

THE VILLAS AT CLAREMONT RANCH

CONSTRUCTION DRAWINGS

STREET IMPROVEMENTS PLANS

EL PASO COUNTY, COLORADO

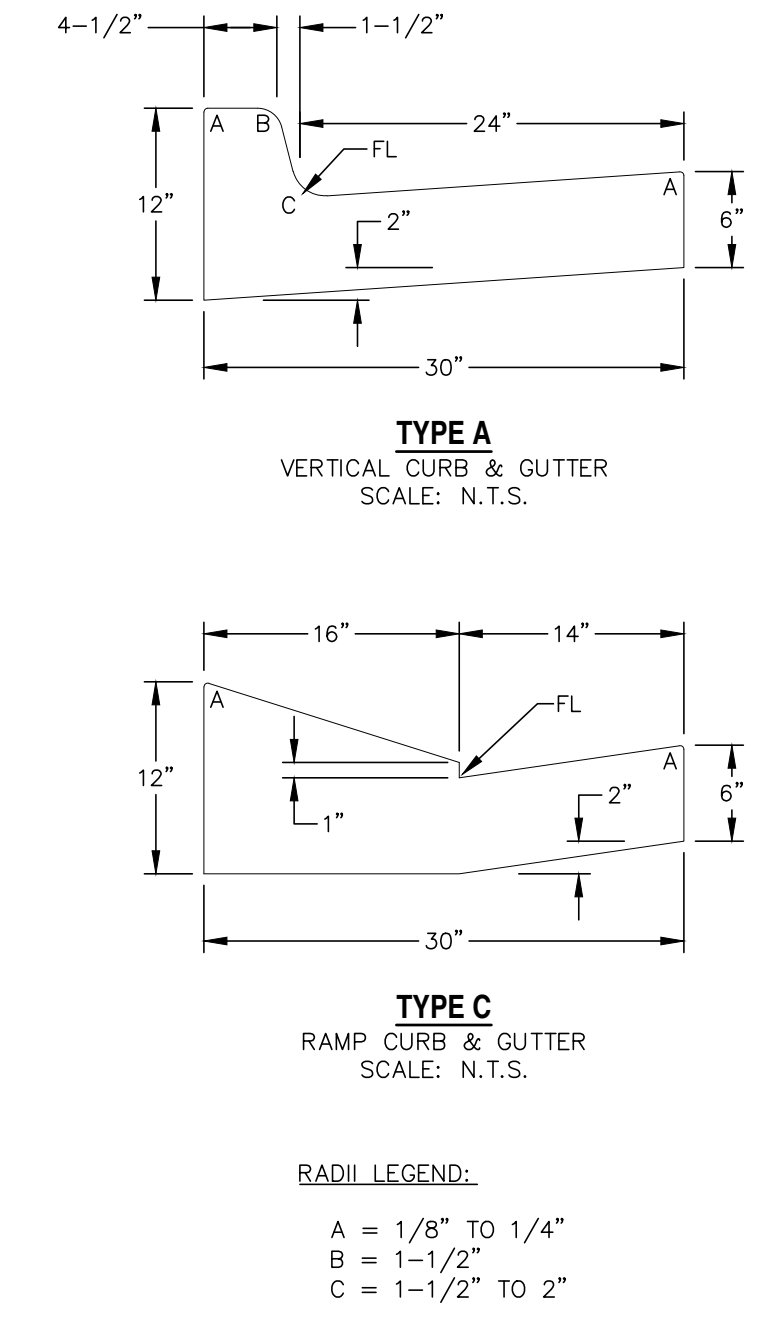
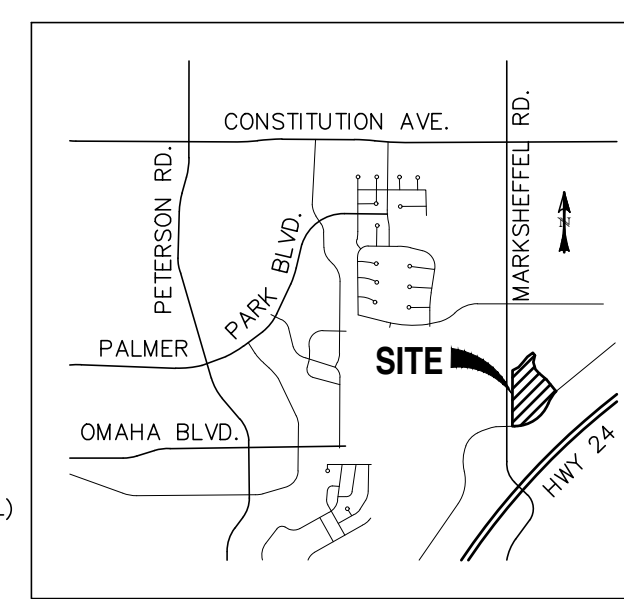
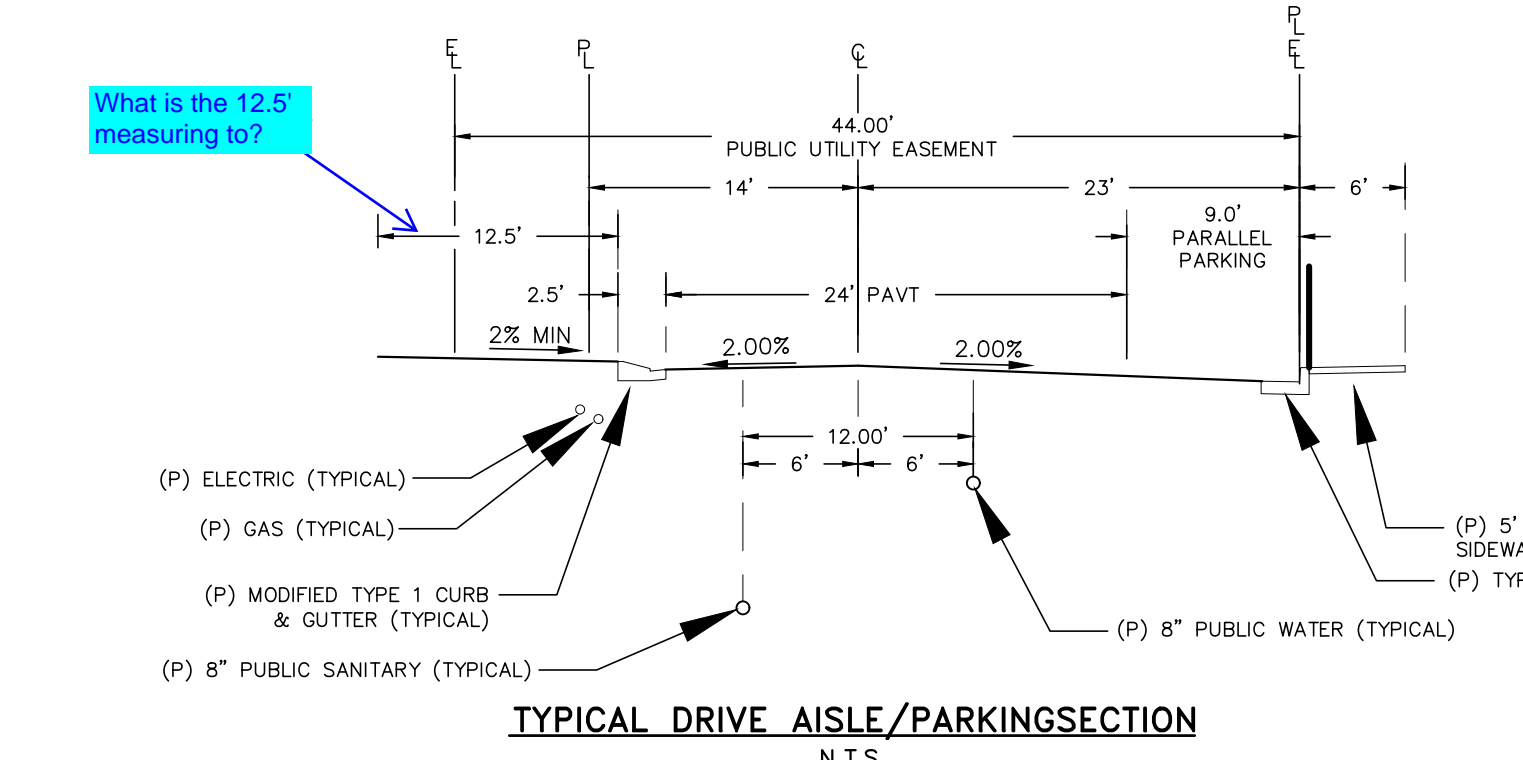
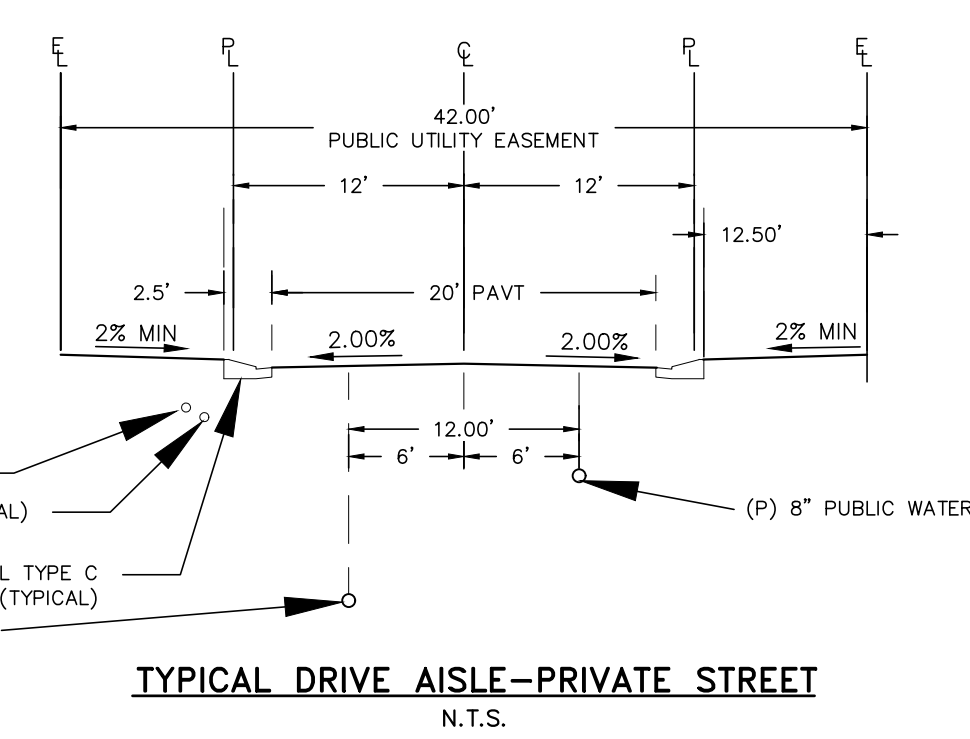
STANDARD CONSTRUCTION NOTES:

- ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD LOCATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
- CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
 - EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
 - CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
 - COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
 - CDOT M & S STANDARDS
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY DEVELOPMENT SERVICES DEPARTMENT (DSD) - INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOORPLAN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
- CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND DSD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
- ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY DSD.
- CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY DSD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
- SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DOT AND MUTCD CRITERIA.
- CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DOT, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
- THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.

GRADING NOTES:

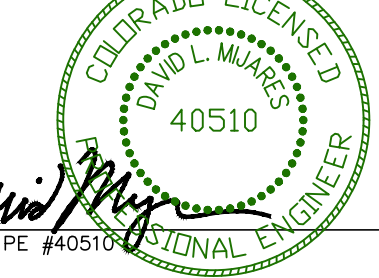
- CONSTRUCTION MAY NOT COMMENCE UNTIL A CONSTRUCTION PERMIT IS OBTAINED FROM DEVELOPMENT SERVICES AND A PRECONSTRUCTION CONFERENCE IS HELD WITH DEVELOPMENT SERVICES INSPECTIONS.
- STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFF SITE WATERS, INCLUDING WETLANDS.
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.
- A SEPARATE STORMWATER MANAGEMENT PLAN (SWMP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. DURING CONSTRUCTION THE SWMP IS THE RESPONSIBILITY OF THE DESIGNATED STORMWATER MANAGER SHALL BE LOCATED ON SITE AT ALL TIMES AND SHALL BE KEPT UP TO DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.
- ONCE THE ESQCP HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL BMP'S AS INDICATED ON THE GEC. A PRECONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY DSD INSPECTIONS STAFF.
- SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 21 CALENDAR DAYS AFTER FINAL GRADING, OR FINAL EARTH DISTURBANCE, HAS BEEN COMPLETED. DISTURBED AREAS AND STOCKPILES WHICH ARE NOT AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN 30 DAYS SHALL ALSO BE MULCHED WITHIN 21 DAYS AFTER INTERIM GRADING. AN AREA THAT IS GOING TO REMAIN IN AN INTERIM STATE FOR MORE THAN 60 DAYS SHALL ALSO BE SEEDED. ALL TEMPORARY SOIL EROSION CONTROL MEASURES AND BMP'S SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND ESTABLISHED.
- TEMPORARY SOIL EROSION CONTROL FACILITIES SHALL BE REMOVED AND EARTH DISTURBANCE AREAS GRADED AND STABILIZED WITH PERMANENT SOIL EROSION CONTROL MEASURES PURSUANT TO STANDARDS AND SPECIFICATION PRESCRIBED IN THE DCM VOLUME II AND THE ENGINEERING CRITERIA MANUAL (ECM) APPENDIX I.
- ALL PERSONS ENGAGED IN EARTH DISTURBANCE SHALL IMPLEMENT AND MAINTAIN ACCEPTABLE SOIL EROSION AND SEDIMENT CONTROL MEASURES INCLUDING BMP'S IN CONFORMANCE WITH THE EROSION CONTROL TECHNICAL STANDARDS OF THE DRAINAGE CRITERIA MANUAL (DCM) VOLUME II AND IN ACCORDANCE WITH THE STORMWATER MANAGEMENT PLAN (SWMP).
- ALL TEMPORARY EROSION CONTROL FACILITIES INCLUDING BMP'S AND ALL PERMANENT FACILITIES INTENDED TO CONTROL EROSION OF ANY EARTH DISTURBANCE OPERATIONS, SHALL BE INSTALLED AS DEFINED IN THE APPROVED PLANS, THE SWMP AND THE DCM VOLUME II AND MAINTAINED THROUGHOUT THE DURATION OF THE EARTH DISTURBANCE OPERATION.
- ANY EARTH DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY REDUCE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME.
- ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE DESIGNED TO LIMIT THE DISCHARGE TO A NON-EROSIVE VELOCITY.
- CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO RUNOFF TO STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
- EROSION CONTROL BLANKETING SHALL BE USED ON SLOPES STEEPER THAN 3:1.
- BUILDING, CONSTRUCTION, EXCAVATION, OR OTHER WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. BMP'S MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.
- VEHICLE TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFFSITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- THE OWNER, SITE DEVELOPER, CONTRACTOR, AND/OR THEIR AUTHORIZED AGENTS SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, AND SAND THAT MAY ACCUMULATE IN THE STORM SEWER OR OTHER DRAINAGE CONVEYANCE SYSTEM AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
- THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.
- NO CHEMICALS ARE TO BE USED BY THE CONTRACTOR, WHICH HAVE THE POTENTIAL TO BE RELEASED IN STORMWATER UNLESS PERMISSION FOR THE USE OF A SPECIFIC CHEMICAL IS GRANTED IN WRITING BY THE ECM ADMINISTRATOR. IN GRANTING THE USE OF SUCH CHEMICALS, SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
- BULK STORAGE STRUCTURES FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE ADEQUATE PROTECTION SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
- NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE FLOW LINE OF THE CURB AND GUTTER OR IN THE DITCHLINE.
- INDIVIDUALS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS), AND THE "CLEAN WATER ACT" (33 USC 1344), IN ADDITION TO THE REQUIREMENTS INCLUDED IN THE DCM VOLUME II AND THE ECM APPENDIX I. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (NPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.). IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, OR COUNTY AGENCIES, THE MORE RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- PRIOR TO ACTUAL CONSTRUCTION THE PERMITEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.
- A WATER SOURCE SHALL BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
- THE SOILS REPORT FOR THIS SITE HAS BEEN PREPARED BY ENTECH ENGINEERING AND SHALL BE CONSIDERED A PART OF THESE PLANS.
- AT LEAST TEN DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB 1 ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:

COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT
 WATER QUALITY CONTROL DIVISION
 WQCD PERMITS
 4300 CHERRY CREEK DRIVE SOUTH
 DENVER, CO 80246-1530
 ATTN: PERMITS UNIT



CONSTRUCTION PLANS AND SPECIFICATIONS ENGINEERS STATEMENT:

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.



DAVID L. MJARES, COLORADO PE #40510
 12/09/22
 DATE

OWNER STATEMENT:

I, PAUL BROUSSARD, HAVE READ AND WILL COMPLY WITH ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

NAME, TITLE: _____
 BUSINESS NAME: PHI REAL ESTATE SERVICES, LLC
 ADDRESS: 200 W. CITY CENTER DRIVE, SUITE 200
 PUEBLO, CO 81003

EL PASO COUNTY APPROVAL:

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

JOSH PALMER, P.E. COUNTY ENGINEER / EMC ADMINISTRATOR
 DATE

SHEET INDEX:

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SF-22-028

REV.	DESCRIPTION	DATE

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BENCHMARK
 FIMS MONUMENT SROB: A 2 INCH DIA. ALUM. FIMS CAP STAMPED "CSU FIMS CONTROL SROB" ON THE NORTHEAST CORNER OF THE CONCRETE BASE OF THE ELECTRIC VAULT NUMBER 04810 ON THE WEST SIDE OF PETERSON ROAD, ABOUT 110 FEET NORTH OF THE NORTH CURB OF CONSTITUTION AVENUE.
 ELEVATION: 6522.67

