

LOT 6, FALCON MARKETPLACE

7565 FALCON MARKETPLACE

EL PASO COUNTY, COLORADO

DEVELOPMENT PLAN

LEGAL DESCRIPTION:

LOT 6, FALCON MARKETPLACE

FLOODPLAIN STATEMENT:

THE EFFECTIVE FLOODPLAIN ZONE A LIMITS ARE DEFINED ON THE FIRM FOR EL PASO COUNTY, COLORADO AND UNINCORPORATED AREAS, MAP NUMBER 08041C0553G, EFFECTIVE DATE DECEMBER 7, 2018.

A LOMR TO MODIFY THE FLOODPLAIN HAS BEEN APPROVED BY FEMA, CASE NO. 21-08-0534P (OCT 7, 2021) WITH AN EFFECTIVE DATE OF FEBRUARY 22, 2022.

ADA DESIGN PROFESSIONAL STANDARDS:

1. THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARD AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE.
2. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.
3. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.

NOTES:

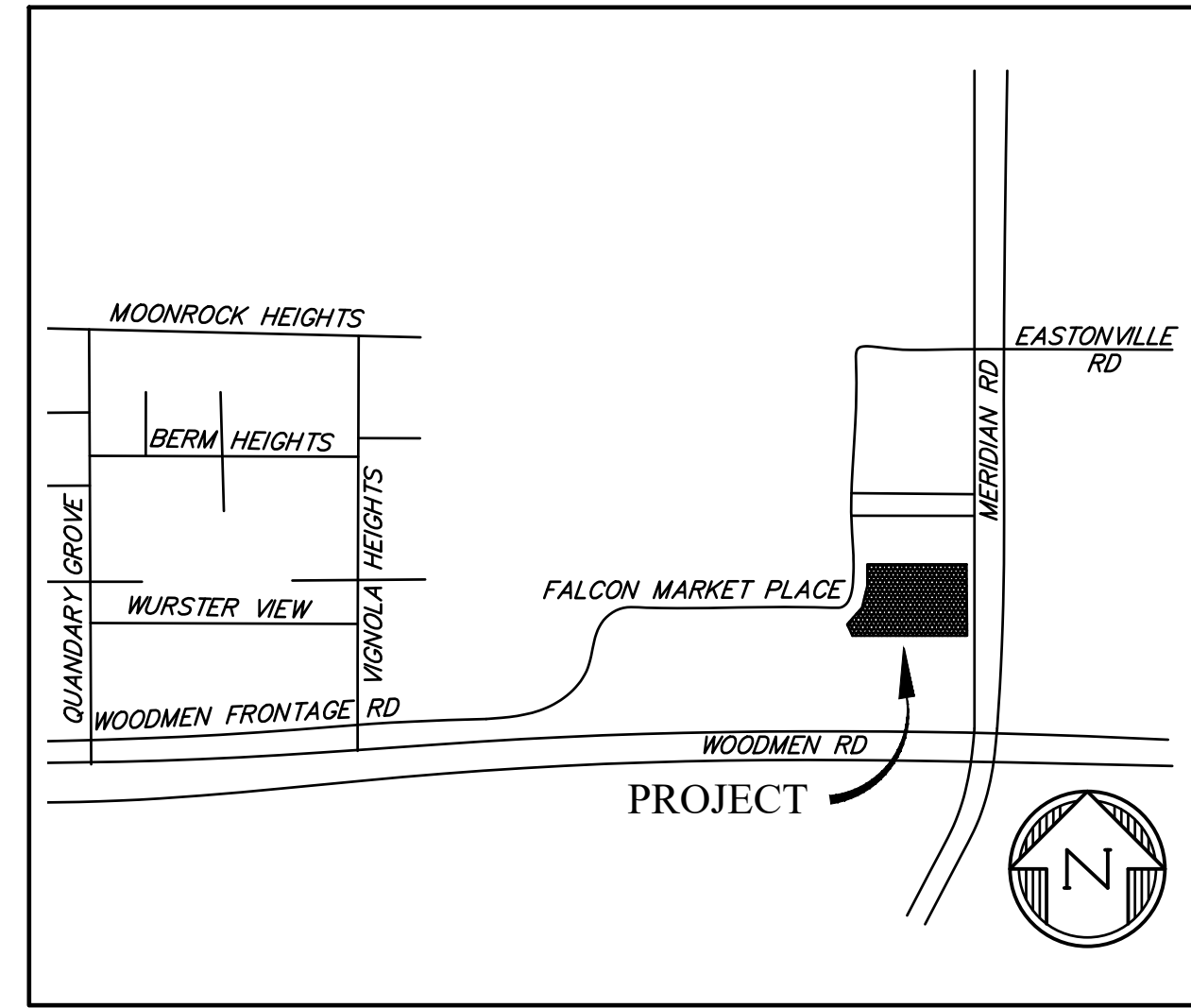
1. A SEPARATE SIGN PERMIT IS REQUIRED.
2. ALL "STOP SIGNS" WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATIONS SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS.
3. THE ADA PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING ONE TO FIFTY (1:50) (2 PERCENT) IN ALL DIRECTIONS.

GENERAL NOTES:

1. ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF OR HAVE SHIELDING TO REDUCE OFF-SITE LIGHTING IMPACTS ONTO ADJACENT PROPERTIES AND ROADWAYS.
2. THE GENERAL DRAINAGE PATTERNS ARE TO THE SOUTHERLY DIRECTION.
3. THIS DEVELOPMENT IS PROPOSED IN ONE PHASE.
4. LANDSCAPE MAINTENANCE OF THE PROPERTY IS THE OWNER'S RESPONSIBILITY.
5. ALL DRIVEWAYS AND PARKING SPACES TO BE ASPHALT UNLESS OTHERWISE SHOWN.
6. ALL INTERNAL DRIVEWAYS, PARKING SPACES AND ISLANDS ARE TO BE CONSTRUCTED WITH TYPE 3 CURB AND GUTTER.

APPROXIMATE SCHEDULE OF DEVELOPMENT:

BEGIN FALL 2022 COMPLETE SUMMER 2023



VICINITY MAP
NTS

SITE/BUILDING DATA:

OWNER/CONTRACTOR: EVERGREEN-MERIDIAN & WOODMEN, LLC
 2390 E CAMELBACK RD. SUITE #295
 PHOENIX, AZ 85016

TAX SCHEDULE NUMBER: 5301403002

DEVELOPMENT PLAN/LOT AREA: 1.04 AC +/-
 LOT AREA COVERAGE: 67% (0.69 AC.)
 OPEN SPACE: 10.5%
 LANDSCAPING: 22.5%
 IMPERMEABLE SURFACE: 67%

ZONING: (EXISTING & PROPOSED) CR

LAND USE: DRIVE-IN/FAST FOOD RESTAURANT

DRAINAGE BASIN: FALCON

BUILDING CONSTRUCTION TYPE: V-B, NON-SPRINKLED

BUILDING AREA: 2332 SF
 OUTDOOR PATIO DINING: 398 SF

BUILDING HEIGHT:
 ALLOWED: 50'
 PROPOSED: 20'-8"

BUILDING SETBACKS:
 FRONT: EXISTING & PROPOSED 25'
 SIDE: EXISTING & PROPOSED 25'
 REAR: EXISTING & PROPOSED 25'

PARKING:

TOTAL REQUIRED	
FAST FOOD RESTAURANT	1 PER 100 = 24
ADA STALLS	1 PER 25 = 1
TOTAL PROVIDED	41
STANDARD STALLS	2
ADA STALLS PROVIDED	2
TOTAL PROPOSED	43

SHEET INDEX

SHT1	CV	DEVELOPMENT PLAN COVER SHEET
SHT2	USP	UTILITY & SITE PLAN

PREPARED BY:



CLIENT:

EVERGREEN-MERIDIAN &
 WOODMEN LLC
 2390 E CAMELBACK RD. STE 410
 PHOENIX, AZ 85016

DEVELOPMENT PLANS FOR:
LOT 6, FALCON MARKETPLACE
 EL PASO COUNTY, COLORADO

ISSUE	DATE
INITIAL ISSUE	9/9/2022
RESUBMITTAL	12/8/2022
DESIGNED BY:	KGV
DRAWN BY:	SDM
CHECKED BY:	TDM
FILE NAME:	20988-CV

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

DRAWING SCALE:
 HORIZONTAL: N/A
 VERTICAL: N/A

COVER SHEET

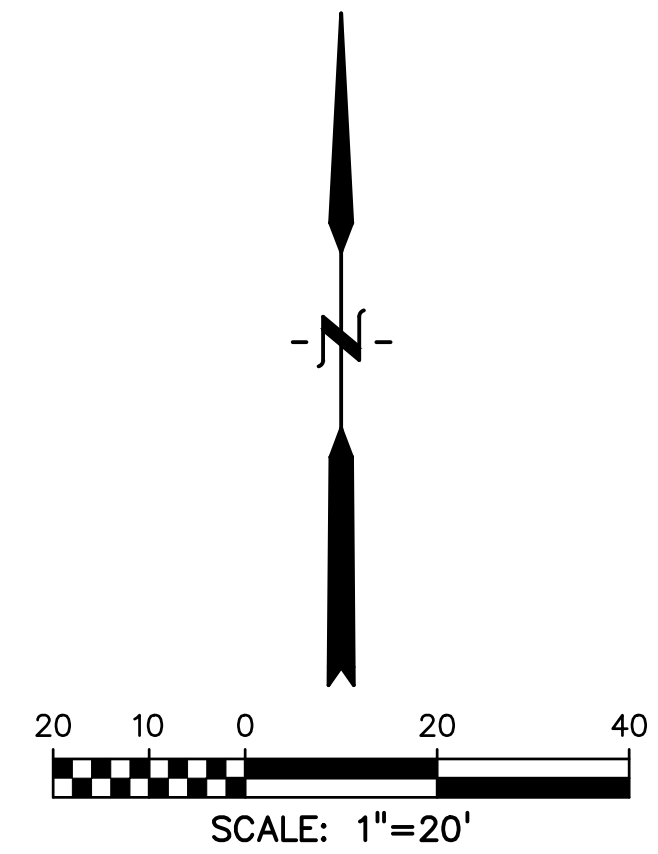
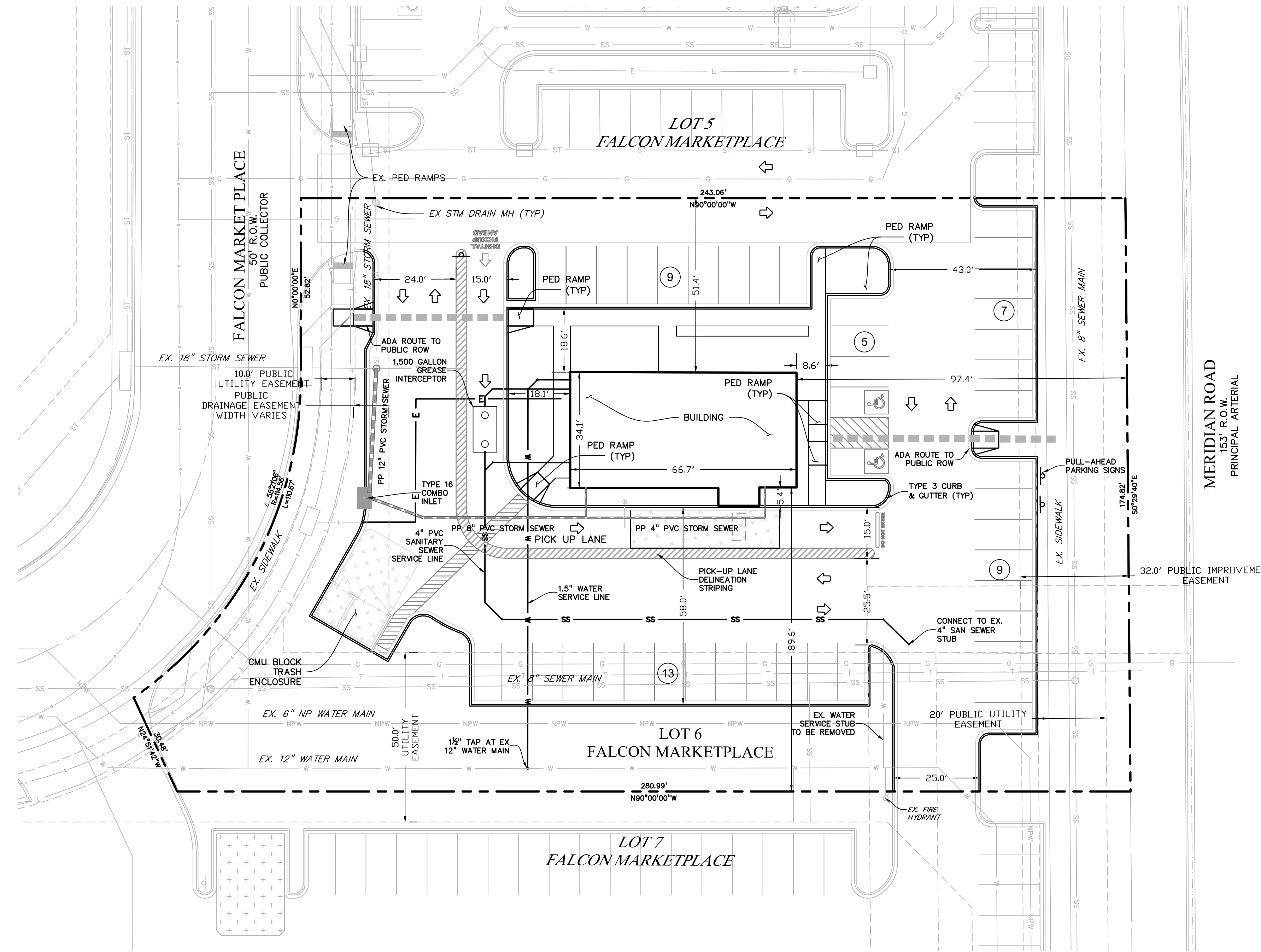
PROJECT NO. 20988-12CSCV
 DRAWING NO.

Approved
 By: *Justin Kilgore*
 Planning Manager
 Date: 03/02/2023
 El Paso County Planning & Community Development



CV

SHEET: 1 OF 3



ABBREVIATION

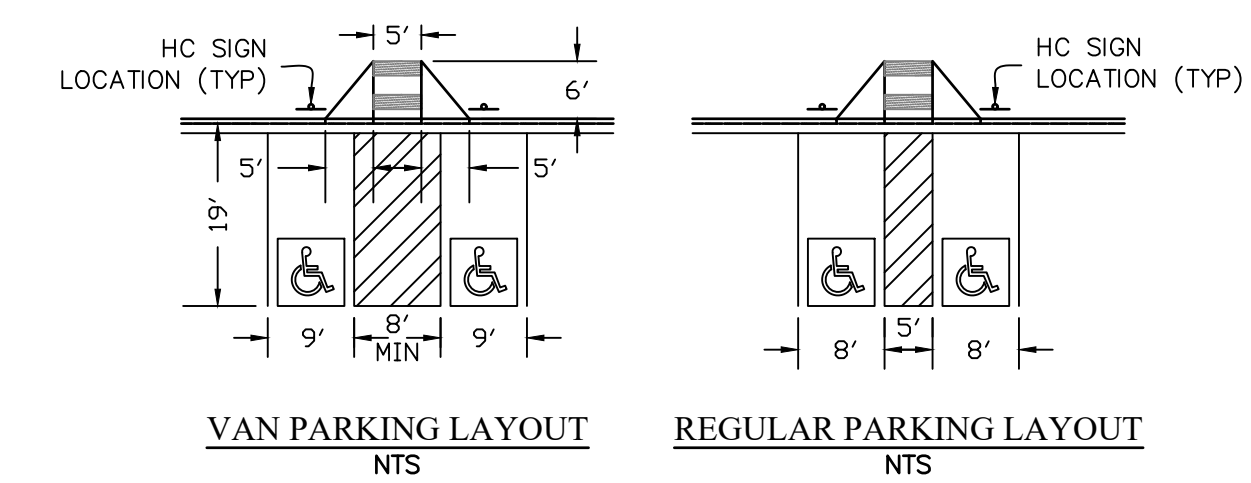
C&G	CURB AND GUTTER
EOA	EDGE OF ASPHALT
EX	EXISTING
MH	MANHOLE
PED	PEDESTRIAN
PP	PROPOSED
STM	STORM
SW	SIDEWALK
TELE	TELEPHONE
TYP	TYPICAL

LEGEND

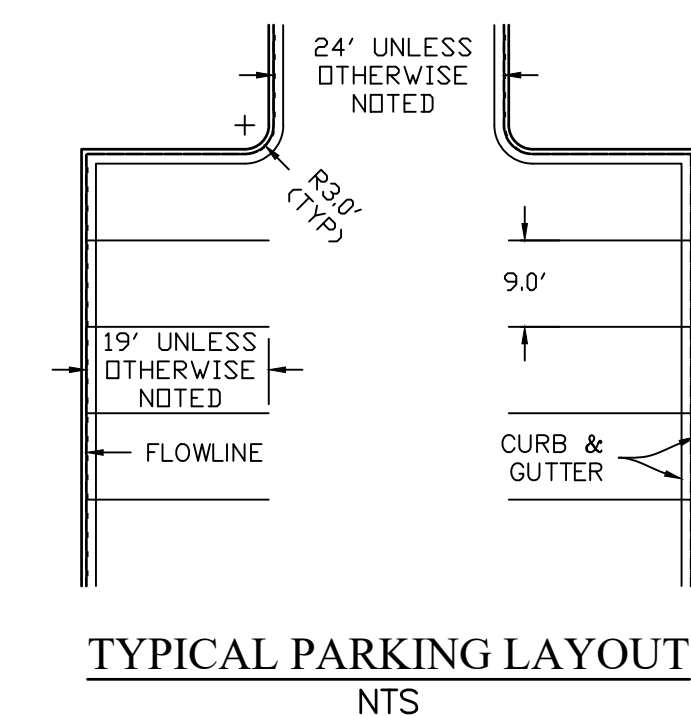
PROPERTY LINE.....	---
ROW.....	---
EASEMENT.....	---
STOP SIGN.....	+
SANITARY SERVICE LINE.....	SS
WATER SERVICE LINE.....	W
ELECTRIC SERVICE LINE.....	E
TELE SERVICE LINE.....	T
ADA ACCESSIBLE ROUTE.....	▬▬▬▬
TO PUBLIC ROW	
NUMBER OF PARKING STALLS.....	②
HANDICAP PARKING.....	♿
PICK-UP LANE DIVIDER.....	▨
& WALKWAY STRIPING	
TRAFFIC FLOW DIRECTION.....	⇨

NOTES

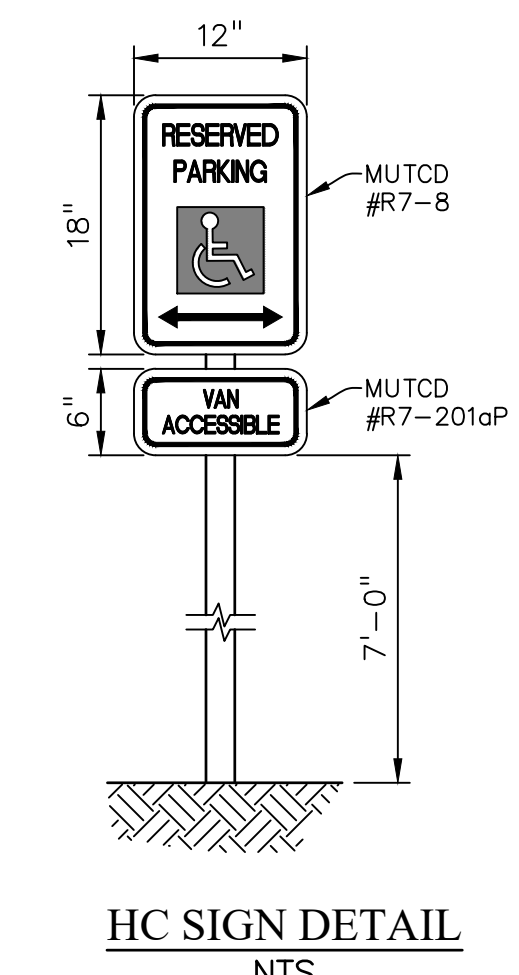
1. NO FLOODPLAIN, NO-BUILD AREAS, OR DRAINAGE WAY AREAS ARE LOCATED ON THE SITE.
2. NO LOADING OR OTHER VEHICULAR USE AREAS ARE LOCATED ON THE SITE.
3. REFERENCE SITE SIGN PLAN FOR LOCATIONS & SIGNING



