

GENERAL NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH CITY OF COLORADO SPRINGS CODE, ENGINEERING DIVISION, GENERAL PROVISIONS, SPECIAL PROVISIONS, ENGINEERING SPECIFICATIONS, REVISIONS TO STANDARD SPECIFICATIONS AND SUPPLEMENTAL SPECIFICATIONS, LATEST REVISION.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH APPLICABLE STANDARDS AND REGULATIONS AS SET FORTH BY THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (O.S.H.A.).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, LICENSES AND FEES REQUIRED FOR COMPLETION OF THIS PROJECT UNLESS SPECIFICALLY NOTED OTHERWISE.
- THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A 24 HOUR PHONE NUMBER OF A PARTY RESPONSIBLE AND CAPABLE OF IMMEDIATE LOCAL RESPONSE TO EMERGENCY MAINTENANCE FOR THE DURATION OF THE WORK. CONTRACTOR SHALL PROVIDE THE NAME OF THE RESPONSIBLE PARTY AND PHONE NUMBER IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
- NO FIELD CHANGES SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER.
- SUBMITTALS SHALL BE MADE FOR ALL MATERIALS TO BE INCORPORATED INTO THE PROJECT.
- THE PHYSICAL FEATURES WITHIN THE LIMITS OF THE PROJECT HAVE BEEN SHOWN ON THE BEST AVAILABLE INFORMATION AT THE TIME OF DESIGN. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE FEATURES SHOWN. THE CONTRACTOR SHALL REVIEW AND VERIFY EXISTING PHYSICAL FEATURES AND ELEVATIONS OF THE CONDITIONS TO BE ENCOUNTERED DURING CONSTRUCTION.
- THE ENGINEER SHALL BE NOTIFIED WITHIN 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE SAFE PEDESTRIAN ACCESS AT ALL TIMES DURING THE PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING ANY MONUMENTS, RANGE POINTS, TIES, BENCHMARKS AND/OR SURVEY CONTROL POINTS WHICH MAY BE DISTRIBUTED OR DESTROYED BY CONSTRUCTION. SUCH POINTS SHALL BE REFERENCED AND REPLACED WITH APPROPRIATE MONUMENT BY A REGISTERED PROFESSIONAL LAND SURVEYOR AUTHORIZED TO PRACTICE LAND SURVEYING IN THE STATE OF COLORADO.
- THE CONTRACTOR SHALL HAVE A COPY OF ALL APPLICABLE STANDARDS AND APPROVED CONSTRUCTION PLANS AND SPECIFICATIONS ON SITE FOR THE DURATION OF THE PROJECT.
- THE CONTRACTOR SHALL FURNISH, INSTALL, AND MAINTAIN TEMPORARY TRAFFIC CONTROL DEVICES NECESSARY THROUGHOUT THE DURATION OF CONSTRUCTION.
- THE CONTRACTOR WILL BE RESPONSIBLE TO ADHERE TO THE CDPHE OR EPA APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP), IF APPLICABLE TO THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE MADE TO BMPs IDENTIFIED IN THE SWPPP. THE APPROVED STORM WATER POLLUTION PREVENTION PLAN WILL BE PROVIDED BY OWNER TO CONTRACTOR UPON WRITTEN REQUEST. IF A SWPPP HAS NOT BEEN PREPARED FOR THE PROJECT, BUT IS REQUIRED BY REGULATION, THE CONTRACTOR IS RESPONSIBLE FOR PREPARING AND SUBMITTING A NOTICE OF INTENT AND SWPPP.
- ANY DISCREPANCY WITHIN THESE PLANS SHOULD BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER AND WORK SHALL STOP UNTIL THE DISCREPANCY IS DISCUSSED AND DECISIONS/AGREEMENTS HAVE BEEN MADE.
- IF GROUNDWATER IS DISCOVERED DURING CONSTRUCTION, STOP WORK IMMEDIATELY AND CONTACT ENGINEERING.
- ALL MATERIAL FURNISHED ON OR FOR THIS PROJECT SHALL MEET THE MINIMUM REQUIREMENTS OF THE APPROVING AGENCIES OR AS SET FORTH HEREIN, WHICHEVER IS MORE RESTRICTIVE.
- BY PROCEEDING WITH THE WORK AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR MAKES THE FOLLOWING REPRESENTATIONS:
 - CONTRACTOR HAS EXAMINED AND CAREFULLY STUDIED THE DRAWINGS AND OTHER RELATED DATA.
 - CONTRACTOR IS FAMILIAR WITH AND IS SATISFIED AS TO ALL FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS THAT MAY AFFECT COST, PROGRESS, PERFORMANCE AND FURNISHING OF THE WORK.
 - CONTRACTOR HAS VISITED THE SITE AND BECOME FAMILIAR WITH AND IS SATISFIED AS TO THE GENERAL, LOCAL AND SITE CONDITIONS THAT MAY AFFECT COST, PROGRESS, PERFORMANCE OR FURNISHING OF THE WORK.
 - CONTRACTOR ACKNOWLEDGES THAT OWNER AND ENGINEER DO NOT ASSUME RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF INFORMATION AND DATA SHOWN OR INDICATED IN THE DRAWINGS WITH RESPECT TO UNDERGROUND FACILITIES AT OR CONTIGUOUS TO THE SITE.
 - CONTRACTOR HAS OBTAINED AND CAREFULLY STUDIED (OR ASSUMES RESPONSIBILITY FOR HAVING DONE SO) ALL SUCH ADDITIONAL SUPPLEMENTARY EXAMINATIONS, INVESTIGATIONS, EXPLORATIONS, TESTS, STUDIES AND DATA CONCERNING CONDITIONS (SURFACE, SUBSURFACE AND UNDERGROUND FACILITIES) AT OR CONTIGUOUS TO THE SITE OR OTHERWISE WHICH MAY AFFECT THE PROGRESS, PERFORMANCE OR FURNISHING OF THE WORK OR WHICH RELATE TO ANY ASPECT OF THE MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION TO BE EMPLOYED BY CONTRACTOR INCLUDING APPLYING THE SPECIFIC MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, IF ANY, EXPRESSLY REQUIRED BY THE DRAWINGS TO BE EMPLOYED BY THE CONTRACTOR, AND SAFETY PRECAUTIONS AND PROGRAMS INCIDENT THERETO.
 - CONTRACTOR IS AWARE OF THE GENERAL NATURE OF WORK TO BE PERFORMED BY OWNER AND OTHERS AT THE SITE THAT RELATES TO THE WORK.
 - CONTRACTOR HAS GIVEN ENGINEER WRITTEN NOTICE OF ALL CONFLICTS, ERRORS, AMBIGUITIES OR DISCREPANCIES THAT CONTRACTOR HAS DISCOVERED IN THE DRAWINGS AND THE WRITTEN RESOLUTION THEREOF BY ENGINEER IS ACCEPTABLE TO CONTRACTOR.
 - THE DRAWINGS ARE GENERALLY SUFFICIENT TO INDICATE AND CONVEY UNDERSTANDING OF ALL TERMS AND CONDITIONS FOR PERFORMANCE AND FURNISHING OF THE WORK
- IN RESOLVING DISPUTES RESULTING FROM CONFLICTS, ERRORS OR DISCREPANCIES, THE ORDER OF PRECEDENCE SHALL BE AS FOLLOWS, AS APPLICABLE TO THIS PROJECT: WRITTEN AGREEMENT BETWEEN OWNER AND CONTRACTOR, SPECIFICATIONS, DRAWINGS. WITHIN THE SPECIFICATIONS, THE ORDER OF PRECEDENCE IS AS FOLLOWS, AS APPLICABLE TO THIS PROJECT: ADDENDA/CHANGE ORDERS, CONTRACTOR'S BID, SPECIAL PROVISIONS, INSTRUCTIONS TO BIDDERS, SUPPLEMENTAL GENERAL CONDITIONS, NOTICE INVITING BIDS, GENERAL CONDITIONS, TECHNICAL SPECIFICATIONS, REFERENCED STANDARD SPECIFICATIONS, WITH REFERENCE TO THE DRAWINGS, THE ORDER OF PRECEDENCE IS AS FOLLOWS, AS APPLICABLE TO THIS PROJECT: FIGURES GOVERN OVER SCALED DIMENSIONS, DETAIL DRAWINGS GOVERN OVER GENERAL DRAWINGS, ADDENDA/CHANGE ORDER DRAWINGS GOVERN OVER CONTRACT DRAWINGS, CONTRACT DRAWINGS GOVERN OVER STANDARD DRAWINGS, CONTRACT DRAWINGS GOVERN OVER SHOP DRAWINGS.

GRADING, EARTHWORK, AND SURVEY NOTES:

- ALL RAMPS SHALL BE SLOPED @ 12:1 MAX (8.33%) WITH A CROSS SLOPE LESS THAN 2%.
- SQUARE OUT ALL ASPHALT.
- CONTRACTOR SHALL PROTECT ALL ADJACENT IMPROVEMENTS (BUILDINGS, ROADWAYS, FENCES, DITCHES, PARKING LOTS, UTILITIES, SIDEWALKS, CURBS, GUTTER, PARK RECREATION IMPROVEMENTS, TREES, ETC.) FROM DAMAGE AND EROSION. ALL DISTURBED AREAS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.
- COMPACT SUBGRADE AND GRAVEL CUSHION TO 95% PROCTOR DENSITY OR PER GEOTECHNICAL ENGINEERING REPORT, WHICHEVER PROVIDES A GREATER LEVEL OF COMPACTION.
- ALL EMBANKMENT MATERIAL REQUIRING COMPACTION WILL CONFORM TO ASTM STANDARDS.
- THE CONTRACTOR OR ASSIGNED AND APPROVED SUBCONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION STAKING OF BOTH HORIZONTAL AND VERTICAL LAYOUT ON THIS PROJECT. COORDINATES ARE REFERENCED IN THE COORDINATE LIST SHOWN ON THESE PLANS. THE CONTRACTOR SHALL COORDINATE WITH THE PROJECT ENGINEER FOR INTERPRETATION AND INFORMATION IN STAKING OF THE PROJECT FOR CONSTRUCTION.
- PRIOR TO PROJECT COMPLETION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF ANY PROPERTY MONUMENTATION DISTURBED OR REMOVED BY CONSTRUCTION OPERATIONS. THIS WORK SHALL BE PERFORMED BY A LAND SURVEYOR LICENSED IN THE STATE OF COLORADO. PROPERTY CORNERS WHICH FALL WITHIN NEW CONCRETE FLATWORK SHALL BE DURABLE AND SET FLUSH. THIS SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT.

UTILITY GENERAL NOTES:

- THE CONTRACTOR SHALL NOTIFY APPROPRIATE PERSONNEL FOR UTILITY LOCATIONS AND NOTICE OF CONSTRUCTION COMMENCEMENT AT LEAST THREE BUSINESS DAYS PRIOR TO PROCEEDING WITH THE WORK. BEFORE CONTRACTOR PROCEEDS WITH THE WORK, A COMMON LOCATE SERVICE (ONE CALL) IS AVAILABLE AT 811. ALL UNDERGROUND FACILITIES MAY NOT BE LOCATED BY THE ONE CALL SERVICE INCLUDING BUT NOT LIMITED TO SUCH UNDERGROUND FACILITIES AS IRRIGATION SYSTEMS, PUBLIC AND PRIVATE WATER AND SEWER SYSTEMS, ETC.
- THE INFORMATION AND DATA SHOWN OR INDICATED IN THE DRAWINGS WITH RESPECT TO EXISTING UNDERGROUND FACILITIES AT OR CONTIGUOUS TO THE SITE IS BASED ON INFORMATION AND DATA FURNISHED TO OWNER OR ENGINEER BY THE OWNERS OF SUCH UNDERGROUND FACILITIES, INCLUDING OWNER, OR BY OTHERS. UNLESS IT IS OTHERWISE NOTED.
 - OWNER AND ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY SUCH INFORMATION OR DATE; AND
 - THE COST OF ALL OF THE FOLLOWING WILL BE INCLUDED IN THE CONTRACT PRICE, AND CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR:
 - REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA,
 - LOCATING ALL UNDERGROUND FACILITIES SHOWN OR INDICATED IN THE DRAWINGS,
 - COORDINATION OF THE WORK WITH THE OWNERS OF SUCH UNDERGROUND FACILITIES, INCLUDING OWNER, DURING CONSTRUCTION, AND
 - THE SAFETY AND PROTECTION OF ALL SUCH UNDERGROUND FACILITIES AND REPAIRING ANY DAMAGE THERETO RESULTING FROM THE WORK.
- AT LEAST 2 BUSINESS DAYS BEFORE BEGINNING ANY EXCAVATION, THE CONTRACTOR SHALL NOTIFY ALL OWNERS OF UNDERGROUND FACILITIES AND COORDINATE THE WORK WITH THE OWNERS OF SUCH UNDERGROUND FACILITIES. THE INFORMATION SHOWN OR INDICATED IN THE DRAWINGS WITH RESPECT TO EXISTING UNDERGROUND FACILITIES IS BASED ON INFORMATION AND DATA OBTAINED FROM THE OWNERS OF THE FACILITIES WITHOUT FIELD EXPLORATION, AND AS SUCH, OWNER AND ENGINEER ARE NOT RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF SUCH INFORMATION OR DATA.
- ANY CONTRACTOR-CAUSED DAMAGE TO UTILITY AND/OR SERVICE LINES SHOWN OR NOT SHOWN ON THE PLANS, SHALL BE REPAIRED OR REPLACED AT NO COST TO THE OWNER, CITY, OR COLORADO SPRINGS UTILITIES AND SHALL BE ACCOMPLISHED BY THE CONTRACTOR, SUBCONTRACTOR OR AS APPROVED BY THE CITY ENGINEER.
- THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITY AND STRUCTURES AFFECTED BY THE WORK AND ANY DAMAGE SHALL BE REPAIRED AND RESTORED TO THE SATISFACTION OF THE CITY OF COLORADO SPRINGS. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL UTILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE ALL UTILITY RELOCATIONS AS NECESSARY. ALL UTILITY SERVICES SHALL BE CONSTRUCTED PER THE INTERNATIONAL PLUMBING CODE, LOCAL JURISDICTIONAL POLICY, AND THE SERVICE PROVIDER STANDARDS AND SPECIFICATIONS.
- EXISTING UNDERGROUND TELEPHONE, FIBER AND CABLE TELEVISION FACILITIES MAY BE LOCATED IN CLOSE PROXIMITY TO THE WORK. THE CONTRACTOR MAY, IF NECESSARY, TEMPORARILY DISPLACE THE CABLES DURING CONSTRUCTION AND REINSTALL THEM IN ACCORDANCE WITH THE APPROPRIATE TELEPHONE, FIBER OR CABLE TELEVISION COMPANY'S GUIDELINES. COORDINATION WITH BOTH THE TELEPHONE AND CABLE TELEVISION COMPANY IS REQUIRED TO BE DONE BY THE CONTRACTOR.
- ALL UTILITY WORK SHALL BE COMPLETED BEFORE PAVING UNLESS OTHERWISE NOTED ON PLANS OR COMMUNICATED BY CITY STAFF.
- ALL WORK DONE ON OR AROUND WATER, NATURAL GAS, ELECTRIC AND/OR SANITARY/WASTEWATER SEWER FACILITIES MUST BE INSPECTED BY A COLORADO SPRINGS UTILITIES INSPECTOR. THE CONTRACTOR IS REQUIRED TO CONTACT COLORADO SPRINGS UTILITIES AND THE CITY OF COLORADO SPRINGS THREE WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION.
- ALL WORK DONE ON OR AROUND STORM WATER FACILITIES MUST BE INSPECTED BY A CITY OF COLORADO SPRINGS PUBLIC WORKS INSPECTOR. THE CONTRACTOR IS REQUIRED TO CONTACT THE CITY OF COLORADO SPRINGS THREE WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION.
- ALL VALVE BOXES, CLEANOUTS, MANHOLES, GUY WIRES, SHALL BE ADJUSTED TO FINAL GRADE.

