

LOT 6, FALCON MARKETPLACE

7565 FALCON MARKETPLACE

EL PASO COUNTY, COLORADO

DEVELOPMENT PLAN

LEGAL DESCRIPTION:

LOT 6, FALCON MARKETPLACE

FLOODPLAIN STATEMENT:

THE EFFECTIVE FLOODPLAIN ZONE A LIMITS ARE DEFINED ON THE FIRM FOR EL PASO COUNTY, COLORADO AND UNINCORPORATED AREAS, MAP NUMBER 08041C0553G, EFFECTIVE DATE DECEMBER 7, 2018.

A LOMR TO MODIFY THE FLOODPLAIN HAS BEEN APPROVED BY FEMA, CASE NO. 21-08-0534P (OCT 7, 2021) WITH AN EFFECTIVE DATE OF FEBRUARY 22, 2022.

ADA DESIGN PROFESSIONAL STANDARDS:

1. THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARD AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE.
2. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.
3. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.

NOTES:

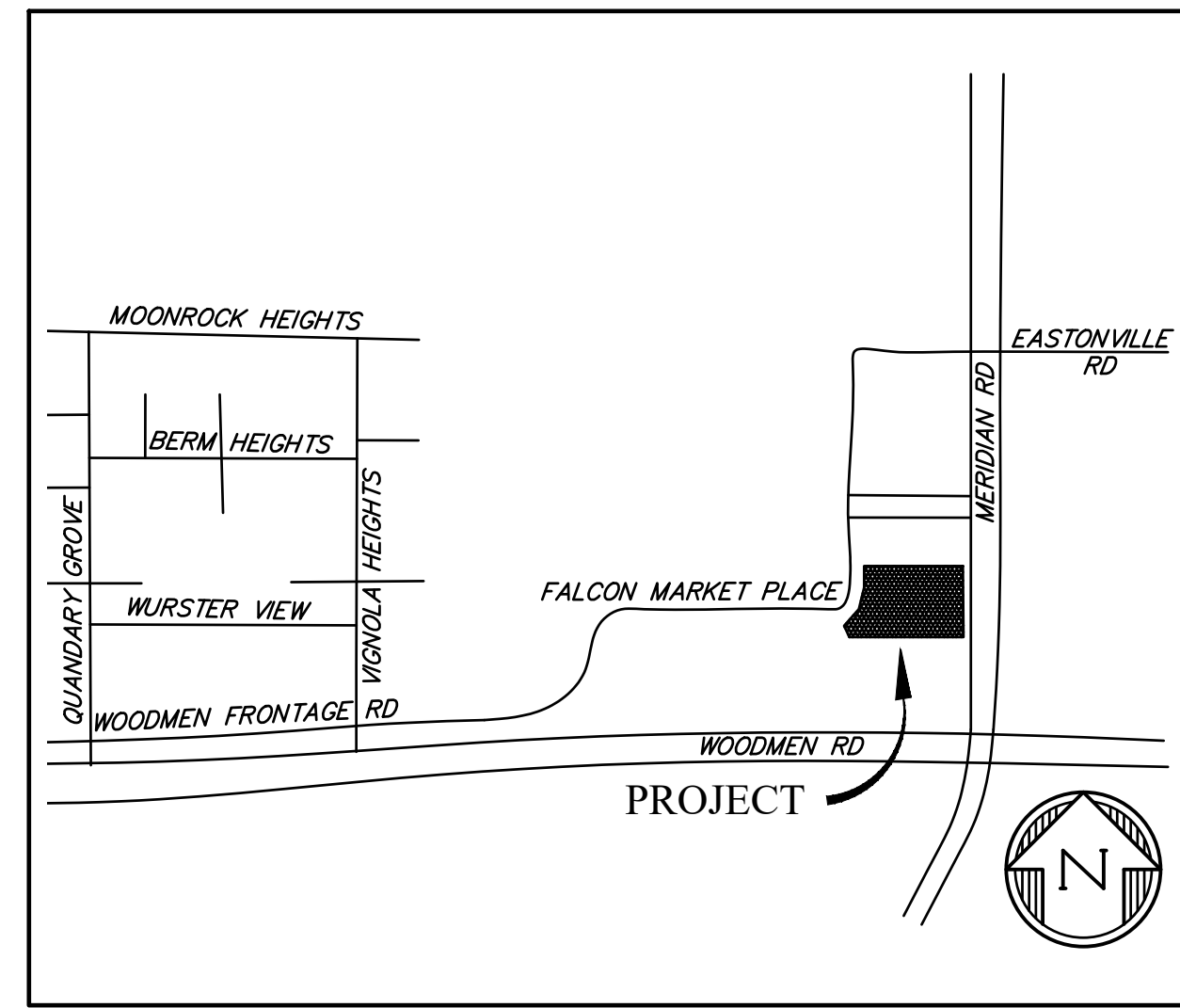
1. A SEPARATE SIGN PERMIT IS REQUIRED.
2. ALL "STOP SIGNS" WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATIONS SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS.
3. THE ADA PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING ONE TO FIFTY (1:50) (2 PERCENT) IN ALL DIRECTIONS.