TYPICAL HANDICAP PARKING LAYOUT NTS



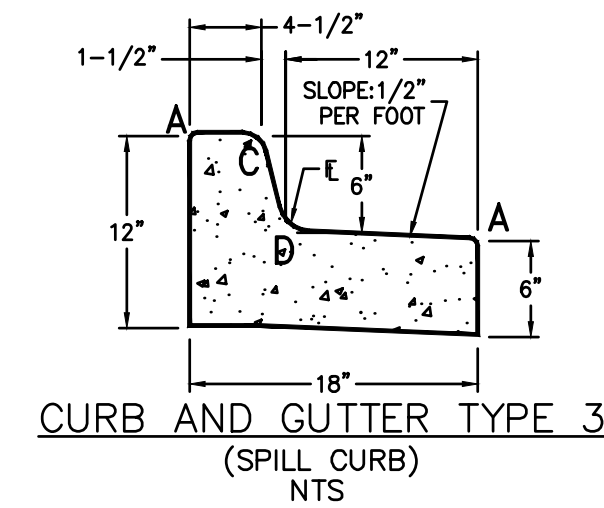
TYPICAL PARKING LAYOUT NTS



HC SIGN DETAIL NTS



PULL-AHEAD PARKING SIGNS



CURB AND GUTTER TYPE 3 (SPILL CURB) NTS

LENGTH FOR RADII

A = 1/2"
C = 1-1/2"
D = 1-1/2" TO 2"

PREPARED BY:



DREXEL, BARRELL & CO.
Engineers-Surveyors
3 SOUTH 7TH STREET
COLORADO SPGS, COLORADO 80905
CONTACT: TIM D. MCCONNELL, P.E.
(719)260-0887
BOULDER • COLORADO SPRINGS • GREELEY

CLIENT:

EVERGREEN-MERIDIAN &
WOODMEN LLC
2390 E CAMELBACK RD. STE 410
PHOENIX, AZ 85016

DEVELOPMENT PLANS FOR:

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DESIGNED BY:	KGV
DRAWN BY:	SDM
CHECKED BY:	TDM
FILE NAME:	20988-USP

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

DRAWING SCALE:
HORIZONTAL: 1"=20'
VERTICAL: N/A

UTILITY & SITE PLAN

PROJECT NO. 20988-12CSCV
DRAWING NO.

USP

PREPARED BY:

DREXEL, BARRELL & CO.
 Engineers • Surveyors
 3 SOUTH 7TH STREET
 COLORADO SPGS, COLORADO 80905
 CONTACT: TIM D. MCCONNELL, P.E.
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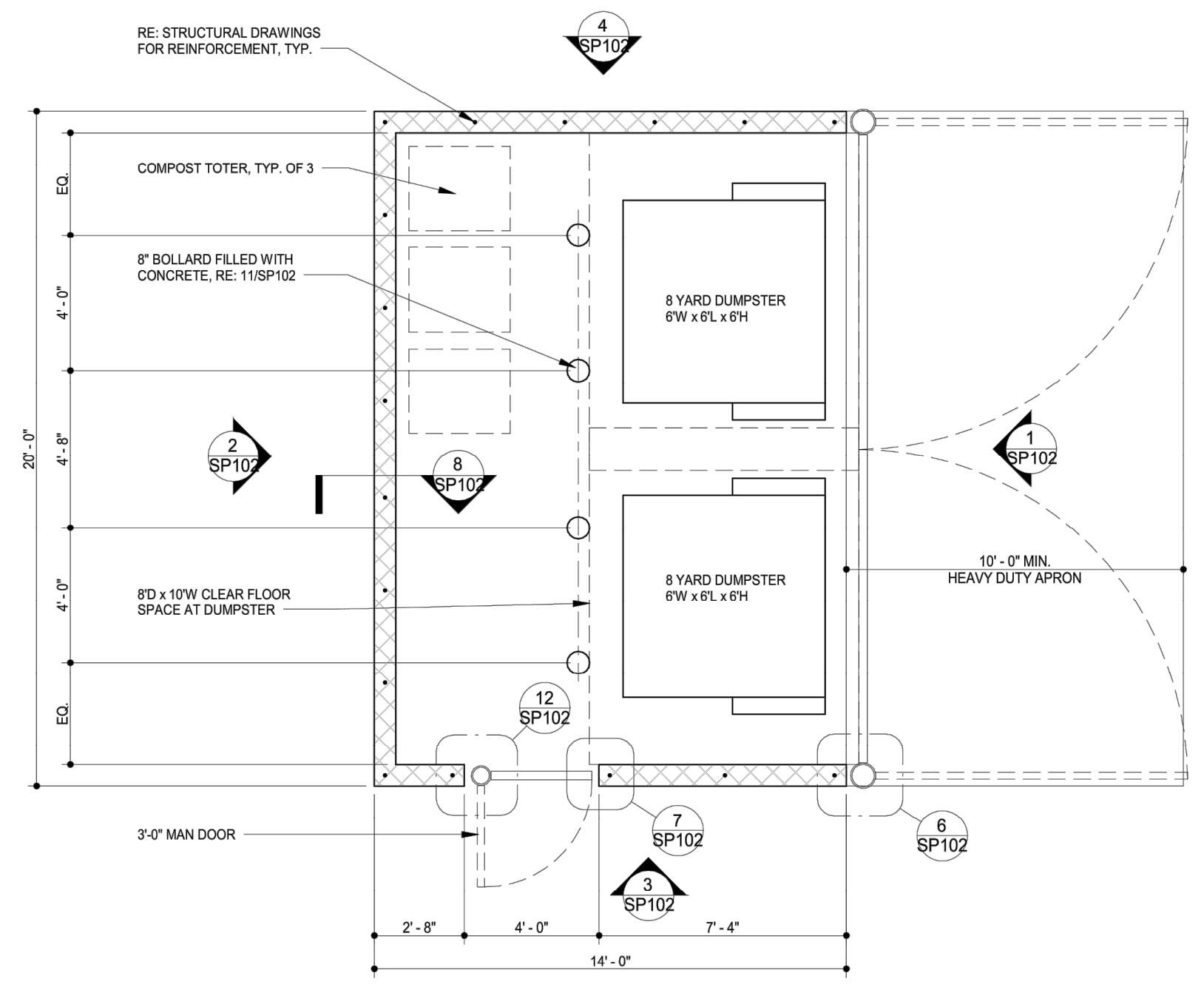
PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

DRAWING SCALE:
 HORIZONTAL: 1"=20'
 VERTICAL: N/A

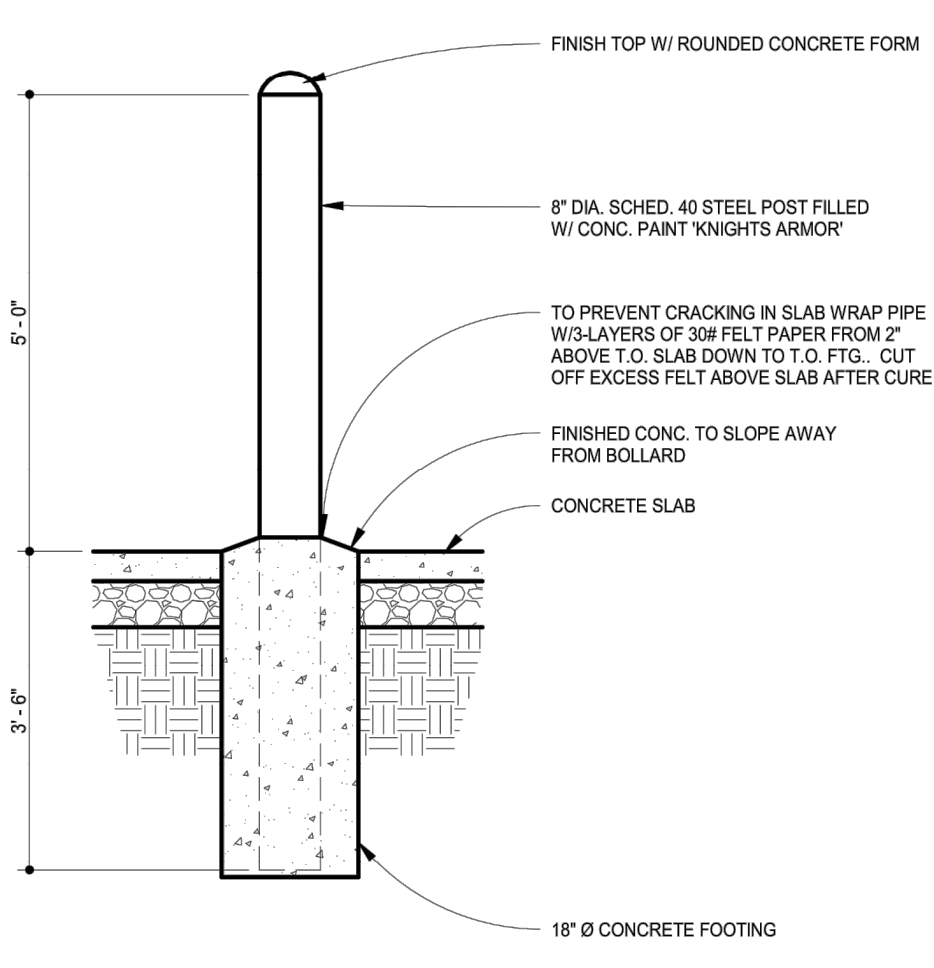
TRASH ENCLOSURE DETAILS

PROJECT NO. 20988-12CSCV
 DRAWING NO.

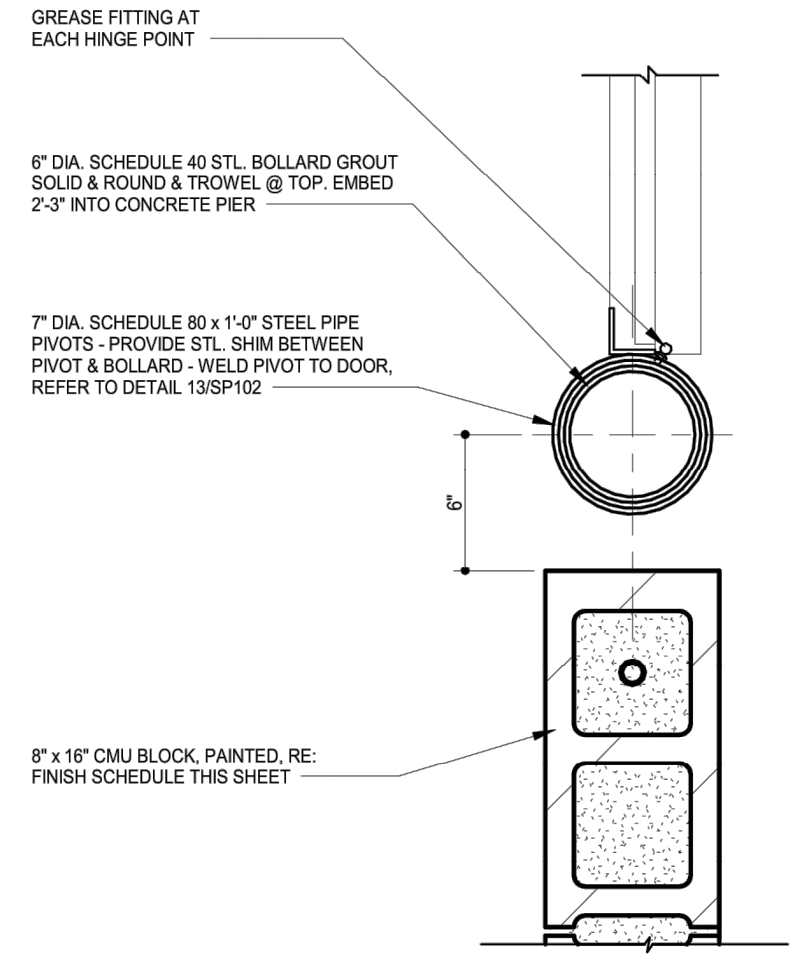
DTL



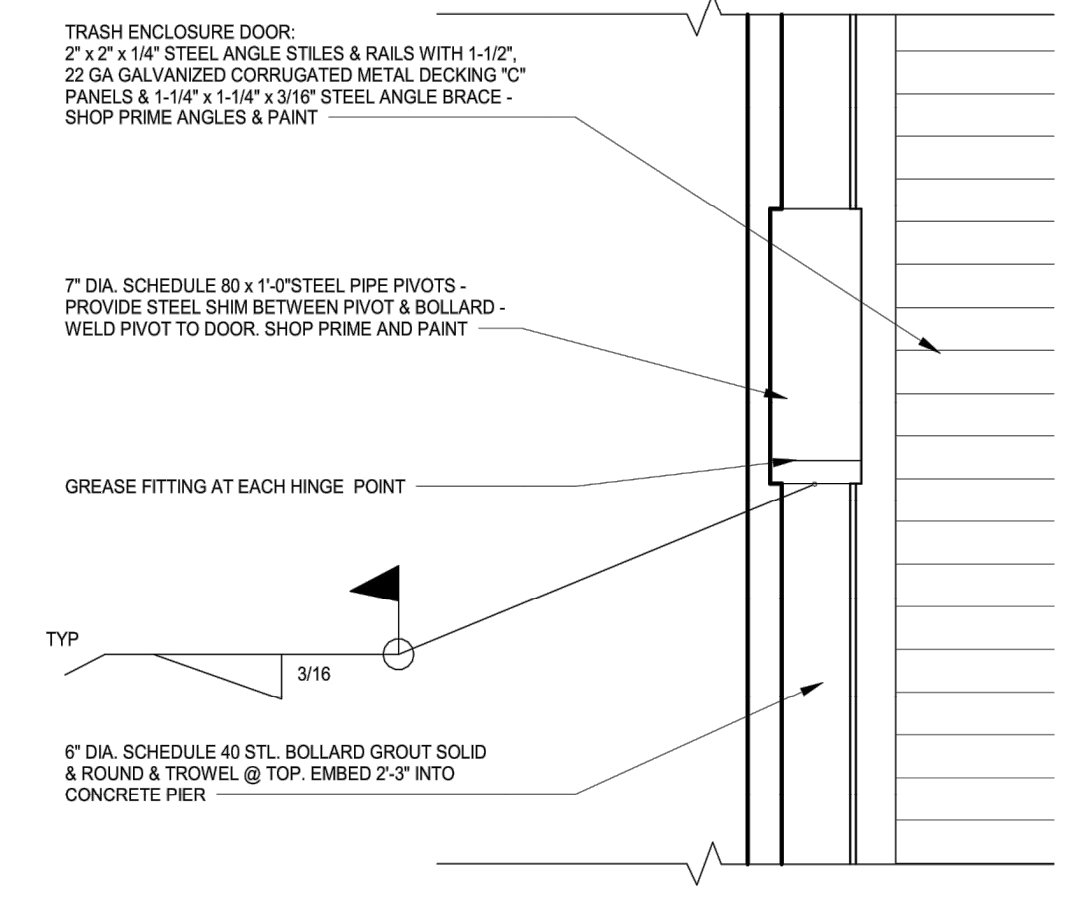
10 DUMPSTER ENCLOSURE PLAN
 1/4" = 1'-0"



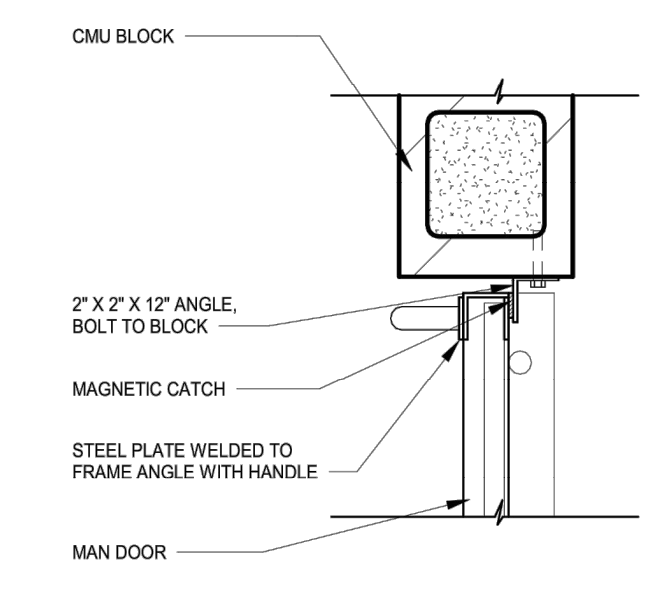
11 TYP. BOLLARD DETAIL
 1/2" = 1'-0"



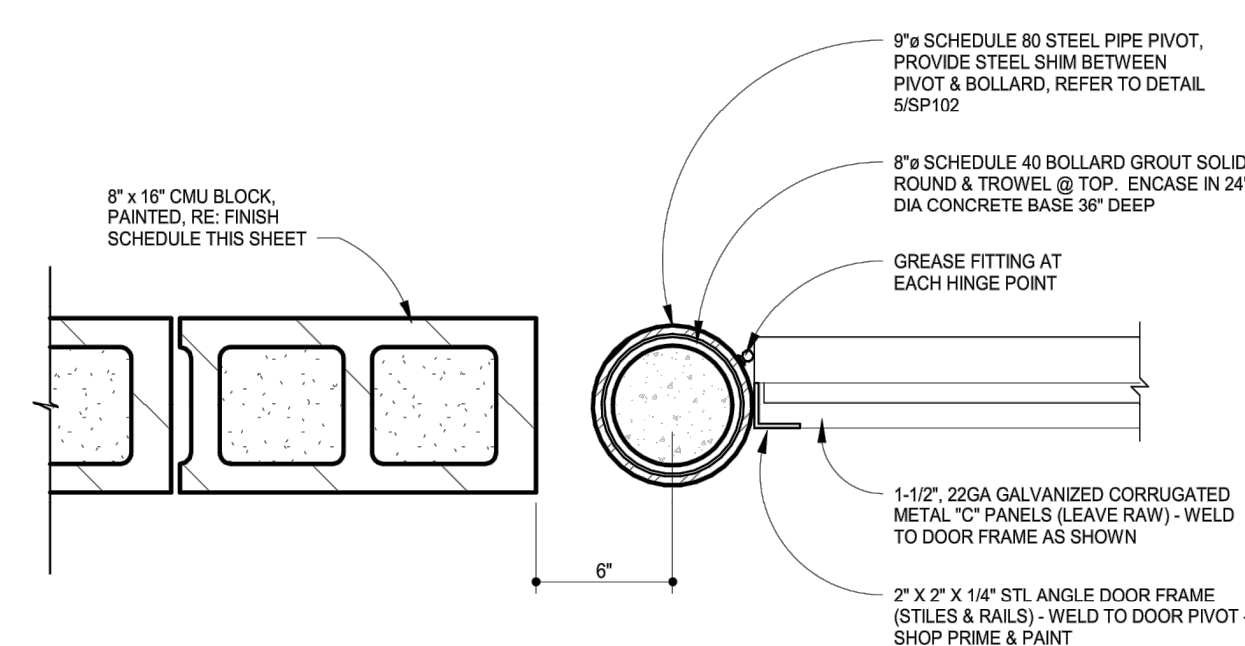
12 MAN DOOR PIVOT DETAIL
 1/2" = 1'-0"