CONSTRUCTION NOTES:

- THE CONTRACTOR SHALL LIMIT ALL WORK AND STORAGE AREAS TO THE PROJECT SITE. ANY WORK INSIDE PUBLIC RIGHT-OF-WAY(S) WILL REQUIRE APPROVAL FROM THE CITY PRIOR TO CONSTRUCTION. USE OF ANY PRIVATE AREAS FOR THIS PROJECT BY THE CONTRACTOR MUST BE APPROVED IN WRITING BY THE PROPERTY OWNER WITH A COPY OF THIS APPROVAL PROVIDED TO THE ENGINEER PRIOR TO USAGE.
- ALL CONSTRUCTION IS TO INCLUDE COMPACTION AND FINISHED GRADING IN THE UNIT PRICE RELATED WORK ITEM.
- ALL WORK SHALL BE DONE TO THE LINES, GRADES, SECTIONS, AND ELEVATIONS SHOWN ON THE PLANS UNLESS OTHERWISE NOTED OR APPROVED BY THE ENGINEER.
- THE CONTRACTOR SHALL LIMIT CONSTRUCTION ACTIVITIES TO THOSE AREAS WITHIN THE LIMITS OF DISTURBANCE AND/OR TOES OF SLOPE AS SHOWN ON THE PLANS. ANY DISTURBANCE BEYOND THESE LIMITS SHALL BE RESTORED TO ORIGINAL CONDITIONS BY THE CONTRACTOR AT THEIR OWN EXPENSE.
- THE CONTRACTOR SHALL NOT REMOVE AND SHALL PROTECT FROM DAMAGE ALL TREES, BUSHES, AND EXISTING IMPROVEMENTS INSIDE AND OUTSIDE THE LIMITS OF WORK. SPECIFIC PROVISIONS ARE SHOWN ON THE PLANS.
- NO TREES SHALL BE REMOVED OR TRIMMED WITHOUT PRIOR ACKNOWLEDGEMENT OF THE PROPERTY OWNER AND/OR PROJECT ENGINEER.
- ALL DEMOLITION AND RENOVATION PROJECTS REQUIRE AN ASBESTOS INSPECTION BY AN ACCREDITED ASBESTOS INSPECTOR.
- NOTIFY THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE) FOR ALL NON-RESIDENTIAL DEMOLITION OR RENOVATION.
- FOR MORE INFORMATION ON THE ASBESTOS INSPECTION REQUIREMENT, LOCATING AN ACCREDITED ASBESTOS INSPECTOR, AND OTHER ASBESTOS REGULATORY REQUIREMENTS GO TO COLORADO.GOV/CDPHE .
- THE CONTRACTOR SHALL CLOSELY MONITOR ACCESS FOR HEAVY CONSTRUCTION EQUIPMENT THROUGH THE PROJECT AND USE TRAFFIC CONTROL AS NEEDED TO ACCOMMODATE CONSTRUCTION ACTIVITY ENTERING AND LEAVING THE PROJECT SITE.
- WATER SHALL BE USED AS A DUST PALLIATIVE WHERE REQUIRED. LOCATIONS SHALL BE AS ORDERED. THE COST OF WATER SHALL BE INCIDENTAL TO OTHER BID ITEMS. SWEEPING AND CLEANING ADJACENT STREETS AND SIDEWALKS DURING CONSTRUCTION WILL BE PERFORMED AS NECESSARY AND AS DIRECTED BY THE ENGINEER. SWEEPING AND DUST MITIGATION IS CONSIDERED TO BE INCIDENTAL TO THE WORK.
- THE PHYSICAL FEATURES REQUIRING REMOVAL OR OBLITERATION WITHIN THE PROJECT SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND BE DISPOSED OF OFF-SITE.
- NO ON-SITE BURNING OF WASTE MATERIALS WILL BE ALLOWED.
- FOR PROPOSED PIPE INSTALLATIONS (CULVERTS, STORM DRAINS, IRRIGATION, ETC.), THE STATIONING IS FROM CENTERLINE OF PIPE AND ELEVATIONS ARE FROM INVERT OF PIPE, UNLESS NOTED OTHERWISE.
- ELEVATIONS SHOWN ON THE DRAWINGS ARE TO FINISHED SURFACE GRADE UNLESS OTHERWISE INDICATED.
- THE CONTRACTOR WILL BE REQUIRED TO MAKE EVERY EFFORT TO IMMEDIATELY RESTORE THE CONSTRUCTION AREA ONCE THE CONSTRUCTION TASK IS COMPLETED. ALL SEDING SHALL BE COMPLETED IN ACCORDANCE WITH CITY STANDARDS. THIS INCLUDES SUCH REQUIRED ACTIVITIES AS FINISH GRADING, SPREADING OF TOPSOIL, RESTORING IRRIGATION, REPLACING TRAFFIC AND STREET SIGNS, ETC. THE CONTRACTOR WILL HAVE 48 HOURS TO BEGIN RESTORATION ONCE THE CONSTRUCTION TASK IN THE IMMEDIATE AREA IS COMPLETE. ONCE RESTORATION IS BEGUN, IT MUST BE COMPLETED WITHOUT INTERRUPTION TO THE EXTENT POSSIBLE. AFTER ALL WORK ON THIS PROJECT IS COMPLETED AND BEFORE FINAL ACCEPTANCE OF THE PROJECT, THE ENTIRE PROJECT SHALL BE NEATLY FINISHED TO THE LINES, GRADES, AND CROSS SECTIONS SHOWN ON THE PLANS AND AS HERINAFTER SPECIFIED.
 - DRAINAGE FACILITIES, SUCH AS INLETS, CATCH BASINS, STORM PIPE, CULVERTS, AND CURB AND GUTTER SHALL BE CLEANED OF ALL DEBRIS, GRAVEL, SILTS OR OTHER FOREIGN MATERIAL.
 - THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL CONSTRUCTION STAKES.
 - ALL AREAS DISTURBED BY THE CONSTRUCTION SHALL BE SHAPED TO PRESENT A UNIFORM APPEARANCE BLENDING INTO THE CONTOUR OF ADJACENT PROPERTIES. ALL SURFACE REPLACEMENT AND LANDSCAPING SHALL BE COMPLETED.
 - EXCEPT AS OTHERWISE PERMITTED, ALL EXCESS EXCAVATED MATERIALS SHALL BE DISPOSED OF AWAY FROM THE SITE OF THE WORK.
 - BROKEN CONCRETE AND OTHER DEBRIS RESULTING FROM PAVEMENT OR SIDEWALK REMOVAL, EXCAVATED ROCK IN EXCESS OF THE AMOUNT PERMITTED, AND OTHER WASTE AND DEBRIS ENCOUNTERED IN EXCAVATED WORK, AND OTHER SIMILAR WASTE MATERIALS SHALL BE DISPOSED OF AWAY FROM THE SITE. THERE WILL BE NO SEPARATE MEASUREMENT OR PAYMENT FOR CLEANUP, AND ALL COSTS FOR SUCH WORK SHALL BE INCLUDED IN THE CONTRACT PRICE.
- IF A STREET HAS NOT BEEN SURFACED AND CLEANED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL AND MAINTENANCE OF THE STREET. ALSO, IF DETOURS ARE MADE ON A GRAVEL ROAD, THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND MAINTENANCE ON THE DETOURS. SEE "AIR QUALITY" BELOW ALSO.
- DAILY STREET SWEEPING SHALL BE COMPLETED ON BOTH ENDS OF EACH STREET DURING CONSTRUCTION. UNPAVED DETOURS OR ANY OTHER FUGITIVE DUST EMISSION SOURCES FROM CONSTRUCTION AND DEMOLITION SHOULD BE WATERED AND/OR CHEMICALLY STABILIZED SO EMISSIONS ARE LESS THAN 20% OPACITY.

STORM WATER POLLUTION PREVENTATION (SWPP) & EROSION AND SEDIMENTATION CONTROL PLAN NOTES:

- CONTRACTOR IS TO BE FAMILIAR WITH ALL REQUIREMENTS OF THE SWPPP.
- THE CONTRACTOR SHALL PROTECT THE EXISTING DRAINAGE STRUCTURES AND REROUTE ANY RUNOFF AS NECESSARY DURING CONSTRUCTION ACTIVITIES TO PREVENT EROSION AND DAMAGE.
- CONTRACTOR IS TO BE FAMILIAR WITH THE REQUIREMENTS OF SECTION 402(P) OF THE FEDERAL CLEAN WATER ACT AND REGULATIONS ADOPTED BY THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (USEPA), (AMENDMENTS TO TITLE 40 OF THE CODE OF FEDERAL REGULATIONS, PART 122, PUBLISHED IN THE FEDERAL REGISTER ON NOVEMBER 16, 1990 AND ON APRIL 2, 1992.) ALSO, CDPHE FOR THE CONTROL OF STORM WATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOCAL JURISDICTION AND CDPHE FOR EROSION AND SEDIMENT CONTROL.
- THE TEMPORARY POLLUTION CONTROL SYSTEM SHALL BE INSTALLED PRIOR TO ALL OTHER CONSTRUCTION.
- ALL EQUIPMENT MAINTENANCE AND RE-FUELING SHALL BE CONDUCTED IN A SAFE MANNER AND SPILL KITS SHALL BE MAINTAINED ON-SITE TO CLEAN ANY SPILLS THAT MAY OCCUR.
- ALL EXPOSED AND UNWORKED SOILS SHALL BE STABILIZED BY SUITABLE APPLICATION OF BEST MANAGEMENT PRACTICES (BMP'S), SUCH AS VEGETATIVE COVER, MULCHING, PLASTIC COVERING OR APPLICATION OF GRAVEL SURFACES IN AREAS TO BE GRAVELED. NO EXPOSED AND UNWORKED SOILS SHALL REMAIN UNSTABILIZED. ONCE CONSTRUCTION ACTIVITY IS COMPLETED IN AN AREA BETWEEN THE MONTHS OF OCTOBER 1 AND APRIL 30, PERMANENT SEEDING SHALL BE INSTALLED.
- THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AT ALL TIMES DURING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING PROPER TRASH RECEPTACLES AND PORTABLE TOILETS ON-SITE AS WELL AS THE REGULAR MAINTENANCE OF THESE FACILITIES.
- ALL CLEARING LIMITS AND/OR EASEMENT SETBACKS, SENSITIVE/CRITICAL AREAS AND THEIR BUFFERS, SIGNIFICANT TREES AND DRAINAGE COURSES SHALL BE CLEARLY STAKED AND MARKED AS SHOWN ON PLANS.
- PROPERTIES ADJACENT TO THE PROJECT SITE THAT ARE SUBJECT TO POTENTIAL EROSION CAUSED BY CONSTRUCTION ACTIVITIES SHALL BE PROTECTED FROM SEDIMENT DEPOSITION THROUGH THE USE OF SILT FENCE, HAY BALES OR OTHER BMP SELECTED BY THE CONTRACTOR.
- ALL FACILITIES INTENDED TO TRAP SEDIMENT ON-SITE SHALL BE CONSTRUCTED AS A FIRST STEP IN GRADING. THESE FACILITIES SHALL BE FUNCTIONAL BEFORE ANY LAND DISTURBING ACTIVITIES TAKE PLACE. EARTHEN STRUCTURES SUCH AS DAMS, DIKES AND DIVERSIONS SHALL BE SEEDED AND MULCHED ACCORDING TO THE TIME PERIOD STATED ABOVE.
- ALL CUT AND FILL SLOPES SHALL BE CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION. ALL SLOPES SHALL BE STABILIZED WITHIN THE TIME PERIOD STATED ABOVE.
- ALL STORM DRAINAGE INLETS MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED WITH A GRAVEL INTAKE FILTER TO PREVENT SEDIMENT FROM ENTERING THE SYSTEM. THE FILTER MUST BE INSPECTED REGULARLY AND CLEANED WHEN NECESSARY.
- THE FOLLOWING SHALL APPLY TO CONSTRUCTION OF UTILITY LINES:
 - WHERE FEASIBLE, NO MORE THAN 500' OF TRENCH SHALL BE OPEN AT ONE TIME.
 - WHERE CONSISTENT WITH SAFETY AND SPACE CONSIDERATIONS, EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
 - TRENCH DEWATERING DEVICES SHALL DISCHARGE AND SHALL REMAIN ON-SITE AND IN NO WAY ENTER PUBLIC PROPERTY OR WATERWAY.
- WHEREVER CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED ROADS, A STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE CONSTRUCTED (SEE DETAIL SHEET) TO MINIMIZE THE TRANSPORT OF SEDIMENT (MUD) ONTO THE PAVED ROAD. IF SEDIMENT IS TRANSPORTED ONTO A ROAD SURFACE, THE ROADS SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM ROADS BY SHOVELING OR SWEEPING AND BE TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA. STREET WASHING SHALL ONLY BE ALLOWED AFTER SEDIMENT IS REMOVED IN THIS MANNER. A MINIMUM OF ONE (1) ON-SITE STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED.
- CONCRETE TRUCKS SHALL NOT BE ALLOWED TO WASH OUT ON-SITE UNLESS A PROPERLY CONSTRUCTED CONCRETE TRUCK WASHOUT AREA IS CONSTRUCTED AND MAINTAINED.
- ALL TRUCKS USED TO HAUL EXCAVATED SOILS FROM THE SITE SHALL BE INSPECTED AND SWEEP CLEAN OF LOOSE SOIL PRIOR TO LEAVING THE SITE.
- FUEL, LUBRICANTS AND OTHER FLUIDS REQUIRED FOR THE MAINTENANCE OF THE EQUIPMENT SHALL NOT BE STORED ON-SITE.
- ALL TEMPORARY SEDIMENT AND EROSION CONTROL SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED. TRAPPED SEDIMENT SHALL BE REMOVED OR STABILIZED ON-SITE. DISTURBED SOIL AREAS RESULTING FROM REMOVAL SHALL BE PERMANENTLY STABILIZED.
- ALL POLLUTANTS OTHER THAN SEDIMENT THAT OCCUR ON-SITE DURING CONSTRUCTION SHALL BE HANDLED AND DISPOSED OF IN A MANNER THAT DOES NOT CAUSE CONTAMINATION OF STORM WATER OR THE SITE.
- ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE INSPECTED, MAINTAINED AND REPAIRED BY THE CONTRACTOR AS NEEDED TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED USE. ALL ON-SITE EROSION AND CONTROL MEASURES SHALL BE INSPECTED BY THE CONTRACTOR AT LEAST ONCE EVERY SEVEN (7) DAYS AND WITHIN 24 HOURS OF ANY STORM EVENT EQUAL TO OR GREATER THAN 0.25" OF RAIN PER 24 HOUR PERIOD. AN INSPECTION REPORT FILE SHALL BE MAINTAINED BY THE CONTRACTOR AND KEPT ON-SITE.
- THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ADDITIONAL TEMPORARY SEDIMENT PONDS/TRAPS AS SITE CONDITIONS REQUIRE. CONTRACTOR SHALL COORDINATE WITH THE ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ADDITIONAL EROSION CONTROL MEASURES, INCLUDING BUT NOT LIMITED TO SILT FENCING, SEDIMENT PONDS/TRAPS, DIVERSION SWALES, CHECK DAMS, SEDIMENT BARRIERS, FILTER FABRIC MULCH AND SEEDING, AS CONDITIONS REQUIRE. THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER.