BASIS OF BEARINGS
 THE WESTERN BOUNDARY OF VILLAS AT CLAREMONT.
 HAVING AN ASSUMED BEARING OF: N 00°07'45" E

CATAMOUNT ENGINEERING
 221 W. HENRIETTA AVE
 PO BOX 221
 WOOLAND PARK, CO 80086
 (719) 425-2124

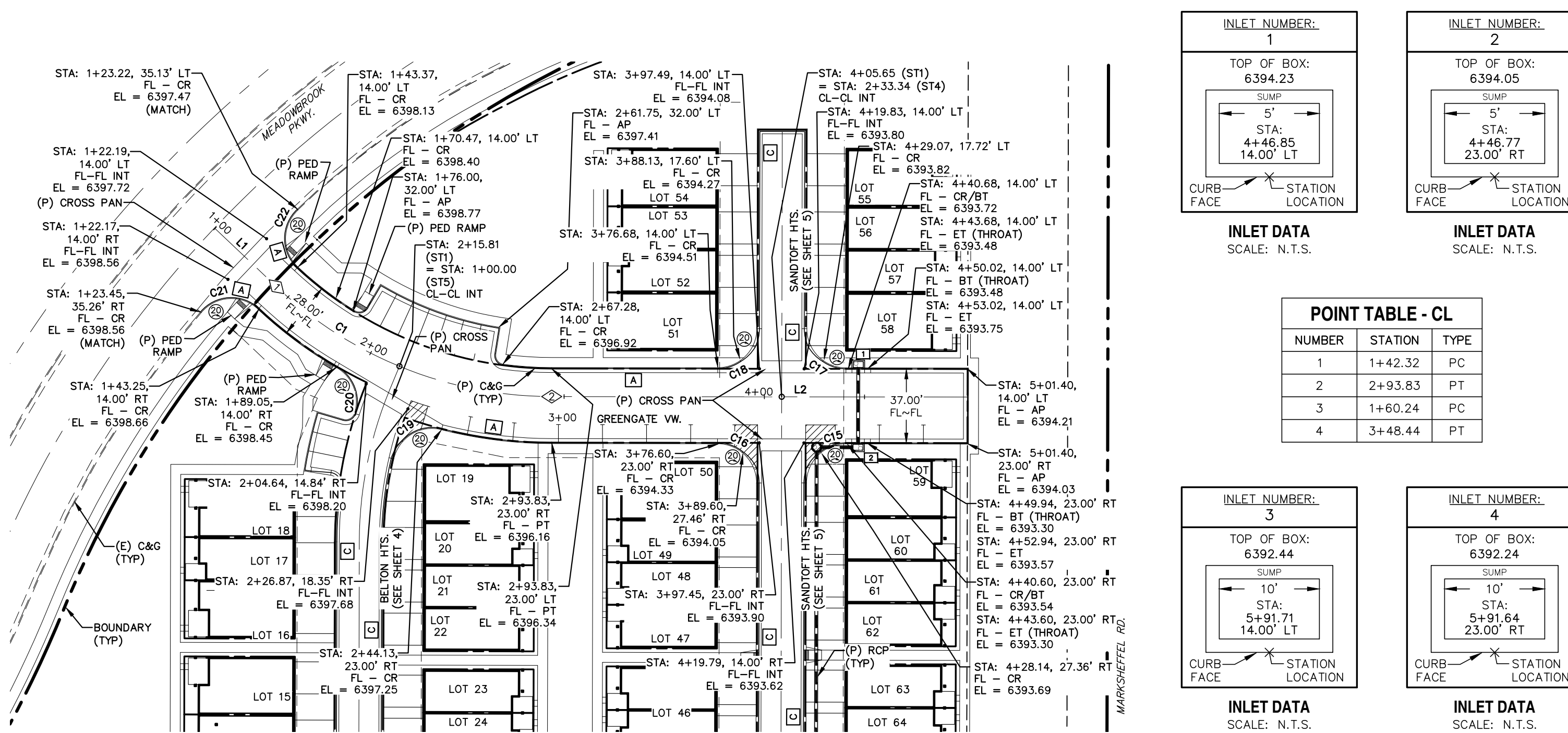
THE VILLAS AT CLAREMONT RANCH

DESIGNED BY: MGP
 DRAWN BY: MGP

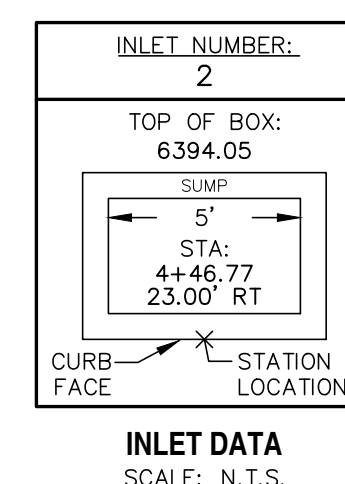
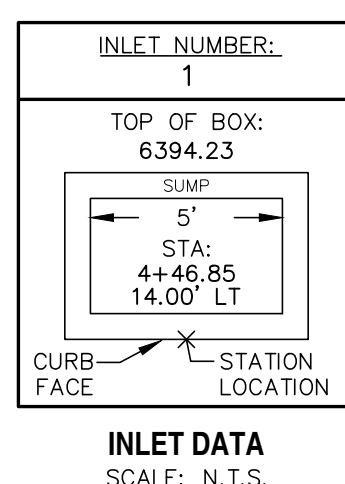
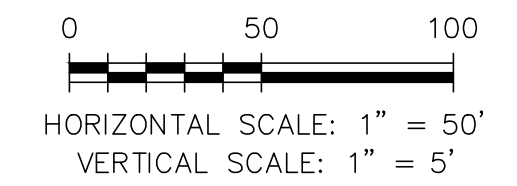
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 DATE: 01/17/20

CONSTRUCTION DRAWINGS STREET IMPROVEMENT PLANS

JOB NUMBER: 16-102
 SHEET: 1 OF 6

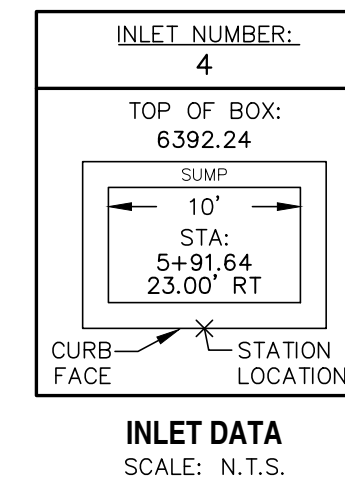
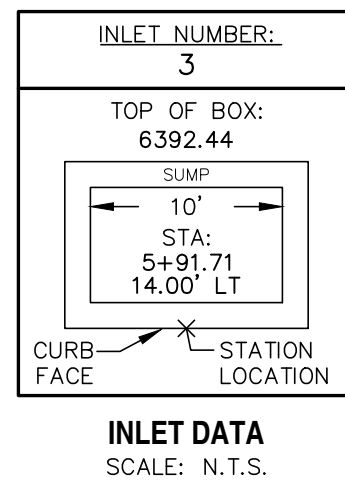