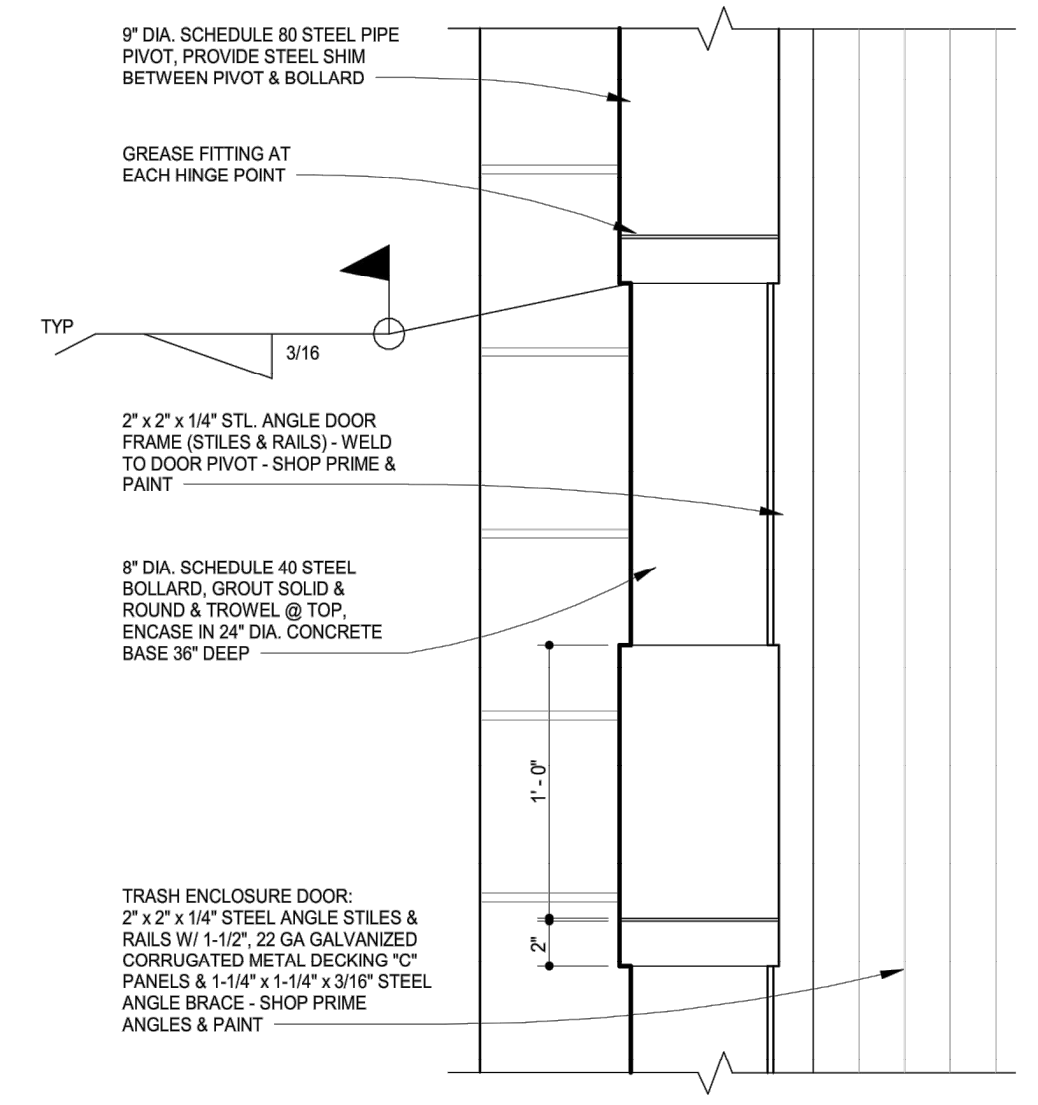
13 MAN DOOR PIVOT
 1/2" = 1'-0"



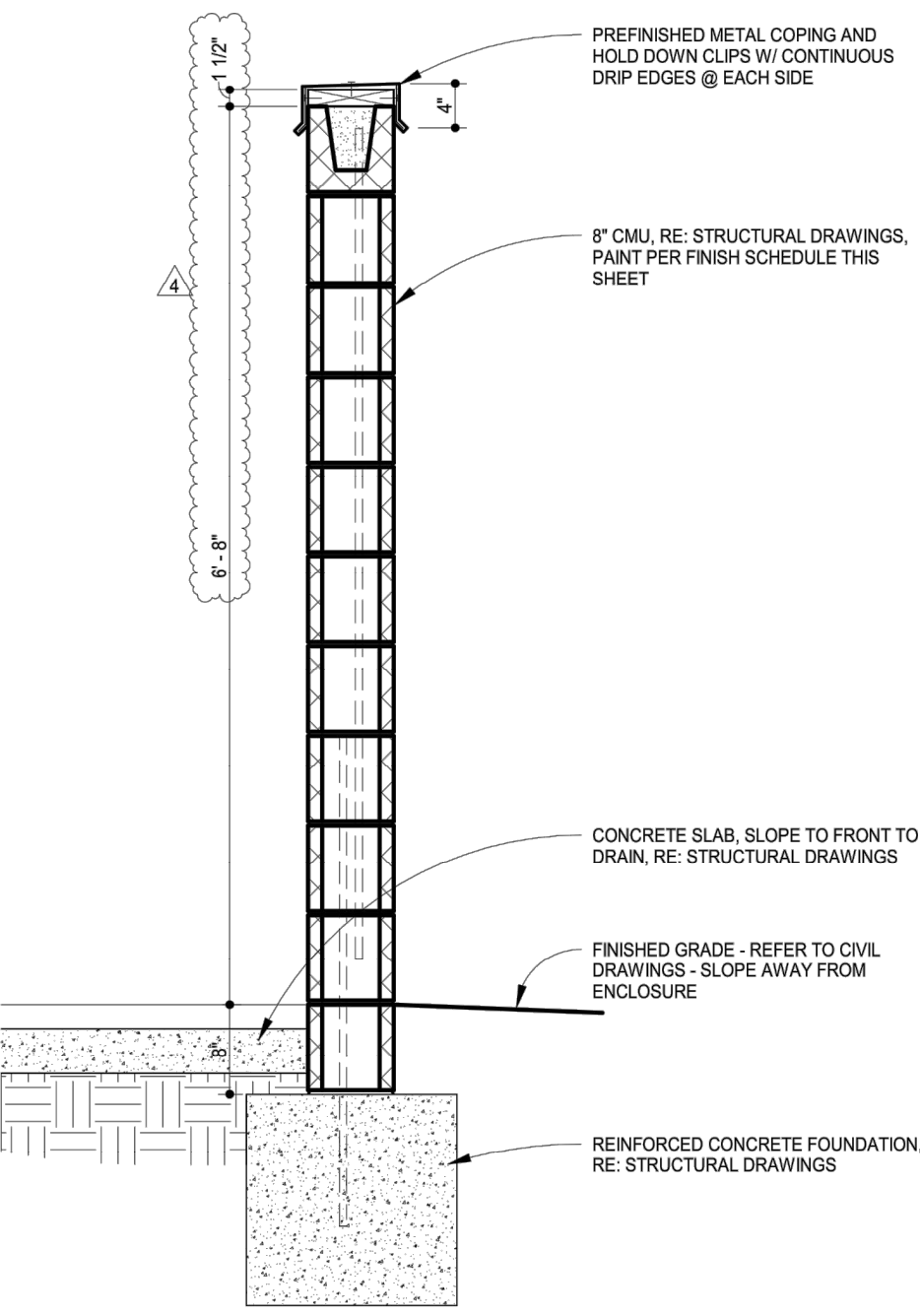
7 MAN DOOR LATCH DETAIL
 1/2" = 1'-0"



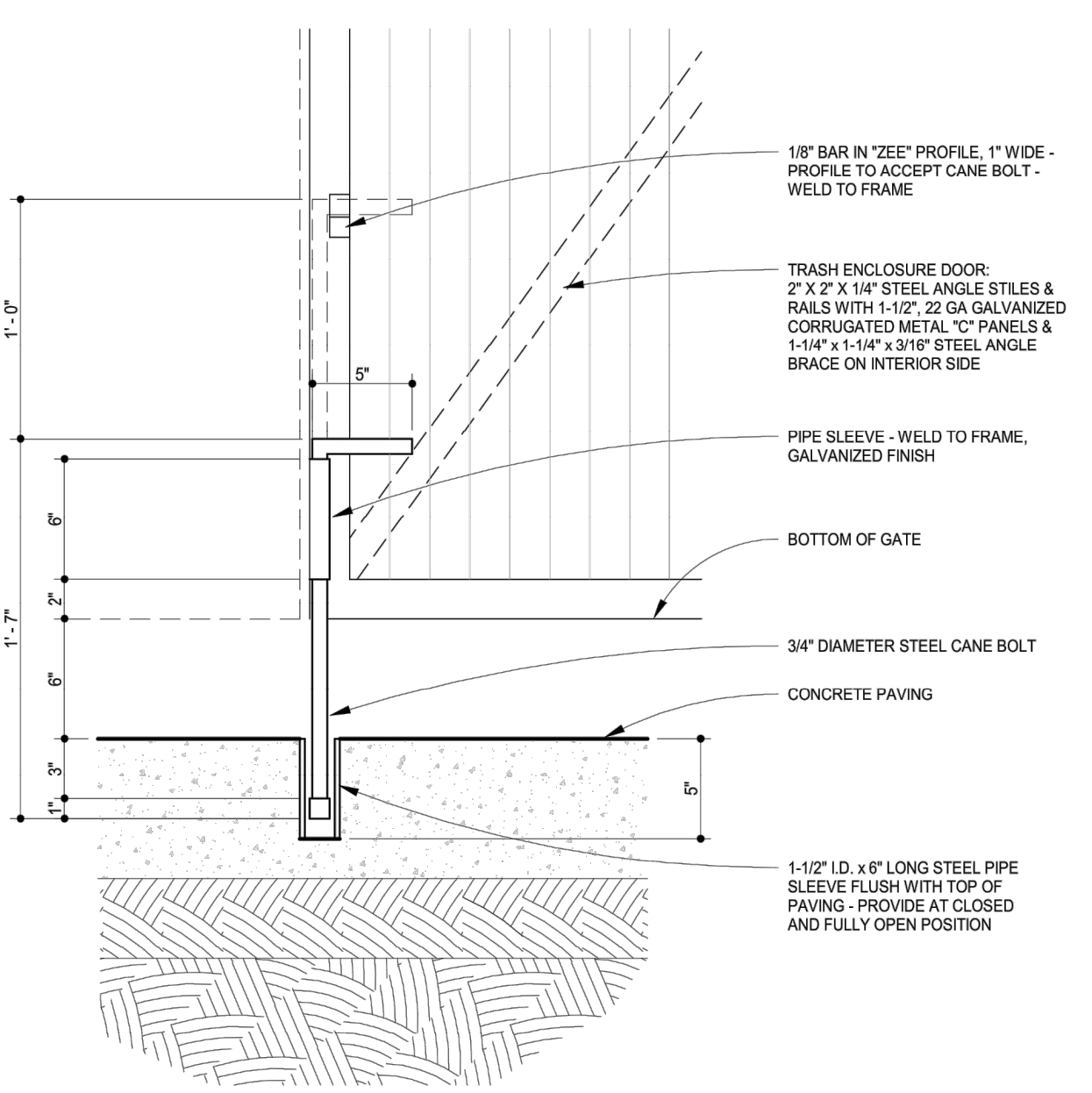
6 DOOR PIVOT PLAN DETAIL
 1/2" = 1'-0"



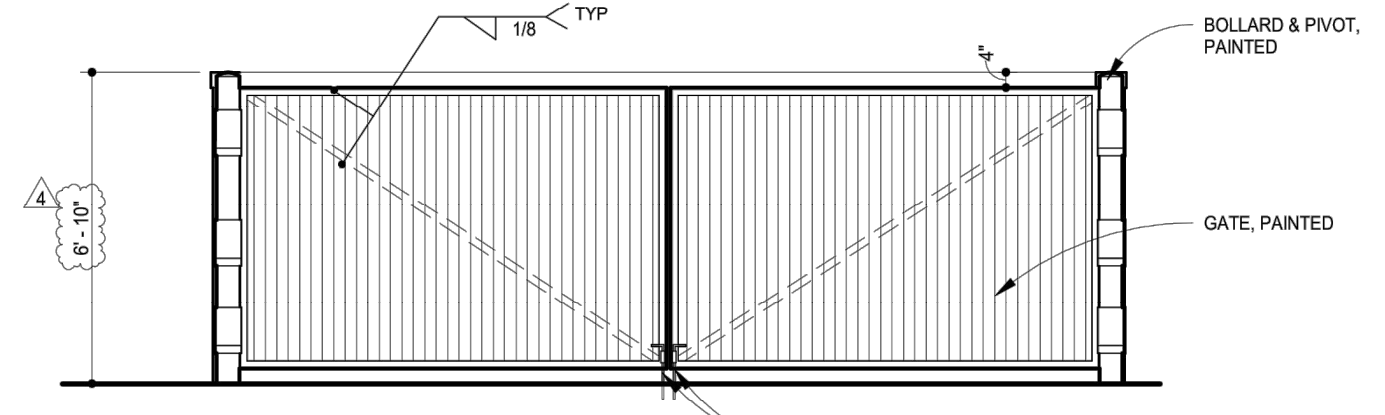
5 TYPICAL GATE HINGE DETAIL
 1/2" = 1'-0"



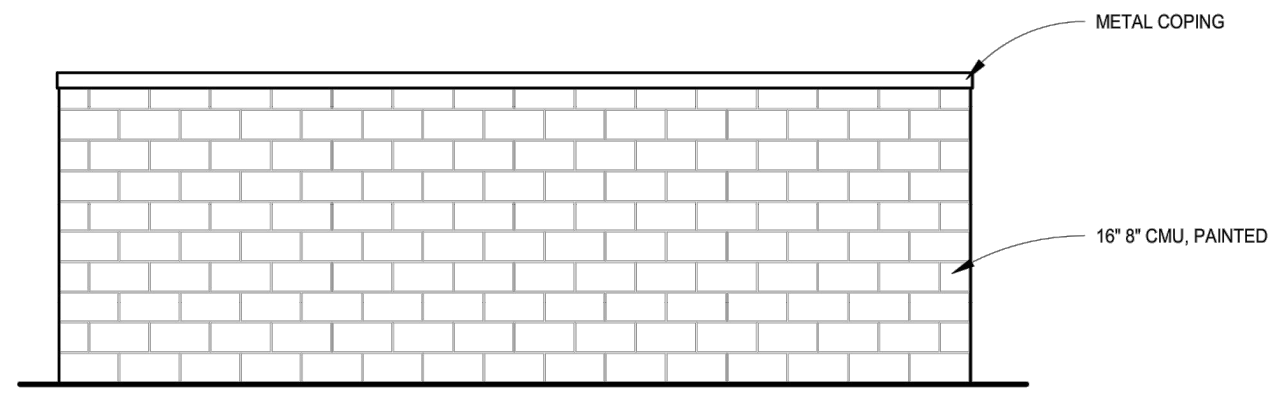
8 WALL SECTION
 3/4" = 1'-0"



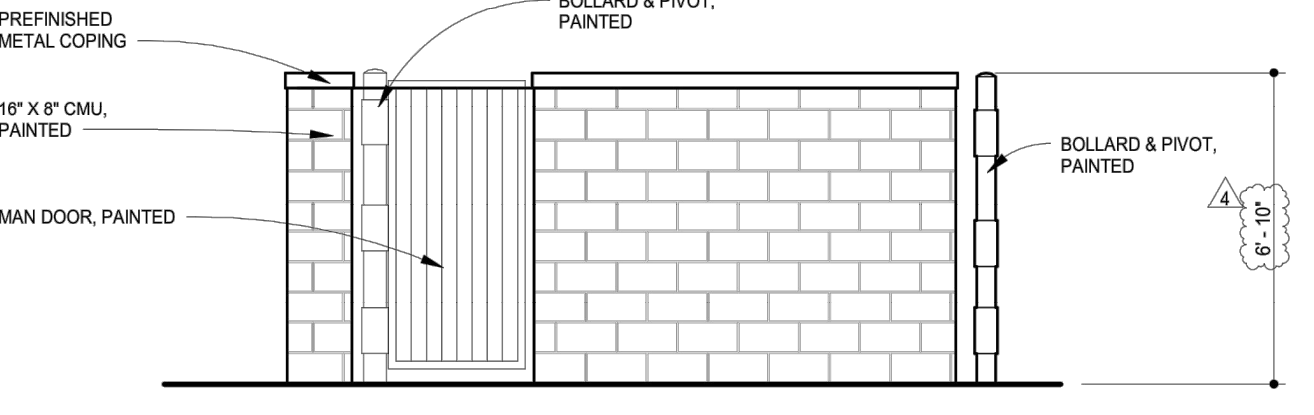
9 TYPICAL CANE BOLT DETAIL
 1/2" = 1'-0"



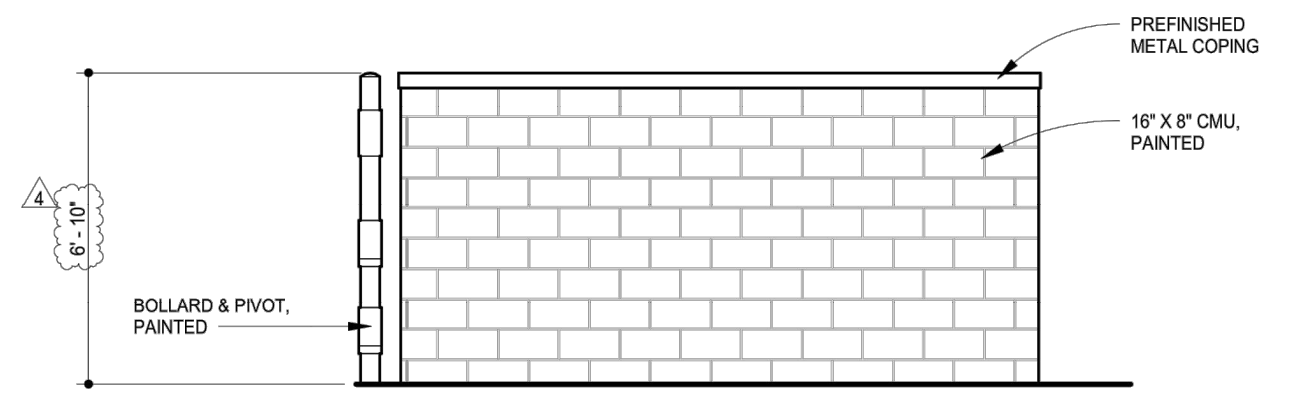
1 DUMPSTER ELEVATION
 1/4" = 1'-0"



