

GENERAL NOTES:

- ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF PUBLIC IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH IN THE LOCAL JURISDICTION MUNICIPAL CODE, TECHNICAL MANUALS, AND APPLICABLE STATE AND FEDERAL REGULATIONS. WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND THE TECHNICAL MANUAL OR ANY APPLICABLE STANDARDS, THE HIGHER QUALITY STANDARD SHALL APPLY. ALL WORK SHALL BE INSPECTED AND APPROVED BY PUBLIC WORKS OR UTILITIES INSPECTOR.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE.
- THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PERTINENT LOCATIONS AND ELEVATIONS, ESPECIALLY AT CONNECTION POINTS AND AT POTENTIAL UTILITY CONFLICTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH THE TOWN/CITY AND ALL UTILITY COMPANIES INVOLVED WITH REGARD TO RELOCATIONS OR ADJUSTMENTS OF EXISTING UTILITIES DURING CONSTRUCTION AND TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION AND WITH A MINIMUM DISRUPTION OF SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL PARTIES AFFECTED BY ANY DISRUPTION OF ANY UTILITY SERVICE.
- THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE APPROVED PLANS, ONE (1) COPY OF THE APPROPRIATE CRITERIA AND SPECIFICATIONS, AND A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB ONSITE AT ALL TIMES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY INCLUDING, BUT NOT LIMITED TO, EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, AND SECURITY.
- IF DURING THE CONSTRUCTION PROCESS CONDITIONS ARE ENCOUNTERED WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT PUBLIC WORKS INSPECTOR IMMEDIATELY.
- ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD UNLESS SPECIFICALLY STATED OTHERWISE.
- THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN IN ACCORDANCE WITH MUTCD TO THE APPROPRIATE RIGHT-OF-WAY AUTHORITY (TOWN/CITY, COUNTY OR STATE) FOR APPROVAL PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN OR AFFECTING THE RIGHT-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY AND ALL TRAFFIC CONTROL DEVICES AS MAY BE REQUIRED BY THE CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS SHOWN ON THESE DRAWINGS OR AS DESIGNATED TO BE PROVIDED, INSTALLED, OR CONSTRUCTED UNLESS SPECIFICALLY NOTED OTHERWISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS AND DIRT TRACKED FROM THE SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT INFORMATION ON A SET OF RECORD DRAWINGS KEPT ON THE CONSTRUCTION SITE AND AVAILABLE TO PUBLIC WORKS INSPECTOR AT ALL TIMES.
- DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING. IF PERTINENT DIMENSIONS ARE NOT SHOWN, CONTACT THE CONSULTANT ENGINEER FOR CLARIFICATION AND ANNOTATE THE DIMENSION ON THE AS-BUILT RECORD DRAWINGS.
- THE CONTRACTOR SHALL COMPLY WITH ALL TERMS AND CONDITIONS OF THE COLORADO PERMIT FOR STORM WATER DISCHARGE (IF APPLICABLE), THE STORM WATER MANAGEMENT PLAN, AND THE EROSION CONTROL PLAN.
- ALL STRUCTURAL EROSION CONTROL MEASURES SHALL BE INSTALLED AT THE LIMITS OF CONSTRUCTION PRIOR TO ANY OTHER EARTH-DISTURBING ACTIVITY. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN GOOD REPAIR BY THE CONTRACTOR UNTIL SUCH TIME AS THE ENTIRE DISTURBED AREA IS STABILIZED WITH HARD SURFACE OR LANDSCAPING.
- THE CONTRACTOR SHALL SEQUENCE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO MINIMIZE POTENTIAL UTILITY CONFLICTS. IN GENERAL, STORM SEWER AND SANITARY SEWER SHOULD BE CONSTRUCTED PRIOR TO INSTALLATION OF THE WATER LINES AND DRY UTILITIES.
- THERE SHALL BE NO SITE CONSTRUCTION ACTIVITIES ON SATURDAYS UNLESS SPECIFICALLY APPROVED BY PUBLIC WORKS INSPECTOR AND NO SITE CONSTRUCTION ACTIVITIES ON SUNDAYS OR HOLIDAYS UNLESS THERE IS PRIOR WRITTEN APPROVAL BY THE PUBLIC WORKS DIRECTOR.
- NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS AND TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS, SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.

BENCHMARK:

ELEVATIONS ARE BASED ON COLORADO SPRINGS UTILITIES FACILITIES INFORMATION SYSTEM (FIMS) "BLT 167", A 2" ALUMINUM CAP IN CONCRETE LOCATED ON AN ELECTRIC TRANSFORMER PAD AT THE SOUTHEAST CORNER OF WOODMEN ROAD AND MERIDIAN ROAD, WITH AN ELEVATION OF 6873.18 (NGVD 29).

BASS OF BEARING:

S 89° 49'00" W BETWEEN SOUTHEAST CORNER, SECTION1, T13S, R65W, SIXTH P.M. AND THE SOUTH ¼ CORNER, SECTION1 T13S, R65W, SIXTH P.M.

LEGAL DESCRIPTION:

LOT 10 , FALCON MARKETPLACE, ACCORDING TO THE PLAT AS RECORDED DECEMBER 23, 2019 AT RECEPTION NO. 219714441, COUNTY OF EL PASO, STATE OF COLORADO.

ENGINEERS CERTIFICATION:

THESE CONSTRUCTION DRAWINGS WERE PREPARED BY ME (OR UNDER MY DIRECT SUPERVISION) IN ACCORDANCE WITH THE REQUIREMENTS OF THE STORM DRAINAGE AND SANITARY CONSTRUCTION DETAILS AND TECHNICAL SPECIFICATIONS AND THE STORM DRAINAGE DESIGN AND TECHNICAL CRITERIA OF THE COUNTY OF EL PASO.