GREENGATE VIEW
STA: 1+00 ~ 4+25



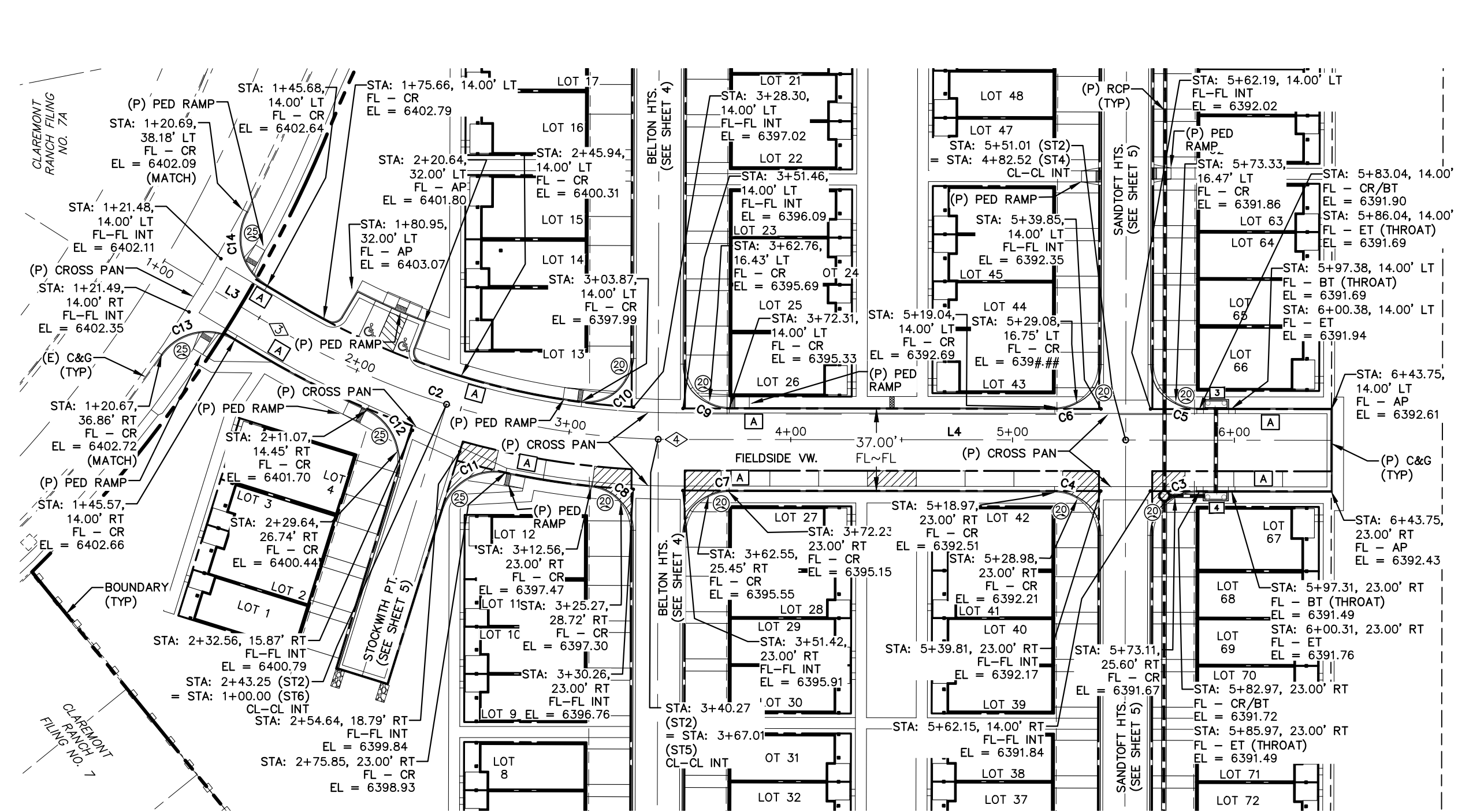
POINT TABLE - CL

NUMBER	STATION	TYPE
1	1+42.32	PC
2	2+93.83	PT
3	1+60.24	PC
4	3+48.44	PT



LINE TABLE

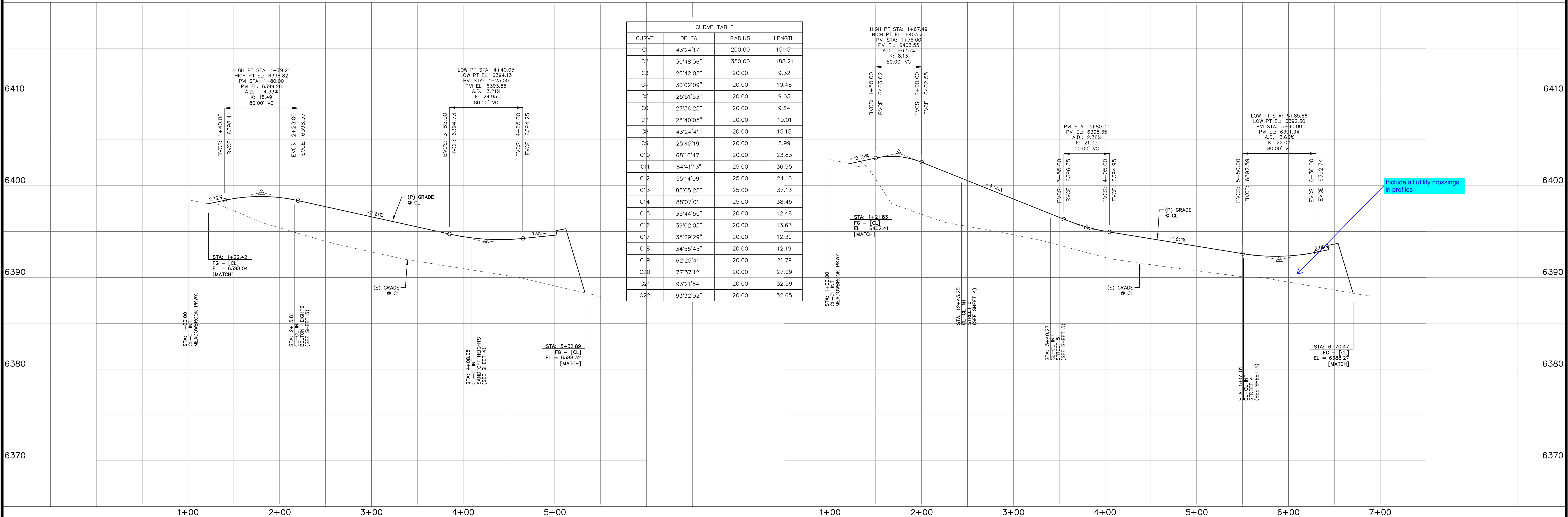
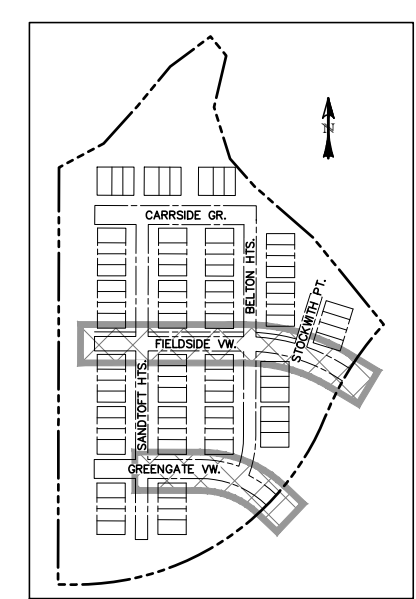
LINE	BEARING	DISTANCE
L1	N46° 31' 48.42"W	42.32
L2	N89° 56' 05.49"W	207.57



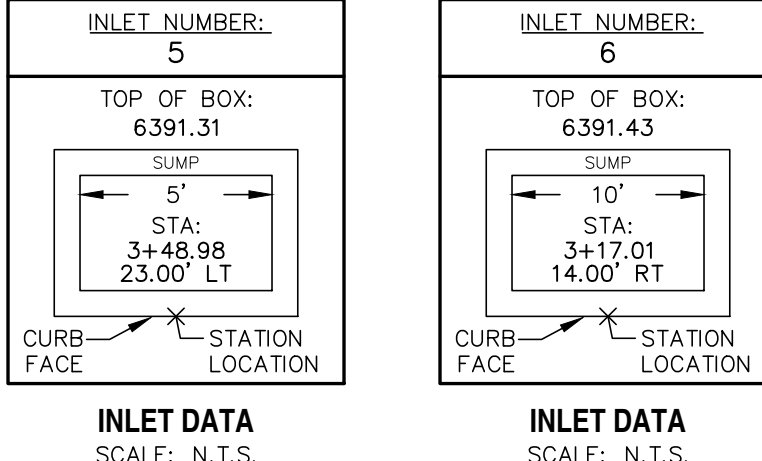
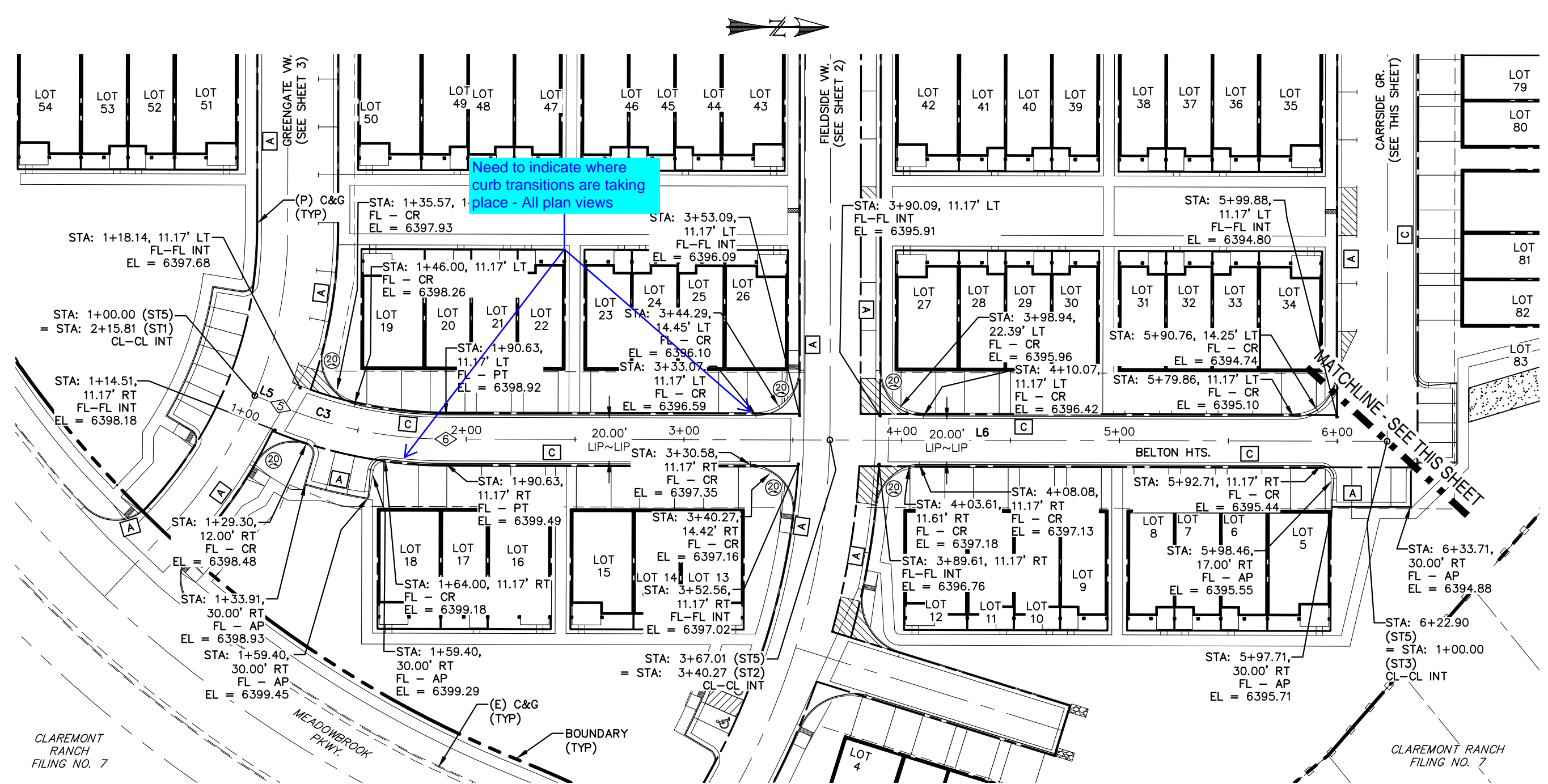
FIELDSIDE VIEW
STA: 1+00 ~ 6+60