2 DUMPSTER ELEVATION
 1/4" = 1'-0"



3 DUMPSTER ELEVATION
 1/4" = 1'-0"



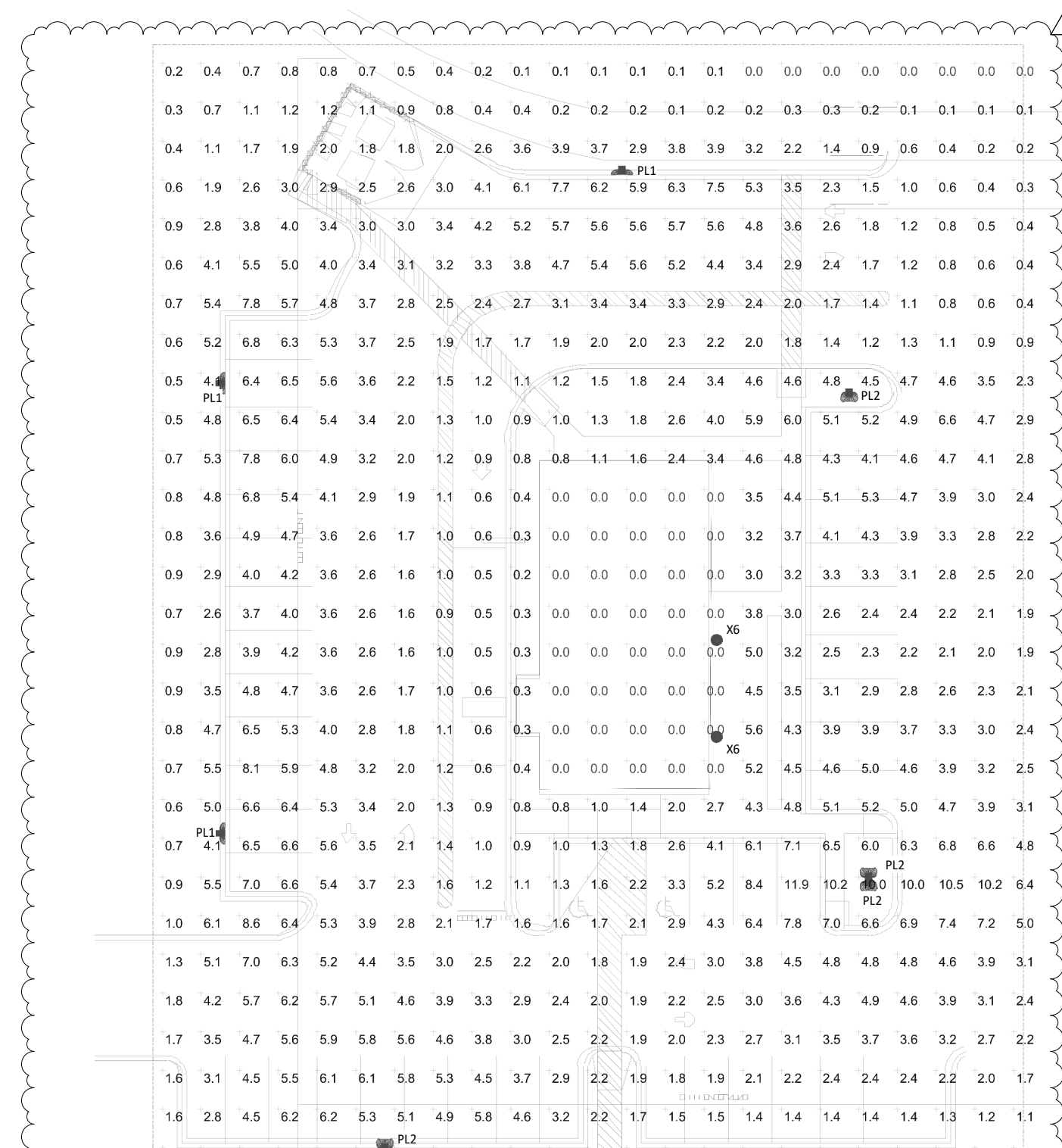
4 DUMPSTER ELEVATION
 1/4" = 1'-0"

ELECTRICAL POWER PLAN NOTES

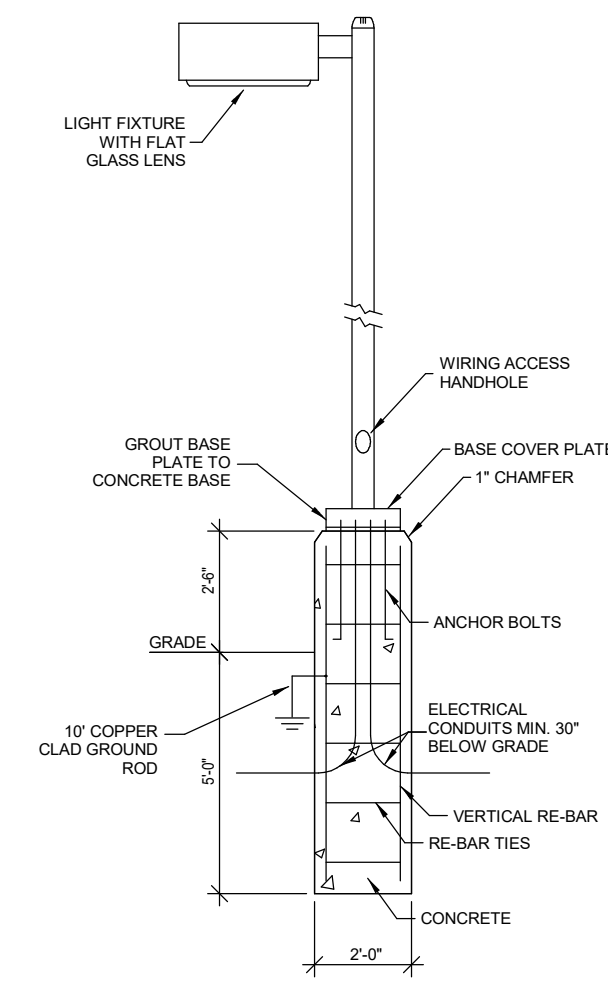
- NEW POLE LIGHT FIXTURE(S). SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATION. PROVIDE CONDUCTORS IN NEW CONDUIT TO ABOVE CHIPOTLE'S PANELBOARD LOCATION AS SHOWN ON SHEET E110. SEE DETAIL 2/THIS SHEET AND 9/E710 FOR MORE INFORMATION.
- INSTALL VEHICLE DETECTION LOOP FURNISHED BY TLS PER THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. ALIGN DETECTOR LOOP TO BE CENTERED ON THE PICK-UP WINDOW.
- PROVIDE CONDUCTORS FROM TRANSFORMERS SECONDARY TO THE 800A CT METER SHOWN, PER DETAIL 1/E710, AND PER THE UTILITY COMPANY SPECIFICATIONS.
- CONNECT DIRECTIONAL SIGN TO CIRCUIT SHOWN THROUGH THE EXTERIOR LIGHTING CONTACTOR PANEL AS SHOWN IN DETAIL 6/E710. SEE DETAIL 2/THIS SHEET FOR SITE CONDUITS.
- PROVIDE EMPTY CONDUIT WITH PULL STRING TO CLEARANCE BAR. SEE DETAIL 2/THIS SHEET FOR SITE CONDUITS. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION.
- PROVIDE 800A, 120/208V, 3-PHASE, 4-WIRE ELECTRICAL SERVICE TO THE 800A CT METER CABINET AND THE 800A MAIN DISCONNECT SWITCH PER DETAIL 1/E710.
- PROVIDE 1" SPARE LOW VOLTAGE CONDUIT. SEE DETAIL 2/THIS SHEET FOR MORE INFORMATION.
- PROVIDE 1" SPARE LINE VOLTAGE CONDUIT. SEE DETAIL 2/THIS SHEET FOR MORE INFORMATION.
- PROVIDE INTERIOR J-BOXES AT 11'-0" AFF FOR LINE VOLTAGE AND LOW VOLTAGE SITE WIRING. SEE DETAIL 2/THIS SHEET FOR MORE INFORMATION.
- ALL EXTERIOR LIGHTING FIXTURES SHALL BE FULL CUT-OFF TO REDUCE OFF-SITE LIGHTING IMPACTS ONTO ADJACENT PROPERTIES AND ROADWAYS.

SITE LIGHTING FIXTURE SCHEDULE

TAG	COUNT	DESCRIPTION	MOUNTING	VOLTAGE	WATTS	FURNISHED BY	INSTALLED BY	BASIS FOR DESIGN			REMARKS
								MANUFACTURER	MODEL	LAMP	
PL1	3	PARKING LOT LIGHT	POLE	120 V	176 W	GC	GC	COOPER	LUMARK PRV-XL-C75-D-UNV	LED	TYPE III DISTRIBUTION MOUNTED AT 20'-0" WITH HOUSE SIDE SHIELD
PL2	4	PARKING LOT LIGHT	POLE	120 V	176 W	GC	GC	COOPER	LUMARK PRV-XL-C75-D-UNV	LED	TYPE IV DISTRIBUTION MOUNTED AT 20'-0" WITH HOUSE SIDE SHIELD
X6	2	EXTERIOR WALL PACK	WALL	120 V	10 W	TLS	GC	RAB LIGHTING	WPLED10Y	LED	REFER TO ARCHITECTURAL PLANS FOR MOUNTING HEIGHT AND EXACT LOCATION



3 SITE PHOTOMETRICS
E115 NOT TO SCALE



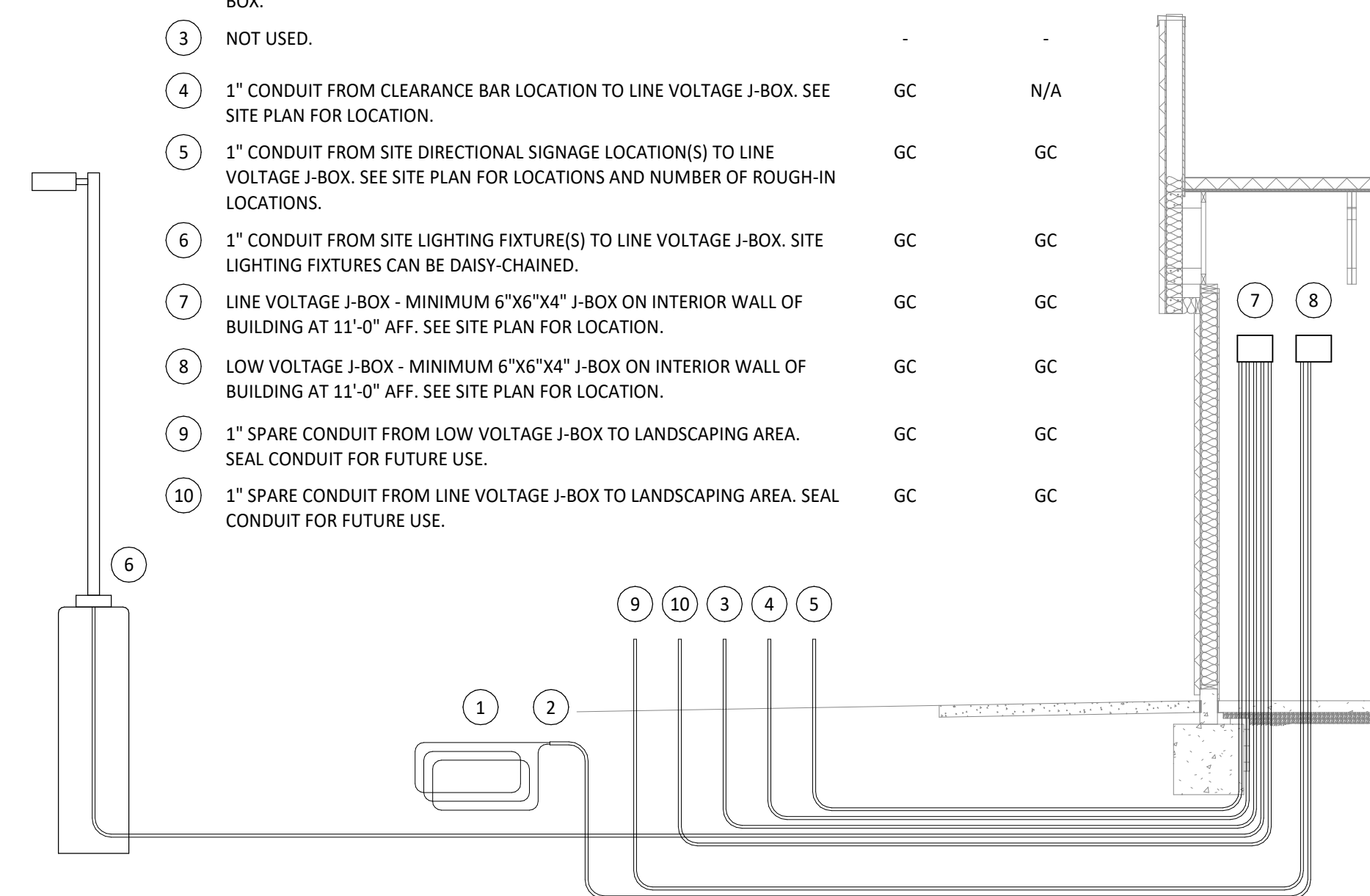
4 LIGHT BASE DETAIL
E115 NOT TO SCALE

GENERAL NOTES

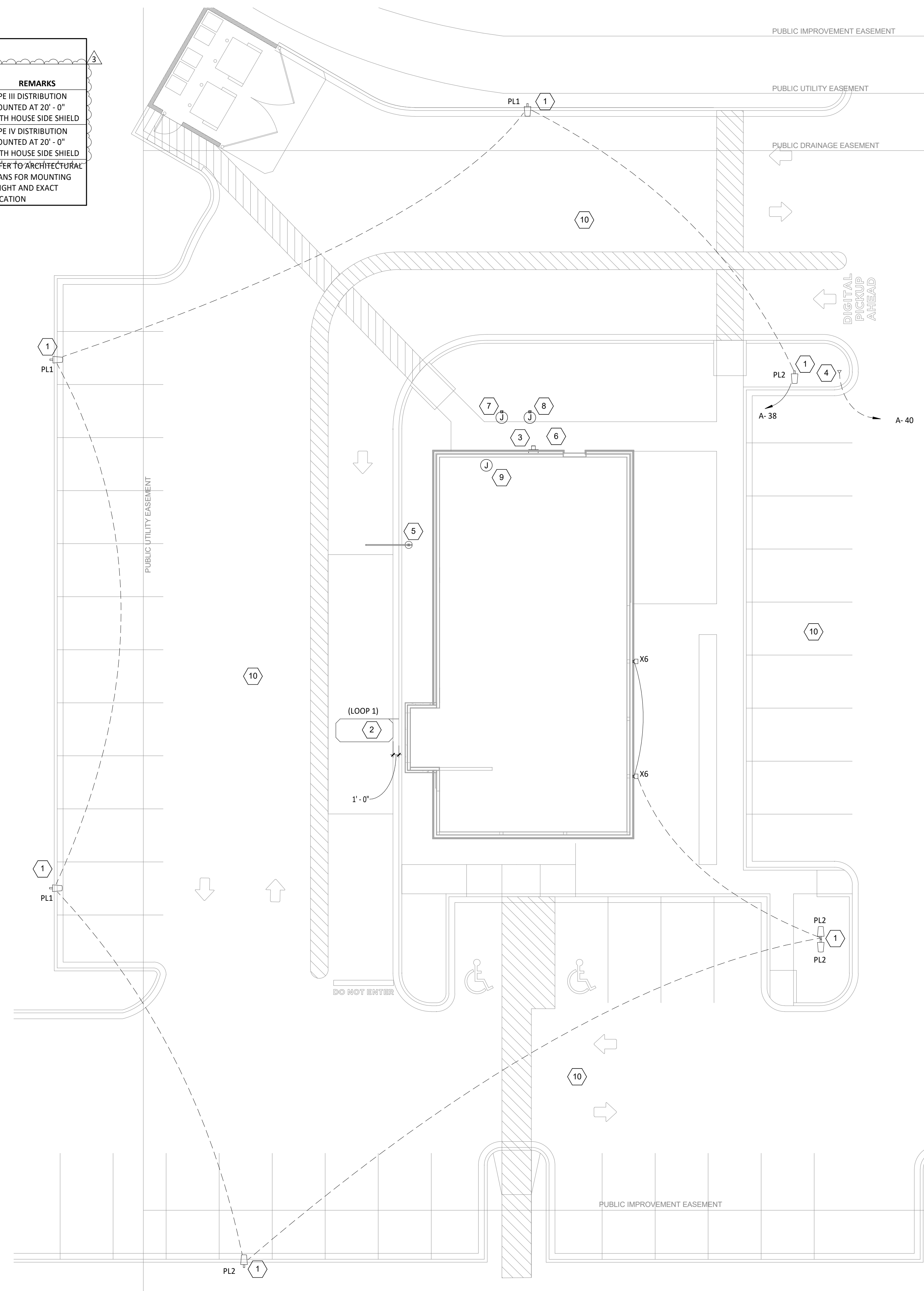
- WORK AND MATERIALS SHALL BE COMPLIANT WITH THE NEC AND REQUIREMENTS OF THE AHJ.
- CONDUCTORS AND CONNECTIONS BELOW GRADE, EVEN WHERE WITHIN CONDUITS OR ENCLOSURES, SHALL BE SUITABLE FOR WET LOCATIONS.
- PROVIDE PULL STRING IN EMPTY CONDUITS.
- SEAL ENDS OF CONDUITS STUBBED UP ABOVE GRADE TO PROTECT FROM THE ELEMENTS.

RESPONSIBILITY

TAG	DESCRIPTION	DEVICE OR CONDUIT	CONNECTION OR CONDUCTORS
1	VEHICLE DETECTOR LOOP - 6"x4" WITH 4 TURNS (EMX PR-46-XX). VERIFY LENGTH OF LEAD-IN WIRE PRIOR TO ORDERING TO ALLOW WIRE TO REACH VEHICLE DETECTOR WITHOUT SPLICING. SEE SITE PLAN FOR LOCATIONS.	GC	GC
2	1" CONDUIT FROM VEHICLE DETECTOR LOOP LOCATION TO LOW VOLTAGE J-BOX.	GC	GC
3	NOT USED.	-	-
4	1" CONDUIT FROM CLEARANCE BAR LOCATION TO LINE VOLTAGE J-BOX. SEE SITE PLAN FOR LOCATION.	GC	N/A
5	1" CONDUIT FROM SITE DIRECTIONAL SIGNAGE LOCATION(S) TO LINE VOLTAGE J-BOX. SEE SITE PLAN FOR LOCATIONS AND NUMBER OF ROUGH-IN LOCATIONS.	GC	GC
6	1" CONDUIT FROM SITE LIGHTING FIXTURE(S) TO LINE VOLTAGE J-BOX. SITE LIGHTING FIXTURES CAN BE DAISY-CHAINED.	GC	GC
7	LINE VOLTAGE J-BOX - MINIMUM 6"x6"x4" J-BOX ON INTERIOR WALL OF BUILDING AT 11'-0" AFF. SEE SITE PLAN FOR LOCATION.	GC	GC
8	LOW VOLTAGE J-BOX - MINIMUM 6"x6"x4" J-BOX ON INTERIOR WALL OF BUILDING AT 11'-0" AFF. SEE SITE PLAN FOR LOCATION.	GC	GC
9	1" SPARE CONDUIT FROM LOW VOLTAGE J-BOX TO LANDSCAPING AREA. SEAL CONDUIT FOR FUTURE USE.	GC	GC
10	1" SPARE CONDUIT FROM LINE VOLTAGE J-BOX TO LANDSCAPING AREA. SEAL CONDUIT FOR FUTURE USE.	GC	GC



2 SITE CONDUIT DETAIL
E115 NOT TO SCALE



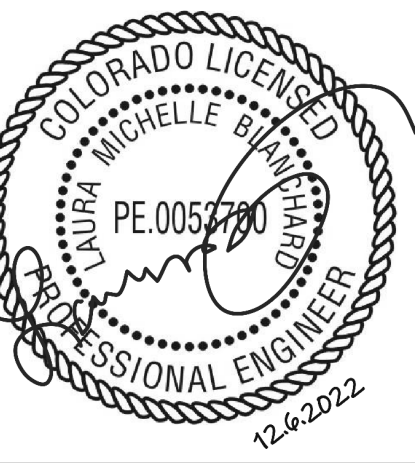
1 POWER SITE PLAN
E115 3/32" = 1'-0"

Consultant:



Blanchard AE Group

1425 WAKARUSA DR. STE B
LAWRENCE, KS 66609
PH: 785.993.0300
AEGROUP@BAE.GROUP



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CHIPOTLE MEXICAN GRILL, INC.
PO BOX 182566
COLUMBUS, OH 43218-2566
TELEPHONE: (614) 318-2400
INTERNET: WWW.CHIPOTLE.COM

STORE NO.: 4612
FALCON
7565 Falcon Market Place,
Falcon, CO 80831

Issue Record:

10/25/2022 Permit Issue

Drawn: JJD Checked: AJD

Project No. 221104 PPR2249

Contents:

ELECTRICAL SITE POWER PLAN

E115



Drexel, Barrell & Co.