THOMAS PANNELL, P.E.
COLORADO NO. 53615

SITE DEVELOPMENT PLANS FOR SUPER STAR CAR WASH FALCON MARKETPLACE LOT 10

LOCATED IN A PORTION OF THE SE ¼ OF SECTION 1, TOWNSHIP 13 SOUTH,
RANGE 65 WEST OF THE 6TH. P.M.
EL PASO COUNTY, STATE OF COLORADO



VICINITY MAP

SCALE= 1" = 500'

PROPERTY OWNER:

SUPER STAR CAR WASH
1830 N 95TH AVE, SUITE 106
PHOENIX, AZ 85037
CONTACT: TIM VARLEY
PHONE: (801) 651-1748

ENGINEER:

BOWMAN CONSULTING
1526 COLE BLVD, SUITE 100
LAKEWOOD, CO 80401
CONTACT: THOMAS PANNELL, SR. PROJECT MANAGER
PHONE: (303) 801-2900

SURVEYOR:

BOWMAN CONSULTING
1526 COLE BLVD, SUITE 100
LAKEWOOD, CO 80401
CONTACT: BRIAN SOCIA, DIRECTOR OF SURVEY
PHONE: (303) 801-2900

DEVELOPER:

EVERGREEN
2390 EAST CAMELBACK ROAD,
PHOENIX, AZ 85016
CONTACT: KAREN LEVITT ORTIZ, DEVELOPMENT MANAGER
PHONE: (602) 808-8600

ARCHITECT

CAWLEY ARCHITECTS
730 NORTH 52ND STREET, SUITE 203
PHOENIX, AZ 85008
CONTACT: CHRISTOPHER BARTA, SENIOR PROJECT MANAGER
PHONE: (602) 393-5060

COUNTY:

EL PASO COUNTY
2880 INTERNATIONAL CIRCLE, SUITE 110
COLORADO SPRINGS, CO 80910
CONTACT: RYAN HOWSER, PLANNER 1
PHONE: (719) 520-6300

Please remove sheets C2.0 through C4.0 and incorporate as separate GEC plan and add a note page and cover sheet for the GEC plan.

and provide the signature blocks below and the County Engineer's signature block

Sheet List Table	
SHEET NUMBER	SHEET TITLE
C1.0	COVER
C1.1	GENERAL NOTES
C1.2	LOCAL GENERAL NOTES
C2.0	INITIAL EROSION CONTROL PLAN
C2.1	INTEREM EROSION CONTROL PLAN
C2.2	FINAL EROSION CONTROL PLAN
C2.3	EROSION CONTROL DETAILS
C2.4	EROSION CONTROL DETAILS
C2.5	EROSION CONTROL DETAILS
C2.6	EROSION CONTROL DETAILS
C3.0	SITE PLAN
C4.0	GRADING PLAN
C5.0	UTILITY PLAN
C6.0	STORM PLAN & PROFILE
C7.0	SANITARY PLAN AND PROFILE
C8.0	CONSTRUCTION DETAILS
C8.1	CONSTRUCTION DETAILS
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Lq.01	LANDSCAPE PLAN
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Lq.03	LANDSCAPE & IRRIGATION NOTES
DR1.0	ELECTRICAL SITE LIGHTING PLAN
DR2.0	ELECTRICAL SITE PHOTOMETRICS - PRE-CURFEW
DR2.1	ELECTRICAL SITE PHOTOMETRICS - POST-CURFEW
DR3.0	ELECTRICAL SITE PHOTOMETRICS - DETAILS

ENGINEERS STATEMENT:

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.

ENGINEER OF RECORD SIGNATURE

DATE

OWNERS STATEMENT:

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN AND ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

OWNER SIGNATURE

DATE

PCD FILING NO.:
PPR-21-008

Bowman

Phone: (303) 801-2900
www.bowmanconsulting.com

REVISION	DATE	DESCRIPTION	REVISION	DATE	DESCRIPTION
1	07/15/2021	SSCW - FALCON MARKETPLACE - 2ND SDP SUBMITTAL			

COVER

SUPER STAR CAR WASH - FALCON MARKETPLACE LOT 10
SITE DEVELOPMENT PLAN

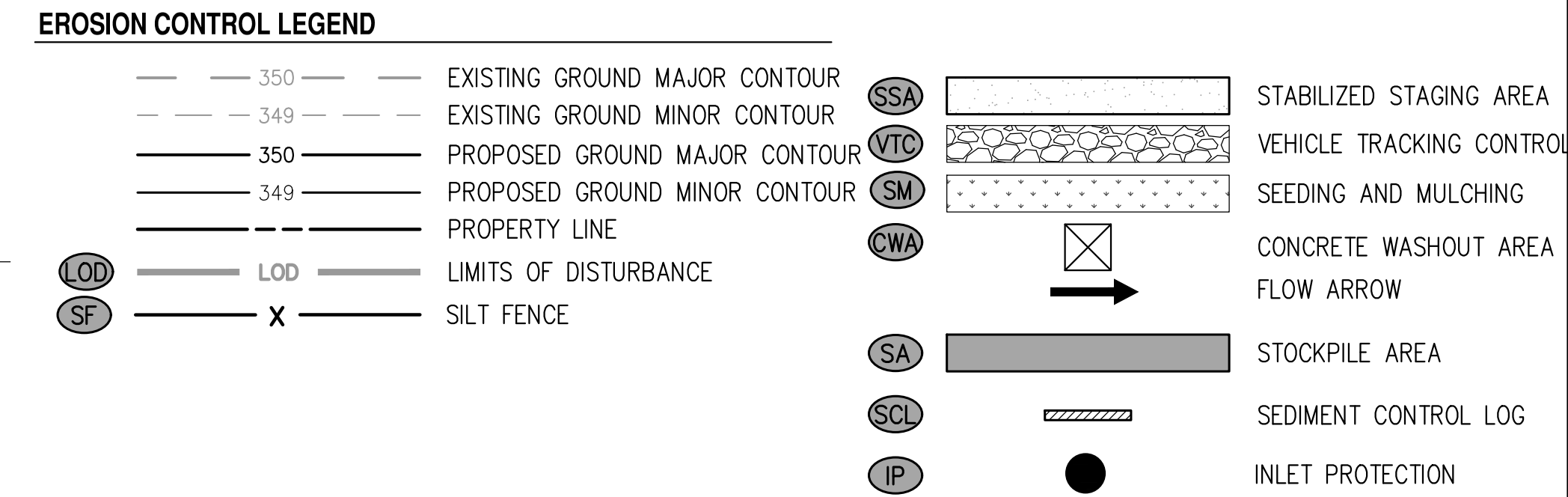
COLORADO

EL PASO COUNTY

SEAL

DESIGN	DRAWN	CHKD
SWK	SWK	TOP
SCALE: H: 1" = XXX' V: 1" = XXX'		
JOB No. 020441-01-001		
DATE : 02/09/2021		
SHEET		
C1.0		