GENERAL NOTES:

1. ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF OR HAVE SHIELDING TO REDUCE OFF-SITE LIGHTING IMPACTS ONTO ADJACENT PROPERTIES AND ROADWAYS.
2. THE GENERAL DRAINAGE PATTERNS ARE TO THE SOUTHERLY DIRECTION.
3. THIS DEVELOPMENT IS PROPOSED IN ONE PHASE.
4. LANDSCAPE MAINTENANCE OF THE PROPERTY IS THE OWNER'S RESPONSIBILITY.
5. ALL DRIVEWAYS AND PARKING SPACES TO BE ASPHALT UNLESS OTHERWISE SHOWN.
6. ALL INTERNAL DRIVEWAYS, PARKING SPACES AND ISLANDS ARE TO BE CONSTRUCTED WITH TYPE 3 CURB AND GUTTER.

APPROXIMATE SCHEDULE OF DEVELOPMENT:

BEGIN FALL 2022 COMPLETE SUMMER 2023



VICINITY MAP
NTS

SITE/BUILDING DATA:

OWNER/CONTRACTOR EVERGREEN-MERIDIAN & WOODMEN, LLC
2390 E CAMELBACK RD. SUITE #295
PHOENIX, AZ 85016

TAX SCHEDULE NUMBER: 5301403002

DEVELOPMENT PLAN/LOT AREA: 1.04 AC +/-
LOT AREA COVERAGE: 67% (0.69 AC.)
OPEN SPACE: 10.5%
LANDSCAPING: 22.5%
IMPERMEABLE SURFACE: 67%

ZONING: (EXISTING & PROPOSED) CR

LAND USE: DRIVE-IN/FAST FOOD RESTAURANT

DRAINAGE BASIN: FALCON

BUILDING CONSTRUCTION TYPE: V-B, NON-SPRINKLED

BUILDING AREA: 2332 SF
OUTDOOR PATIO DINING: 398 SF

BUILDING HEIGHT: 50'
ALLOWED 20'-8"

BUILDING SETBACKS: EXISTING & PROPOSED 25'
FRONT EXISTING & PROPOSED 25'
SIDE EXISTING & PROPOSED 25'
REAR

PARKING:

TOTAL REQUIRED	
FAST FOOD RESTAURANT	1 PER 100 = 24
ADA STALLS	1 PER 25 = 1
TOTAL PROVIDED	
STANDARD STALLS	41
ADA STALLS PROVIDED	2
TOTAL PROVIDED	43

SHEET INDEX

SHT1	CV	DEVELOPMENT PLAN COVER SHEET
SHT2	USP	UTILITY & SITE PLAN

PREPARED BY:



CLIENT:

EVERGREEN-MERIDIAN &
WOODMEN LLC
2390 E CAMELBACK RD. STE 410
PHOENIX, AZ 85016

DEVELOPMENT PLANS FOR:

LOT 6, FALCON
MARKETPLACE

EL PASO COUNTY, COLORADO

ISSUE	DATE
INITIAL ISSUE	9/9/2022
RESUBMITTAL	11/11/2022

DESIGNED BY: KGV
DRAWN BY: SDM
CHECKED BY: TDM
FILE NAME: 20988-CV

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

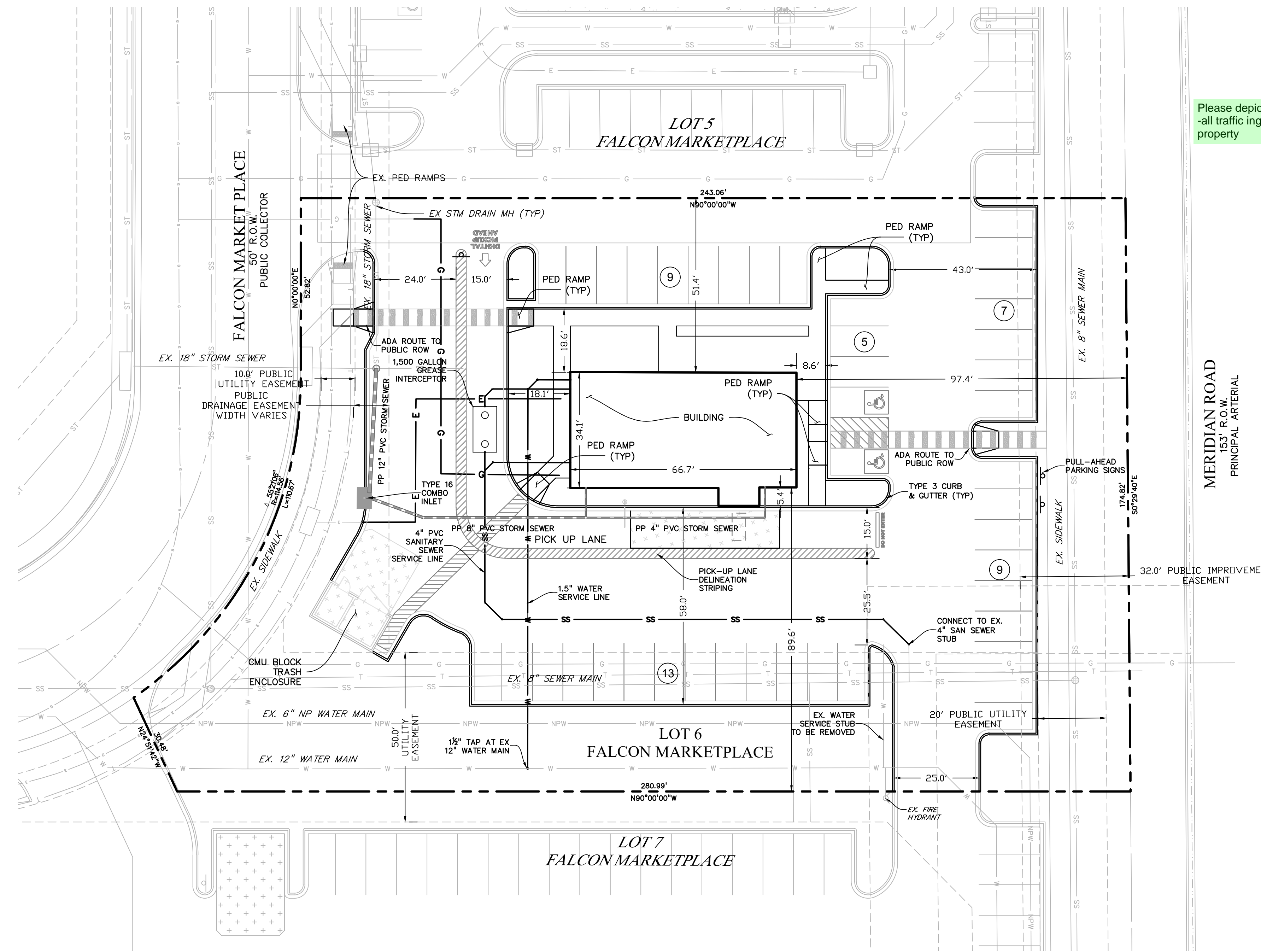
DRAWING SCALE:
HORIZONTAL: N/A
VERTICAL: N/A

COVER SHEET

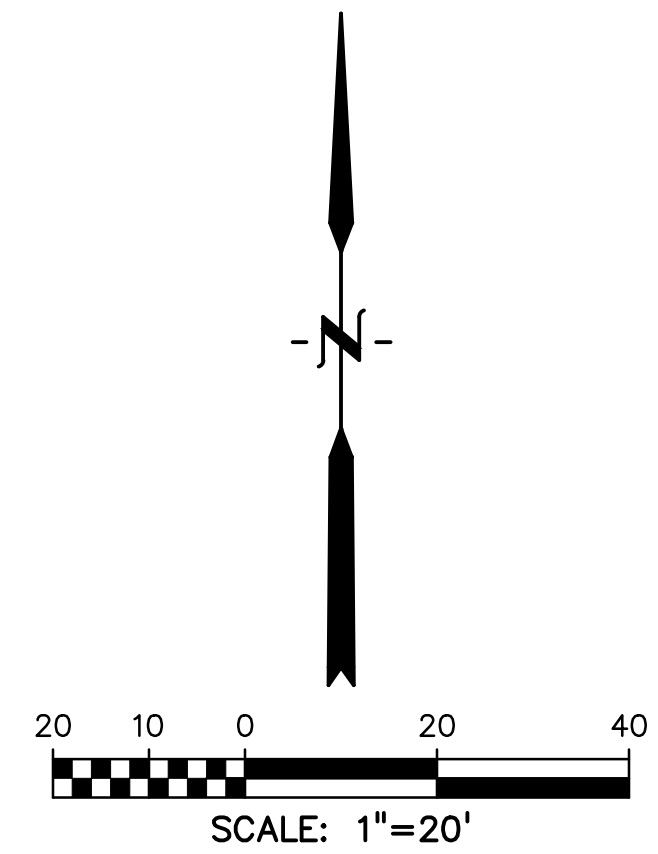
PROJECT NO. 20988-12CSCV
DRAWING NO.

CV

SHEET: 1 OF 3



Please depict:
-all traffic ingress and egress points of traffic circulation into and out of the property