November 17, 2022

El Paso County Planning & Community Development
Attn: Ashlyn Mathy, Planner
2880 International Circle
Colorado Springs, CO 80910
719-373-8562 direct

Engineers/Surveyors

Boulder
Colorado Springs
Greeley

3 S 7th Street
Colorado Springs, CO 80905

719 260-0887
719 260-8352 Fax

RE: Letter of Intent
PCD File No: PPR-22-049
Lot 6, Falcon Marketplace Site Development Plan
7565 Falcon Marketplace (Tax schedule #5301403002)

Ms. Mathy,

Please accept this letter of intent and the enclosed supplemental material as Drexel, Barrell & Co's Site Development Plan submittal for Lot 6, Falcon Marketplace, on behalf of Dungan Design Group, LLC.

The approximately 1.04 acre site will consist of a fast-food restaurant property with associated parking and landscaping.

Location and Zoning

The project is located at the northwest corner of Meridian Road and E. Woodmen Road, specifically Lot 6 in the Falcon Marketplace development. The property is currently zoned as CR (Commercial Regional).

Existing Facilities

The existing site has recently been over lot graded as part of the Falcon Marketplace overall development, and remains undeveloped. The site currently slopes from north to south at approximately 2%. Utility stubs have been installed to the southern property line for water and sanitary sewer. A storm sewer stub is provided to the northwest corner of the lot.

Proposed Facilities

The proposed development will consist of an approximately 2,313 sf fast-food restaurant building, with a pick-up lane, associated parking and landscaping. The site will have a single shared driveway access with Lot 5 from Falcon Market Place, with connectivity to the north to Lot 5 and to the south to Lot 7, coordinated with neighboring lot developers.

The site proposes a "Chipotle" in place of a traditional drive-through. Diners will order and pay for food ahead on their phone app or computer, a minimum of 15 mins prior to pickup at the window. There is no order board for ordering, no speakers in

the drive aisle and no preparation of food or cash transactions at the pickup window. Two pull-ahead parking spaces are also provided across from the pickup lane.

The proposed use for Lot 6 does not match the designated in the full Traffic Study for the overall development. However, by tracking some reassignment of lot uses by previous submittals it can be shown that this use is available. There was a swap between Lots 4 and 6 proposed by Kimley Horn in their traffic memo submittal for Lot 4 on 5/27/21. As such the traffic memo prepared for this use confirms that the original traffic conditions assumed by the study will not be adversely affected by this change in use.

Land Development Code Compliance

The proposed development is in compliance with the land uses proposed for the approved Falcon Marketplace development, which in turn is in conformance with the Land Development Code and use standards for the Commercial Regional (CR) zoning. The site landscaping is required to follow the plan approved with the overall Falcon Marketplace development.

Traffic / Access / Noise

Access to the site is as described above, and is consistent with the Traffic Report prepared for the overall Falcon Marketplace development. A Traffic Memo was completed as part of this submittal, and as noted above identifies that the traffic conditions are consistent with those assumed in the overall study.

In addition, the developer is responsible for a pro-rata share of the offsite roadway improvements associated with the Falcon Marketplace development. This share is estimated to equate to \$4,541.00 for the cost of four roadway improvements. The estimates are further detailed in the Traffic Memo.

The site is located within the Woodmen Road Metropolitan District boundary. Payment of fees will be required prior issuance of building permit.

Utilities

Water and sanitary sewer services will be provided by Woodmen Hills Metropolitan District. Electric and natural gas will be provided by Mountain View Electric Association Inc. and Colorado Springs Utilities respectively. The communications provider will be contracted by the developer.

Drainage/Floodplain

Stormwater quality and detention is provided as part of the overall Falcon Marketplace development. The detention basin to the south of Lot 7 will provide for water quality before discharge into the public system.

The site is not currently located within a 100-year floodplain as determined by the FEMA floodplain maps.

Contact Information

Drexel, Barrell & Co., a full service engineering and surveying firm, represents the property owners. Following is the contact information for all parties.

Owner:

Evergreen – Meridian & Woodmen, LLC
2390 E. Camelback Rd, Suite 410
Phoenix, AZ 85106
602-808-8600 phone
rperkins@evgre.com

Developer:

Dungan Design Group, LLC
8826 Santa Fe Drive
Overland Park, KS 66212
913-341-2466 phone
BGray@ddg.bz

Consultant:

Drexel, Barrell & Co.
Mr. Tim McConnell, P.E., Principal, Regional Manager
3 South 7th Street
Colorado Springs, CO 80905
719-260-0887 phone
tmccConnell@drexelbarrell.com

We trust you find our application for the Lot 6, Falcon Marketplace Site Development Plan acceptable. We look forward to working with the County in processing the application and submittal package. Please call if you have any questions or require any additional information.

Respectfully,



Drexel, Barrell & Co.
Tim D. McConnell, P.E.
Principal, Regional Manager

IRRIGATION SYSTEM DESCRIPTION NOTE

AN UNDERGROUND IRRIGATION SYSTEM WITH SURFACE DRIP COMPONENTS WILL BE USED TO IRRIGATE ALL PLANT MATERIAL AS REQUIRED PER EL PASO COUNTY. IRRIGATION SYSTEM TO BE DESIGN/BUILD. AS-BUILT PLAN SHALL BE PROVIDED TO OWNER ONCE INSTALLATION IS COMPLETE AND APPROVED.

CODE REQUIREMENTS					
LANDSCAPE SETBACKS (LS)					
STREET NAME OR ZONE BOUNDARY (ELEV.)	STREET CLASSIFICATION	WIDTH (FT.) REQ./PROV.	LINEAR FOOTAGE	TREE/FEET REQUIRED	NO. OF TREES REQ./PROVIDED
FALCON MARKET PLACE	PRIVATE ROAD	10/10	163	1/53 FT	3/3
MERIDIAN ROAD	EXPRESSWAY	25/25	175	1/20 FT	9/0 ALT. PLAN
MOTOR VEHICLE LOTS (MV)					
NO. OF VEHICLE SPACES PROVIDED	SHADE TREES (1/15 SPACES) REQ./PROV.	VEHICLE LOT FRONTAGE(S)	2/3 LENGTH OF FRONTAGE (FT)		
43	3/3	NONE			
MIN. 3' SCREENING PLANTS REQ./PROV.	EVERGREEN PLANTS REQ. 50%/PROV.				
INTERNAL LANDSCAPING (IL)					
INTERNAL LANDSCAPE AREA INCLUDES ALL LANDSCAPE AREAS NOT INCLUDING SETBACKS, BUFFERS OR MOTOR VEHICLE ISLANDS.					
NET SITE AREA (SF) (LESS PUBLIC R.O.W.)	PERCENT MINIMUM INTERNAL AREA (5%)	INTERNAL AREA (SF) REQ./PROV.	INTERNAL TREES (1/500 SF) (EXCLUDING DRIVEWAYS)		
46,130 SF	NON-RESIDENTIAL	2307 SF/2500	50		
SHRUB SUBSTITUTES REQ./PROV.	INTERNAL PLANT ABBR. DENOTED ON PLAN		PERCENT GROUND PLANE VEG. REQ./PROV.		
50/50	IL		75%/75%		
LANDSCAPE BUFFERS AND SCREENS (LB)					
STREET NAME OR PROPERTY LINE (ELEV.)	LINEAR FOOTAGE	SETBACK BUFFER REQ./PROV.	BUFFER TREES (1/25) REQ./PROV.	EVERGREEN TREES (1/3) REQ./PROV.	
NONE	0	-	-	-	

PLANT SCHEDULE						
Symbol	Abbr.	Quantity	Botanical Name	Common Name	Mature Wdth/Height	Size
EVERGREEN TREES:						B&B
	PE	5	Pinus edulis	Pinyon Pine	15'x15'	6' ht.
DECIDUOUS TREES:						
	GTSM	3	Gleditsia triacanthos 'Shademaster'	Shademaster Honeylocust	30'x25'	1-1/2" cal.
	MS	2	Malus 'Spring Snow'	Spring Snow Crabapple	15'x15'	1-1/2" cal.
	PV	4	Prunus virginiana 'Sucker Punch'	Canada Red Cherry	15'x15'	1-1/2" cal.
EVERGREEN SHRUBS:						
	JCS	7	Juniperus x chinensis 'Spartan'	Spartan Juniper	3-4' x 12-15'	5 gal.
	JJ	16	Juniperus sabinna	Buffalo Juniper	6-8' x 12-18"	5 gal.
	JS	11	Picea pungens 'Glauca Globosa'	Globe Blue Spruce	5-6' x 3-5'	5 gal.
DECIDUOUS SHRUBS:						
	CC	16	Caryopteris x clandonensis 'Drk Knt'	Dark Knight Blue Mist Spirea	2' x 2-4'	5 gal.
	PFG	30	Potentilla fruticosa 'Gold Finger'	Gold Finger Potentilla	4-5' x 3-4'	5 gal.
ORNAMENTAL GRASSES:						
	CA	41	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	1-3' / 2-3'	#1 CONT.
PERENNIALS:						
	HEM	5	Hemerocallis 'Red Magic'	Red Magic Daylily	18" x 12"	#1 CONT.
	LES	3	Leucanthemum superbum 'Iacross'	Iacross Shasta Daisy	24" x 24"	#1 CONT.
	SAL	55	Salvia nemorosa 'May Night'	May Night Salvia	24" x 24"	#1 CONT.
NOTE: ALL QUANTITIES SHALL BE PER PLAN. LEGEND SF ARE FOR REFERENCE ONLY.						

GROUND COVER LEGEND		
SYMBOL	DESCRIPTION	APPROX. SF
	Turf type Sod Grass: Fescue blend	4,872 SF
	Black Granite Rock: 3/4" Diameter, 3" Depth (with weed barrier) Submit sample to owner prior to ordering material	7,080 SF
	Seed Grass. Seed Mix 'A'. Refer to notes. Submit sample/spec to owner prior to ordering material	3,123 SF
	Seed Grass. Seed Mix 'A'. Refer to notes. Submit sample/spec to owner prior to ordering material	2,564 SF
	Steel Edger. Refer to notes	
	Accent Boulders: Denver Granite - LG, 24x36" Dia, SM, 12x18" Dia	
NOTE: ALL QUANTITIES SHALL BE PER PLAN. LEGEND SF ARE FOR REFERENCE ONLY.		

GRADE NOTE

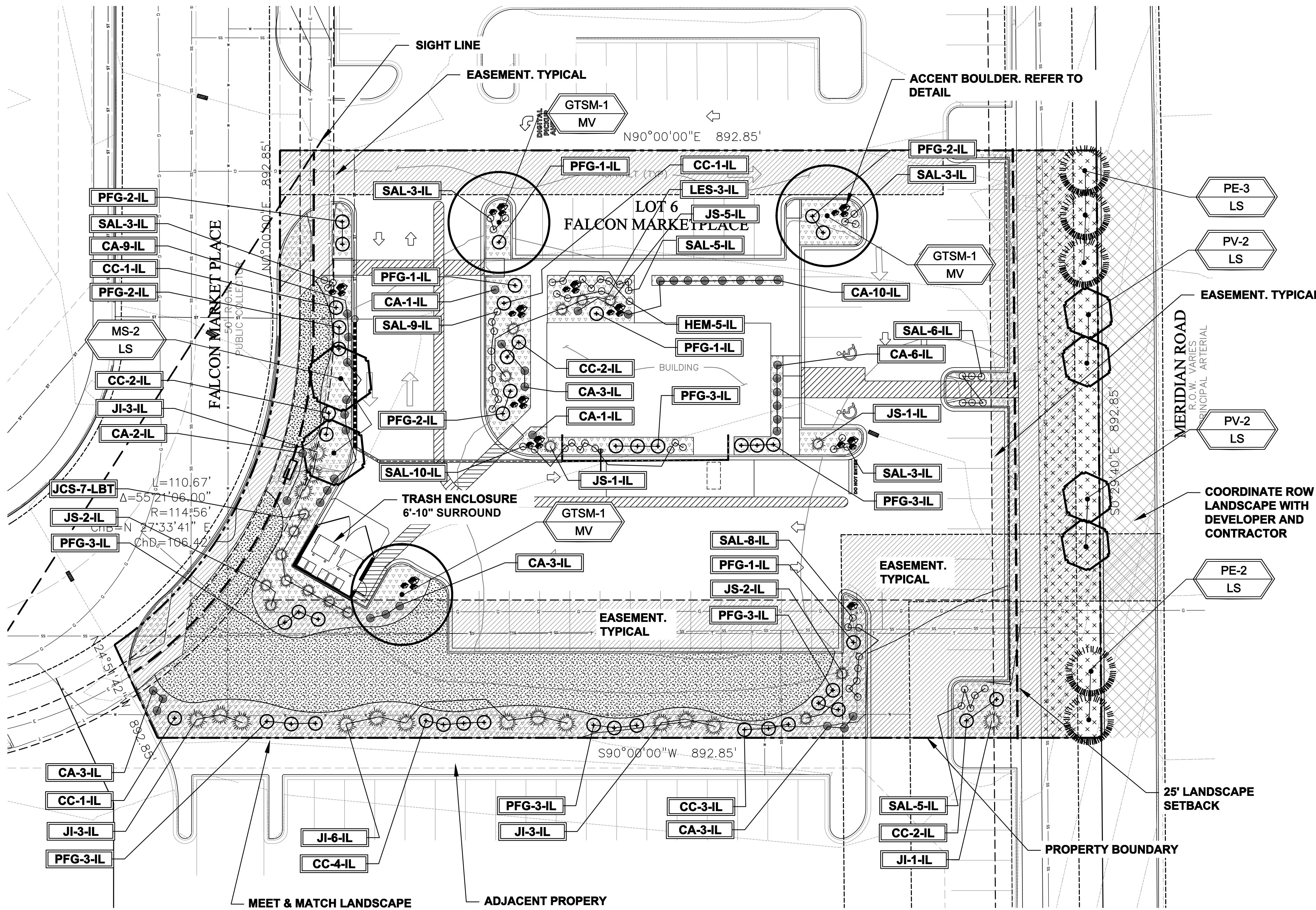
GRADE SHALL BE ESTABLISHED BASED ON GRADING PLAN BY OTHERS, AND FOR LANDSCAPE MATERIALS PER PLAN. FINAL SOIL GRADE FOR 5-12" DIAMETER ROCK AREAS SHALL BE 4" BELOW TOP OF SIDEWALK/CURBPAVING. AT ALL OTHER ROCK AREAS GRADE SHALL BE 2" BELOW SIDEWALK/CURB. AT SOI/SEED AREAS GRADE SHALL BE 1" BELOW TOP OF SIDEWALK/CURB.

UTILITIES NOTE

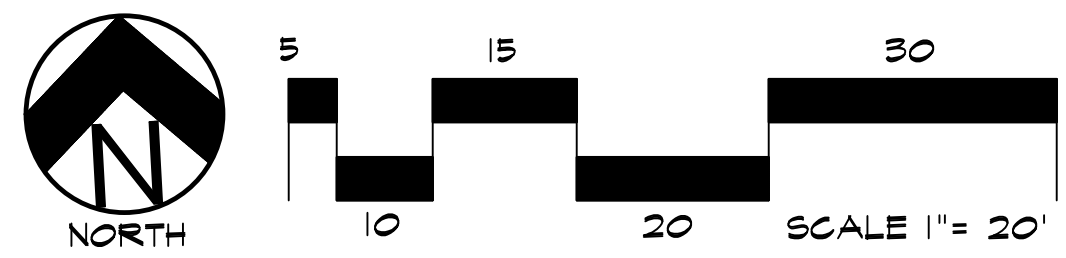
VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK. CALL 811 FOR UTILITY LOCATES. TREE TRUNK PLACEMENT SHALL BE MINIMUM DISTANCE FROM ANY GAS OR ELECTRIC AND 15' FROM GAS MAINS RATED AT 150PSI. FOR SANITARY SEWER AND WATER MAINLINES TREES SHALL NOT BE LOCATED WITHIN EASEMENTS AND WITHIN 15' OF ANY MAINLINE. ANY CONFLICT BETWEEN TREE LOCATIONS AND UTILITIES SHOWN ON PLANS SHALL BE RESOLVED WITH GENERAL CONTRACTOR PRIOR TO PLANTING. ALL ELECTRICAL VAULTS AND TRANSFORMERS SHALL BE KEPT CLEAR FROM PLANT MATERIAL. PER COLORADO SPRINGS UTILITIES GUIDELINES LANDSCAPING AROUND ELECTRICAL EQUIPMENT. SEE COLORADO SPRINGS UTILITIES CONSTRUCTION STANDARD DRAWINGS 18-302 FOR SPECIFIC CLEARANCE REQUIREMENTS. ALL SHRUBS TO BE LOCATED 3' CLEAR OF ALL FIRE HYDRANTS AT MATURE SIZE.

DOCUMENT NOTE

IRRESPECTIVE OF ANY OTHER TERM IN THIS DOCUMENT, LANDSCAPE ARCHITECT SHALL NOT CONTROL OR BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SCHEDULES, SEQUENCES OR PROCEDURES, OR FOR CONSTRUCTION SAFETY OR ANY OTHER RELATED PROGRAMS, OR FOR ANOTHER PARTIES' ERRORS OR OMISSIONS OR FOR ANOTHER PARTIES' FAILURE TO COMPLETE THEIR WORK OR SERVICES IN ACCORDANCE WITH LANDSCAPE ARCHITECT'S DOCUMENTS.



LANDSCAPE PLAN



HIGHER GROUND DESIGNS, INC.
 LANDSCAPE ARCHITECTURE, PLANNING & IRRIGATION DESIGN
 5350 NORTH ACADEMY BLVD., STE. 207
 COLORADO SPRINGS, CO 80916
 Phone 719-577-1646
 Fax 719-588-1122



LOT 6 - FALCON MARKETPLACE
 WOODMEN & MERIDIAN
 EL PASO COUNTY, COLORADO

PREPARED FOR:
 DREXEL - BARRELL

THESE DRAWINGS ARE THE PROPERTY OF HIGHER GROUND DESIGNS, INC. AND SHALL NOT BE USED FOR ANY OTHER PROJECT WITHOUT THE AUTHORIZATION BY HIGHER GROUND DESIGNS, INC.