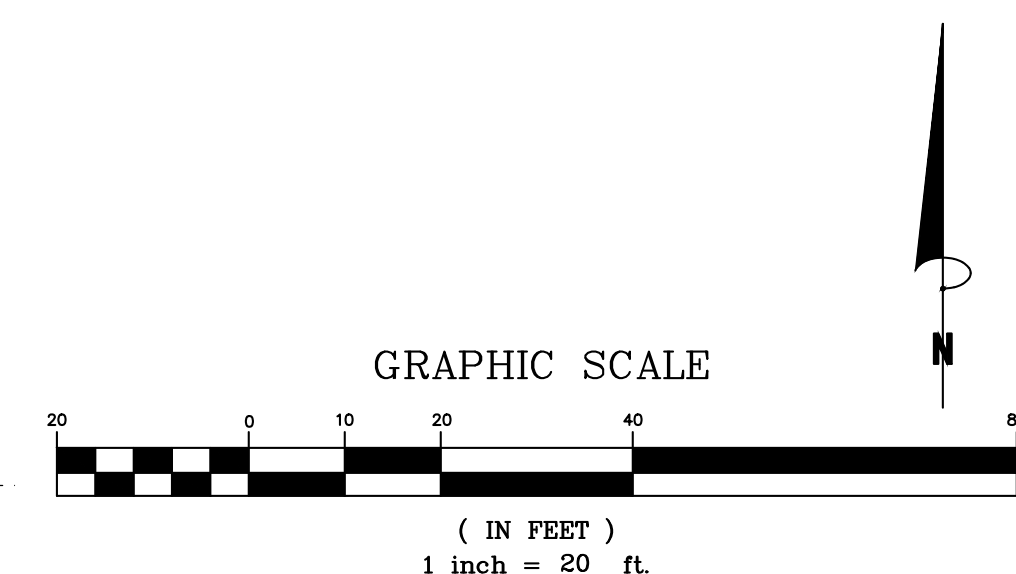
STANDARD NOTES FOR EL PASO COUNTY GRADING AND EROSION CONTROL PLANS		WOODMAN HILLS METROPOLITAN DISTRICT GENERAL NOTES	
<div><div>1. STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFF-SITE WATERS, INCLUDING WETLANDS.</div><div>2. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS TO REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.</div><div>3. A SEPARATE STORMWATER MANAGEMENT PLAN (SWMP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. DURING CONSTRUCTION THE SWMP IS THE RESPONSIBILITY OF THE DESIGNATED QUALIFIED STORMWATER MANAGER OR CERTIFIED EROSION CONTROL INSPECTOR AND SHALL BE LOCATED ON SITE AT ALL TIMES DURING CONSTRUCTION AND SHALL BE KEPT UP TO DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.</div><div>4. ONCE THE ESQCP IS APPROVED AND A NOTICE TO PROCEED HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL MEASURES AS INDICATED ON THE APPROVED GEC. A PRECONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY STAFF.</div><div>5. CONTROL MEASURES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF ACTIVITIES THAT MAY CONTRIBUTE POLLUTANTS TO STORMWATER. TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED IMMEDIATELY UPON COMPLETION OF THE DISTURBANCE.</div><div>6. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REMAIN IN EFFECTIVE OPERATING CONDITION UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND FINAL STABILIZATION IS ESTABLISHED. ALL PERSONS ENGAGED IN LAND DISTURBANCE ACTIVITIES SHALL ASSESS THE ADEQUACY OF CONTROL MEASURES AT THE SITE AND IDENTIFY IF CHANGES TO THOSE CONTROL MEASURES IS NEEDED TO ENSURE THE CONTINUED EFFECTIVE PERFORMANCE OF THE CONTROL MEASURES. ALL CHANGES TO TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES MUST BE INCORPORATED INTO THE STORMWATER MANAGEMENT PLAN PRIOR TO IMPLEMENTATION.</div><div>7. TEMPORARY STABILIZATION SHALL BE IMPLEMENTED ON DISTURBED AREAS AND STOCKPILES WHERE GROUND DISTURBING CONSTRUCTION ACTIVITY HAS PERMANENTLY CEASED OR TEMPORARILY CEASED FOR LONGER THAN 14 DAYS. AN AREA THAT IS GOING TO REMAIN IN AN INTERIM STATE FOR MORE THAN 60 DAYS SHALL ALSO BE STABILIZED.</div><div>8. FINAL STABILIZATION MUST BE IMPLEMENTED AT ALL APPLICABLE CONSTRUCTION SITES. FINAL STABILIZATION IS ACHIEVED WHEN ALL GROUND DISTURBING ACTIVITIES ARE COMPLETE AND ALL DISTURBED AREAS EITHER HAVE A UNIFORM VEGETATIVE COVER WITH INDIVIDUAL PLAN DENSITY OF 70 PERCENT OF PRE-DISTURBANCE LEVELS ESTABLISHED OR EQUIVALENT PERMANENT ALTERNATIVE STABILIZATION METHOD IS IMPLEMENTED. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED UPON FINAL STABILIZATION AND BEFORE PERMIT CLOSURE.</div><div>9. ALL PERMANENT STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AS DEFINED IN THE APPROVED PLANS. ANY PROPOSED CHANGES THAT EFFECT THE HYDROLOGY OR HYDRAULICS OF A PERMANENT STORMWATER MANAGEMENT STRUCTURES MUST BE APPROVED BY THE EGM ADMINISTRATOR PRIOR TO IMPLEMENTATION.</div><div>10. ANY EARTH DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY MINIMIZE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED SOIL OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME. PRE-EXISTING VEGETATION SHALL BE PROTECTED AND MAINTAINED WITHIN 50 HORIZONTAL FEET OF A WATERS OF THE STATE, UNLESS INFEASIBLE.</div><div>11. COMPACTION OF SOIL MUST BE PREVENTED IN AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES OR WHERE FINAL STABILIZATION WILL BE ACHIEVED BY VEGETATIVE COVER. AREAS DESIGNATED FOR INFILTRATION CONTROL SHALL ALSO BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED.</div><div>12. ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE A STABILIZED CONVEYANCE DESIGNED TO MINIMIZE EROSION AND THE DISCHARGE OF SEDIMENT OFF SITE.</div><div>13. CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO RUNOFF TO STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES. CONCRETE WASHOUT SHALL NOT BE LOCATED IN AN AREA WHERE SHALLOW GROUNDWATER MAY BE PRESENT, OR WITHIN 50 FEET OF A SURFACE WATER BODY.