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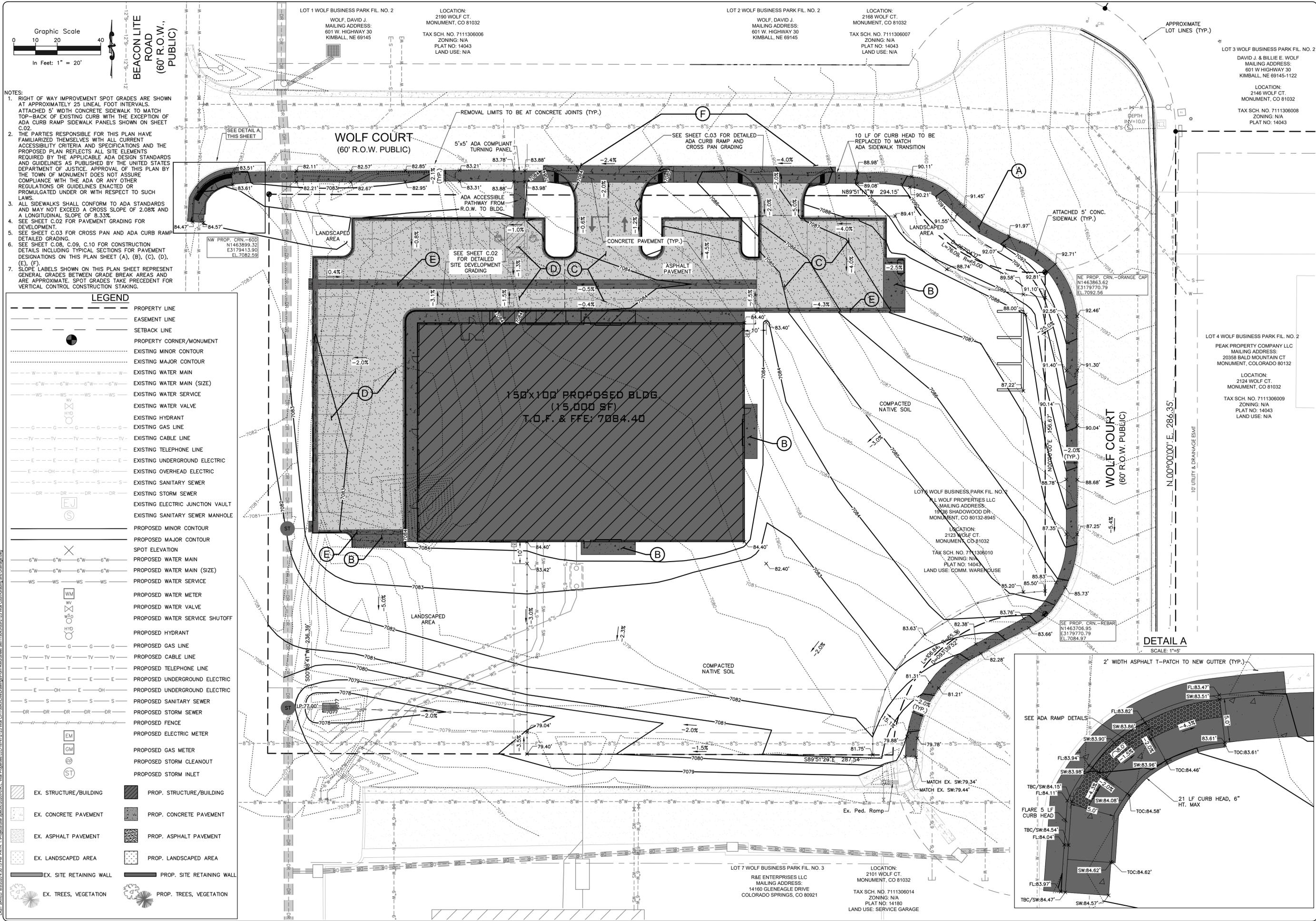
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GENERAL NOTES

CONSTRUCTION PLANS

ENG:	ROL	
DRAWN:	ROL	
CHECKED:	ROL	
DATE		
08/05/2020		
#	REVISION	DATE
JOB NO.	175043	
SHEET NO.	2	
	of 12	



NOTES:

- RIGHT OF WAY IMPROVEMENT SPOT GRADES ARE SHOWN AT APPROXIMATELY 25 LINEAL FOOT INTERVALS. ATTACHED 5' WIDTH CONCRETE SIDEWALK TO MATCH TOP-BACK OF EXISTING CURB WITH THE EXCEPTION OF ADA CURB RAMP SIDEWALK PANELS SHOWN ON SHEET C.02.
- THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE TOWN OF MONUMENT DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.
- ALL SIDEWALKS SHALL CONFORM TO ADA STANDARDS AND MAY NOT EXCEED A CROSS SLOPE OF 2.08% AND A LONGITUDINAL SLOPE OF 8.33%.
- SEE SHEET C.02 FOR PAVEMENT GRADING FOR DEVELOPMENT.
- SEE SHEET C.03 FOR CROSS PAN AND ADA CURB RAMP DETAILED GRADING.
- SEE SHEET C.08, C.09, C.10 FOR CONSTRUCTION DETAILS INCLUDING TYPICAL SECTIONS FOR PAVEMENT DESIGNATIONS ON THIS PLAN SHEET (A), (B), (C), (D), (E), (F).
- SLOPE LABELS SHOWN ON THIS PLAN SHEET REPRESENT GENERAL GRADES BETWEEN GRADE BREAK AREAS AND ARE APPROXIMATE. SPOT GRADES TAKE PRECEDENT FOR VERTICAL CONTROL CONSTRUCTION STAKING.

LEGEND

	PROPERTY LINE
	EASEMENT LINE
	SETBACK LINE
	PROPERTY CORNER/MONUMENT
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING WATER MAIN
	EXISTING WATER MAIN (SIZE)
	EXISTING WATER SERVICE
	EXISTING WATER VALVE
	EXISTING HYDRANT
	EXISTING GAS LINE
	EXISTING CABLE LINE
	EXISTING TELEPHONE LINE
	EXISTING UNDERGROUND ELECTRIC
	EXISTING OVERHEAD ELECTRIC
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING ELECTRIC JUNCTION VAULT
	EXISTING SANITARY SEWER MANHOLE
	PROPOSED MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	SPOT ELEVATION
	PROPOSED WATER MAIN
	PROPOSED WATER MAIN (SIZE)
	PROPOSED WATER SERVICE
	PROPOSED WATER METER
	PROPOSED WATER VALVE
	PROPOSED WATER SERVICE SHUT-OFF
	PROPOSED HYDRANT
	PROPOSED GAS LINE
	PROPOSED CABLE LINE
	PROPOSED TELEPHONE LINE
	PROPOSED UNDERGROUND ELECTRIC
	PROPOSED UNDERGROUND ELECTRIC
	PROPOSED SANITARY SEWER
	PROPOSED STORM SEWER
	PROPOSED FENCE
	PROPOSED ELECTRIC METER
	PROPOSED GAS METER
	PROPOSED STORM CLEANOUT
	PROPOSED STORM INLET
	EX. STRUCTURE/BUILDING
	PROP. STRUCTURE/BUILDING
	EX. CONCRETE PAVEMENT
	PROP. CONCRETE PAVEMENT
	EX. ASPHALT PAVEMENT
	PROP. ASPHALT PAVEMENT
	EX. LANDSCAPED AREA
	PROP. LANDSCAPED AREA
	EX. SITE RETAINING WALL
	PROP. SITE RETAINING WALL
	EX. TREES, VEGETATION
	PROP. TREES, VEGETATION

ROCKY MOUNTAIN GROUP
 ARCHITECTS
 ENGINEERS
 19775 BEACON LITE RD., MONUMENT, CO 80132
 SOUTHERN COLORADO
 ARCHITECTURAL
 STRUCTURAL
 FORESTRY
 CIVIL
 TRAINING

REDLINE PIPELINE OFFICE/WAREHOUSE
 WOLF BUSINESS PARK FIL. NO. 2 - LOT 5
 2123 WOLF COURT MONUMENT, CO 80132
 R.L. WOLF PROPERTIES, LLC.

OVERALL SITE AND R.O.W. SIDEWALK GRADING AND DRAINAGE
 CONSTRUCTION PLANS

DATE: 08/05/2020
 SHEET NO. 3
 OF 12

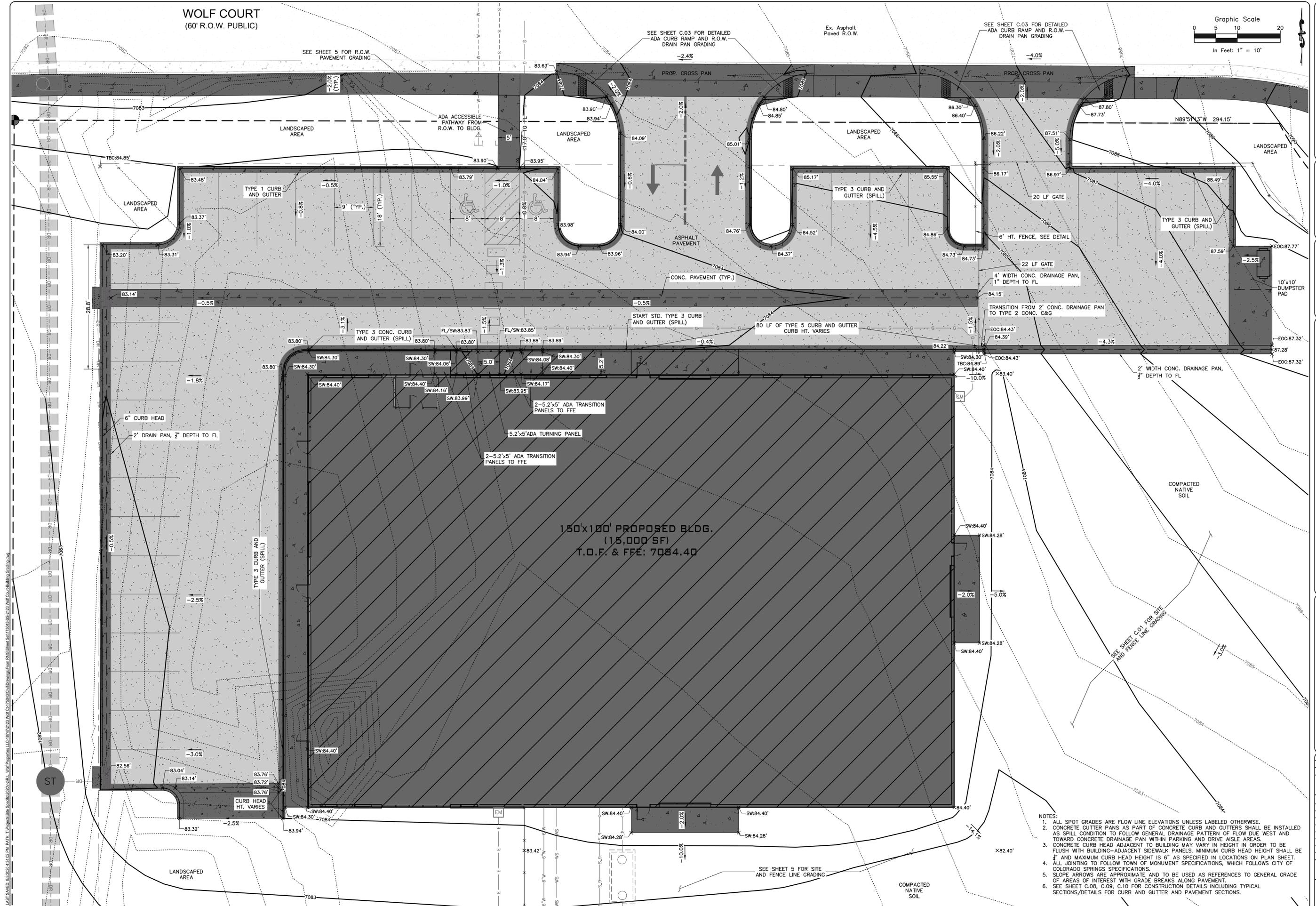
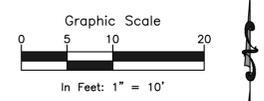
LOT 3 WOLF BUSINESS PARK FIL. NO. 2
 DAVID J. & BILLIE E. WOLF
 MAILING ADDRESS:
 601 W HIGHWAY 30
 KIMBALL, NE 69145-1122
 LOCATION:
 2146 WOLF CT.
 MONUMENT, CO 81032
 TAX SCH. NO. 7111306008
 ZONING: N/A
 PLAT NO: 14043

LOT 4 WOLF BUSINESS PARK FIL. NO. 2
 PEAK PROPERTY COMPANY LLC
 MAILING ADDRESS:
 20358 BALD MOUNTAIN CT
 MONUMENT, COLORADO 80132
 LOCATION:
 2124 WOLF CT.
 MONUMENT, CO 81032
 TAX SCH. NO. 7111306009
 ZONING: N/A
 PLAT NO: 14043
 LAND USE: N/A

LOT 5 WOLF BUSINESS PARK FIL. NO. 2
 R.L. WOLF PROPERTIES LLC
 MAILING ADDRESS:
 19226 SHADOWOOD DR.
 MONUMENT, CO 80132-8945
 LOCATION:
 2123 WOLF CT.
 MONUMENT, CO 81032
 TAX SCH. NO. 7111306010
 ZONING: N/A
 PLAT NO: 14043
 LAND USE: COMM. WAREHOUSE

LOT 7 WOLF BUSINESS PARK FIL. NO. 3
 R&E ENTERPRISES LLC
 MAILING ADDRESS:
 14160 GLENGALE DRIVE
 COLORADO SPRINGS, CO 80921
 LOCATION:
 2101 WOLF CT.
 MONUMENT, CO 81032
 TAX SCH. NO. 7111306014
 ZONING: N/A
 PLAT NO: 14180
 LAND USE: SERVICE GARAGE

WOLF COURT
(60' R.O.W. PUBLIC)



150'x100' PROPOSED BLDG.
(15,000 SF)
T.O.F. & F.F.E.: 7084.40

- NOTES:
1. ALL SPOT GRADES ARE FLOW LINE ELEVATIONS UNLESS LABELED OTHERWISE.
 2. CONCRETE GUTTER PANS AS PART OF CONCRETE CURB AND GUTTERS SHALL BE INSTALLED AS SPILL CONDITION TO FOLLOW GENERAL DRAINAGE PATTERN OF FLOW DUE WEST AND TOWARD CONCRETE DRAINAGE PAN WITHIN PARKING AND DRIVE AISLE AREAS.
 3. CONCRETE CURB HEAD ADJACENT TO BUILDING MAY VARY IN HEIGHT IN ORDER TO BE FLUSH WITH BUILDING-ADJACENT SIDEWALK PANELS. MINIMUM CURB HEAD HEIGHT SHALL BE 2" AND MAXIMUM CURB HEAD HEIGHT IS 6" AS SPECIFIED IN LOCATIONS ON PLAN SHEET.
 4. ALL JOINING TO FOLLOW TOWN OF MONUMENT SPECIFICATIONS, WHICH FOLLOWS CITY OF COLORADO SPRINGS SPECIFICATIONS.
 5. SLOPE ARROWS ARE APPROXIMATE AND TO BE USED AS REFERENCES TO GENERAL GRADE OF AREAS OF INTEREST WITH GRADE BREAKS ALONG PAVEMENT.
 6. SEE SHEET C.08, C.09, C.10 FOR CONSTRUCTION DETAILS INCLUDING TYPICAL SECTIONS/DETAILS FOR CURB AND GUTTER AND PAVEMENT SECTIONS.

ROCKY MOUNTAIN GROUP
ARCHITECTS
RMG ENGINEERS
Geotechnical
Materials Testing
Civil Planning
Architectural
Structural
Forensics

SOUTHERN COLORADO
19975 BEACON LITE RD. - MONUMENT, CO 80132
SOUTHERN COLORADO, DENVER, MESA, NORTHERN COLORADO

FOR CONSTRUCTION
FOR CIVIL ONLY

REDLINE PIPELINE OFFICE/WAREHOUSE
WOLF BUSINESS PARK FL. NO. 2 - LOT 5
2123 WOLF COURT MONUMENT, CO 80132
R.L. WOLF PROPERTIES, LLC.