NOT FOR CONSTRUCTION	JOB NUMBER	1102-22
	REVISIONS	
	9-12-22	PER COMMENTS
	11-4-22	PER COMMENTS
ORIGINAL DATE	9-1-22	
DRAWN BY		
DESCRIPTION	LANDSCAPE PLAN	
SHEET NO.	L1.1	

GENERAL SITE NOTES

- CONTRACTOR RESPONSIBLE FOR COORDINATING AND INSTALLING ALL SLEEVING REQUIRED FOR LANDSCAPE AND IRRIGATION CONSTRUCTION. COORDINATE WITH GENERAL CONTRACTOR. ALL PLANTING AREAS SHALL RECEIVE SLEEVING. REFER TO PLANTING PLAN FOR ADDITIONAL INFORMATION.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS, IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PERTINENT LOCATIONS AND ELEVATIONS, ESPECIALLY AT CONNECTION POINTS AND AT POTENTIAL UTILITY CONFLICTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR ALL APPLICABLE AGENCIES.
- ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF PUBLIC IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH IN LOCAL CITY STANDARDS AND SPECIFICATIONS AND APPLICABLE STATE AND FEDERAL REGULATIONS. WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND THE SPECIFICATIONS, OR ANY APPLICABLE STANDARDS, THE HIGHER QUALITY STANDARD SHALL APPLY. ALL WORK SHALL BE INSPECTED AND APPROVED BY THE APPROPRIATE GOVERNING AGENCIES.
- THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE APPROVED CONSTRUCTION DOCUMENTS, ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS, AND A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB, ON-SITE AT ALL TIMES.
- ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS TRACKED FROM THE SITE.
- THE CONTRACTOR SHALL PROTECT ALL SITE ELEMENTS DURING CONSTRUCTION INCLUDING, BUT NOT LIMITED TO: CONCRETE FLATWORK, CURBS & GUTTER, PAVING, SIGNS, TREES, UTILITIES, ETC. ANY DAMAGE TO INFRASTRUCTURE SHALL BE RESPONSIBILITY OF CONTRACTOR TO REPAIR AND/OR REPLACE IN EQUAL OR BETTER CONDITION. ANY DAMAGE SHALL BE DOCUMENTED THE DAY IT OCCURS AND REPORTED TO THE CLIENT WITHIN 12 HOURS. COORDINATE WITH GENERAL CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR SUBMITTING LANDSCAPE AND IRRIGATION SUBMITTALS TO OWNER FOR APPROVAL PRIOR TO START OF ANY WORK.

MAINTENANCE NOTE

ON-GOING MAINTENANCE DURING CONSTRUCTION:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ON-GOING MAINTENANCE OF ALL COMPLETED LANDSCAPE AND IRRIGATION WORK AS DEFINED UNDER CONTRACT WITH OWNER.

BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND CONTINUE UNTIL LANDSCAPE WORK IS COMPLETED, ACCEPTED BY OWNER, AND IF REQUESTED A FORMAL MAINTENANCE PERIOD IS INITIATED. MAINTAIN LAWNS BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING, REPLANTING AS REQUIRED THROUGH CONSTRUCTION PERIOD. REMULCH WITH NEW MULCH IN AREAS WHERE MULCH HAS BEEN DISTURBED BY CONSTRUCTION OPERATIONS SUFFICIENTLY TO NULLIFY ITS PURPOSE. CONTRACTOR SHALL REPAIR SEEDED AREAS DAMAGED BY TRAFFIC AND/OR VANDALISM DURING THE CONSTRUCTION PERIOD.

IF THE IRRIGATION SYSTEM IS NOT AVAILABLE FOR PROPER WATERING AT THE TIME OF INSTALLATION, PROVIDE AND MAINTAIN TEMPORARY PIPING, HOSES, AND LAWN WATERING EQUIPMENT AS REQUIRED TO CONVEY WATER FROM SOURCES AND TO KEEP THE LAWN AREAS UNIFORMLY MOIST AS REQUIRED FOR PROPER GROWTH. FAILURE OF THE IRRIGATION SYSTEM SHALL NOT RELIEVE THE INSTALLER OF THE RESPONSIBILITY TO PROVIDE THE REQUIRED WATER. COORDINATE WITH OWNER.

ONE-YEAR WARRANTY

AS AGREED WITH OWNER, CONTRACTOR SHALL PROVIDE ONE-YEAR WARRANTY ON ALL PLANT MATERIAL, GRASSES AND IRRIGATION SYSTEM. REPLACEMENT OF DEAD, DISEASED OR SUBSTANTIALLY DAMAGED PLANT MATERIALS SHALL BE OF THE SAME OR SIMILAR TYPE AS SET FORTH IN THE LANDSCAPE PLAN. REPLACEMENT SHALL BE MADE IN A TIME PERIOD NOT EXCEEDING 15 DAYS. PLANT MATERIAL NEEDING REPLACEMENT DURING WINTER MONTHS SHALL BE REPLACED AT THE START OF THE NEXT GROWING SEASON.

THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER LANDSCAPE AND IRRIGATION SYSTEM MAINTENANCE OF THIS SITE AND ANY RIGHT-OF-WAY AREAS BETWEEN THE CURB AND PROPERTY BOUNDARIES OF THIS SITE. MAINTENANCE OF THIS INCLUDES, BUT IS NOT LIMITED TO, IRRIGATION INSPECTIONS AND ADJUSTMENTS, IRRIGATION SYSTEM SHUT DOWN AND START UP, IRRIGATION LEAK REPAIR, LANDSCAPE WEEDING, MOWING, SEEDING, FERTILIZING, WOOD MULCH AND ROCK ADDITIONS, PRUNING AND PLANT MATERIAL REPLACEMENTS. ALL MAINTENANCE SHALL BE DONE IN ACCORDANCE WITH THE ALCC SPECIFICATIONS HANDBOOK REV EDITION 2007. OWNER SHOULD CONTACT LANDSCAPE CONTRACTOR OR LANDSCAPE ARCHITECT REGARDING ANY QUESTIONS RELATING TO THE LANDSCAPE OR IRRIGATION SYSTEM.

SOIL PREP NOTES

SOIL PREPARATION FOR UNDISTURBED OR COMPACTED PLANTING AREAS:

- IF UNDISTURBED RIP EXISTING SOIL TO A DEPTH OF NINE (9) INCHES MINIMUM IN ONE DIRECTION USING AN AGRICULTURAL RIPPER WITH TINES SPACED NO FURTHER THAN EIGHTEEN (18) INCHES APART OR TILL TO 6" DEPTH. AREAS ADJACENT TO WALKS, STRUCTURES, CURBS, ETC., WHERE THE USE OF LARGE MECHANICAL EQUIPMENT IS DIFFICULT SHALL BE WORKED WITH SMALLER EQUIPMENT OR BY HAND.
- REMOVE ALL RUBBLE, STONES AND EXTRANEIOUS MATERIAL OVER TWO (2) INCHES IN DIAMETER FROM THE SITE.

SEEDING NOTES

SEED MIX 'A': NATIVE SEED TO BE EL PASO COUNTY CONSERVATION DISTRICT ALL-PURPOSE SEED MIX. REFER TO CHART. SEED TO BE APPLIED AT 4LBS/1,000 SF USING DRILL SEED PROCESS OR HYDRO-SEED PROCESS MINIMUM OR PER EL PASO GUIDELINES. SOIL SHALL BE AMENDED BREW-GRO BIOCOMP CLASS 1 (OR CITY APPROVED EQUAL) AT 2 C.Y./1000 SF FILLED INTO TOP 4-6" OF SOIL PRIOR TO SEEDING. REFER TO CHART 5-1 FOR IRRIGATED MIX.

DEPENDENT ON WEATHER, SEED SHALL BE INSTALLED WITHIN THE FOLLOWING TIME FRAMES: SEPTEMBER 1 UNTIL CONSISTENT GROUND FREEZE FOR SPRING ESTABLISHMENT (DORMANT SEEDING); SPRING THAW UNTIL JUNE 1 FOR SPRING AND SUMMER ESTABLISHMENT (ACTIVE SEEDING).

FOR HYDRO-SEEDING ALL SEEDED AREAS SHALL RECEIVE NOT LESS THAN 1 TON PER ACRE (2000 LBS) OF VIRGIN WOOD CELLULOSE HYDRO-MULCH AND 100 LBS PER ACRE OF ORGANIC TACKIFIER.

SEEDED LANDSCAPE AREAS SHALL HAVE NO BARE AREAS LARGER THAN SIX (6) SQUARE INCHES 15 DAYS AFTER GERMINATION.

DRILL SEEDING: SEEDING EQUIPMENT USED FOR APPLYING SEED MIXTURES SHALL BE DESIGNED, MODIFIED OR EQUIPPED TO REGULATE THE APPLICATION RATE AND PLANTING DEPTH OF THE SEED MIXTURE. SEED SHALL BE UNIFORMLY DISTRIBUTED IN THE DRILL HOPPER DURING THE DRILLING OPERATION. A RANGELAND DRILL CAPABLE OF MIXING DIFFERENT SIZES AND WEIGHTS OF SEEDS SHALL BE USED. THE DRILL SHALL BE EQUIPPED WITH DOUBLE DISK FURROW OPENERS, DEPTH BANDS, PRESS WHEELS OR DRAG CHAINS.

THE SEED SHALL BE DRILLED APPROXIMATELY 3/4" INCH BELOW THE SOIL SURFACE. HALF OF THE TOTAL RATE OF SEED APPLICATION SHALL BE DRILLED IN 1 DIRECTION, WITH THE REMAINDER OF THE SEED RATE DRILLED AT 90 DEGREES FROM THE FIRST DIRECTION. DO NOT DRILL OR SOW SEED DURING HIGH WINDS OR WHEN THE GROUND IS FROZEN OR OTHERWISE UNABLE TO BE WORKED.

ALL SEEDED AREAS LESS THAN 3:1 SHALL RECEIVE NO LESS THAN 2 TONS PER ACRE (400 LBS) OF CERTIFIED WEED FREE STRAW MULCH. STRAW MULCH SHALL BE APPLIED IN A UNIFORM MANNER BY MULCH SPREADER OR BY HAND. STRAW MULCH SHALL BE CRIMPED OR ANCHORED INTO THE SEEDED IMMEDIATELY FOLLOWING SPREADING BY USING A MULCH TILLER (CRIMPER). MULCH TILLERS SHALL HAVE ROUND, NOTCHED-BLADES SPACED 9-INCHES APART (MIN.) AND SHALL HAVE SUFFICIENT WEIGHT TO FORCE THE VEGETATIVE MULCH A MINIMUM DEPTH OF 3-INCHES INTO THE SOIL. ALL MULCH TILLING SHALL BE DONE PERPENDICULAR TO THE FLOW-LINE OF THE SLOPE (ALONG CONTOURS). HAND CRIMPING SHALL BE PERFORMED ON AREAS WHERE MECHANICAL METHODS CANNOT BE USED.

MULCH SHALL BE APPLIED TO SEEDED AREAS (INCLUDING DAMP GROUND) WITHIN 24 HOURS FOLLOWING THE COMPLETION OF SEEDING OPERATIONS FOR THE AREA. MULCHING SHALL NOT BE PERFORMED DURING ADVERSE WEATHER CONDITIONS OR WHEN WIND PREVENTS UNIFORM DISTRIBUTION. APPLICATION SHALL BE IN A MANNER TO NOT SERIOUSLY DISTURB THE SEEDED SURFACE.

SOD INSTALLATION NOTE

SOIL PREPARATION FOR SODDED AREAS

- RIP EXISTING SOIL TO A DEPTH OF NINE (9) INCHES MINIMUM IN ONE DIRECTION USING AN AGRICULTURAL RIPPER WITH TINES SPACED NO FURTHER THAN EIGHTEEN (18) INCHES APART. AREAS ADJACENT TO WALKS, STRUCTURES, CURBS, ETC., WHERE THE USE OF LARGE MECHANICAL EQUIPMENT IS DIFFICULT SHALL BE WORKED WITH SMALLER EQUIPMENT OR BY HAND.
- REMOVE ALL RUBBLE, STONES AND EXTRANEIOUS MATERIAL OVER TWO (2) INCHES IN DIAMETER FROM THE SITE.
- APPLY THE FOLLOWING AMENDMENTS: APPLY CLASS 1 BREW GROW MATERIAL AT A RATE OF 3 CUBIC YARDS PER 1000 SQ.FT. OF SOIL AREA. DISK (TILL) COMPOST SOIL TO A DEPTH OF 6" (INCHES).

BLUEGRASS SOD

- PROVIDE HEALTHY, FIELD GROWN SOD, FREE FROM OTHER GRASSES, WEEDS, INSECTS AND THEIR EGGS, DISEASES, STONES AND DEBRIS, AND A MINIMUM OF ONE (1) YEAR OLD. FURNISH FROM A SOD FARM WHERE IT HAS RECEIVED REGULAR WATERING, MOWING, FERTILIZING, WEED CONTROL AND SPRAYING.
- MOW SOD TO 1 1/2" TO 2" HEIGHT PRIOR TO CUTTING AND CUT TO A UNIFORM THICKNESS OF 3/4" TO 1". DELIVER IN ROLLS 6' LONG AND 18" WIDE. SMALL, IRREGULAR OR BROKEN PIECES OF SOD WILL NOT BE ACCEPTED. DO NOT CUT MORE SOD THAN CAN BE PUT IN PLACE AT THE SITE THE SAME DAY.
- DELIVER SOD TO THE SITE WITHIN 24 HOURS OF HARVESTING, AND PROTECT FROM DRYING OUT, EXPOSURE OF ROOTS TO THE SUN AND OTHER INJURY.

SOD INSTALLATION

- AFTER SOIL PREPARATION, ROLL THE AREA TO AN EVENLY COMPACTED, FIRM SOIL BED. REMOVE HARD AND SOFT AREAS. SCARIFY SURFACE TO A DEPTH OF 3/8 INCH.
- LAY SOD SMOOTHLY, EDGE TO EDGE, AND WITH STAGGERED JOINTS. BUTT EDGES TIGHTLY. LAY WITHIN EIGHT (8) HOURS AFTER DELIVERY.
- WATER SOD LIGHTLY AS LAYING PROGRESSES TO PREVENT DRYING OF SOD.
- ROLL SOD WITH A LIGHT ROLLER DIAGONALLY, LEVELING IRREGULARITIES AND SEALING JOINTS.
- KEEP THE SOIL BED MOIST DURING LAYING OF SOD.
- NEWLY INSTALLED SOD SHALL BE WATERED WITH 1/2 INCH OF WATER PER DAY FOR THE FIRST 3 DAYS, FILLING THE WATER HOLDING CAPACITY OF THE TOP 4-8 INCHES OF THE SOIL. TOTAL AMOUNT OF WATER SHOULD BE SPLIT UP OVER 2 OR 3 WATERING PERIODS EACH DAY.
- WEEK 1: AFTER INSTALLATION, WATER NEW TURF 1/2" TO 1-1/4" OF WATER PER DAY FOR THE FIRST 7 DAYS SPLIT UP OVER 4 OR 5 WATERING PERIODS EACH DAY. THE WARMER THE TEMPERATURE, THE MORE WATER YOU NEED TO APPLY.
- WEEK 2: AFTER THE FIRST 7 DAYS, WATER AT THE RATE OF 1/2" PER DAY FOR 7 DAYS; SPLIT UP OVER 2-3 WATERING PERIODS EACH DAY.
- WEEK 3: IF WATERING RESTRICTIONS ALLOW, WATER 1/2" PER DAY EVERY OTHER DAY FOR 7 DAYS. AFTER THE FIRST TWO OR THREE WEEKS, REVERT TO WATERING 1-2 TIMES PER WEEK AS LOCAL WATERING RESTRICTIONS ALLOW.
- KENTUCKY BLUEGRASS TURF: 3:1 LBS NITROGEN PER 1,000 SF; APPLY ABOUT 1 LB OF RECOMMENDED NITROGEN IN LATE SUMMER. APPLY HALF OF REMAINING NITROGEN REQUIRED IN MID-FALL. HALF IN MID SPRING. FOR HIGH MAINTENANCE TURF, APPLY ABOUT 1 LB OF THE RECOMMENDED NITROGEN IN EARLY SUMMER. TO OBTAIN 1 LB OF ACTUAL NITROGEN, APPLY 3 TO 4 LB OF 34-0-0, 5 LB OF 20-0-0, 10 LB OF 10-0-0, OR SIMILAR FERTILIZERS.

ON-GOING MAINTENANCE RECOMMENDATIONS FOR SOD BLUEGRASS LAWN

WELL ESTABLISHED LAWN SHALL BE A HEALTHY, WELL-ROOTED, EVEN-COLORED, FREE OF WEEDS, OPEN JOINTS, BARE AREAS, AND SURFACE IRREGULARITIES.

MOW SODDED LAWN AS SOON AS THERE IS ENOUGH TOP GROWTH TO CUT WITH MOWER SET AT 3" HEIGHT. DO NOT CUT MORE THAN 1/3 LENGTH OF THE GRASS BLADE AT ANY ONE MOWING. DO NOT MOW LESS THAN 3" OFF WHEN GRASS IS WET. REMOVE ALL HEAVY GRASS CLIPPING IMMEDIATELY AFTER MOWING.

UTILITIES NOTE

VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK. CALL 811 FOR UTILITY LOCATES. TREE TRUNK PLACEMENT SHALL BE 6" MINIMUM DISTANCE FROM ANY GAS OR ELECTRIC AND 15' FROM GAS MAINS RATED AT 150PSI. FOR SANITARY SEWER AND WATER MAINLINES TREES SHALL NOT BE LOCATED WITHIN EASEMENTS AND WITHIN 15' OF ANY MAINLINE. ANY CONFLICT BETWEEN TREE LOCATIONS AND UTILITIES SHOWN ON PLANS SHALL BE RESOLVED WITH GENERAL CONTRACTOR PRIOR TO PLANTING. ALL ELECTRICAL VAULTS AND TRANSFORMERS SHALL BE KEPT CLEAR FROM PLANT MATERIAL PER COLORADO SPRINGS UTILITIES GUIDELINES. LANDSCAPING AROUND ELECTRICAL EQUIPMENT. SEE COLORADO SPRINGS UTILITIES CONSTRUCTION STANDARD DRAWINGS 16-302 FOR SPECIFIC CLEARANCE REQUIREMENTS. ALL SHRUBS TO BE LOCATED 3' CLEAR OF ALL FIRE HYDRANTS AT MATURE SIZE.

LAYOUT NOTE

CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL LANDSCAPE SHOWN ON THIS PLAN. ANY DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. DEVIATIONS FROM THE APPROVED PLAN MAY REQUIRE APPROVAL BY EL PASO COUNTY AND OWNER REPRESENTATIVE.

INSTALLATION NOTES

REMOVE EXISTING TREES, DEBRIS AND WEEDS FROM SITE PRIOR TO CONSTRUCTION (AS SHOWN PER PLAN).

LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SITE DURING CONSTRUCTION. WEEDS AND TRASH SHALL BE REMOVED DAILY AS REQUIRED.

EXISTING TOPSOIL TO BE STOCKPILED ON-SITE AND USED DURING CONSTRUCTION TO ESTABLISH GRADES WITHIN LANDSCAPE AREAS AS SHOWN PER PLAN.

CONTRACTOR SHALL REFER TO ASSOCIATED LANDSCAPE CONTRACTORS OF COLORADO HANDBOOK (ALCC) , 2007 REVISED EDITION FOR ALL CONSTRUCTION FOR THIS SITE. CONTACT OWNER/LANDSCAPE ARCHITECT FOR QUESTIONS.

QUANTITIES SHOWN IN PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL PLANT MATERIAL PER PLAN. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL THEFTS OR DAMAGE TO PLANT MATERIAL ONCE PLANT MATERIAL IS DELIVERED TO JOB SITE.

LANDSCAPE ARCHITECT SHALL HAVE OPPORTUNITY TO INSPECT AND APPROVE ALL TREES AND ALL 1-15 GALLON MATERIAL AT JOB SITE PRIOR TO PLANTING, INCLUDING PLACEMENT INSPECTION.

ALL EDGING SEPARATING GRASS AND ROCK/MULCH AREAS TO BE GREEN PRO-STEEL OR APPROVED EQUAL. EDGING TO BE EXPOSED 1/2" +/- ABOVE FINISHED GRADES. INSTALL PER MANUFACTURE RECOMMENDATIONS. NO EDGING BETWEEN ROCK MULCHES.

ALL ROCK COVER AREAS ONLY TO BE PREPARED WITH LANDSCAPE FABRIC WITH STAPLES AT 5' O.C. FABRIC SEAMS TO BE OVERLAPPED 6" MIN. AND SECURED WITH STAPLES.

GROUND COVER SHALL BE CONTINUOUS UNDER ALL SHRUBS THROUGHOUT PROJECT SITE.