</div><div>14. DEWATERING OPERATIONS: UNCONTAMINATED GROUND WATER MAY BE DISCHARGED ON SITE, BUT MAY NOT LEAVE THE SITE IN THE FORM OF SURFACE RUNOFF.</div><div>15. EROSION CONTROL BLANKETING IS TO BE USED ON SLOPES STEEPER THAN 3:1.</div><div>16. BUILDING, CONSTRUCTION, EXCAVATION, OR OTHER WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. BMPs MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.</div><div>17. VEHICLE TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFFSITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.</div><div>18. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.</div><div>19. THE OWNER, SITE DEVELOPER, CONTRACTOR, AND/OR THEIR AUTHORIZED AGENTS SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, AND SAND THAT MAY ACCUMULATE IN THE STORM SEWER OR OTHER DRAINAGE CONVEYANCE SYSTEM AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.</div><div>20. THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.</div><div>21. NO CHEMICALS ARE TO BE USED BY THE CONTRACTOR, WHICH HAVE THE POTENTIAL TO BE RELEASED IN STORMWATER UNLESS PERMISSION FOR THE USE OF A SPECIFIC CHEMICAL IS GRANTED IN WRITING BY THE EGM ADMINISTRATOR. IN GRANTING THE USE OF SUCH CHEMICALS, SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.</div><div>22. BULK STORAGE OF PETROLEUM PRODUCTS OR OTHER LIQUID CHEMICALS IN EXCESS OF 55 GALLONS SHALL HAVE ADEQUATE SECONDARY CONTAINMENT PROTECTION TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.</div><div>23. NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE FLOW LINE OF THE CURB AND GUTTER OR IN THE DITCH FLOW LINE.</div><div>24. INDIVIDUALS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS), AND THE "CLEAN WATER ACT" (33 USC 1344), IN ADDITION TO THE REQUIREMENTS INCLUDED IN THE DCM VOLUME II AND THE EGM APPENDIX I. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (NPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.). IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, OR COUNTY AGENCIES, THE MORE RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.</div><div>25. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.</div><div>26. PRIOR TO ACTUAL CONSTRUCTION THE PERMITEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.</div><div>27. A WATER SOURCE SHALL BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.</div><div>28. THE SOILS REPORT FOR THIS SITE HAS BEEN PREPARED BY COLE GARNER GEOTECHNICAL AND SHALL BE CONSIDERED A PART OF THESE PLANS.</div><div>29. AT LEAST TEN (10) DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB 1 ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT: COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT WATER QUALITY CONTROL DIVISION WOOD - PERMITS 4300 CHERRY CREEK DRIVE SOUTH DENVER, CO 80246-1530 ATTN: PERMITS UNIT</div></div> <div><div>Revise text to match these notes shown on the GEC Checklist.</div></div>		<div>1. ALL UTILITY CONSTRUCTION TO BE CONDUCTED IN CONFORMANCE WITH THE CURRENT WOODMEN HILLS METROPOLITAN DISTRICT (WHMD, THE DISTRICT) SPECIFICATIONS.</div> <div>2. ALL PLANS ON THE JOB SITE SHALL BE SIGNED BY THE DISTRICT AND THE DISTRICT'S ENGINEER. ANY REVISION TO THE PLANS SHALL BE SO NOTED WITH THE OLD DRAWING MARKED NOT VALID.</div> <div>3. ALL STATIONING IS CENTER LINE UNLESS OTHERWISE NOTED. ALL ELEVATIONS ARE CENTER LINE UNLESS OTHERWISE NOTED.</div> <div>4. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE DISTRICT. THE DISTRICT RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.</div> <div>5. ALL OVER-LOT GRADING MUST BE COMPLETED TO WITHIN ONE (1) FOOT OF FINAL GRADE PRIOR TO INSTALLATION OF WATER AND WASTEWATER INFRASTRUCTURE.</div> <div>6. ALL WATER AND SEWER SERVICE LOCATIONS SHALL BE CLEARLY MARKED ON EITHER THE CURB HEAD OR THE FACE OF THE CURB, WITH AN 'S' FOR SEWER AND A 'W' FOR WATER.