SHEET NAME
DEVELOPMENT GRADING PLAN

PROJECT STATUS
CONSTRUCTION PLANS

ENG:	ROL	
DRAWN:	ROL	
CHECKED:	ROL	
DATE	08/05/2020	
#	REVISION	DATE
JOB NO.	175043	
SHEET NO.	4	
	of 12	

- STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS.
- CONCRETE WASH WATER SHALL NOT BE DISCHARGED TO OR ALLOWED TO RUNOFF TO THE MUNICIPAL SEPARATE STORM SEWER SYSTEM (MS4).
- BUILDING, CONSTRUCTION, EXCAVATION, OR OTHER WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. BMPs MAY BE REQUIRED BY THE MS4 PERMITTEE IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES (E.G., ESTIMATED TIME OF EXPOSURE, SEASON OF THE YEAR, ETC.).
- VEHICLE TRACKING OF SOILS OFF-SITE SHALL BE MINIMIZED.
- ALL WASTES COMPOSED OF BUILDING MATERIALS MUST BE REMOVED FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- NO CHEMICALS ARE TO BE ADDED TO THE DISCHARGE UNLESS PERMISSION FOR THE USE OF A SPECIFIC CHEMICAL IS GRANTED BY THE STATE. IN GRANTING THE USE OF SUCH CHEMICALS, SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
- BULK STORAGE STRUCTURES FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE SECONDARY CONTAINMENT OR EQUIVALENT ADEQUATE PROTECTION SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING THE MS4, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES. ALL PERSONS ENGAGED IN EARTH DISTURBANCE SHALL IMPLEMENT AND MAINTAIN ACCEPTABLE SOIL EROSION AND SEDIMENT CONTROL MEASURES INCLUDING BMPs IN CONFORMANCE WITH THE EROSION CONTROL TECHNICAL STANDARDS OF THE DRAINAGE CRITERIA MANUAL, VOLUME 2 AND IN ACCORDANCE WITH THE APPROVED EROSION AND STORMWATER QUALITY CONTROL PLAN APPROVED BY THE MS4 PERMITTEE, IF REQUIRED.
- ALL TEMPORARY EROSION CONTROL FACILITIES INCLUDING BMPs AND ALL PERMANENT FACILITIES INTENDED TO CONTROL EROSION OF ANY EARTH DISTURBANCE OPERATIONS, SHALL BE INSTALLED AS DEFINED IN THE APPROVED EROSION AND STORMWATER QUALITY CONTROL PLAN AND THE DRAINAGE CRITERIA MANUAL, VOLUME 2 AND MAINTAINED THROUGHOUT THE DURATION OF THE EARTH DISTURBANCE OPERATION. THE INSTALLATION OF THE FIRST LEVEL OF TEMPORARY EROSION CONTROL FACILITIES AND BMPs SHALL BE INSTALLED AND INSPECTED PRIOR TO ANY EARTH DISTURBANCE OPERATIONS TAKING PLACE.
- ANY EARTH DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY REDUCE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION.
- ALL EARTH DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED IN SUCH A MANNER SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME.
- ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ONSITE OR OFF-SITE WATERS, INCLUDING WETLANDS.
- SUSPENDED SEDIMENT CAUSED BY ACCELERATED SOIL EROSION SHALL BE MINIMIZED IN RUNOFF WATER BEFORE IT LEAVES THE SITE OF THE EARTH DISTURBANCE.
- ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE DESIGNED TO LIMIT THE DISCHARGE TO A NON-EROSIVE VELOCITY.
- TEMPORARY SOIL EROSION CONTROL FACILITIES SHALL BE REMOVED AND EARTH DISTURBANCE AREAS GRADED AND STABILIZED WITH PERMANENT SOIL EROSION CONTROL MEASURES PURSUANT TO THE STANDARDS AND SPECIFICATIONS PRESCRIBED IN THE DRAINAGE CRITERIA MANUAL, VOLUME 2, AND IN ACCORDANCE WITH THE PERMANENT EROSION CONTROL FEATURES SHOWN ON THE APPROVED EROSION AND STORMWATER QUALITY CONTROL PLANS, IF REQUIRED.
- SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN TWENTY-ONE (21) CALENDAR DAYS AFTER FINAL GRADING, OR FINAL EARTH DISTURBANCE, HAS BEEN COMPLETED. DISTURBED AREAS AND STOCKPILES WHICH ARE NOT AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN 30 DAYS SHALL ALSO BE MULCHED WITHIN 21 DAYS AFTER INTERIM GRADING. AN AREA THAT IS GOING TO REMAIN IN AN INTERIM STATE FOR MORE THAN 60 DAYS SHALL ALSO BE SEEDED ON A CASE-BY-CASE BASIS. THE MS4 PERMITTEE SHALL ALLOW ANOTHER APPROPRIATE BMP TO BE IN PLACE THAT PREVENTS SEDIMENT FROM LEAVING THE SITE. ALL TEMPORARY SOIL EROSION CONTROL MEASURES AND BMPs SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED.
- NO PERSON SHALL CONTRIBUTE TO THE DISCHARGE INTO THE MUNICIPAL SEPARATE STORM SEWER POLLUTANTS THAT COULD CAUSE THE MS4 PERMITTEE TO BE IN VIOLATION OF ITS COLORADO DISCHARGE PERMIT SYSTEM MS4 PERMIT.
- THE OWNER, SITE DEVELOPER, CONTRACTOR, AND/OR THEIR AUTHORIZED AGENTS SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, AND SAND THAT MAY ACCUMULATE IN THE STORM SEWER OR OTHER DRAINAGE CONVEYANCE SYSTEM AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
- NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE FLOW LINE OF THE CURB AND GUTTER, INCLUDING THE TEMPORARY OR PERMANENT RAMMING WITH MATERIALS FOR VEHICLE ACCESS.
- INDIVIDUALS SHALL COMPLY WITH THE COLORADO WATER QUALITY CONTROL ACT (TITLE 26, ARTICLE 6, CRS), AND THE "CLEAN WATER ACT" (33 USC 1344), REGULATIONS PROMULGATED, CERTIFICATIONS OR PERMITS ISSUED, IN ADDITION TO THE REQUIREMENTS INCLUDED IN THE DRAINAGE CRITERIA MANUAL, VOLUME 2, IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND WATER QUALITY CONTROL LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL OR STATE AGENCIES, THE MORE RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
- THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ONSITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS. MATERIALS SHALL NOT BE STORED IN A LOCATION WHERE THEY MAY BE CARRIED BY STORMWATER RUNOFF INTO THE MS4 AT ANY TIME.
- SPILL PREVENTION AND CONTAINMENT MEASURES SHALL BE USED AT STORAGE, AND EQUIPMENT FUELING AND SERVICING AREAS TO PREVENT POLLUTION FROM DISCHARGING TO THE MS4. ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY, OR CONTAINED UNTIL APPROPRIATE CLEANUP METHODS CAN BE EMPLOYED. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP SHALL BE FOLLOWED, ALONG WITH PROPER DISPOSAL METHODS.

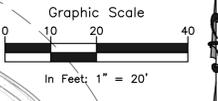
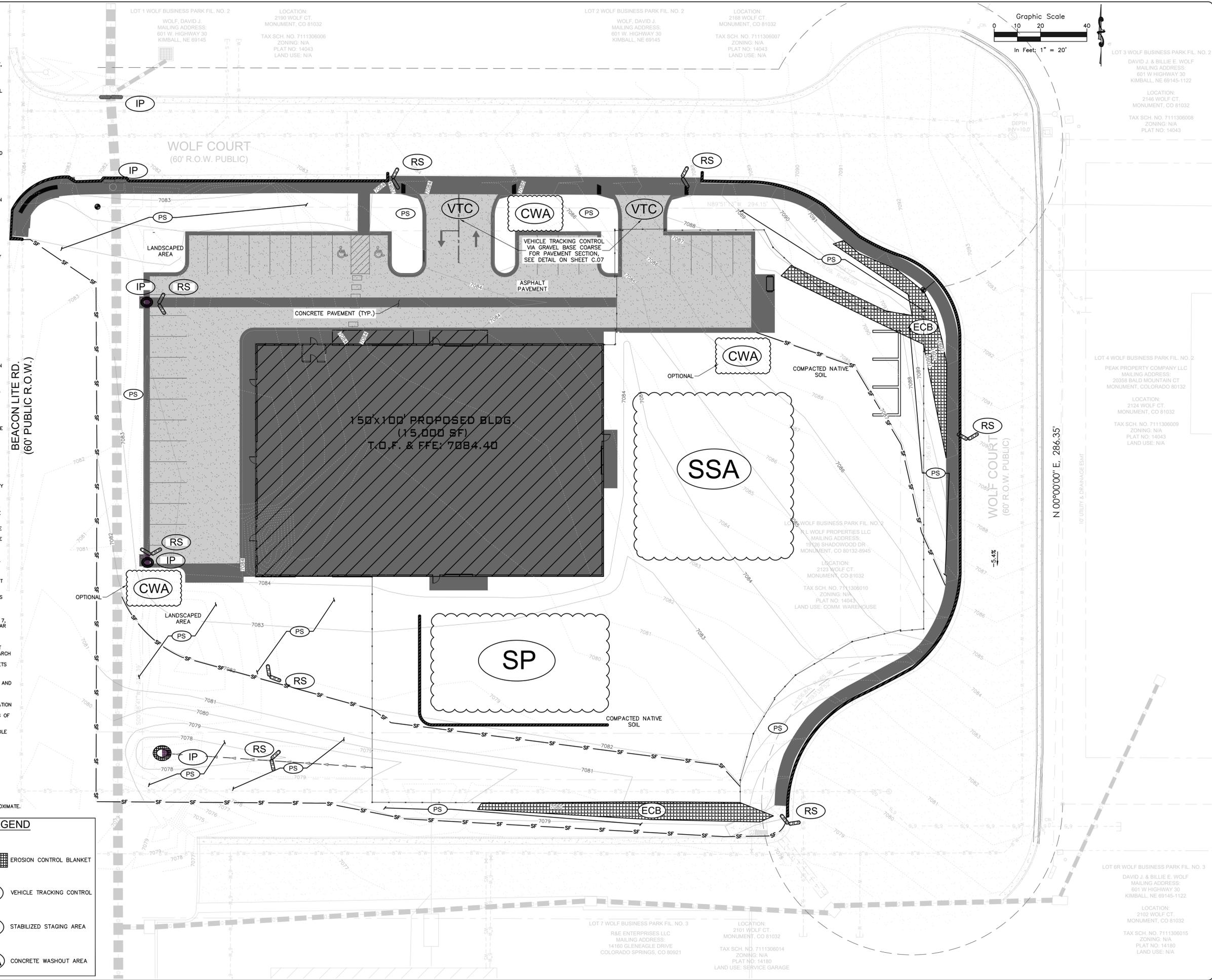
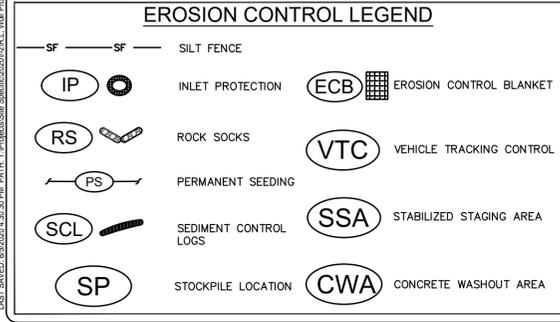
- ADDITIONAL NOTES:
- ACCORDING TO FLOOD PLAIN MAP 08041022766 DATED DECEMBER 7, 2018, LOT 5 FALLS WITHIN FEMA FLOODPLAIN ZONE X, NO 100-YEAR FLOODPLAIN BASIN IS WITHIN THE VICINITY OF THIS DEVELOPMENT.
 - CONTRACTOR SHALL FOLLOW APPLICABLE SPECIFICATIONS AND PROCEDURES WITHIN THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL AND RECOMMENDATIONS FROM THE GEOTECHNICAL REPORT ENTITLED "LOT 5 WOLF BUSINESS PARK MONUMENT, CO" DATED MARCH 23, 2020, PREPARED BY RMG-ROCKY MOUNTAIN GROUP.
 - EROSION AND SEDIMENT CONTROL DETAILS ARE PROVIDED ON SHEETS C-06 AND C-07.

- CONSTRUCTION TIMELINE:
- INITIAL CONTROL MEASURES INSTALLATION FOLLOWED BY CLEARING AND GRUBBING - BEGINNING OF AUGUST 2020
 - OVERLOT GRADING - BEGINNING OF AUGUST 2020
 - FOUNDATION EXCAVATION - MIDDLE OF AUGUST 2020
 - INTERIM CONTROL MEASURES, UTILITIES INSTALLATION, AND FOUNDATION ERECTION - MIDDLE TO END OF AUGUST 2020
 - FINE GRADING FOLLOWED BY PAVEMENT INSTALLATION - BEGINNING OF SEPTEMBER 2020
 - SITE FINAL STABILIZATION - MIDDLE OF SEPTEMBER 2020
 - RIGHT OF WAY IMPROVEMENT LANDSCAPING AND PAVEMENT - MIDDLE OF SEPTEMBER 2020

EROSION CONTROL BMP QUANTITIES:

SILT FENCE	LF	1,000
INLET PROTECTION	EA	5
ROCK SOCKS (PAIR)	EA	8
PERMANENT SEEDING (HYDROSEED)	AC	0.054
SEDIMENT CONTROL LOGS	LF	340
EROSION CONTROL BLANKET	SF	1,800
CONCRETE WASHOUT AREA	EA	1 (2 OPTIONAL)
VEHICLE TRACKING CONTROL	EA	1 (CAN MOBILIZE)

*BMP QUANTITIES ARE PROVIDED FOR REFERENCE ONLY AND ARE APPROXIMATE. PER THE SWMP, BMPs MAY BE MOVED, ADDED, REVISED AS NEEDED.



LOT 1 WOLF BUSINESS PARK FIL. NO. 2
 WOLF, DAVID J.
 MAILING ADDRESS:
 601 W. HIGHWAY 30
 KIMBALL, NE 69145

LOCATION:
 2190 WOLF CT.
 MONUMENT, CO 81032

TAX SCH. NO. 7111306006
 ZONING: N/A
 PLAT NO: 14043
 LAND USE: N/A

LOT 2 WOLF BUSINESS PARK FIL. NO. 2
 WOLF, DAVID J.
 MAILING ADDRESS:
 601 W. HIGHWAY 30
 KIMBALL, NE 69145

LOCATION:
 2168 WOLF CT.
 MONUMENT, CO 81032

TAX SCH. NO. 7111306007
 ZONING: N/A
 PLAT NO: 14043
 LAND USE: N/A

LOT 3 WOLF BUSINESS PARK FIL. NO. 2
 DAVID J. & BILLIE E. WOLF
 MAILING ADDRESS:
 601 W. HIGHWAY 30
 KIMBALL, NE 69145-1122

LOCATION:
 2146 WOLF CT.
 MONUMENT, CO 81032

TAX SCH. NO. 7111306008
 ZONING: N/A
 PLAT NO: 14043

LOT 4 WOLF BUSINESS PARK FIL. NO. 2
 PEAK PROPERTY COMPANY LLC
 MAILING ADDRESS:
 20558 BALD MOUNTAIN CT
 MONUMENT, COLORADO 80132

LOCATION:
 2124 WOLF CT.
 MONUMENT, CO 81032

TAX SCH. NO. 7111306009
 ZONING: N/A
 PLAT NO: 14043
 LAND USE: N/A

LOT 5 WOLF BUSINESS PARK FIL. NO. 2
 R.L. WOLF PROPERTIES LLC
 MAILING ADDRESS:
 19126 SHADOWOOD DR
 MONUMENT, CO 80132-8945

LOCATION:
 2123 WOLF CT.
 MONUMENT, CO 81032

TAX SCH. NO. 7111306010
 ZONING: N/A
 PLAT NO: 14043
 LAND USE: COMM. WAREHOUSE

LOT 7 WOLF BUSINESS PARK FIL. NO. 3
 R&E ENTERPRISES LLC
 MAILING ADDRESS:
 14180 GLENDALE DRIVE
 COLORADO SPRINGS, CO 80921

LOCATION:
 2101 WOLF CT.
 MONUMENT, CO 81032

TAX SCH. NO. 7111306014
 ZONING: N/A
 PLAT NO: 14180
 LAND USE: SERVICE GARAGE

LOT 6R WOLF BUSINESS PARK FIL. NO. 3
 DAVID J. & BILLIE E. WOLF
 MAILING ADDRESS:
 601 W. HIGHWAY 30
 KIMBALL, NE 69145-1122

LOCATION:
 2102 WOLF CT.
 MONUMENT, CO 81032

TAX SCH. NO. 7111306015
 ZONING: N/A
 PLAT NO: 14180
 LAND USE: N/A

ROCKY MOUNTAIN GROUP
 ARCHITECTS
 Geotechnical
 Materials Testing
 Civil Training
 Structural Forensics

19275 BEACON LITE RD., MONUMENT, CO 80132
 SOUTHERN COLORADO
 SOUTHERN COLORADO, DENVER METRO, NORTHWESTERN COLORADO

FOR CONSTRUCTION
 FOR CIVIL ONLY

REDLINE PIPELINE OFFICE/WAREHOUSE
 WOLF BUSINESS PARK FIL. NO. 2 - LOT 5
 2123 WOLF COURT MONUMENT, CO 80132

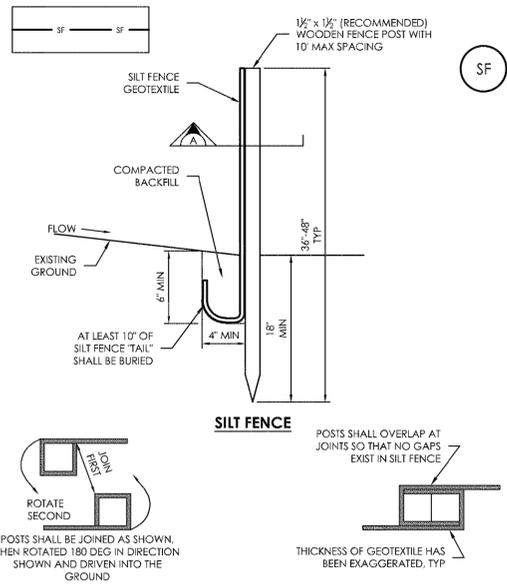
R.L. WOLF PROPERTIES, LLC.