ABBREVIATION

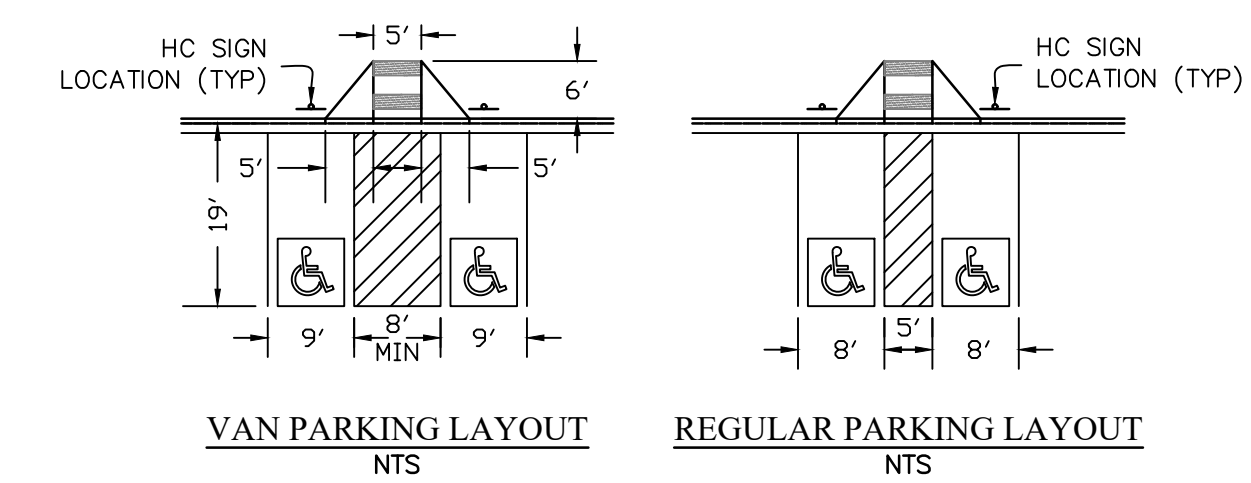
C&G	CURB AND GUTTER
EOA	EDGE OF ASPHALT
EX	EXISTING
MH	MANHOLE
PED	PEDESTRIAN
PP	PROPOSED
STM	STORM
SW	SIDEWALK
TELE	TELEPHONE
TYP	TYPICAL

LEGEND

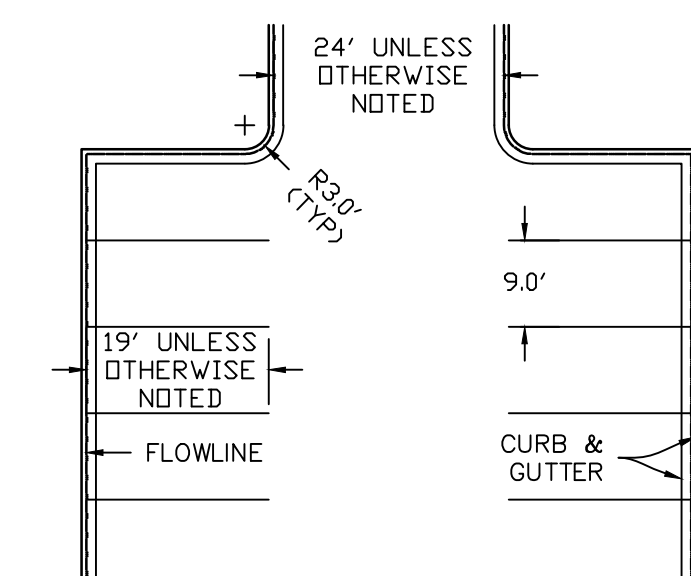
PROPERTY LINE.....	---
ROW.....	----
EASEMENT.....	----
STOP SIGN.....	⊥
SANITARY SERVICE LINE.....	SS
GAS SERVICE LINE.....	G
WATER SERVICE LINE.....	W
ELECTRIC SERVICE LINE.....	E
TELE SERVICE LINE.....	E
ADA ACCESSIBLE ROUTE TO PUBLIC ROW.....	
NUMBER OF PARKING STALLS.....	②
HANDICAP PARKING.....	♿
PICK-UP LANE DIVIDER & WALKWAY STRIPPING.....	▨