</div> <div>7. DUCTILE IRON PIPES, INCLUDING FITTINGS, VALVES AND FIRE HYDRANTS, SHALL BE WRAPPED WITH POLYETHYLENE TUBING, DOUBLE BONDED AT EACH JOINT AND ELECTRICALLY ISOLATED. BONDING AND ANODE CONNECTIONS SHALL BE THOROUGHLY COATED WITH BITUMINOUS COATINGS.</div> <div>8. ALL DUCTILE IRON PIPE LESS THAN 12 INCHES AND FITTINGS SHALL HAVE CATHODIC PROTECTION USING TWO NO. 6 WIRES WITH 17 LB. MAGNESIUM ANODES EVERY 400 FEET AND 9 LB. MAGNESIUM ANODES AT EACH FITTING. ALL DUCTILE IRON PIPE 12 INCHES AND GREATER AND FITTINGS SHALL HAVE CATHODIC PROTECTION USING TWO NO. 6 WIRES WITH 17 LB. MAGNESIUM ANODES EVERY 300 FEET AND 9 LB. MAGNESIUM ANODES AT EACH FITTING.</div> <div>9. ALL PIPE MATERIAL, BACKFILL AND INSTALLATION SHALL CONFORM TO THE APPLICABLE SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS, COLORADO DEPARTMENT OF TRANSPORTATION, EL PASO COUNTY DEPARTMENT OF TRANSPORTATION, COLORADO SPRINGS UTILITIES AND THE GEOTECHNICAL ENGINEER.</div> <div>10. COMPACTION TESTS SHALL BE 95% STANDARD PROCTOR AS DETERMINED BY ASTM D698, UNLESS OTHERWISE APPROVED BY THE DISTRICT OR HIGHER STANDARD AS IMPOSED BY ANOTHER AGENCIES HAVING RIGHT-OF-WAY JURISDICTION. THIS SHALL INCLUDE ALL VALVES, FIRE HYDRANT RUNS, WATER & SEWER SERVICE LINES AND MANHOLES. ALL REPORTS SHALL BE SUBMITTED TO THE DISTRICT FOR REVIEW AND APPROVAL.</div> <div>11. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE DRAWINGS ARE APPROXIMATE ONLY. THE LOCATION OF ALL UTILITIES SHALL BE FIELD VERIFIED PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES. THE DISTRICT SHALL BE NOTIFIED OF ANY DEVIATIONS TO THE LINE AND/OR GRADE AS DEPICTED ON THE PLANS. CONTRACTOR SHALL SUBMIT TO THE DISTRICT AND THE ENGINEER OF RECORD A REPORT OF THE FIELD VERIFIED INFORMATION PRIOR TO THE START OF CONSTRUCTION.</div> <div>12. ALL BENDS SHALL BE FIELD STAKED PRIOR TO THE START OF CONSTRUCTION.</div> <div>13. BENDS, DEFLECTION & CUT PIPE LENGTHS SHALL BE USED TO HOLD HORIZONTAL ALIGNMENT OF SEWER AND WATER LINES TO NO MORE THAN 0.5' FROM THE DESIGNED ALIGNMENT. CONSTRUCTION STAKES TO BE AT 25' INTERVALS ALONG CURVES</div> <div>14. TO ASSURE LOCATION OF PIPE LINE CONSTRUCTION.</div> <div>15. AT ALL LOCATIONS WHERE CAP AND STUB IS NOTED ON DRAWINGS, PROVIDE A PLUG AT THE END OF THE PIPE JOINT NEAREST THE SPECIFIED STATION. PROVIDE A REVERSE ANCHOR AT ALL WATER LINE PLUGS.</div> <div>16. ALL UNUSED SALVAGED WATER UTILITY MATERIAL SHALL BE RETURNED TO THE METROPOLITAN DISTRICT AS REQUESTED.</div> <div>17. AT THE CONTRACTOR'S EXPENSE, ALL UTILITY MAINS SHALL BE SUPPORTED AND PROTECTED SUCH THAT THEY SHALL FUNCTION CONTINUOUSLY DURING CONSTRUCTION OPERATIONS. SHOULD A UTILITY MAIN FAIL AS A RESULT OF THE CONTRACTOR'S OPERATION, IT SHALL BE REPLACED IMMEDIATELY BY THE CONTRACTOR OR BY THE DISTRICT AT FULL COST OF LABOR AND MATERIALS TO THE CONTRACTOR/DEVELOPER, PUMPING OR BYPASS OPERATIONS SHALL BE REVIEWED AND APPROVED BY BOTH THE DISTRICT AND THE DISTRICT ENGINEER PRIOR TO EXECUTION.</div> <div>18. THE CONTRACTOR SHALL REPLACE OR REPAIR DAMAGE TO ALL SURFACE IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO FENCES, LANDSCAPING, CURB AND GUTTER AND/OR ASPHALT THAT MAY BE CAUSED DURING CONSTRUCTION.</div> <div>19. ALL CONTRACTORS WORKING ON OR NEAR A WATER OR SEWER FACILITY (TO INCLUDE SERVICE LINES) SHALL HAVE LIABILITY INSURANCE NAMING THE DISTRICT AS AN ADDITIONAL INSURED AND SHALL PROVIDE A CURRENT COPY OF WORKERS COMPENSATION INSURANCE ON FILE WITH THE DISTRICT. NO WORK CAN PROCEED WITHOUT CURRENT CERTIFICATES ON FILE AT THE DISTRICT'S OFFICE.</div> <div>20. THE CONTRACTOR SHALL NOTIFY THE DISTRICT AND ALL AFFECTED UTILITY COMPANIES ADJACENT TO THE PROPOSED UTILITY CONSTRUCTION A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO THE START OF CONSTRUCTION. A WEEKLY CONSTRUCTION MEETING SHALL BE REQUIRED WITH THE CONTRACTOR, DISTRICT ENGINEER AND ALL OTHER PARTIES AS DEEMED NECESSARY BY THE DISTRICT.