EROSION & SEDIMENT CONTROL PLAN

CONSTRUCTION PLANS

ENG:	RD	
DRAWN:	RD	
CHECKED:	RD	
DATE:	08/05/2020	
#	REVISION	DATE
JOB NO.:	175043	
SHEET NO.:	7	

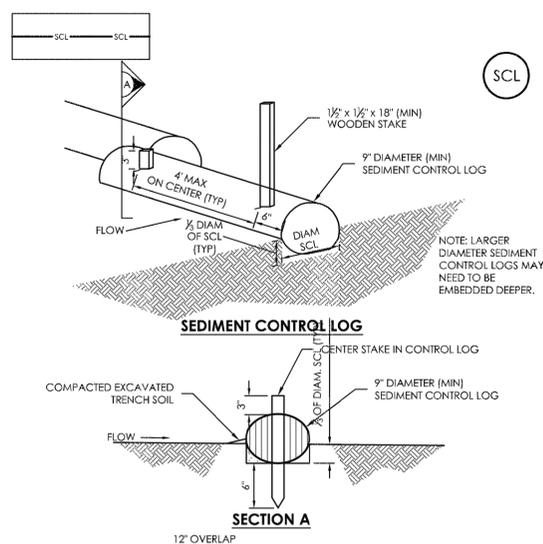
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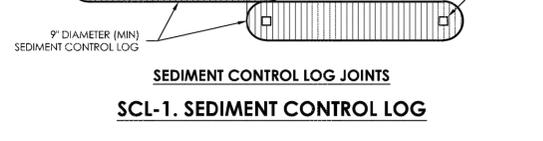
**SECTION A
SF-1. SILT FENCE**

- SILT FENCE INSTALLATION NOTES:**
- SILT FENCE MUST BE PLACED AWAY FROM THE TOE OF THE SLOPE TO ALLOW FOR WATER PONDING. SILT FENCE AT THE TOE OF A SLOPE SHOULD BE INSTALLED IN A FLAT LOCATION AT LEAST SEVERAL FEET (2-5 FT) FROM THE TOE OF THE SLOPE TO ALLOW ROOM FOR PONDING AND DEPOSITION.
 - A UNIFORM 6" X 4" ANCHOR TRENCH SHALL BE EXCAVATED USING TRENCHER OR SILT FENCE INSTALLATION DEVICE. NO ROAD GRADERS, BACKHOES, OR SIMILAR EQUIPMENT SHALL BE USED.
 - COMPACT ANCHOR TRENCH BY HAND WITH A "JUMPING JACK" OR BY WHEEL ROLLING. COMPACTION SHALL BE SUCH THAT SILT FENCE RESISTS BEING PULLED OUT OF ANCHOR TRENCH BY HAND.
 - SILT FENCES SHALL BE PULLED TIGHT AS IT IS ANCHORED TO THE STAKES. THERE SHOULD BE NO NOTICEABLE SAG BETWEEN STAKES AFTER IT HAS BEEN ANCHORED TO THE STAKES.
 - SILT FENCE FABRIC SHALL BE ANCHORED TO THE STAKES USING 7" HEAVY DUTY STAPLES OR NAILS WITH 1" HEADS. STAPLES AND NAILS SHOULD BE PLACED 3" ALONG THE FABRIC DOWN THE STAKE.
 - AT THE END OF A RUN OF SILT FENCE ALONG A CONTOUR, THE SILT FENCE SHOULD BE TURNED PERPENDICULAR TO THE CONTOUR TO CREATE A "J-HOOK." THE "J-HOOK" EXTENDING PERPENDICULAR TO THE CONTOUR SHOULD BE OF SUFFICIENT LENGTH TO KEEP RUNOFF FROM FLOWING AROUND THE END OF THE SILT FENCE (TYPICALLY 10' - 20').
 - SILT FENCE SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.

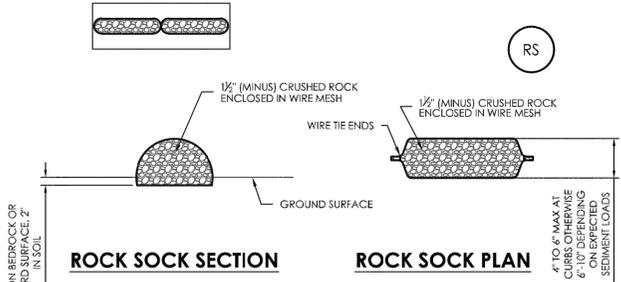
- SILT FENCE MAINTENANCE NOTES**
- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
 - FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
 - WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
 - SEDIMENT ACCUMULATED UPSTREAM OF THE SILT FENCE SHALL BE REMOVED AS NEEDED TO MAINTAIN THE FUNCTIONALITY OF THE BMP. TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 6".
 - REPAIR OR REPLACE SILT FENCE WHEN THERE ARE SIGNS OF WEAR, SUCH AS SAGGING, TEARING, OR COLLAPSE.
 - SILT FENCE IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION, OR IS REPLACED BY AN EQUIVALENT PERIMETER SEDIMENT CONTROL BMP.
 - WHEN SILT FENCE IS REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.



SCL-1. SEDIMENT CONTROL LOG



- SEDIMENT CONTROL LOG INSTALLATION NOTES:**
- SEE PLAN VIEW FOR LOCATION AND LENGTH OF SEDIMENT CONTROL LOGS.
 - SEDIMENT CONTROL LOGS THAT ACT AS A PERIMETER CONTROL SHALL BE INSTALLED PRIOR TO ANY UPGRADE LAND-DISTURBING ACTIVITIES.
 - SEDIMENT CONTROL LOGS SHALL CONSIST OF STRAW, COMPOST, EXCELISOR OR COCONUT FIBER, AND SHALL BE FREE OF ANY NOXIOUS WEED SEEDS OR DEFECTS INCLUDING RIPS, HOLES AND OBVIOUS WEAR.
 - SEDIMENT CONTROL LOGS MAY BE USED AS SMALL CHECK DAMS IN DITCHES AND SWALES. HOWEVER, THEY SHOULD NOT BE USED IN PERENNIAL STREAMS OR HIGH VELOCITY DRAINAGE WAYS.
 - IT IS RECOMMENDED THAT SEDIMENT CONTROL LOGS BE TRENCHED INTO THE GROUND TO A DEPTH OF APPROXIMATELY 1/3 OF THE DIAMETER OF THE LOG. IF TRENCHING TO THIS DEPTH IS NOT FEASIBLE AND/OR DESIRABLE (SHORT TERM INSTALLATION WITH DESIRE NOT TO DAMAGE LANDSCAPE) A LESSER TRENCHING DEPTH MAY BE ACCEPTABLE WITH MORE ROBUST STAKING.
 - THE UPSTREAM SIDE OF THE SEDIMENT CONTROL LOG SHALL BE BACKFILLED WITH SOIL THAT IS FREE OF ROCKS AND DEBRIS. THE SOIL SHALL BE TIGHTLY COMPACTED INTO THE SHAPE OF A RIGHT TRIANGLE USING A SHOVEL OR WEIGHTED LAWN ROLLER.
 - FOLLOW MANUFACTURERS' GUIDANCE FOR STAKING. IF MANUFACTURERS' INSTRUCTIONS DO NOT SPECIFY SPACING, STAKES SHALL BE PLACED ON 4' CENTERS AND EMBEDDED A MINIMUM OF 6" INTO THE GROUND. 3" OF THE STAKE SHALL PROTRUDE FROM THE TOP OF THE LOG. STAKES THAT ARE BROKEN PRIOR TO INSTALLATION SHALL BE REPLACED.



ROCK SOCK INSTALLATION NOTES:

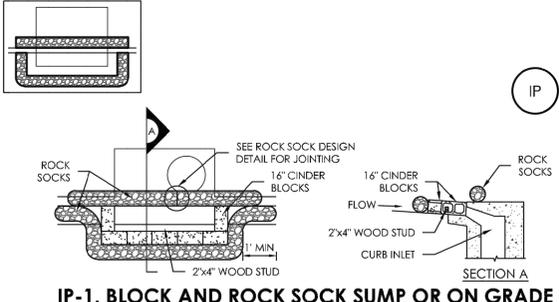
- SEE PLAN VIEW FOR:
 - LOCATION(S) OF ROCK SOCKS.
- CRUSHED ROCK SHALL BE 1/2" (MINUS) IN SIZE WITH A FRACTURED FACE (ALL SIDES) AND SHALL COMPLY WITH GRADATION SHOWN ON THIS SHEET (1/2" (MINUS)).
- WIRE MESH SHALL BE FABRICATED OF 10 GAGE POULTRY MESH, OR EQUIVALENT, WITH A MAXIMUM OPENING OF 1/2". RECOMMENDED MINIMUM ROLL WIDTH OF 48".
- WIRE MESH SHALL BE SECURED USING "HOG RINGS" OR WIRE TIES AT 6" CENTERS ALONG ALL JOINTS AND AT 2" CENTERS ON ENDS OF SOCKS.
- SOME MUNICIPALITIES MAY ALLOW THE USE OF FILTER FABRIC AS AN ALTERNATIVE TO WIRE MESH FOR THE ROCK ENCLOSURE.

GRADATION TABLE

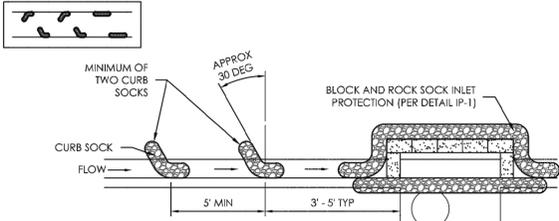
SIIE SIZE	MASS PERCENT PASSING SQUARE MESH SIEVE NO. 4
2"	100
1 1/2"	90 - 100
1"	20 - 55
3/4"	0 - 15
3/8"	0 - 5

MATCHES SPECIFICATIONS FOR NO. 4 COARSE AGGREGATE FOR CONCRETE PER AASHTO M43. ALL ROCK SHALL BE FRACTURED FACE, ALL SIDES.

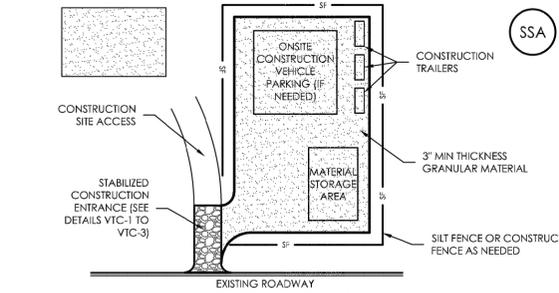
- ROCK SOCK MAINTENANCE NOTES**
- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
 - FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
 - WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
 - ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED, OR DAMAGED BEYOND REPAIR.
 - SEDIMENT ACCUMULATED UPSTREAM OF ROCK SOCKS SHALL BE REMOVED AS NEEDED TO MAINTAIN FUNCTIONALITY OF THE BMP. TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 1/2" OF THE HEIGHT OF THE ROCK SOCK.
 - ROCK SOCKS ARE TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION.
 - WHEN ROCK SOCKS ARE REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.



- BLOCK AND CURB SOCK INLET PROTECTION INSTALLATION NOTES**
- SEE ROCK SOCK DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
 - CONCRETE "CINDER" BLOCKS SHALL BE LAID ON THEIR SIDES AROUND THE INLET IN A SINGLE ROW, ABUTTING ONE ANOTHER WITH THE OPEN END FACING AWAY FROM THE CURB.
 - GRAVEL BAGS SHALL BE PLACED AROUND CONCRETE BLOCKS, CLOSELY ABUTTING ONE ANOTHER AND JOINED TOGETHER IN ACCORDANCE WITH ROCK SOCK DESIGN DETAIL.



- CURB ROCK SOCK INLET PROTECTION INSTALLATION NOTES**
- SEE ROCK SOCK DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
 - PLACEMENT OF THE SOCK SHALL BE APPROXIMATELY 30 DEGREES FROM PERPENDICULAR THE OPPOSITE DIRECTION OF FLOW.
 - SOCKS ARE TO BE FLUSH WITH THE CURB AND SPACED A MINIMUM OF 5 FEET APART.
 - AT LEAST TWO CURB SOCKS IN SERIES ARE REQUIRED UPSTREAM OF ON-GRADE INLETS.



SSA-1. STABILIZED STAGING AREA

- STABILIZED STAGING AREA INSTALLATION NOTES**
- SEE PLAN VIEW FOR:
 - LOCATION(S) OF STAGING AREA(S).
 - CONTRACTOR MAY ADJUST LOCATION AND SIZE OF STAGING AREA WITH APPROVAL FROM THE LOCAL JURISDICTION.
 - STABILIZED STAGING AREA SHOULD BE APPROPRIATE FOR THE NEEDS OF THE SITE. OVERSIZING RESULTS IN A LARGER AREA TO STABILIZE FOLLOWING CONSTRUCTION.
 - STAGING AREA SHALL BE STABILIZED PRIOR TO OTHER OPERATIONS ON THE SITE.
 - THE STABILIZED STAGING AREA SHALL CONSIST OF A MINIMUM 3" THICK GRANULAR MATERIAL.
 - UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF CDOT SECT. #703, AASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK.
 - ADDITIONAL PERIMETER BMPs MAY BE REQUIRED INCLUDING BUT NOT LIMITED TO SILT FENCE AND CONSTRUCTION FENCING.

- STABILIZED CONSTRUCTION ENTRANCE EXIT MAINTENANCE NOTES**
- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
 - FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
 - WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
 - ROCK SHALL BE REPLACED OR REGRADED AS NECESSARY IF RUTTING OCCURS OR UNDERLYING SUBGRADE BECOMES EXPOSED.
 - STABILIZED STAGING AREA SHALL BE ENLARGED IF NECESSARY TO CONTAIN PARKING, STORAGE, AND UNLOADING/LOADING OPERATIONS.
 - THE STABILIZED STAGING AREA SHALL BE REMOVED AT THE END OF CONSTRUCTION. THE GRANULAR MATERIAL SHALL BE REMOVED OR, IF APPROVED BY THE LOCAL JURISDICTION, USED ON SITE, AND THE AREA COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY LOCAL JURISDICTION.

5.1 General Guidelines

The City of Colorado Springs Engineering Department general specifications should be used as a resource when developing technical specifications for revegetation. General guidelines and recommendations for revegetation include:

- Seed mixtures should be sown at the proper time of year for the mixture. Generally, there are two optimal seeding periods during the year. The first period is in the spring, March to May. The second period is in late summer to early fall, August to September.
- Seed should be drill-seeded, whenever possible.
- Broadcast seeding or hydro-seeding may be substituted on slopes steeper than 3:1 or on other areas not practical to drill seed.
- Seeding rates should be doubled for broadcast seeding or increased by 50% if using a Brillion drill or hydro-seeding.
- Broadcast seed should be lightly hand-raked into the soil.
- Seed depth should be 1/3 to 1/2 inch for most mixtures.
- Seeded areas should be mulched, and the mulch should be adequately secured.
- If hydro-seeding is conducted, mulching should be conducted as a separate, second operation.
- Containerized nursery stock should be kept in a live and healthy condition prior to installation.
- Containerized trees and shrubs should be installed according to the planting details provide in the Colorado Springs Landscape Code and Policy Manual, Unit Four, appendices for tree and shrub planting details.
- Live stakes, poles and willow bundles should be installed when dormant (late winter and early spring).
- If beaver are known to be in the area, beaver protection should be provided for trees and shrubs.

6.0 Maintenance

General guidelines that should be included as a part of a vegetation establishment and maintenance plan include:

- Following installation, the installation contractor should maintain the vegetated site for 2 years.
- As directed in the Colorado Springs Landscape Code and Policy Manual, a compliance inspection of the landscape by City Planning is required 2 years after installation. The owner is responsible for scheduling this inspection in order to be released from the landscape establishment requirements.
- Following planting during the first two growing seasons and to implement follow-up measures to increase success, sites should be inspected monthly. Immediate attention to a problem (e.g., weed infestation, failure of seed to germinate) can prevent total failure later.
- While plants are becoming established, pedestrian access to and grazing on recently revegetated areas should be limited with temporary fencing and signage.
- As soon as possible, weed infestation should be managed using appropriate physical, chemical or biological methods.
- Stakes and guy wires for trees should be maintained and dead or damaged growth should be pruned.
- Beaver protection cages should be used around tree plantings where beavers are an issue. When trees grow to within one inch of the protective cages, the cages must be removed to avoid damage to the trees.
- Mulch should be maintained by adding additional mulch and redistributing mulch, as necessary.
- Areas of excessive erosion should be repaired and stabilized.
- Planted trees and shrubs should be watered monthly or more frequently as needed to maintain soil moisture within the root zone of the newly installed trees and shrubs from April through September until established. The presence of soil moisture can be checked with a soil probe.
- Monitor and maintain appropriate soil moisture by adjusting the irrigation systems as needed to achieve plant establishment.
- Fire-prone areas should be managed to reduce fuel loading and allow emergency vehicle access. Maintenance should include thinning of fuel species from slopes and providing defensible space adjacent to structures.
- After removal of invasive species, native species should be used for revegetation efforts.

PS-1. PERMANENT SEEDING INFORMATION

*CONTRACTOR TO FOLLOW FINAL APPROVED LANDSCAPE ARCHITECTURE AND IRRIGATION PLANS AND RECOMMENDATIONS.

