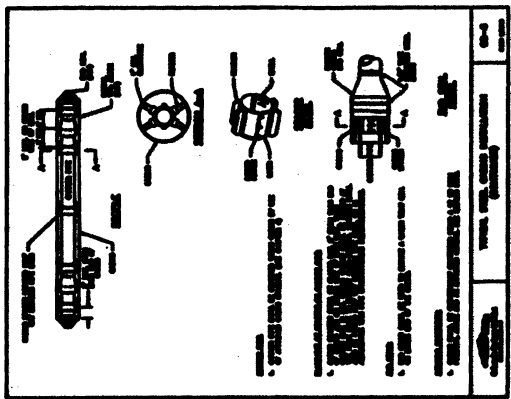
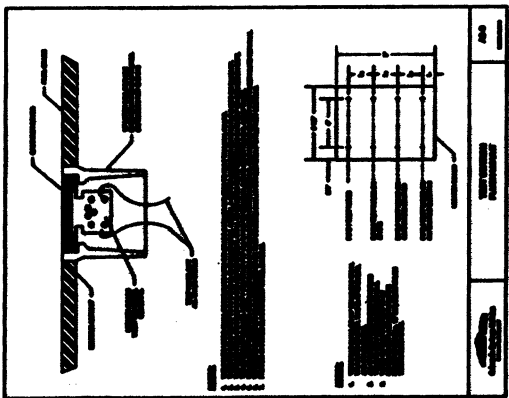
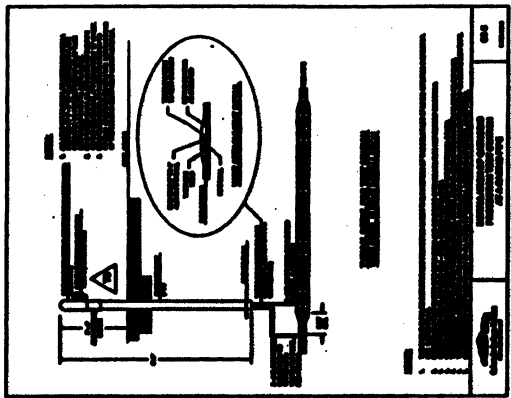
Legend for material hatching:

[Hatched pattern]	CONCRETE
[Hatched pattern]	PIPE
[Hatched pattern]	TRENCH WALL
[Hatched pattern]	TRENCH FLOOR



FORCE MAIN
CONSTRUCTION DETAILS

LAMP RYANSON & ASSOCIATES
STEWING RANCH LIFT STATION AND FORCE MAIN
STEWING RANCH METROPOLITAN DISTRICT NO. 1





FORCE MAIN
CONSTRUCTION DETAILS

LAMP RYANSON & ASSOCIATES
STERLING RANCH LIFT STATION AND FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1