TREES AND SHRUBS TO RECEIVE ORGANIC MULCH PER DETAILS, INCLUDING ROCK AREAS-SEE DETAILS. ORGANIC MULCH TO BE 'CASCADE SHREDDED CEDAR' WITH NO LANDSCAPE FABRIC AND 4" DEPTH.

DO NOT PLANT SHRUBS OR TREES OF INCOMPATIBLE WATER REQUIREMENTS IMMEDIATELY ADJACENT TO ONE ANOTHER.

PLANT BACKFILL SHALL BE 70% NATIVE ON-SITE SOIL, AND 30% BREW-GRO BIOCOMP CLASS 1 (OR CITY APPROVED EQUAL).

A REPRESENTATIVE SAMPLE OF THE BOTANICAL NAME TAGS, FURNISHED BY THE NURSERY STOCK PROVIDER SHALL REMAIN ATTACHED TO THE PLANTS UNTIL FINAL INSPECTION.

LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF STORM DRAINAGE FROM ADJACENT LANDSCAPE AREAS OR BUILDING DOWNSPOUTS WILL ADVERSELY AFFECT LANDSCAPED AREAS PER THE PLAN.

DECORATIVE BOULDERS SHALL BE BURIED 1/3 BELOW GRADE AND SHALL NOT OBSTRUCT VEHICULAR SIGHTLINES IF APPLICABLE.

PRIOR TO INSTALLING PLANTS OR GROUND COVER BROADCAST PREEN WEED PRE-EMERGENT IN ALL PLANTING AREAS PER MANUFACTURE RECOMMENDATIONS. WWW.PREEN.COM

NATIVE GRASS MANAGEMENT NOTE

ON-GOING MAINTENANCE RECOMMENDATIONS FOR NATIVE GRASS

WELL ESTABLISHED SEEDED LAWN SHALL BE A HEALTHY, WELL-ROOTED, EVEN-COLORED, AND FREE OF WEEDS, BARE AREAS, AND SURFACE IRREGULARITIES.

THE MATURE HEIGHT OF NATIVE GRASS IS EXPECTED TO BE MAINTAINED AT ABOUT 6" HIGH AND MOWED TO 3" ONCE ANNUALLY IN THE LATE WINTER OR EARLY SPRING, AND IRRIGATED ON REDUCED WATER SCHEDULE.

THE SUCCESS OF PERMANENT NATIVE GRASS SEEDING CAN RARELY BE EVALUATED ACCURATELY PRIOR TO THE END OF ITS SECOND FULL GROWING SEASON. SEEDING SUCCESS DEPENDS UPON CONTROL OF WEED COMPETITION DURING THE FIRST TWO GROWING SEASONS. IN ADDITION, THE SITE SHOULD BE MONITORED ANNUALLY FOR UNDESIRABLE PLANT SPECIES.

THE SITE SHOULD BE MONITORED FOR UNDESIRABLE PLANT SPECIES. IF WEED CONTROL NEEDS TO BE PERFORMED DURING THE FIRST YEAR OF PLANT GROWTH, UTILIZE ONE OF TWO METHODS. REGARDLESS OF WHICH METHOD OF WEED CONTROL IS USED, COMPLETE BEFORE FLOWERING OF WEED SEED HEADS. SINCE WEED SPECIES MAY DEVELOP MATURE SEED HEADS AT DIFFERENT TIME OF THE GROWING SEASON, WEED CONTROL EFFORTS WILL BE REQUIRED.

- HAND PULL NOXIOUS WEEDS, REMOVING AS MUCH OF THE ROOT SYSTEM AS POSSIBLE.
- USE WEED EATERS TO SELECTIVELY CUT OFF THE SEED HEADS OF NOXIOUS WEEDS. USE SELECTIVE BROADLEAF HERBICIDE SUCH AS 2-4-D WITH A BACKPACK SPRAYER OR WICK APPLICATOR. BE CAREFUL NOT TO APPLY HERBICIDE ON MORE THAN ONE SQUARE FOOT IN ANY GIVEN AREA. CONTRACTOR TO NOTIFY OWNERS AUTHORIZED REPRESENTATIVE OF ANY SUSPECTED SOIL PROBLEMS AT THE END OF THE FIRST GROWING SEASON. BROADBAND APPLICATIONS OF HERBICIDE CAN BE COMPLETED AFTER NATIVE GRASS SPECIES REACH MATURE HEIGHT.

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9-12-22	PER	COMMENTS	
11-4-22	PER	COMMENTS	
ORIGINAL DATE	9-1-22		
DRAWN BY			
DESCRIPTION	DETAILS AND NOTES		
SHEET NO.	L1.2		

LOT 6 - FALCON MARKETPLACE

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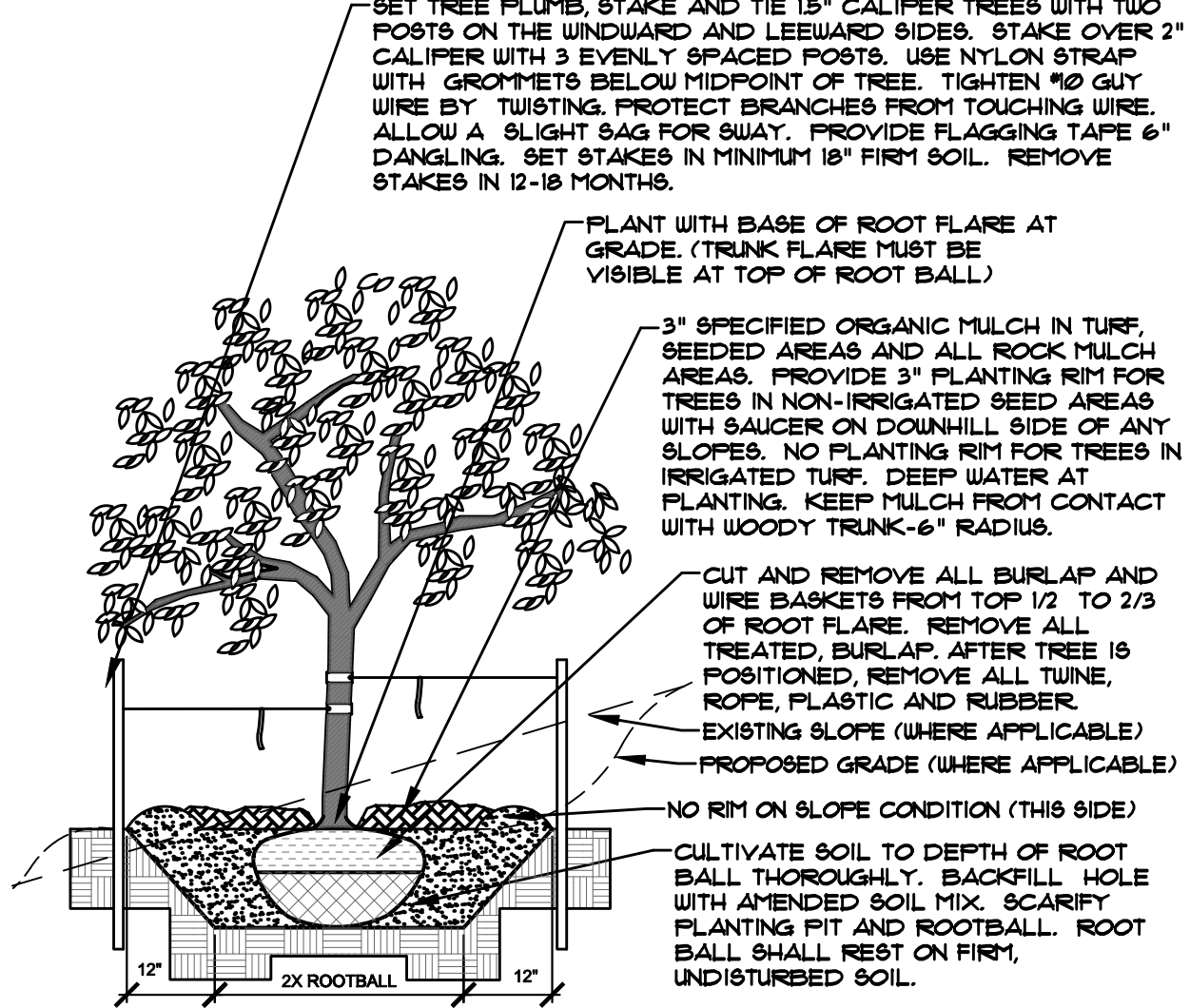
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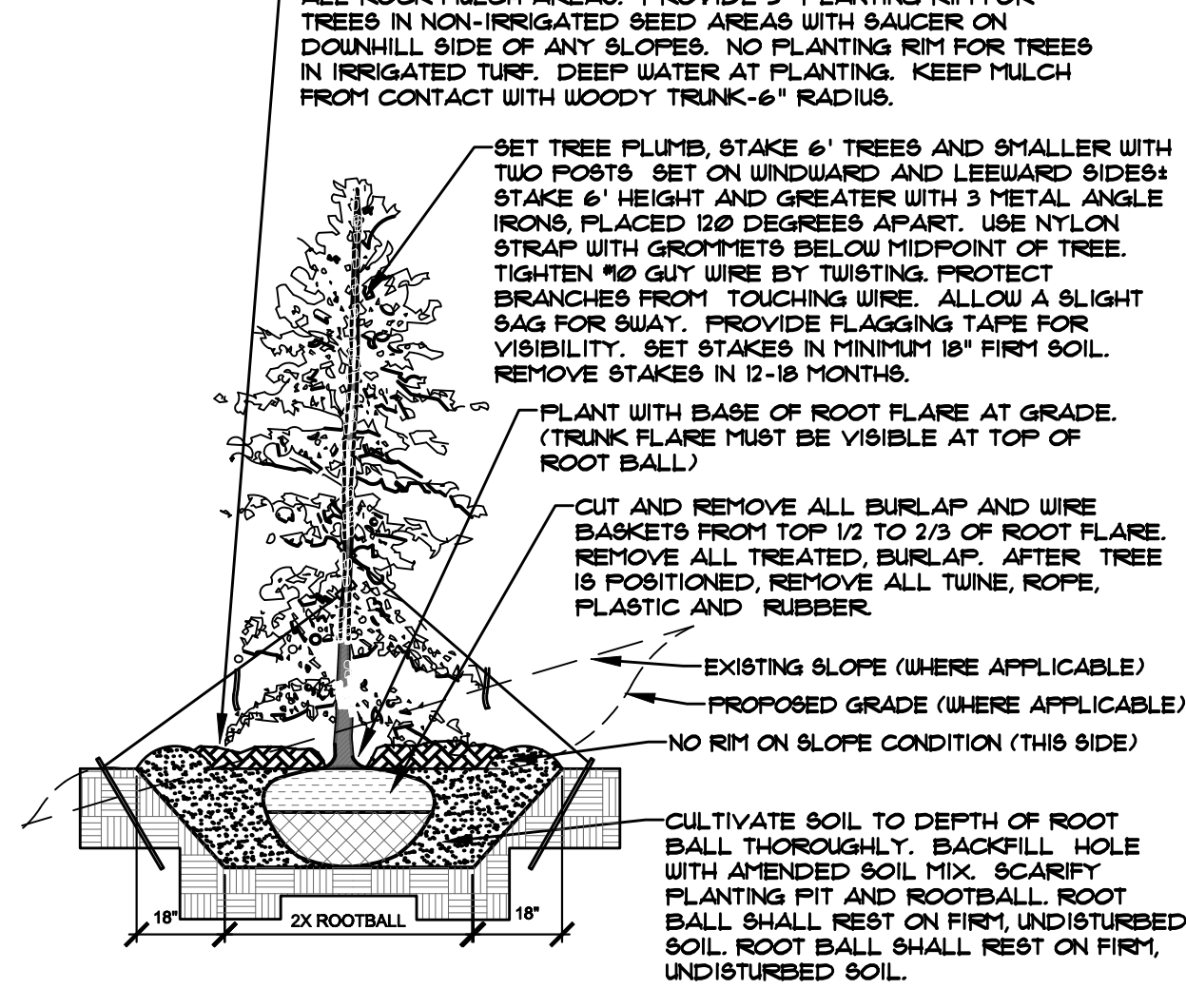
5350 NORTH ACADEMY BLVD., STE. 207
COLORADO SPRINGS, CO 80916
Phone 719-477-1646
Fax 719-586-1122

- NOTES:
- MARK NORTH SIDE OF TREE AT NURSERY AND ALIGN TREE TO NORTH WHEN PLANTING.
 - DO NOT REMOVE OR CUT LEADER.
 - PRUNE ONLY DEAD, BROKEN BRANCHES OR NARROW CROTCHES IMMEDIATELY PRIOR TO PLANTING. DO NOT REMOVE TERMINAL BUDS THAT EXTEND TO TREE CROWN.
 - NO STRUCTURAL PRUNING OF TREE UNTIL AFTER ESTABLISHMENT PERIOD (2 GROWING SEASONS).
 - REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE.
 - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING. AVOID FALL PLANTING IF POSSIBLE.
 - AMENDED BACKFILL SHALL BE 10% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL.
 - WRAP TRUNK ON EXPOSED SIDES OR SPECIES WITH THIN BARK USE ELECTRICAL TAPE, NOT TUNE, WRAP OCTOBER 15 AND REMOVE BY MARCH 31.
 - DO NOT FERTILIZE TREE DURING THE FIRST GROWING SEASON.
 - COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT & DISEASE RECOMMENDATIONS PRIOR TO PLANTING.



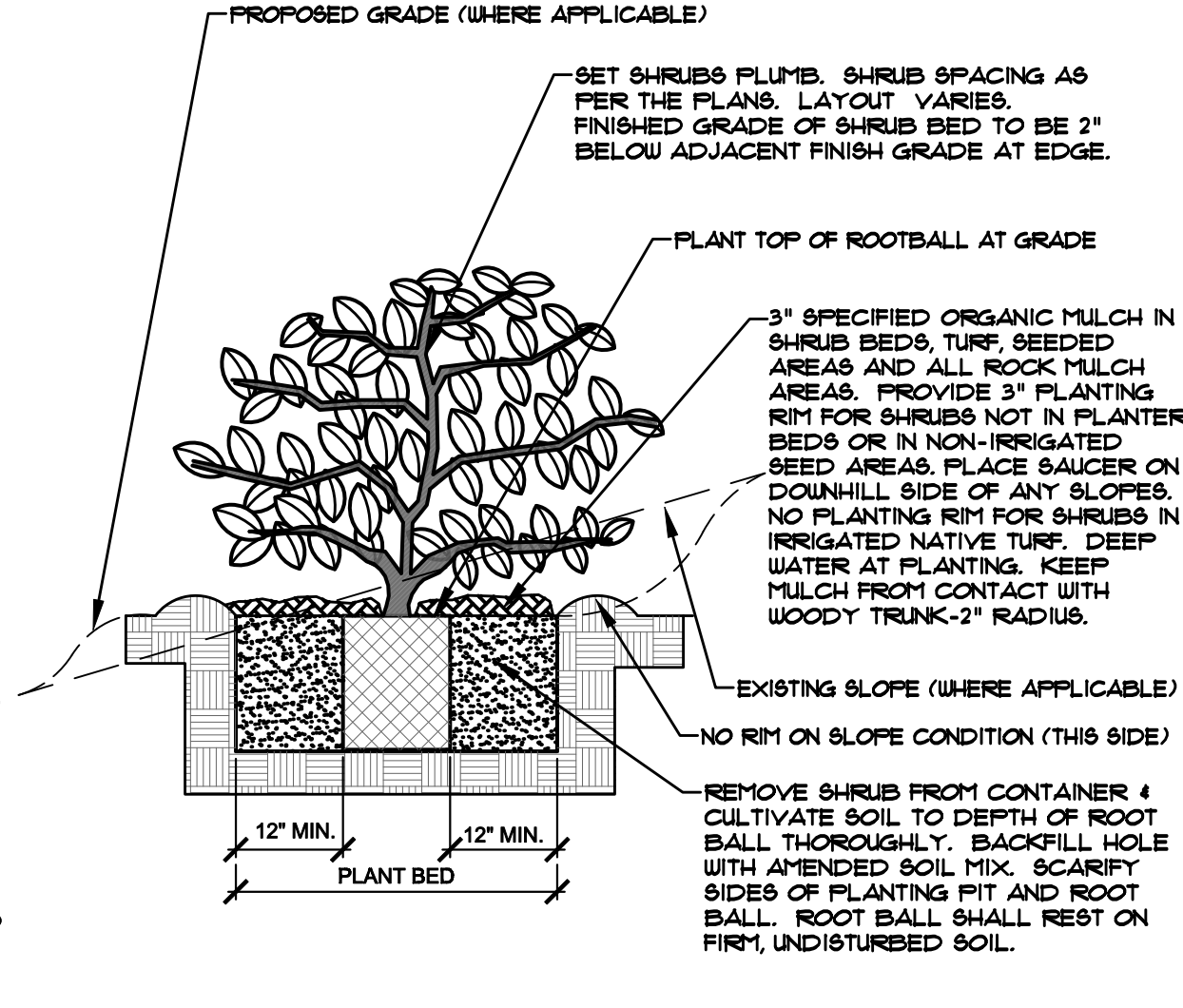
A DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE

- NOTES:
- MARK NORTH SIDE OF TREE AT NURSERY AND ALIGN TREE TO NORTH WHEN PLANTING.
 - DO NOT REMOVE OR CUT LEADER.
 - PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
 - REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE.
 - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 - AVOID FALL PLANTING IF POSSIBLE.
 - AMENDED BACKFILL SHALL BE 10% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL.
 - PINE AND SPRUCE TREES TO BE SPRAYED FOR IPS BARK BEETLE PRIOR TO PLANTING (SEE CONIFEROUS TREE NOTE ON PLANTING NOTES SHEET)



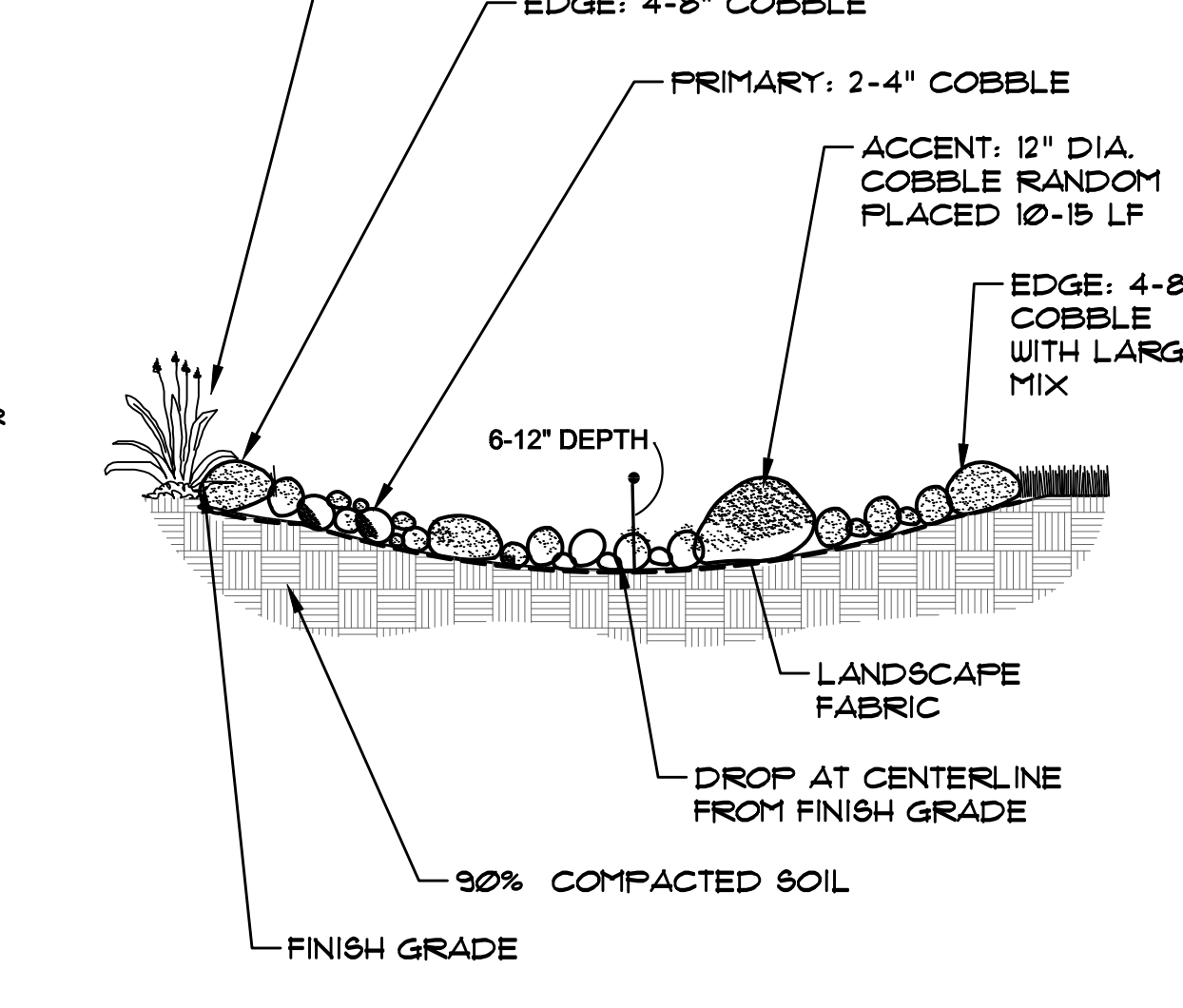
B EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE

- NOTES:
- PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
 - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 - DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
 - AMENDED BACKFILL SHALL BE 10% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL.
 - FOR ROOT BIND AT BOTTOM OF BALL, SPLIT ROOT BALL VERTICALLY FROM BOTTOM HALFWAY TO TOP, SPREAD THE TWO HALVES OVER A MOUND OF SOIL IN PLANTING PIT.
 - FOR POT BOUND PLANTS ONLY: MAKE 4-5 VERTICAL CUTS IN ROOT BALL 1" DEEP. PLANT IMMEDIATELY.