LINE TABLE

LINE	BEARING	DISTANCE
L3	N59° 07' 05.87"W	60.24
L4	N89° 55' 41.63"W	295.30



REV.	DESCRIPTION	DATE	ALIGNMENT / STREET NAME ABBREVIATIONS: = S11 = S12 = S13 = S14 = S15 = S16	PREPARED FOR: PHI REAL ESTATE SERVICES 200 W CITY CENTER DR #200 PUEBLO CO 81003	PREPARED UNDER THE DIRECT SUPERVISION FOR AND BEHALF OF: DAVID L. MUJARES, PE #40510	CATAMOUNT ENGINEERING 211 W. HEIRRETTA AVE WOODLAND PARK, CO 80866 (719)425-2124	THE VILLAS AT CLAREMONT RANCH STREET IMPROVEMENT PLAN & PROFILE	DRAWN BY: MGP SCALE: 1" = 50' JOB NUMBER: 16-102 DATE: 01/17/20 SHEET: 2 OF 6
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POINT TABLE - CL

NUMBER	STATION	TYPE
5	1+12.84	PC
6	1+90.63	PT

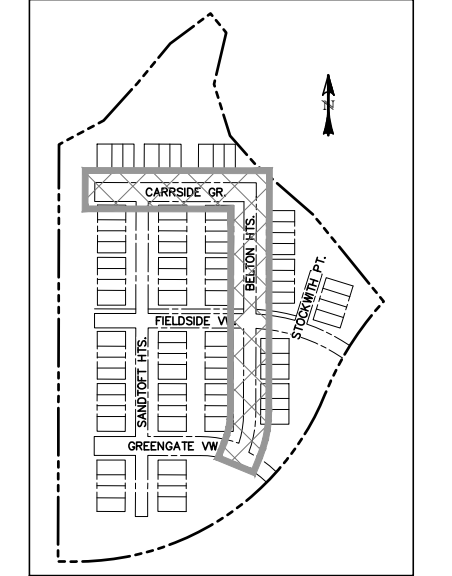
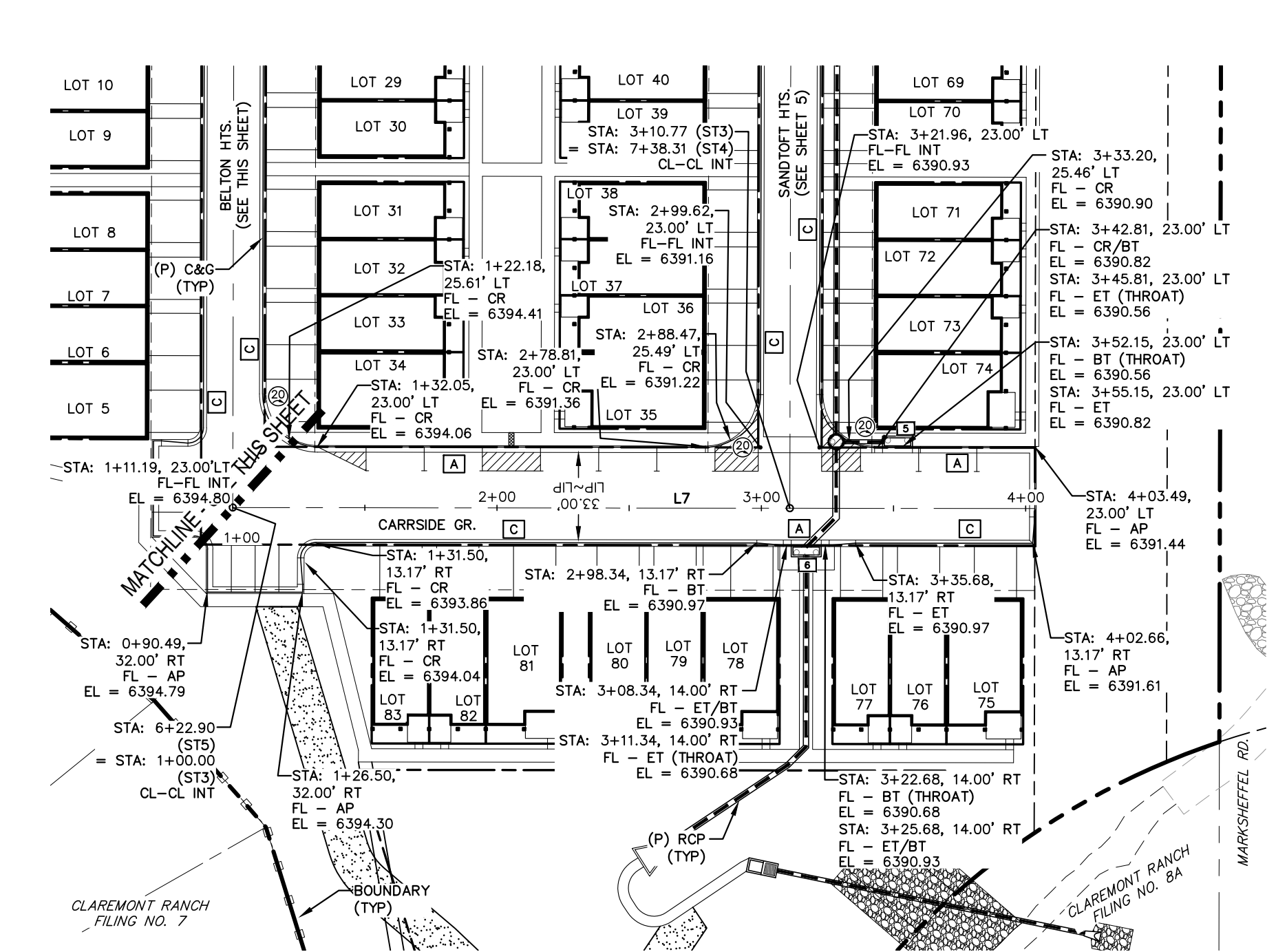
LINE TABLE