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ROCKY MOUNTAIN GROUP

ARCHITECTS
RMG
ENGINEERS

Geotechnical
Materials Testing
Civil Training
Architectural
Structural
Forensics

SOUTHERN COLORADO
19375 BEACON LITE RD., MONUMENT, CO 80132
970.886.8145 WWW.ROCKYMOUNTAINENGINEERS.COM
Sustainable Architecture, Construction Management, Inspection, Engineering

FOR CONSTRUCTION
FOR CIVIL ONLY

REDLINE PIPELINE OFFICE/WAREHOUSE
WOLF BUSINESS PARK FIL. NO. 2 - LOT 5
2123 WOLF COURT MONUMENT, CO 80132
R.L. WOLF PROPERTIES, LLC.

EROSION CONTROL DETAILS 1
CONSTRUCTION PLANS

SHEET NAME
PROJECT STATUS

ENG: RDL
DRAWN: RDL
CHECKED: RDL

DATE
08/05/2020

#	REVISION	DATE

JOB NO.
175043

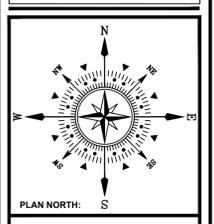
SHEET NO.
8
of 12



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**REDLINE PIPELINE
 OFFICE / WAREHOUSE**
 2123 WOLF COURT
 MONUMENT, CO 80132
 DEVELOPMENT PLAN

PROJECT NAME:
 PROJECT ADDRESS:
 PROJECT DESCRIPTION:

DATE: 07/29/2020
 DESIGNED: GEM
 CHECKED: WFG



REVISIONS:		
DATE:	BY:	DESCRIPTION:

NOTES:

PLAN SCALE: 1" = 20" (OR AS NOTED ON PLAN)

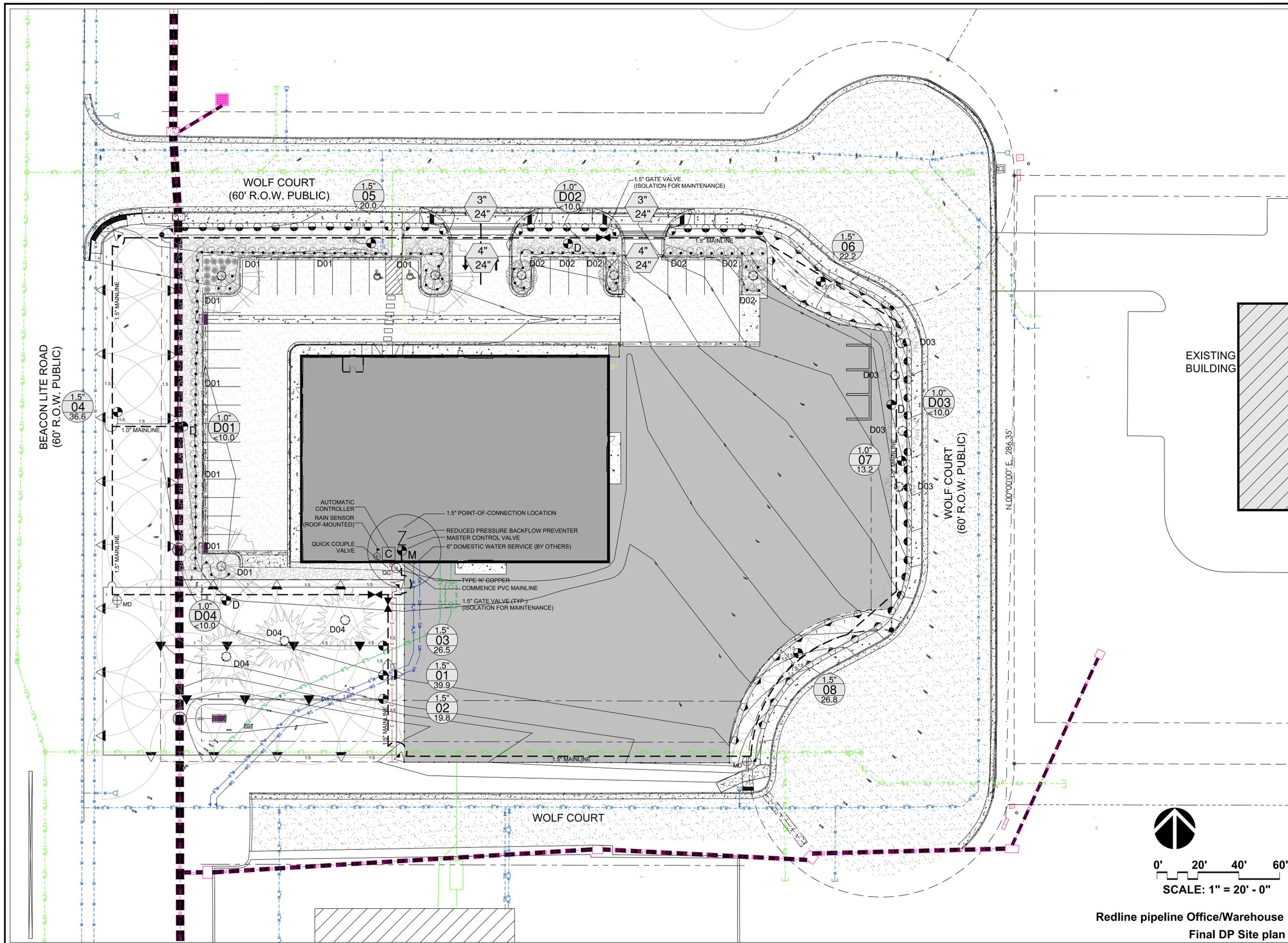
SHEET TITLE:
LANDSCAPE PLAN

SHEET NO.
LS-1
 17 OF 19 SHEETS

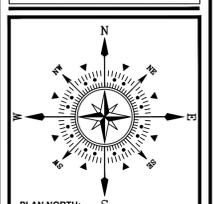
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0' 20' 40' 60'
SCALE: 1" = 20' - 0"

**Redline pipeline Office/Warehouse
 Final DP Site plan**



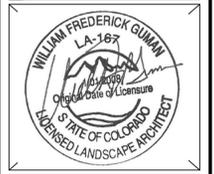
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REDLINE PIPELINE OFFICE / WAREHOUSE
2123 WOLF COURT
MONUMENT, CO 80132
DEVELOPMENT PLAN

PROJECT NAME:
 PROJECT ADDRESS:
 PROJECT DESCRIPTION:

DATE: 07/29/2020
 DESIGNED: WFG
 CHECKED: GEM



REVISIONS:

DATE:	BY:	DESCRIPTION:

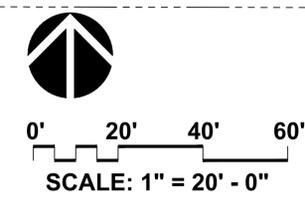
NOTES:

PLAN SCALE: 1" = 20' (OR AS NOTED ON PLAN)

SHEET TITLE:
IRRIGATION PLAN

SHEET NO.
LS-2
 18 OF 19 SHEETS

FILE NO.
 FILE#



Redline pipeline Office/Warehouse
Final DP Site plan

LANDSCAPE SCHEDULE:
Planting Schedule:

SYMBOL	QTY	DROUGHT TOLERANT	BOTANICAL/COMMON NAME	MATURE HT./WD.	PLANTING SIZE	NOTES
	4		PINON PINE (Pinus edulis)	20-30' 15-20'	6" ht.	B&B Nursery Green. Size to meet or exceed AAN. min. size
	3		PONDEROSA PINE (Pinus ponderosa)	40-60' 20-30'	6" ht.	B&B Nursery Green. Size to meet or exceed AAN. min. size
	3		SHADEMASTER HONEYLOCUST (Gleditsia tri. in 'Shademaster')	40-50' 30-40'	1.5" cal.	B&B Nursery Green. Size to meet or exceed AAN. min. size
	3		RUSSIAN HAWTHORN (Crataegus arborea)	15-25' 15-20'	1.5" cal.	Container Grown. Size to meet or exceed AAN. min. size

SHRUBS/GRASSES/GROUNDCOVERS

SYMBOL	QTY	DROUGHT TOLERANT	BOTANICAL/COMMON NAME	MATURE HT./WD.	PLANTING SIZE	NOTES
	34		OLD GOLD JUNIPER (Juniperus x media 'Old Gold')	3-4' 4-6"	5 gal.	Container Grown. Size to meet or exceed AAN. min. size
	40		COMPACT PRITZER JUNIPER (Juniperus x media 'Pfitzerana Compacta')	3-4' 4-6"	5 gal.	Container Grown. Size to meet or exceed AAN. min. size
	23		GREEN CARPET JUNIPER (Juniperus communis 'Green Carpet')	8-10' 4-6"	5 gal.	Container Grown. Size to meet or exceed AAN. min. size
	12		MORNING LIGHT MAIDEN GRASS (Miscanthus sinensis 'Morning Light')	4-6' 2-3"	1 gal.	Container Grown. Size to meet or exceed AAN. min. size

SYMBOL KEY:

SYMBOL	DESCRIPTION/REMARKS
	MAINTENANCE EDGE: 3/16" x 6" ROLL TOP STEEL EDGING (Green color, staked)
	ORGANIC MULCH TYPE 'A': IDAHO CEDAR SHREDDED WOOD MULCH: UNIFORMLY PLACED TO A 4" DEPTH IN PLANTER BEDS AND AROUND ALL ROOT BALLS IN TURF AREAS ONLY [Equal to that supplied by Pioneer Sand and Gravel, Colorado Springs, CO]
	NATIVE TURF TYPE 'A': SEED BLEND EQUAL TO LOW MAINTENANCE MIX (50% Chewings Fescue, 30% Creeping Red Fescue, 25% Hard Fescue, 10% Blue Fescue) Provide/install at recommended rate for new seeding. AV SEEDS, INC., DENVER, CO www.avseeds.com (24,334 sf)
	'PLANTED' BOULDERS: Install boulders per Detail this sheet.
	AGGREGATE 'A': 3-4" SIZE WHOLE WASHED RIVER COBBLES PLACED TO A UNIFORM DEPTH ON FABRIC UNDERLAYMENT.

SITE CATEGORY CALCULATIONS

LANDSCAPE DATA	Minimum Landscape Requirement (10%)	Total Impervious area	Minimum Tree Requirement	Maximum Allowable Native Grasses (ft. l.)
Total lot area	86,334 sq. ft.	52,670 sq. ft.	10 req. / 10 prov.	4,317 sq. ft.

Shrub, Ornamental Grass, Ground Cover Requirement (for areas not planted in native grasses)
8 Shrubs, Ornamental Grasses or Ground Covers / 100 sq. ft.

Shrub, Ornamental Grass, "Ground Cover" Requirement (for areas not planted in native grasses)
86.34 x 8 shrubs, et. al. = 691 shrubs, sq. ft.
102 shrubs, sq. ft. provided

25,680 sq. ft. of native grass provided

MOTOR VEHICLE LOTS

No. of Vehicle Spaces Required / Provided	Trees (1/15 Spaces) Required / Provided	Vehicle Lot Frontage	Length of Frontage (ft.)	Percent Ground Plane
31	3 / 3	417	362'	n/a

Screening Plants (Linear Feet)
351'

Evergreen Plants Req. (50% / Prov.)
n/a

Length of Screening Wall or Berm Provided
n/a

Vehicle Lot Plant Abbr. on Plan
n/a

Percent Ground Plane
n/a

EL PASO COUNTY LAND DEV. REGS. SECTION 6.2.2

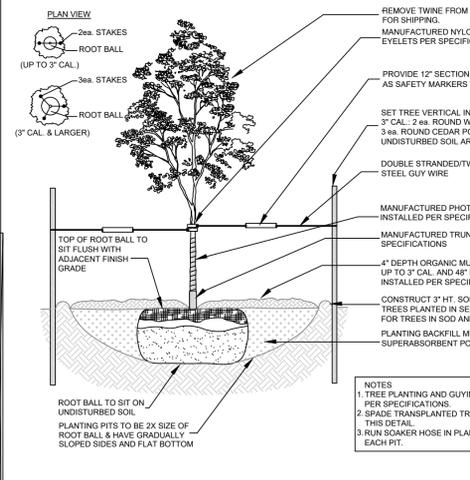
Buffer between non residential and residential (west of Beacon Lite Road in linear feet)	Trees (One tree per 15') Required / Provided	Evergreen Trees (1/3 of required trees) Required / Provided
260'	n/a	n/a

Depth of landscape buffer Required / Provided
15' / 20'

Minimum living ground cover Required / Provided
75% / 100%

Parking lot screening linear feet (3' min. ht.) Required / Provided
152' / 152'

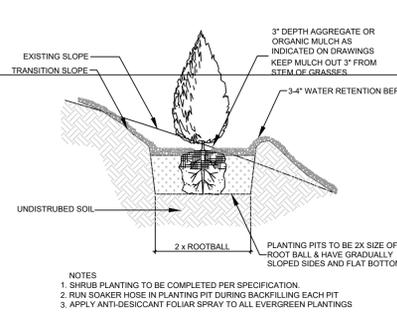
NOTE: An in-ground irrigation plan shall be provided upon final acceptance of the landscape plan.
NOTE: Tree planting is forgiven in this area due to conflict with utility easement and R.O.W. width required for future roadway expansion.



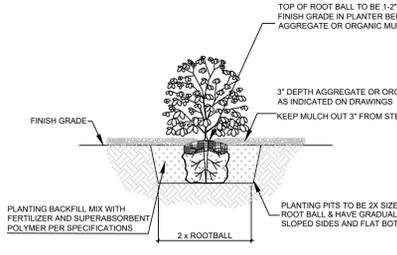
F SHRUB PLANTING DETAIL
DIAGRAMMATIC; NOT TO SCALE

LANDSCAPE NOTES:

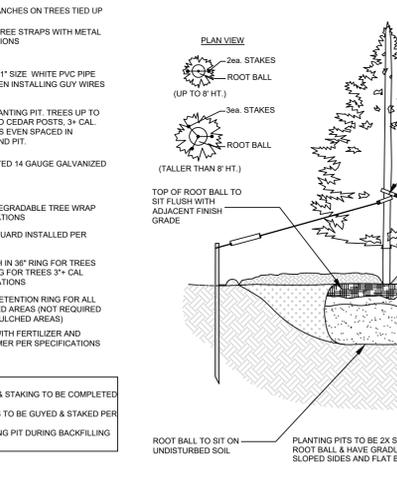
- REFER TO SPECIFICATION SECTION 32-94-00. LANDSCAPE ACCESSORIES FOR REQUIRED INSTALLATION AND WORKMANSHIP STANDARDS FOR NEW LANDSCAPING IN THE EVENT OF A CONFLICT IN REQUIREMENTS THE MOST STRINGENT INTERPRETATION WILL PREVAIL.
- DRAWINGS ARE DIAGRAMMATIC. PRECISE PLACEMENT OF LANDSCAPE ACCESSORIES MAY NOT BE POSSIBLE AS INDICATED. CONSULT PROJECT LANDSCAPE ARCHITECT PRIOR TO MAKING RANDOM FIELD CHANGES WHICH MAY ALTER DESIGN INTENT.
- QUANTITIES ARE PROVIDED FOR REFERENCE ONLY. VERIFY ALL QUANTITIES PRIOR TO SUBMITTING COST PROPOSAL. IN THE EVENT OF A CONFLICT BETWEEN SCHEDULED, IMPLIED, OR EXPRESSED QUANTITIES, QUANTITIES WHICH CAN BE DETERMINED GRAPHICALLY FROM THE DRAWINGS WILL PREVAIL IN ANY CASE.
- THE CONTRACTOR IS RESPONSIBLE FOR INSPECTION AND VERIFICATION OF ALL FIELD CONDITIONS AND RESOLVING CONFLICTS PERTAINING TO DIMENSIONS, LAYOUT, ETC. WHICH MAY AFFECT THE LANDSCAPE INSTALLATION. MOBILIZING SHALL BE CONSTRUED AS ACCEPTANCE OF CONDITIONS.
- COORDINATE ALL WORK INDICATED ON THESE DRAWINGS WITH WORK OF OTHER TRADES.
- THE PROJECT LANDSCAPE ARCHITECT RESERVES THE RIGHT TO CONSIDER AND APPROVE ALTERNATE INSTALLATIONS AT ANY TIME WHICH IN THE LANDSCAPE ARCHITECT'S OPINION MAXIMIZES THE CONSTRUCTION BUDGET AND MAINTAINS DESIGN INTENT.
- PROVIDE A 3 FOOT CLEAR SPACE AROUND THE CIRCUMFERENCE AROUND ALL FIRE HYDRANTS AND LIGHTING STANDARDS.
- CONTRACTOR TO UTILIZE STOCKPILED TOPSOIL FROM GRADING OPERATION AS MAY BE AVAILABLE. IF THE AMOUNT OF TOPSOIL NEEDED TO COMPLETE FINAL GRADING IS NOT AVAILABLE, THE CONTRACTOR SHALL IMPORT THE AMOUNT OF SOIL NEEDED.
- CONTRACTOR SHALL ENSURE THAT PROPER IRRIGATION VIA THE IRRIGATION SYSTEM IS OPERABLE AND CAPABLE OF EXTENDING AMOUNTS OF WATER REQUIRED TO ESTABLISH AND SUSTAIN PLANT GROWTH AT THE TIME OF INSTALLATION.
- ALL LANDSCAPE AND IRRIGATION INSTALLATION SHALL BE COMMENCED BY THE OWNER UPON COMPLETION AND FINAL ACCEPTANCE OF ALL LANDSCAPE AND IRRIGATION SYSTEM INSTALLATIONS.
- SOIL AMENDMENT AND FINAL GRADING FOR ALL SEEDED TURF AREAS TO BE PROVIDED IN ACCORDANCE WITH SPECIFICATIONS.
- AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM IS TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH THE IRRIGATION SYSTEM DRAWING AND SPECIFICATIONS.
- STEEL MAINTENANCE EDGING TO BE INSTALLED TO SEPARATE ALL ORGANIC AND AGGREGATE MULCHES FROM ADJACENT SOIL AND SEEDED TURF AREAS. PROVIDE MAINTENANCE EDGE PER DRAWING DETAIL.
- ALL PLANT MATERIAL TO BE INSTALLED PER DETAILS AND SPECIFICATIONS. GUY AND STAKE ALL DECIDUOUS AND EVERGREEN TREES PER DETAILS. PROVIDE SHREDDED MULCH RINGS IN RETENTION BASINS AROUND ALL TREES PLANTED IN SEEDED AREAS. MULCH RINGS ARE NOT REQUIRED FOR TREES PLANTED IN AGGREGATE MULCH AREAS.
- PLANT QUANTITIES AND SIZES INDICATED ARE THE MINIMUM TO SATISFY LANDSCAPE CODE REQUIREMENTS. NO SUBSTITUTIONS ARE PERMITTED WITHOUT PRIOR APPROVAL OF THE PROJECT ARCHITECT AND CITY OF COLORADO SPRINGS DEVELOPMENT SERVICES.
- STEEL MAINTENANCE EDGING TO BE INSTALLED TO SEPARATE ALL ORGANIC AND AGGREGATE MULCHES FROM ADJACENT SOIL AND SEEDED TURF AREAS. PROVIDE MAINTENANCE EDGE PER DRAWING DETAIL.
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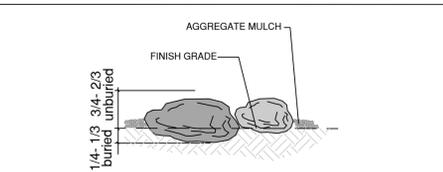
C UPRIGHT EVGN. & SLOPE PLANTING
DIAGRAMMATIC; NOT TO SCALE