</div> <div>21. COMMENCEMENT OF CONSTRUCTION OF WATER/SEWER SYSTEMS WITHIN METROPOLITAN DISTRICT: A) PRIOR TO THE START OF CONSTRUCTION, A PRE-CONSTRUCTION MEETING IS REQUIRED A MINIMUM OF 48 HOURS IN ADVANCE OF COMMENCEMENT OF WORK. A REPRESENTATIVE OF THE OWNER OR DEVELOPER, A REPRESENTATIVE OF THE CONTRACTOR AND DESIGN ENGINEER ARE REQUIRED TO ATTEND. CONTACT THE DISTRICT TO SCHEDULE THE PRE-CONSTRUCTION MEETING. NO PRE-CONSTRUCTION MEETING CAN BE SCHEDULED PRIOR TO FOUR (4) SIGNED/APPROVED PLAN SETS ARE RECEIVED BY THE DISTRICT. B) THE CONTRACTOR IS REQUIRED TO NOTIFY THE DISTRICT A MINIMUM OF 48 HOURS AND A MAXIMUM OF 2 WEEKS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO NOTIFY AFFECTED UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION ADJACENT TO THE KNOWN UTILITY LINES.</div> <div>22. TESTING OF FACILITIES: A) THE CONTRACTOR SHALL NOTIFY THE DISTRICT A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO THE START OF ANY TESTING. B) ALL SECTIONS OF WATER LINE ARE TO MEET THE FOLLOWING PRESSURE TESTING REQUIREMENTS • TEST 100 % OF ALL LINES • MUST PASS PRESSURE TEST TO 200 PSI FOR TWO HOURS (UNLESS OTHERWISE APPROVED ON THE PLANS). C) ALL SANITARY SEWER LINES ARE TO MEET THE FOLLOWING TESTING REQUIREMENTS • ALL LINES SHALL BE JET CLEANED PRIOR TO VACUUM OR PRESSURE TESTING • ALL MANHOLES SHALL BE VACUUM TESTED WITH DISTRICT STAFF PRESENT PRIOR TO CCTV INSPECTION. • SEWER MAINS TO BE PRESSURE TEST PRIOR TO CCTV INSPECTION • ALL LINES SHALL BE CCTV INSPECTED AND VIDEO SHALL TO BE SUBMITTED TO THE DISTRICT FOR REVIEW AND APPROVAL.</div> <div>23. PRELIMINARY ACCEPTANCE SHALL BE DEFINED AS THE POINT IN TIME THAT THE DISTRICT ACCEPTS THE FACILITY FOR USE. ALL SURFACE IMPROVEMENTS AND RESTORATION SHALL BE COMPLETED WITHIN 30 DAYS OF COMMENCEMENT. SHOULD THE CONTRACTOR FAIL TO COMPLETE ALL SURFACE IMPROVEMENTS AND RESTORATION WITHIN 30 DAYS OF COMMENCEMENT OF SERVICE, THE DISTRICT, AT THEIR DISCRETION, MAY ELECT TO COMPLETE THE IMPROVEMENTS AT THE CONTRACTORS COST.</div> <div>24. FINAL ACCEPTANCE BY THE DISTRICT OF ANY LINE OR SYSTEM SHALL NOT OCCUR UNTIL COMPLETION OF FINAL ASPHALT LAYERS AND/OR FINAL COMPLETION AND/OR RESTORATION OF ALL SURFACE IMPROVEMENTS. THE WARRANTY PERIOD FOR ALL FACILITIES PRIOR TO FINAL ACCEPTANCE SHALL BE 24 MONTHS COMMENCING AFTER PRELIMINARY ACCEPTANCE.</div> <div>25. ACCEPTANCE: A) THE DISTRICT MAY GIVE PRELIMINARY ACCEPTANCE ONCE ALL OF THE TESTS ON ALL THE LINES HAVE BEEN COMPLETED AND A WALK-THRU HAS OCCURRED. B) A SECOND ACCEPTANCE MAY OCCUR ONCE FIRST LIFT OF ASPHALT GOES DOWN AND A SECOND WALK-THRU OF THE SYSTEM OCCURS. IF ALL FACILITIES ARE CLEAN AND ACCESSIBLE, A FINAL ACCEPTANCE MAY OCCUR (THE DISTRICT MAY REQUIRE CLEANING AND RE-VIDEO OF THE SYSTEM, DEPENDING ON THE SEVERITY OF THE CONTAMINATION).</div> <div>26. ALL WATER AND SEWER MAINS, INCLUDING SERVICE LINES, SHALL HAVE "AS-BUILT" DRAWINGS PREPARED AND APPROVED PRIOR TO PRELIMINARY ACCEPTANCE BY THE DISTRICT.</div> <div>27. ALL COMMERCIAL/BUSINESS DEVELOPMENTS SHALL HAVE AN EIGHT INCH (MIN.) WATER MAIN LOOPED THROUGH THE PROPOSED PROPERTY WITH GATE VALVES LOCATED WHERE THE MAIN ENTERS THE PROPERTY LINE. AN EIGHT INCH SEWER MAIN SHALL BE INSTALLED FOR SERVICE TO COMMERCIAL/BUSINESS DEVELOPMENTS, AND A MANHOLE SHALL BE LOCATED WHERE THE MAIN ENTERS THE PROPERTY. THE END OF THE MAINS SHALL BE MARKED WITH THE APPROPRIATE COLORED CARSONITE MARKER ALONG WITH TRACER WIRE.</div> <div>28. AFTER REVIEW AND APPROVAL OF PLANS FOR THE EXTENSION OF LINES, FACILITIES AND/OR SERVICES, CONSTRUCTION MUST BE COMMENCED WITHIN 18 MONTHS FOR RESIDENTIAL SUBDIVISIONS AND 12 MONTHS FOR ANY COMMERCIAL INSTALLATIONS.</div> <div>29. INSPECTION FEES: CALL THE DISTRICT (719-495-2500) FOR FEE SCHEDULE.</div>	
LOCAL GENERAL NOTES		SEAL	
SUPER STAR CAR WASH - FALCON MARKETPLACE LOT 10 SITE DEVELOPMENT PLAN		EL PASO COUNTY	
DESIGN SWK		CHKD TOP	
SCALE		H: 1" = XXX' V: 1" = XXX'	
JOB No.		020441-01-001	
DATE		02/09/2021	
SHEET		C1.2	