NOTES

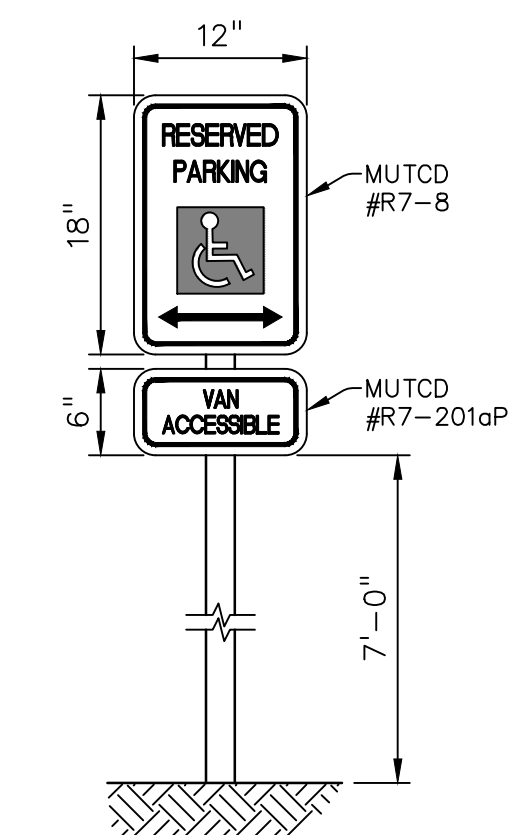
1. NO FLOODPLAIN, NO-BUILD AREAS, OR DRAINAGE WAY AREAS ARE LOCATED ON THE SITE.
2. NO LOADING OR OTHER VEHICULAR USE AREAS ARE LOCATED ON THE SITE.
3. REFERENCE SITE SIGN PLAN FOR LOCATIONS & SIGNING



TYPICAL HANDICAP PARKING LAYOUT NTS



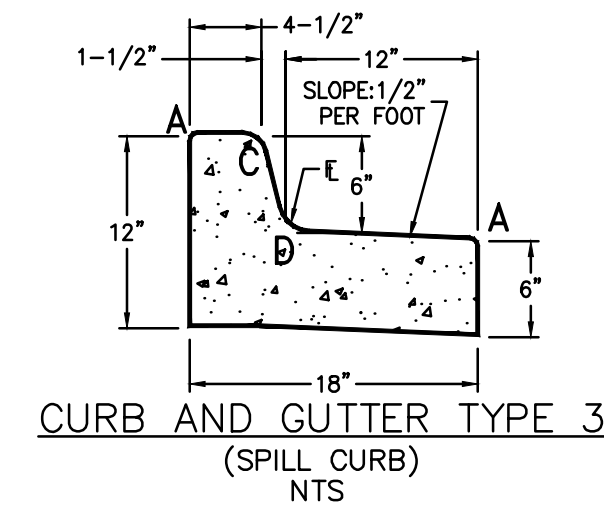
TYPICAL PARKING LAYOUT NTS



HC SIGN DETAIL NTS



PULL-AHEAD PARKING SIGNS



CURB AND GUTTER TYPE 3 (SPILL CURB) NTS

LENGTH FOR RADII

A	= 1/2"
C	= 1-1/2"
D	= 1-1/2" TO 2"

PREPARED BY:

DREXEL, BARRELL & CO.
Engineers • Surveyors
3 SOUTH 7TH STREET
COLORADO SPRINGS, COLORADO 80905
CONTACT: TIM D. MCCONNELL, P.E.
(719)260-0887
BOULDER • COLORADO SPRINGS • GREELEY

CLIENT:

EVERGREEN-MERIDIAN &
WOODMEN LLC
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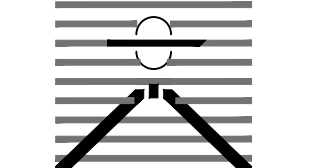
PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.
DRAWING SCALE:
HORIZONTAL: 1"=20'
VERTICAL: N/A

UTILITY & SITE PLAN
PROJECT NO. 20988-12CSCV
DRAWING NO.

USP
SHEET: 2 OF 3

Per Section 6.2.1.D.1 and .2:
 - A fence or wall over 7 ft in height will result in a building permit being required from the building department.
 - Anything over 7 ft is considered an accessory structure.

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DRAWING SCALE:
 HORIZONTAL: 1"=20'
 VERTICAL: N/A

TRASH ENCLOSURE DETAILS

PROJECT NO. 20988-12CSCV
 DRAWING NO.

DTL

SHEET: 3 OF 3