LINE	BEARING	DISTANCE
L5	N22° 24' 59.72"E	12.84
L6	N0° 08' 00.65"E	432.27
L7	N89° 55' 41.63"W	303.49

CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH
C3	22°16'59"	200.00	77.78

0 50 100
 HORIZONTAL SCALE: 1" = 50'
 VERTICAL SCALE: 1" = 5'



LOCATION MAP
SCALE: N.T.S.



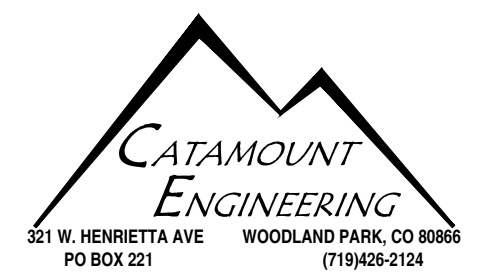
REV.	DESCRIPTION	DATE

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ALIGNMENT / STREET NAME ABBREVIATIONS:
 GREENGATE VIEW = S11
 FIELD SIDE VIEW = S12
 CARRISIDE GROVE = S13
 SANDTOTT HEIGHTS = S14
 BELTON HEIGHTS = S15
 STOCKWITH POINT = S16

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 200 W CITY CENTER DR #200
 PUEBLO CO 81003

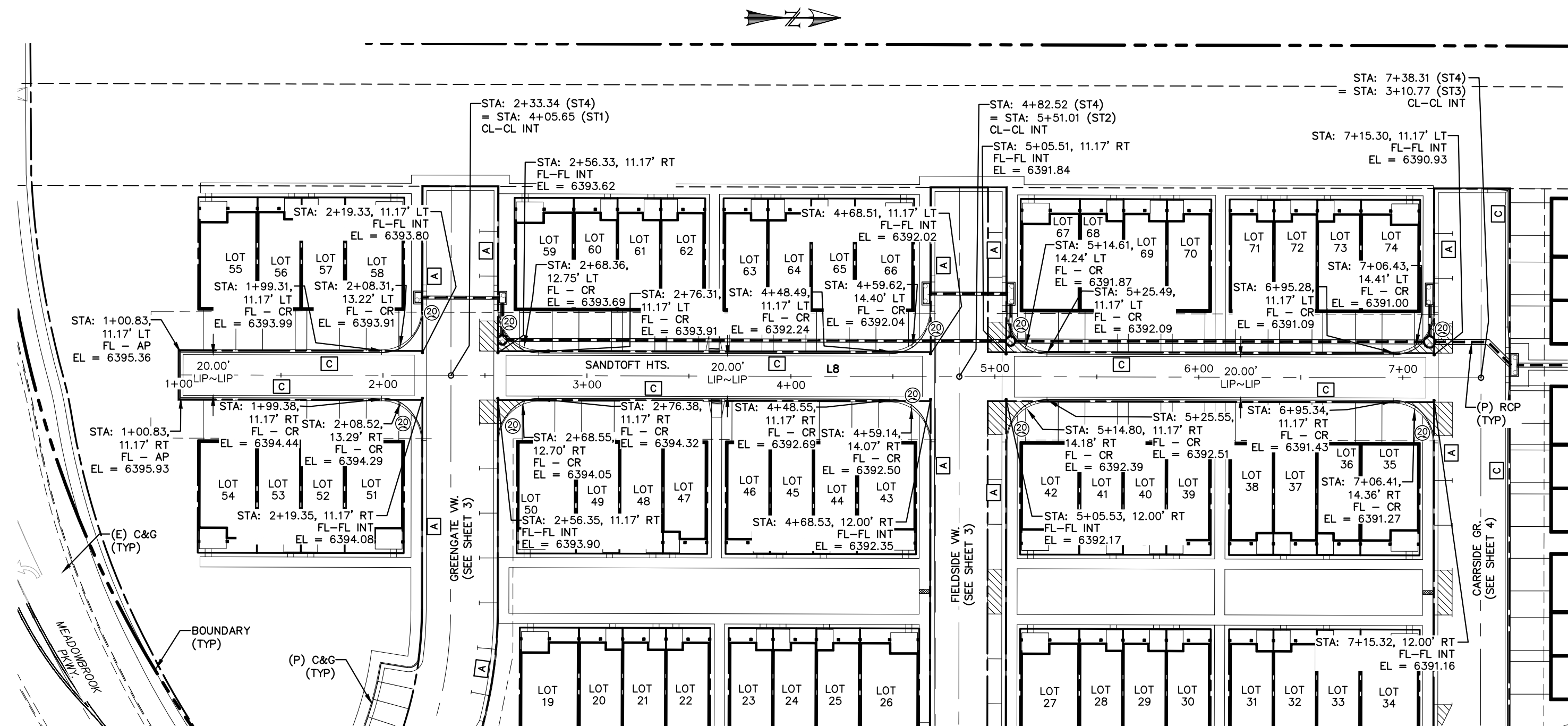
PREPARED UNDER THE DIRECT SUPERVISION FOR AND BEHALF OF
CATAMOUNT ENGINEERING
 DAVID L. MUJARES, PE #40510
 07/29/22
 DATE