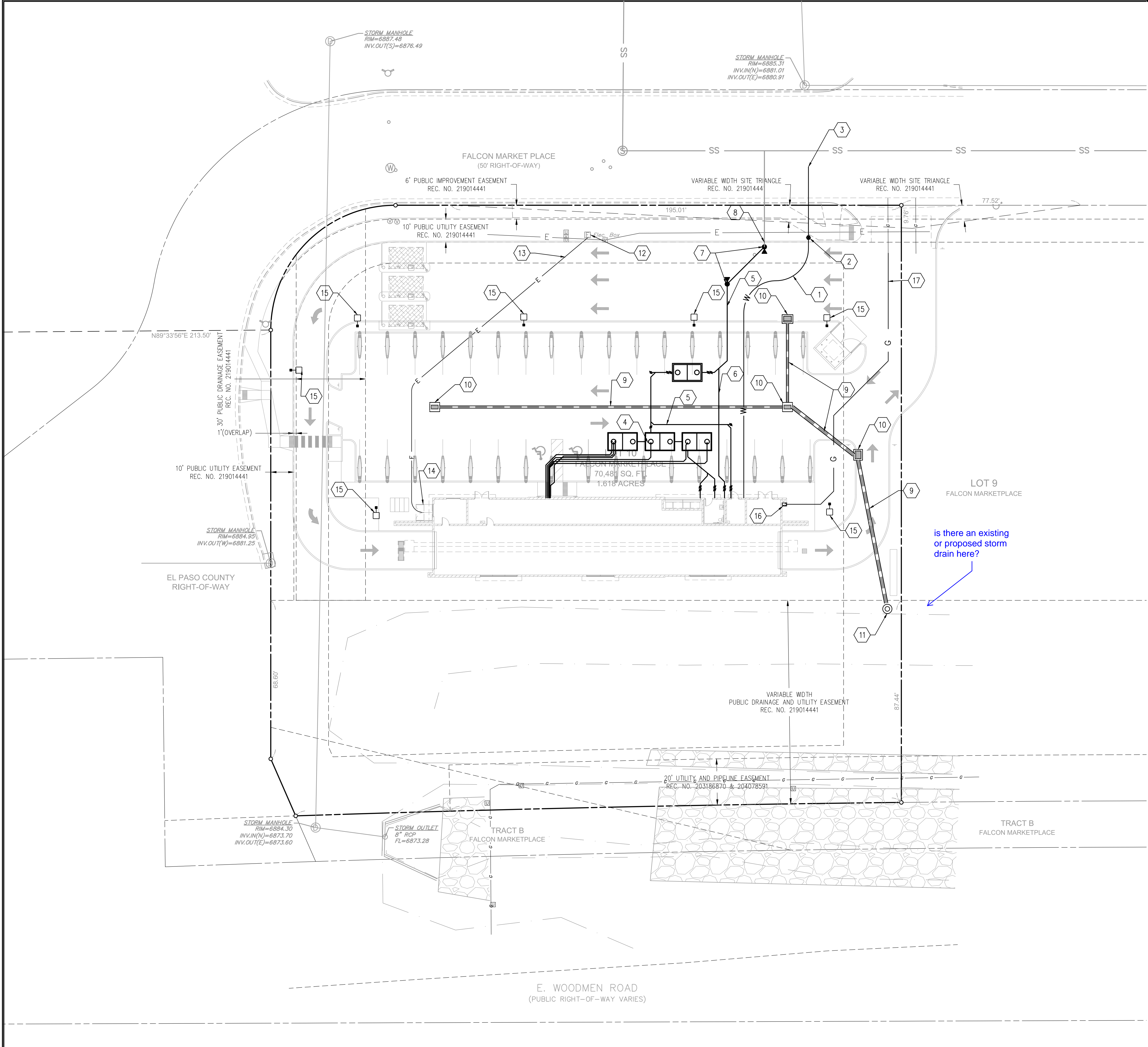


CUT/FILL NOTES:

1. THE SITE IS MOSTLY FILL WITH SMALL AREAS OF CUT ALONG THE NORTH/NORTHWEST PORTIONS OF THE SITE.

- NOTES:
1. SOIL TRACKED OFF-SITE BY CONSTRUCTION VEHICLES SHALL BE REMOVED FROM THE PAVEMENTS AS DEEMED NECESSARY BY THE MUNICIPAL ENGINEER AND SHALL BE RETURNED TO THE SITE OR DISPOSED OF IN AN APPROVED MANNER.
 2. CONTRACTOR SHALL CLEAN ANY SEDIMENT THAT COLLECTS IN CHANNEL AND INLETS OR IS DEPOSITED ON-SITE PRIOR TO REMOVAL OF EROSION CONTROL MEASURES.
 3. EROSION CONTROL DEVICES ARE SHOWN AS THE MINIMUM PROTECTION REQUIREMENTS. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL THE SITE IS PERMANENTLY STABILIZED. THE CONTRACTOR IS REQUIRED TO INSTALL ADDITIONAL DEVICES FOR PROTECTION AT HIS EXPENSE TO MINIMIZE EROSION PER LOCAL REQUIREMENTS.
 4. ANY TEMPORARY STOCKPILE OF SOIL PLACES BY THE CONTRACTOR SHALL BE STABILIZED AND PROTECTED FROM EROSION. SOIL STOCKPILES SHALL NOT EXCEED 10 FEET IN HEIGHT.
 5. ALL EROSION CONTROL STRUCTURES SHALL BE INSPECTED AND MAINTAINED AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS OF A SIGNIFICANT RAINFALL. RECORDS OF THESE INSPECTIONS AND CORRECTIVE ACTIONS TAKEN SHALL BE MAINTAINED ON FILE IN THE CONSTRUCTION OFFICE.
 6. CONTRACTOR SHALL PREVENT SEDIMENT FROM LEAVING THE SITE.
 7. CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL ORDINANCES.
 8. INSTALL ADDITION CONTROL MEASURES IF DEEMED NECESSARY BY ON SITE INSPECTION.
 9. CONTRACTOR SHALL ESTABLISH PERMANENT SOIL STABILIZATION.
 10. SOIL STOCKPILES GREATER THAN 10 CUBIC YARDS MUST BE LOCATED AT LEAST 25' FROM ROADWAYS, DRAINAGE CHANNELS, WETLANDS, ETC.
 11. SITE IS CURRENTLY STRIPPED WITH NO EXISTING VEGETATION ACROSS THE ENTIRE SITE.
 12. LIMITS OF DISTURBANCE IS THE SAME AS THE LIMITS OF CONSTRUCTION.