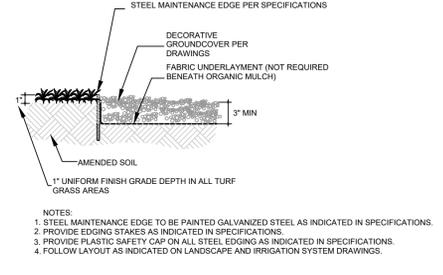
E SHRUB PLANTING
DIAGRAMMATIC; NOT TO SCALE



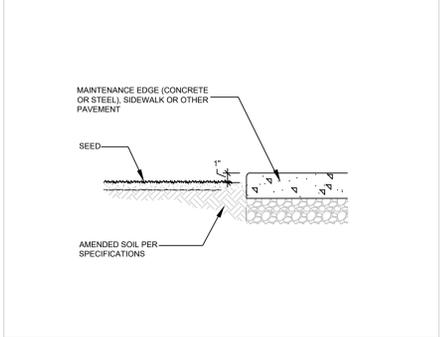
G EVERGREEN TREE PLANTING DETAIL
DIAGRAMMATIC; NOT TO SCALE



A BOULDER PLACEMENT
DIAGRAMMATIC; NOT TO SCALE



B STEEL MAINTENANCE EDGE
DIAGRAMMATIC; NOT TO SCALE



D FINAL GRADE & SEED BED AT PAVEMENT
DIAGRAMMATIC; NOT TO SCALE

IRRIGATION SCHEDULE:
Equipment Schedule:

SYM.	SIZE	DESCRIPTION/REMARKS
A	12 sta.	RAINBIRD ESP18-SMTEI indoor SMART 12 Station Automatic Controller Exterior Mount w/ standard plastic housing w/RSD Series Rain Sensor. Hardwire controller w/ 120V Power Source.
Z	1.50"	WATTS 009M2-QT 1 Bronze Reduced Pressure Backflow Assembly, qtr. turn shut-offs, tee handles.
M	1.50"	RAINBIRD 150 EFB-CP Brass Control Valve (Master Valve)
D	1.00" - 1.50"	RAINBIRD PEB Series Plastic Control Valve (Globe Configuration)
D	1.00"	RAINBIRD XCZ-075-PRF Drip Control Zone Kit for drip zones 0 GPM-3 GPM. RAINBIRD XCZ-100-B COM Drip Control Zone Kit for drip zones 4 GPM-15 GPM. Refer to watering schedule below for proper valve application per drip zone.
E	1 gph	RAINBIRD 1" XB-10PC SINGLE OUTLET EMITTER on drip tubing emitter stake (per Detail 'N')
QC	.75"	RAINBIRD 33DRQC Quick Coupling Valve w/RB Quick Coupling Valve Key.
MD	1.00"	APOLLO VALVES 2-piece Standard Port Brass Valve (manual draws)
D	1.50"	NIBCO T-113 Brass Gate Valve, standard port threaded end (mainline isolation valves)
D	4.00"	RAINBIRD 1800 Pop-Up Spray w/MPR - Arc nozzle in arc radius as indicated per Drawing. Designed for 35PSI.
D	4.00"	RAINBIRD 5000-MPR-35 (BEIGE) PLUS SERIES NOZZLE Rotor in arc radius as indicated per drawing. RB5000-MPR designed for 35PSI.

VALVE SIZE	VALVE NO.	EST. GPM	SLEEVE SIZE	SLEEVE DEPTH
1.00"	03	8.0	3"	24"

Irrigation Plan Notes:

- DESIGN PRESSURE: INSTALLER TO VERIFY @ 80psi STATIC AT P.O.C., MINIMUM 30psi AT HEAD.
- ALL MAINLINE TO BE MARKED WITH TRACER WIRE.
- MAINLINE TO BE LOCATED NO FARTHER THAN 1' FROM BACK OF SIDEWALK OR CURB.
- DRAWING IS DIAGRAMMATIC. PRECISE PLACEMENT OF EQUIPMENT MAY NOT BE POSSIBLE AS INDICATED. FIELD CHANGES WHICH DO NOT ALTER DESIGN INTENT MAY BE PERFORMED BY THE INSTALLER.
- QUANTITIES WHICH CAN BE DETERMINED GRAPHICALLY FROM THE DRAWINGS PREVAIL OVER SCHEDULED QUANTITIES IN THE EVENT OF A CONFLICT.
- RUN-TIMES ARE FOR A 3-DAY WATERING SCHEDULE.
- INSTALLER TO ADJUST NOZZLES AND EMITTERS AS NEEDED TO APPLY ADEQUATE COVERAGE TO ALL NEW PLANTINGS AND TURF GRASSES.
- ALL IRRIGATION LATERAL PIPE LINE NOT LABELED ARE 1" SIZE.
- ALL EQUIPMENT TO BE INSTALLED PER DRAWING DETAILS, STATE AND LOCAL CODES, AND SPECIFICATIONS. IN THE EVENT OF A CONFLICT THE MOST STRINGENT REQUIREMENT WILL PREVAIL.
- IRRIGATION INSTALLATION MUST BE 100% OPERABLE AND DEMONSTRATED IN THE PRESENCE OF OWNER AND PROJECT ARCHITECT PRIOR TO ISSUANCE OF CERTIFICATE OF AFFIDAVIT FOR FINAL ACCEPTANCE.

12 Station Controller VALVE SCHEDULE

Valve Schedule:

No.	Flow (GPM)	Prec. Rate (in/hr)	Zone	Size	*Run Time	Zone Type
01	39.97	1.62	01	1.50"	62 min	Rotor Seed
02	19.86	1.62	02	1.50"	62 min	Rotor Seed
03	26.48	1.62	03	1.50"	62 min	Rotor Seed
04	36.64	1.62	04	1.50"	62 min	Rotor Seed
05	20.09	1.62	05	1.50"	62 min	Pop-Up Spray Seed
06	22.20	1.62	06	1.50"	76 min	Pop-Up Spray Seed
07	13.12	1.22	07	1.00"	60 min	Pop-Up Spray Seed
08	26.62	.31	08	1.50"	115 min	Pop-Up Spray Seed

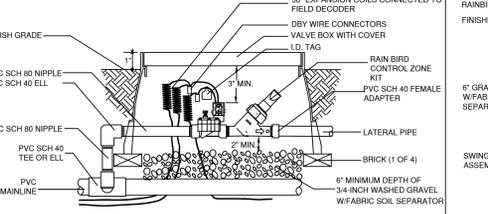
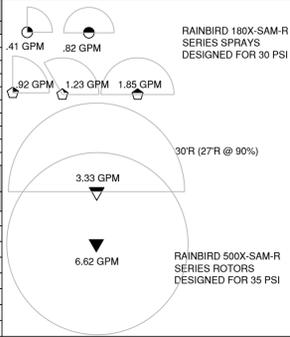
*Run Time Total Per Week (Divide by 3 for a 3 Day Schedule to Apply 1.25" Water/Week)

Drip Valve Schedule:

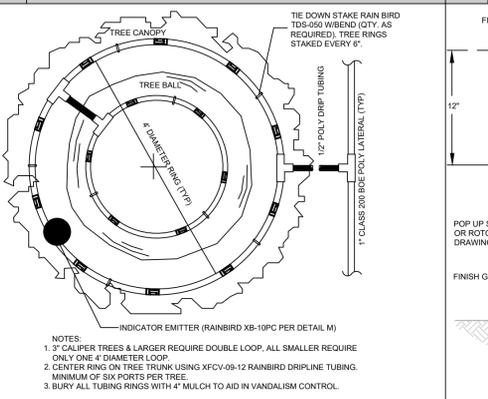
No.	Flow (GPM)	Prec. Rate (in/hr)	Zone	Size	Run Time	Zone Type
D01	<10.00	N/A	10	1.00"	60 min	Drip/Emitter
D02	<10.00	N/A	11	1.00"	60 min	Drip/Emitter
D03	<10.00	N/A	12	1.00"	60 min	Drip/Emitter

*Run Time Total Per Week (Program Each Zone 60 Minutes x 3 Day Schedule)

SPRINKLER KEY

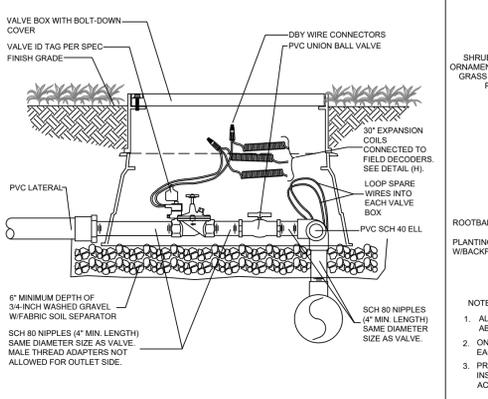


H DRIP CONTROL ZONE KIT
NOT TO SCALE

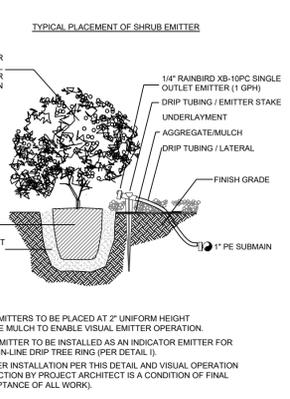


I STAKED QCV VALVE
NOT TO SCALE

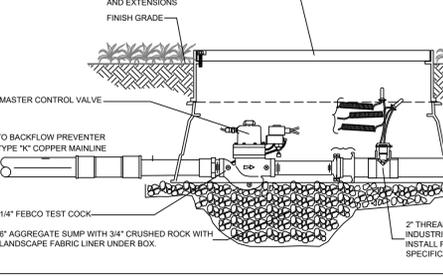
J DRIP TREE RING W / INDICATOR EMITTER
NOT TO SCALE



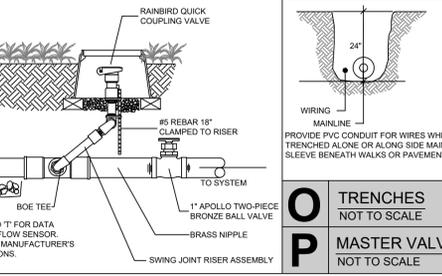
K POP-UP SPRAY HEAD & RISER
NOT TO SCALE



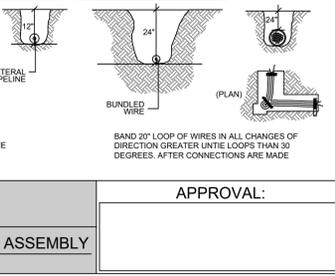
L ROTOR SPRINKLER HEAD & RISER
NOT TO SCALE



M REMOTE CONTROL VALVE
NOT TO SCALE

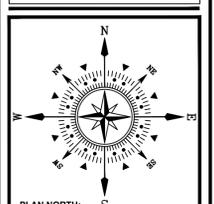


N DRIP EMITTERS
NOT TO SCALE



William Guman & Associates, Ltd.
LANDSCAPE ARCHITECTS
731 North Weber Street
Colorado Springs, CO 80903
(719) 533-7700
www.GumanLtd.com
bill@guman.net

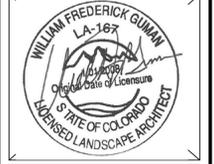
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PLAN NORTH: S

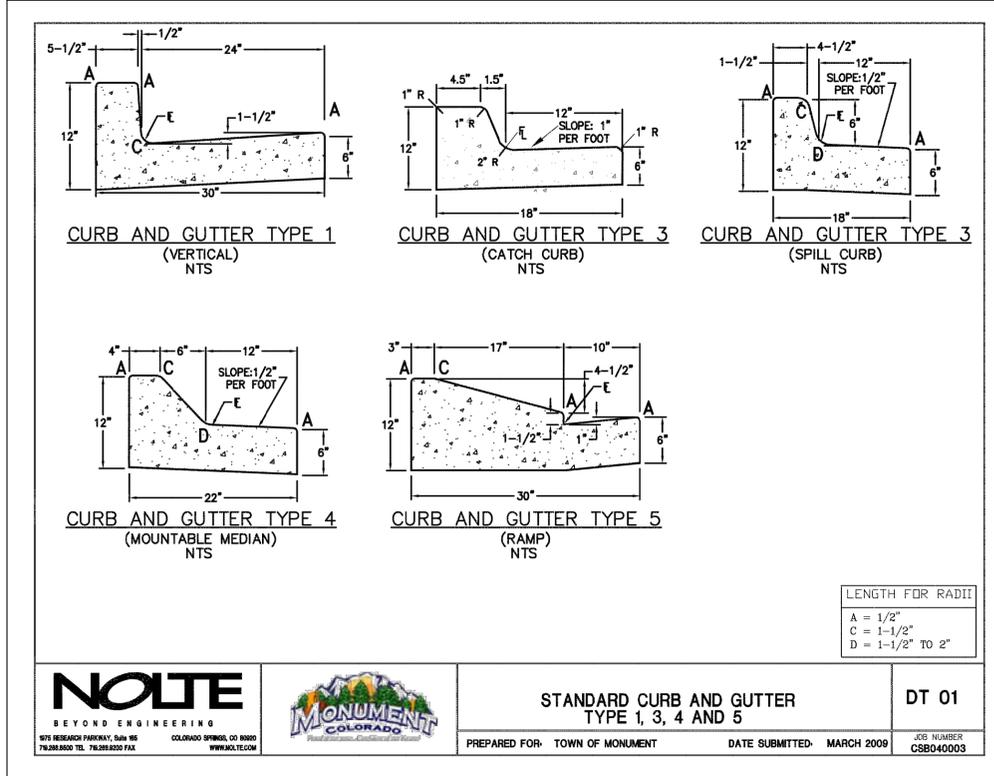
REDLINE PIPELINE
OFFICE / WAREHOUSE
2123 WOLF COURT
MONUMENT, CO 80132
DEVELOPMENT PLAN