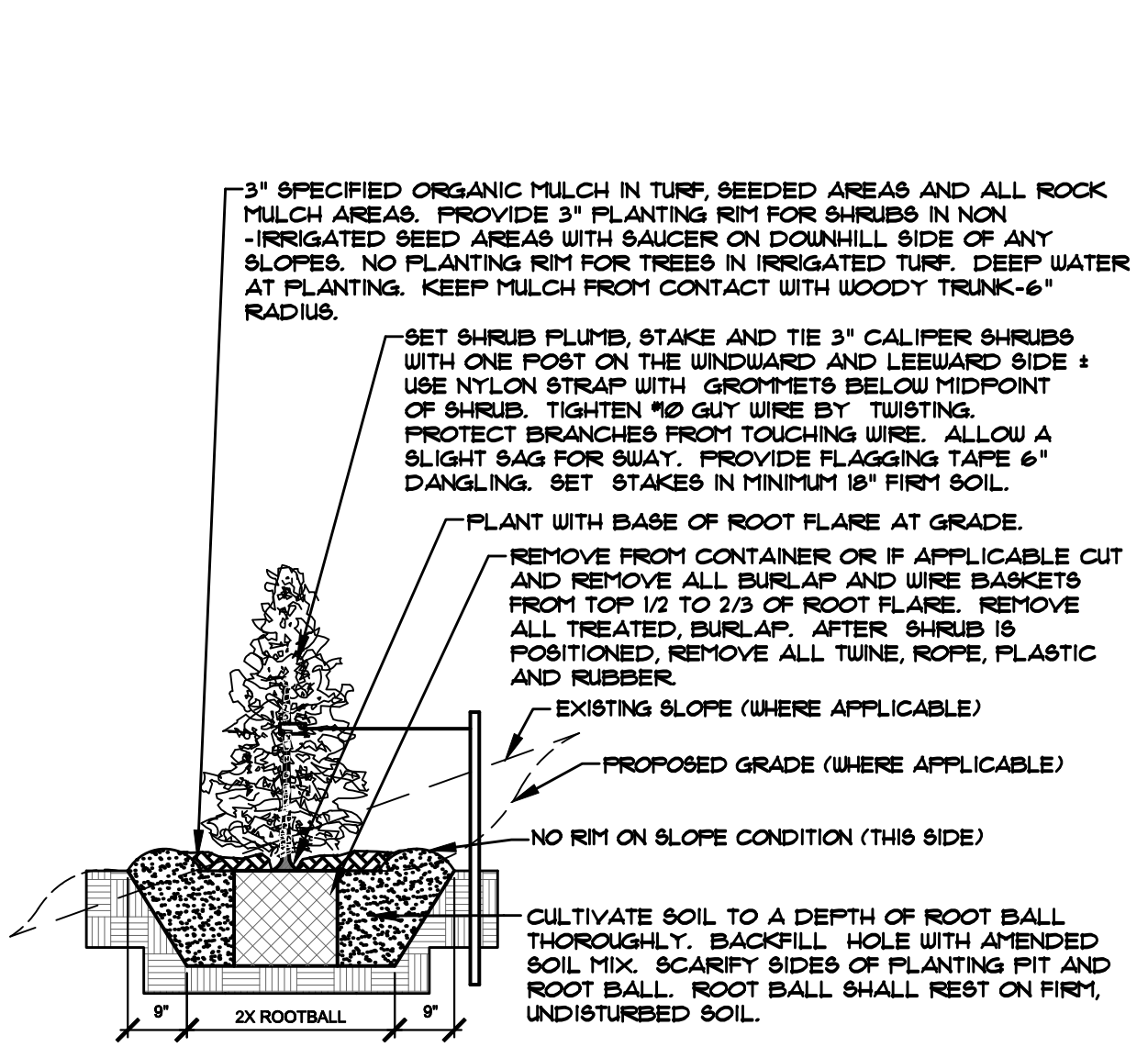
C SHRUB PLANTING DETAIL
NOT TO SCALE

- NOTES:
- SHRUB AND TURF AREAS MAY VARY FROM DETAIL - SEE PLANS FOR ACTUAL LOCATIONS.
 - SEE PLANS FOR ROCK / COBBLE TYPE(S).
 - WIDTH VARIES - SEE PLAN.
 - SET ROCK RANDOM TO BE NATURALISTIC.

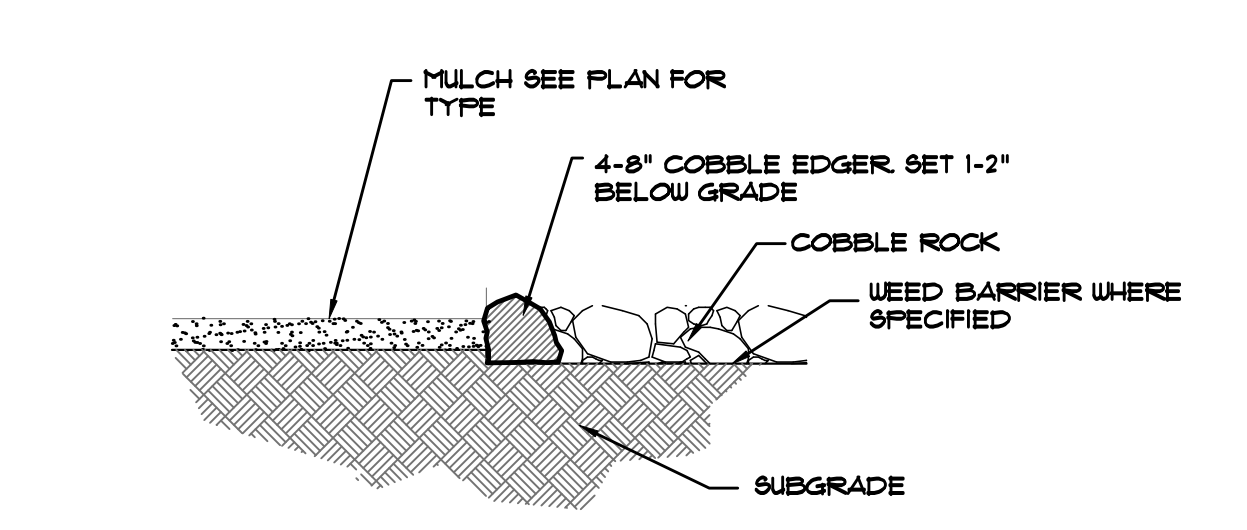


D ROCK SWALE
NOT TO SCALE

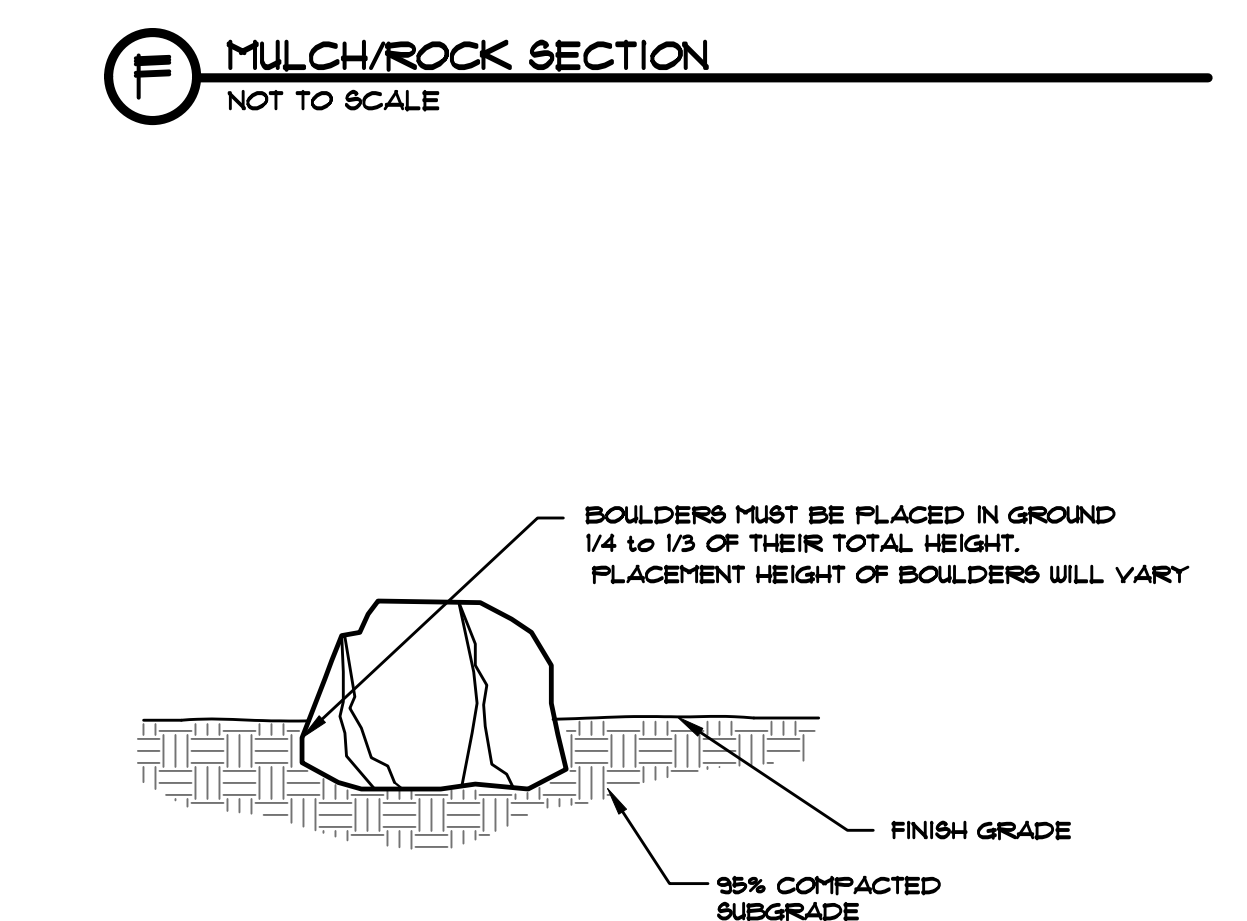
- NOTES:
- DO NOT REMOVE OR CUT LEADER.
 - PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
 - REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE.
 - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 - AVOID FALL PLANTING IF POSSIBLE.
 - AMENDED BACKFILL SHALL BE 10% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL.
 - FOR ROOT BIND (CONTAINER PLANTS ONLY) AT BOTTOM OF BALL SPLIT ROOT BALL VERTICALLY FROM BOTTOM HALFWAY TO TOP, SPREAD THE TWO HALVES OVER A MOUND OF SOIL IN PLANTING PIT.
 - FOR POT BOUND PLANTS ONLY: MAKE 4-5 VERTICAL CUTS IN ROOT BALL 1" DEEP. PLANT IMMEDIATELY. (CONTAINER PLANTS ONLY)



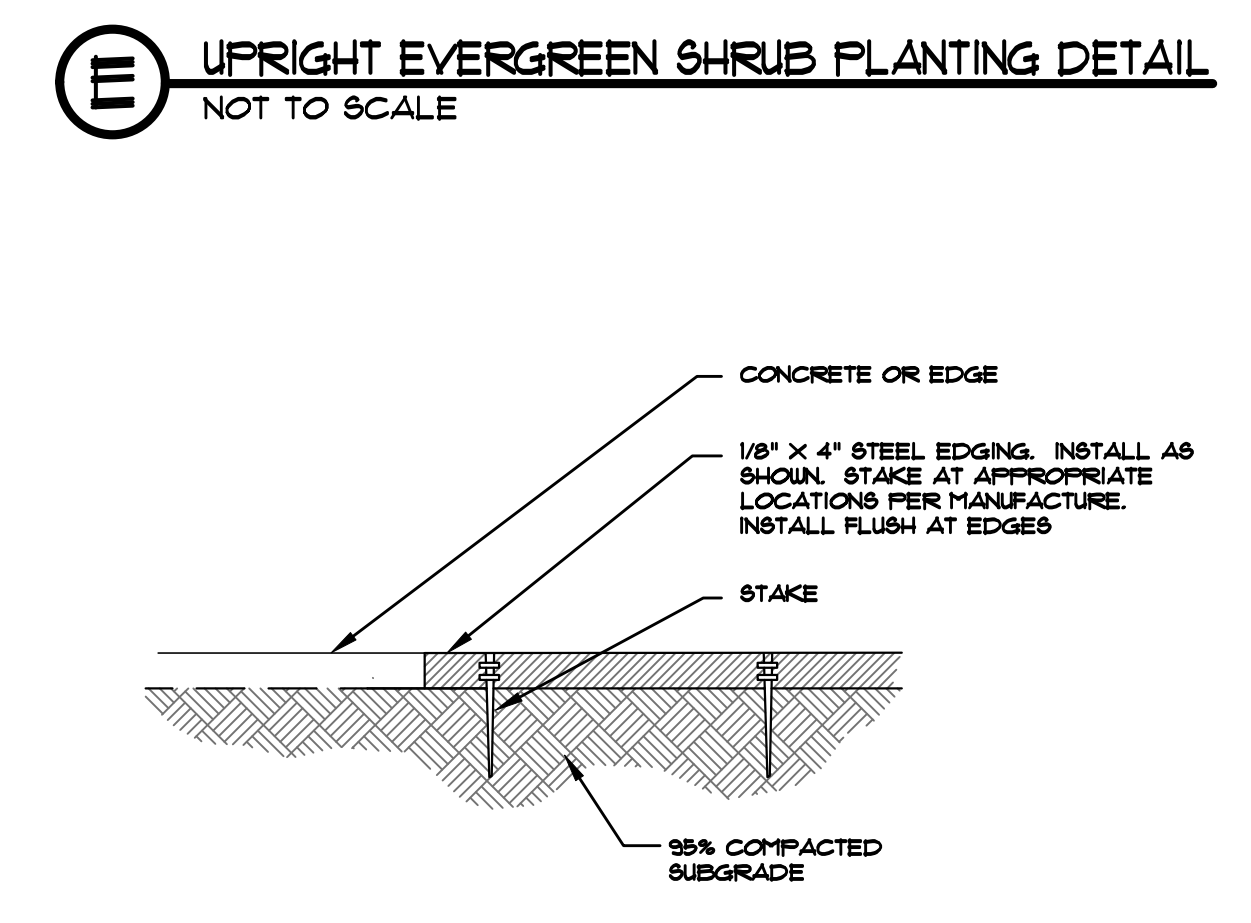
E UPRIGHT EVERGREEN SHRUB PLANTING DETAIL
NOT TO SCALE



F MULCH/ROCK SECTION
NOT TO SCALE



G ACCENT BOULDER SECTION
NOT TO SCALE



H STEEL EDGING
NOT TO SCALE

Chapter 5
Native Vegetation Requirements and Guidelines
Table 5-1. El Paso County Conservation District All-Purpose Mix for Upland, Transition and Permanent Control Measure Areas

Common Name	Scientific Name	Growth Season / Form	% of Mix	Pounds PLS USE THIS MIX		
				Irrigated broadcast / Irrigated hydroseeded	Non-irrigated broadcast / Non-irrigated hydroseeded / Irrigated drilled	Non-irrigated drilled
Bluestem, big	<i>Andropogon gerardii</i>	Warm, sod	20	4.4	2.2	1.1
Grama, blue	<i>Bouteloua gracilis</i>	Warm, bunch	10	0.5	0.25	0.13
Green needlegrass ²	<i>Nassella viridula</i>	Cool, bunch	10	2	1	0.5
Wheatgrass, western ²	<i>Pascopyrum smithii</i>	Cool, sod	20	6.4	3.2	1.6
Grama, sideoats	<i>Bouteloua curtipendula</i>	Warm, bunch	10	2	1	0.5
Switchgrass ²	<i>Panicum virgatum</i>	Warm, bunch/sod	10	0.8	0.4	0.2
Prairie sandreed	<i>Calamovilfa longifolia</i>	Warm, sod	10	1.2	0.6	0.3
Yellow indiagrass ²	<i>Sorghastrum nutans</i>	Warm, sod	10	2	1	0.5
Seed rate (lbs PLS/acre)				19.3	9.7	4.8

¹For portions of facilities located near or on the bottom or where wet soil conditions occur. Planting of potted nursery stock wetland plants 2-foot on-center is recommended for sites with wetland hydrology.
²Species that will do well in the bottom of pond areas.

UTILITIES NOTE
VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK. CALL 811 FOR UTILITY LOCATES. TREE TRUNK PLACEMENT SHALL BE 6" MINIMUM DISTANCE FROM ANY GAS OR ELECTRIC AND 10" FROM GAS MAINS RATED AT 150PSI. FOR SANITARY SEWER AND WATER MAINLINES TREES SHALL NOT BE LOCATED WITHIN EASEMENTS AND WITHIN 15' OF ANY MAINLINE. ANY CONFLICT BETWEEN TREE LOCATIONS AND UTILITIES SHOWN ON PLANS SHALL BE RESOLVED WITH GENERAL CONTRACTOR PRIOR TO PLANTING. ALL ELECTRICAL VAULTS AND TRANSFORMERS SHALL BE KEPT CLEAR FROM PLANT MATERIAL. PER COLORADO SPRINGS UTILITIES GUIDELINES "LANDSCAPING AROUND ELECTRICAL EQUIPMENT". SEE COLORADO SPRINGS UTILITIES CONSTRUCTION STANDARD DRAWINGS 18-302 FOR SPECIFIC CLEARANCE REQUIREMENTS. ALL SHRUBS TO BE LOCATED 3' CLEAR OF ALL FIRE HYDRANTS AT MATURE SIZE.

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