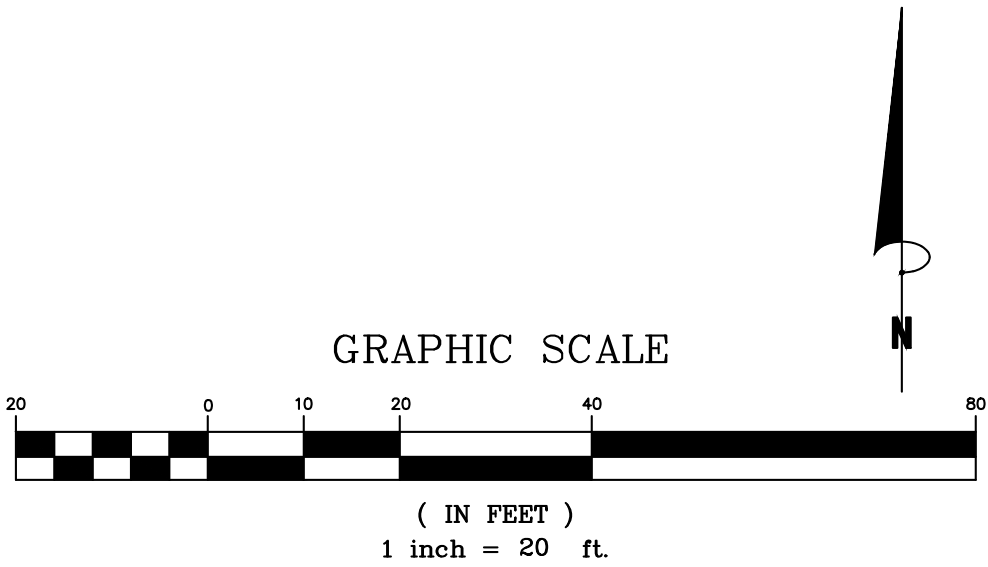


LEGEND		
EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY LINE	---
---	ADJACENT PROPERTY LINE	---
---	LOT LINE	---
---	RIGHT OF WAY	---
---	FENCE LINE	---
---	EASEMENT	---
---	VERTICAL CURB AND GUTTER	---
---	CONCRETE SIDEWALK	---
W	WATER LINE	W
M	WATER METER	M
V	WATER VALVE	V
F	FIRE HYDRANT	F
SS	SANITARY LINE	SS
S	SANITARY MANHOLE	S
SC	SANITARY CLEANOUT	SC
SP	STORM SEWER PIPE	SP
SM	STORM SEWER MANHOLE	SM
SI	STORM SEWER INLET	SI
SFE	STORM SEWER FLARED END SECTION	SFE
SH	STORM SEWER HEADWALL	SH
UE	UNDERGROUND ELECTRIC	UE
T	TELECOM SERVICE	T
NG	NATURAL GAS SERVICE	NG

KEY NOTES

- 1 PROPOSED 2 1/2" TYPE K COPPER DOMESTIC WATER SERVICE (SEE DETAIL ON SHEET C8.2)
- 2 PROPOSED 2" WATER METER
- 3 PROPOSED CONNECTION TO WATERMAIN
- 4 PROPOSED WATER RECLAMATION SYSTEM
- 5 PROPOSED 6" PVC SANITARY SEWER
- 6 PROPOSED 4" PVC SANITARY SEWER
- 7 PROPOSED SANITARY SEWER CLEANOUT (SEE DETAIL ON SHEET C8.3)
- 8 PROPOSED SANITARY CONNECTION TO LATERAL
- 9 PROPOSED HP STORM PIPE
- 10 PROPOSED STORM INLET
- 11 PROPOSED STORM MANHOLE
- 12 TRANSFORMER BY OTHERS
- 13 PROPOSED ELECTRIC SECONDARY
- 14 PROPOSED SERVICE ENTRANCE SECTION (SEE ARCHITECTURAL PLANS)
- 15 PROPOSED SITE LIGHT
- 16 PROPOSED GAS METER
- 17 PROPOSED GAS SERVICE

- NOTES:
1. CONTRACTOR TO FIELD VERIFY LOCATION OF ALL EXISTING UTILITIES
 2. WATER TO BE INSTALLED MINIMUM OF 5.5' BELOW FINAL GRADE
 3. WATER TO BE 2" BETWEEN MAIN AND WATER METER, UPSIZE TO 2.5" BETWEEN WATER METER AND BUILDING.
 4. ALL WATER SERVICE SHALL BE AWWA C900 OR EQUAL
 5. SANITARY SEWER SHALL BE INSTALLED A MINIMUM OF 5.5' BELOW FINAL GRADE
 6. ALL SANITARY SHALL BE SDR-35 OR EQUAL
 7. SEE MEP PLANS FOR SEWER DESIGN AT BUILDING, SAND & OIL SEPARATOR, AND WATER RECLAMATION SYSTEM



Bowman
Phone: (303) 801-2900
www.bowmanconsulting.com

REVISIONS	DATE	DESCRIPTION
1	10/15/2021	SSCW - FALCON MARKETPLACE - 2ND SDP SUBMITTAL

DESIGN	DRAWN	CHKD
SWK	SWK	TOP

SCALE: H: 1" = 20'
V: 1" = XXX'

JOB No. 020441-01-001

DATE: 02/09/2021

SHEET C5.0

UTILITY PLAN

SUPER STAR CAR WASH - FALCON MARKETPLACE LOT 10
SITE DEVELOPMENT PLAN

COLORADO

EL PASO COUNTY

NOT FOR CONSTRUCTION

811

Know what's below.
Call before you dig.