DATE: 07/29/2020
DESIGNED: WFG, GEM
CHECKED: WFG



REVISIONS:

DATE	BY	DESCRIPTION



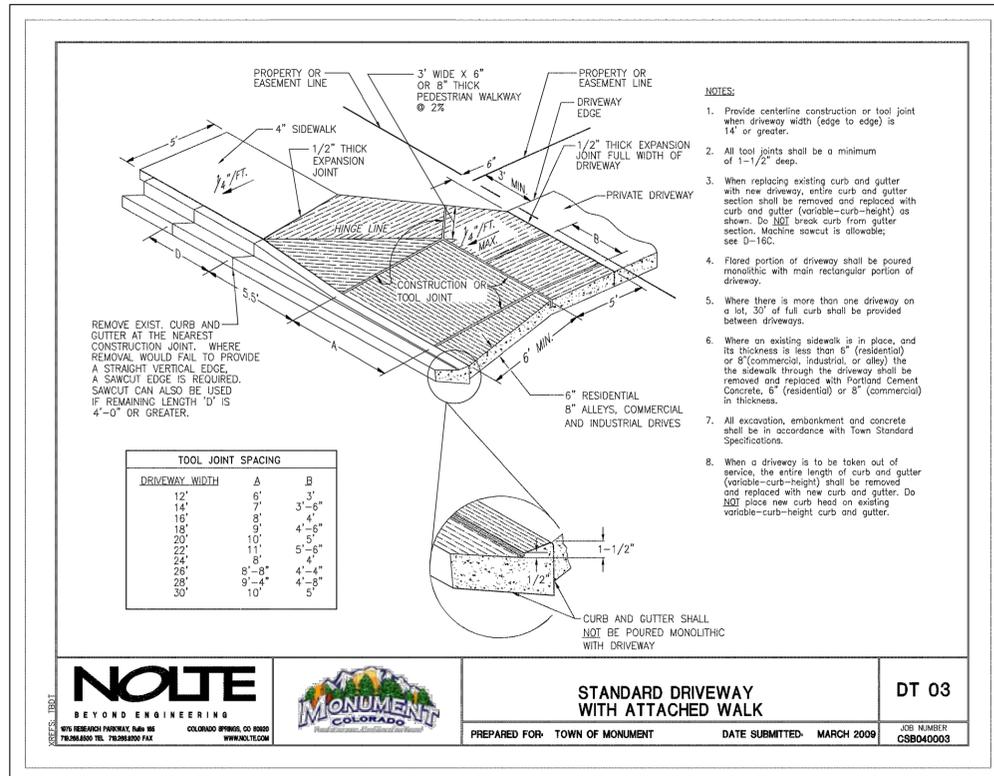
NOLTE
 BEYOND ENGINEERING
 1915 RESEARCH PARKWAY, SUITE 105
 COLORADO SPRINGS, CO 80902
 719.268.8900 TEL. 719.268.9200 FAX
 WWW.NOLTE.COM



STANDARD CURB AND GUTTER TYPE 1, 3, 4 AND 5

PREPARED FOR: TOWN OF MONUMENT DATE SUBMITTED: MARCH 2009 JOB NUMBER: CSB040003

DT 01



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 1915 RESEARCH PARKWAY, SUITE 105
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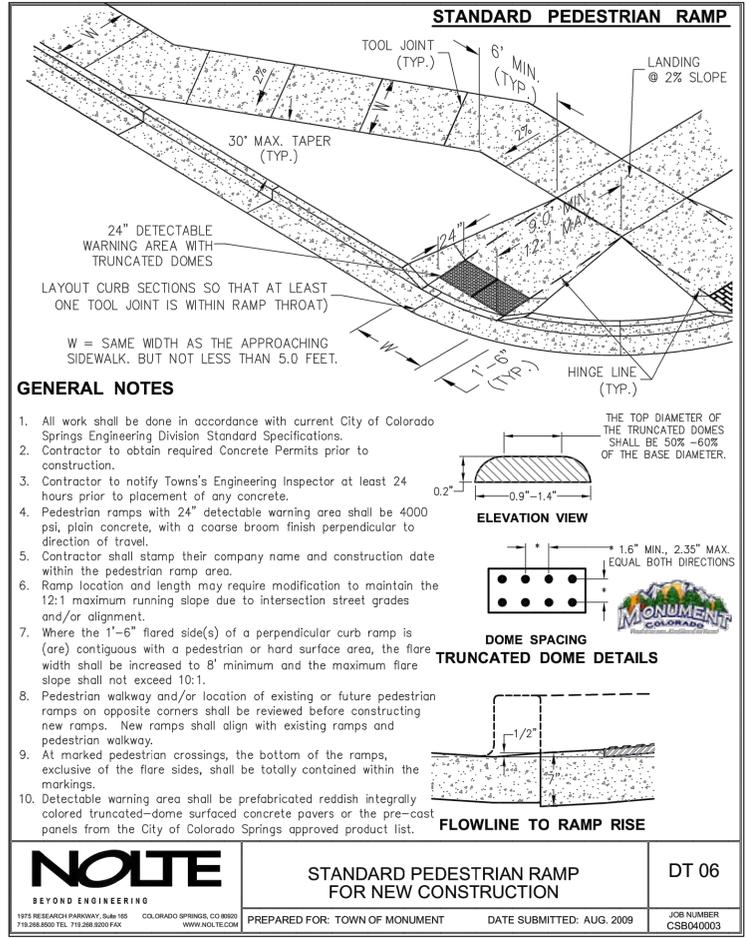


STANDARD DRIVEWAY WITH ATTACHED WALK

PREPARED FOR: TOWN OF MONUMENT DATE SUBMITTED: MARCH 2009 JOB NUMBER: CSB040003

DT 03

NOTE: SEE ATTACHED SIDEWALK LOCATION, PAVEMENT "A", SHOWN ON SHEET 3

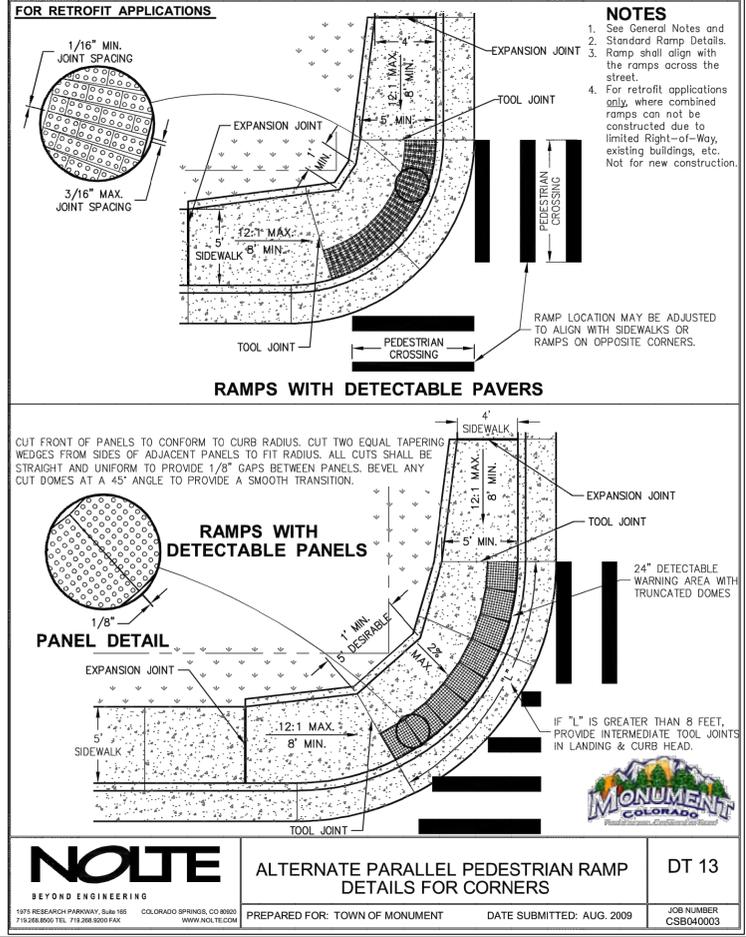


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 719.268.8900 TEL. 719.268.9200 FAX
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STANDARD PEDESTRIAN RAMP FOR NEW CONSTRUCTION

PREPARED FOR: TOWN OF MONUMENT DATE SUBMITTED: AUG. 2009 JOB NUMBER: CSB040003

DT 06



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 COLORADO SPRINGS, CO 80902
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 WWW.NOLTE.COM

ALTERNATE PARALLEL PEDESTRIAN RAMP DETAILS FOR CORNERS

PREPARED FOR: TOWN OF MONUMENT DATE SUBMITTED: AUG. 2009 JOB NUMBER: CSB040003

DT 13

ROCKY MOUNTAIN GROUP
 ARCHITECTS
R.M.G.
 ENGINEERS
 Geotechnical
 Materials Testing
 Civil Planning
 Architectural
 Structural
 Forensics
 SOUTHERN COLORADO
 19375 BEACON LITE RD. - MONUMENT, CO 80132
 SOUTHERN COLORADO, DENVER, MOUNTAIN VIEW, NORTHPLAINS, COLORADO

FOR CONSTRUCTION FOR CIVIL ONLY

REDLINE PIPELINE OFFICE/WAREHOUSE
 WOLF BUSINESS PARK FIL. NO. 2 - LOT 5
 2123 WOLF COURT MONUMENT, CO 80132
 R.L. WOLF PROPERTIES, LLC.

SHEET NAME:
CONSTRUCTION DETAILS 1
 PROJECT STATUS:
CONSTRUCTION PLANS

ENG:	ROL	
DRAWN:	ROL	
CHECKED:	ROL	
DATE:	08/05/2020	
#	REVISION	DATE
JOB NO.:	175043	
SHEET NO.:	10	
	of 12	

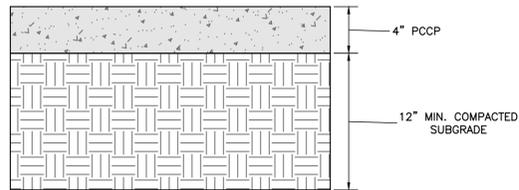
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PAVEMENT MATERIALS

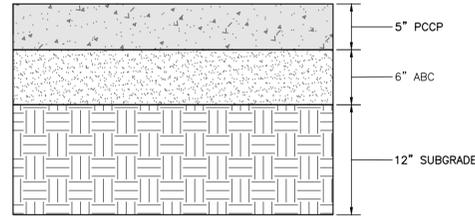
PAVEMENT MATERIALS SHOULD BE SELECTED, PREPARED, AND PLACED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY RMG-ROCKY MOUNTAIN GROUP DATED MARCH, 2020 AS WELL AS THE TOWN OF MONUMENT AND THE PIKES PEAK REGION ASPHALT PAVING SPECIFICATIONS. TESTS SHOULD BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE PROCEDURES PRESENTED IN THE REPORT AND SPECIFICATIONS.

SUBGRADE PREPARATION

EXISTING ASPHALT AND CONCRETE DESIGNATED FOR REMOVAL SHOULD BE REMOVED AND DISPOSED OFF-SITE. THE EXPOSED SUBGRADE SOIL SHOULD BE SCARIFIED TO A DEPTH OF 12 INCHES, ADJUSTED TO WITHIN 2 PERCENT OF THE OPTIMUM MOISTURE CONTENT AND COMPACTED TO 95 PERCENT OF MODIFIED PROCTOR (ASTM D1557) AS DETERMINED BY LABORATORY TESTING. THE SUBGRADE SHOULD THEN BE PROOF-ROLLED WITH A HEAVY PNEUMATIC TIRED VEHICLE TO A FIRM AND UNYIELDING CONDITION. SOFT SPOTS OR AREAS WHICH DEFORM UNDER WHEEL LOADS SHOULD BE REMOVED AND REPLACED WITH NON-EXPANSIVE GRANULAR SOIL AND COMPACTED AS ABOVE. A 12-INCH THICK LAYER OF PREPARED SUBGRADE SHOULD RESULT.

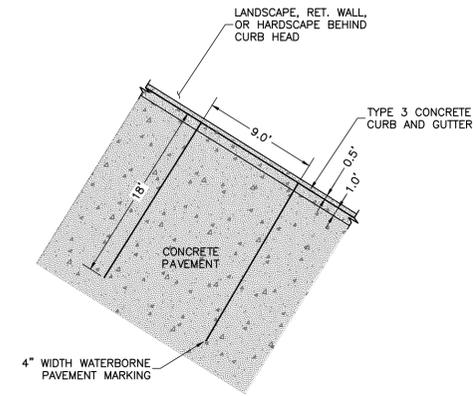


(A) TYPICAL SIDEWALK PAVEMENT SECTION
NOT TO SCALE

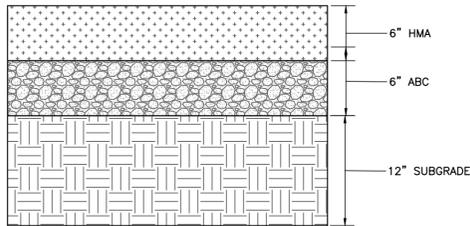


*CONTRACTOR SHALL ADHERE TO AND BE FAMILIAR WITH ACI 330R-08 (LATEST REVISION) STANDARDS FOR CONCRETE JOINTING AND PLACEMENT (INCLUDING BUT NOT LIMITED TO SECTIONS 3.7, 3.8, 3.9).

(B) TYPICAL CONCRETE PAVEMENT SECTION
NOT TO SCALE

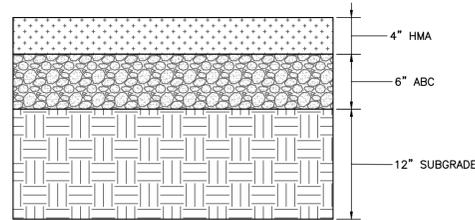


TYPICAL NON-HANDICAP PARKING STALL



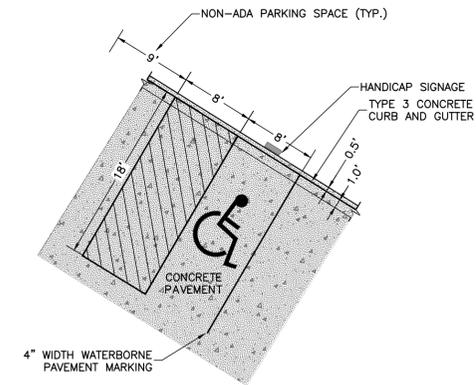
*RECOMMENDED PAVEMENT SECTION FOR HEAVY USE AREAS, DUMPSTER PADS, EQUIPMENT AREAS, AND AREAS WITH TURNING MOTIONS BY LARGE VEHICLES

(C) TYPICAL HEAVY LOADING ASPHALT PAVEMENT SECTION
NOT TO SCALE

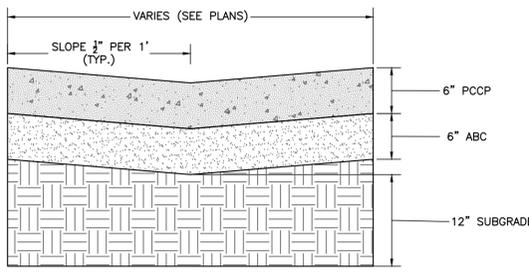


*RECOMMENDED PAVEMENT SECTION FOR MODERATE TRAFFIC LOADING OF MIXED USE AND SOME TRUCKS, I.E. PARKING STALLS.

(D) TYPICAL ASPHALT PAVEMENT SECTION
NOT TO SCALE

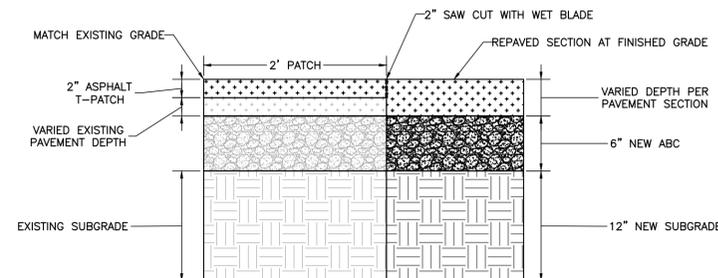


TYPICAL HANDICAP PARKING STALL
*REFER TO CITY OF COLORADO SPRINGS CODE OF ORDINANCES SECTION 7.4.205 F FOR DIMENSIONAL REQUIREMENTS.



*NO REINFORCING REQUIRED.

(E) CONCRETE DRAINAGE PAN
NOT TO SCALE



(F) ASPHALT PATCH PAVEMENT SECTION
NOT TO SCALE

ROCKY MOUNTAIN GROUP
ARCHITECTS
RMG
ENGINEERS
Geotechnical
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CONSTRUCTION DETAILS 3
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#	REVISION	DATE
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SHEET NO.	12	
	of 12	