**THE VILLAS AT
 CLAREMONT RANCH**
**STREET IMPROVEMENT
 PLAN & PROFILE**

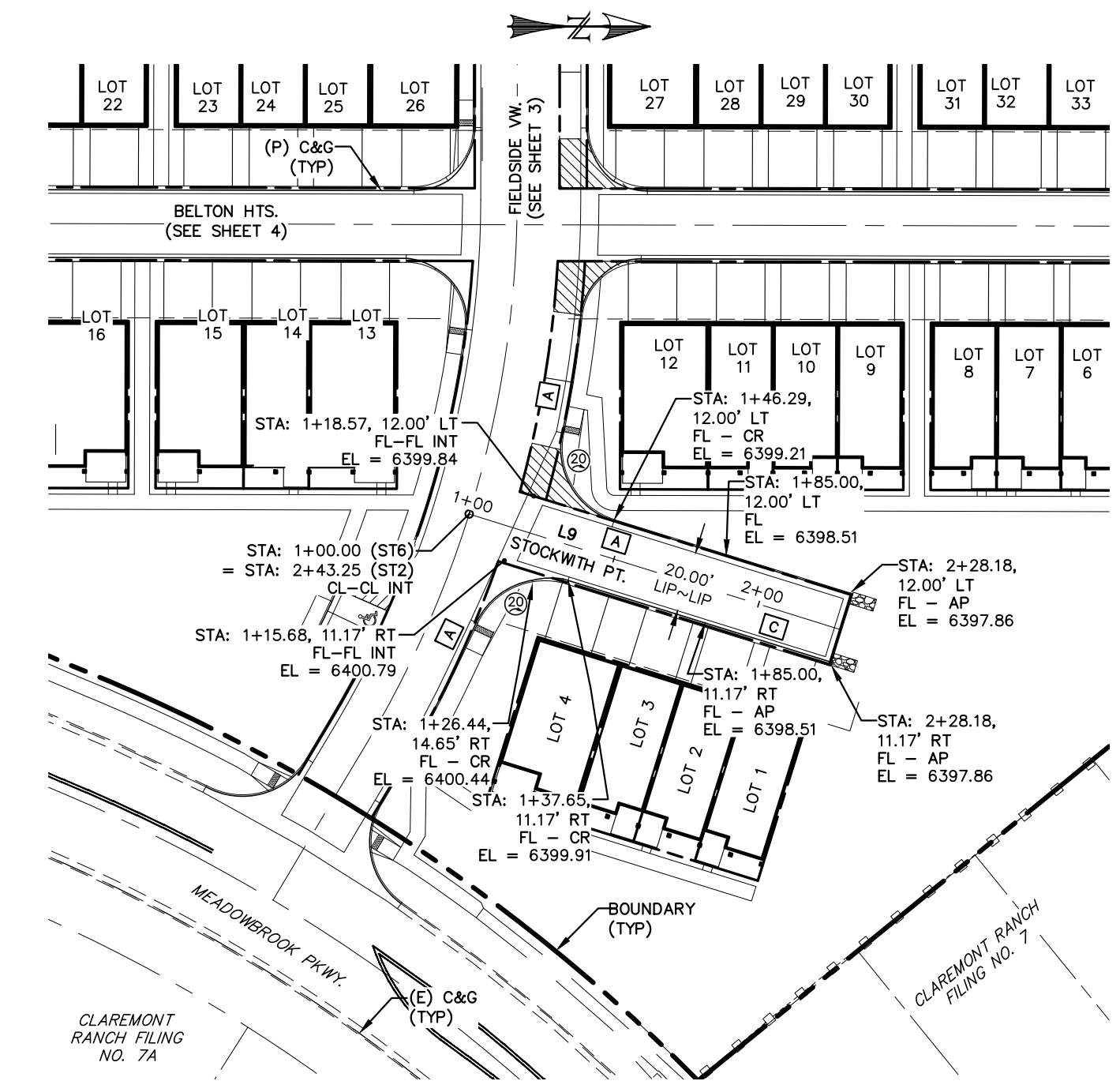
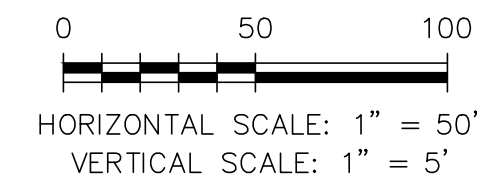
SCALE: 1" = 50'	DATE: 01/17/20
JOB NUMBER: 16-102	SHEET: 3 OF 6

DRAWN BY: MGP

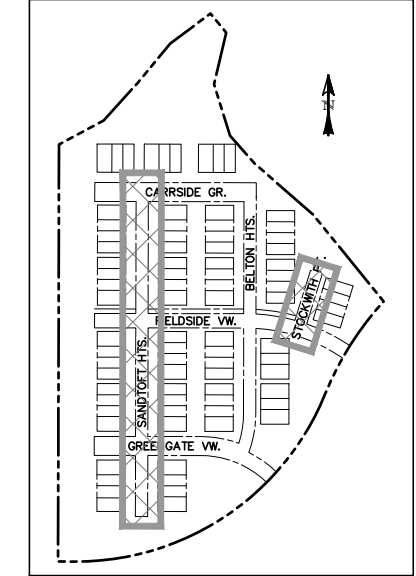


SANDTOFT HEIGHTS
STA: 1+00 ~ 7+50

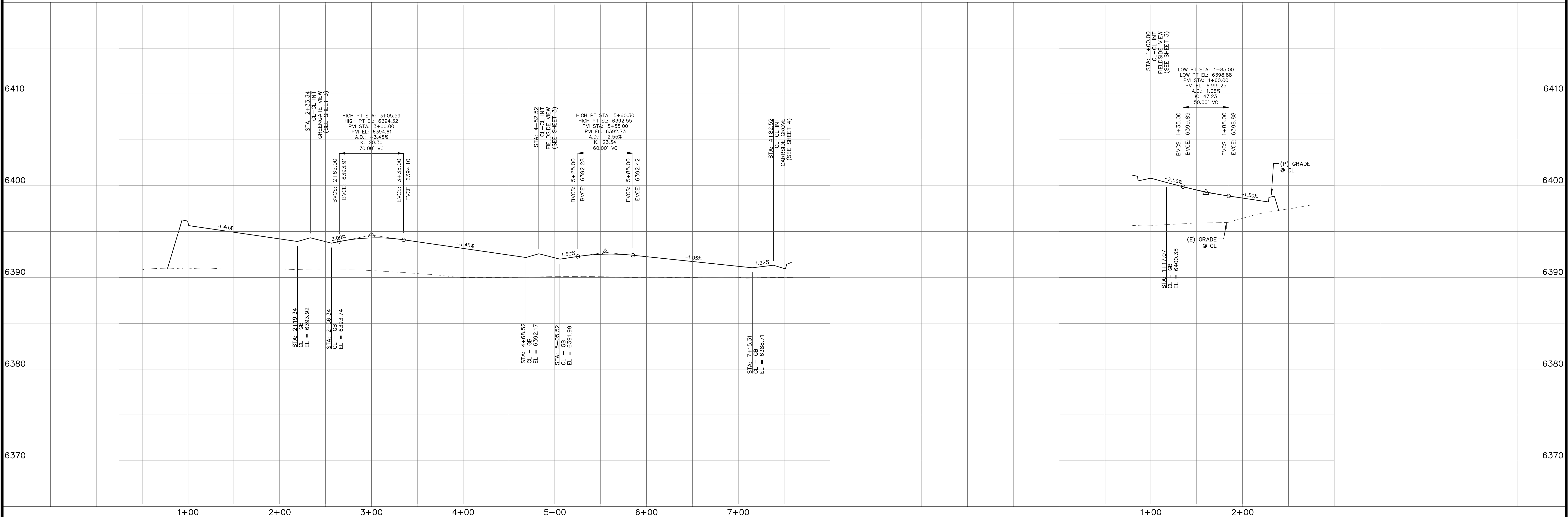
LINE	BEARING	DISTANCE
L8	N0° 07' 32.17"E	637.48
L9	N17° 16' 08.06"E	128.18



STOCKWITH POINT
STA: 1+00 ~ 2+30



LOCATION MAP
SCALE: N.T.S.



REV.	DESCRIPTION	DATE



ALIGNMENT / STREET NAME ABBREVIATIONS:
 GREENGATE VIEW = ST1
 FIELDSTREET VIEW = ST2
 CARRISIDE GROVE = ST3
 SANDTOFT HEIGHTS = ST4
 BELTON HEIGHTS = ST5
 STOCKWITH POINT = ST6

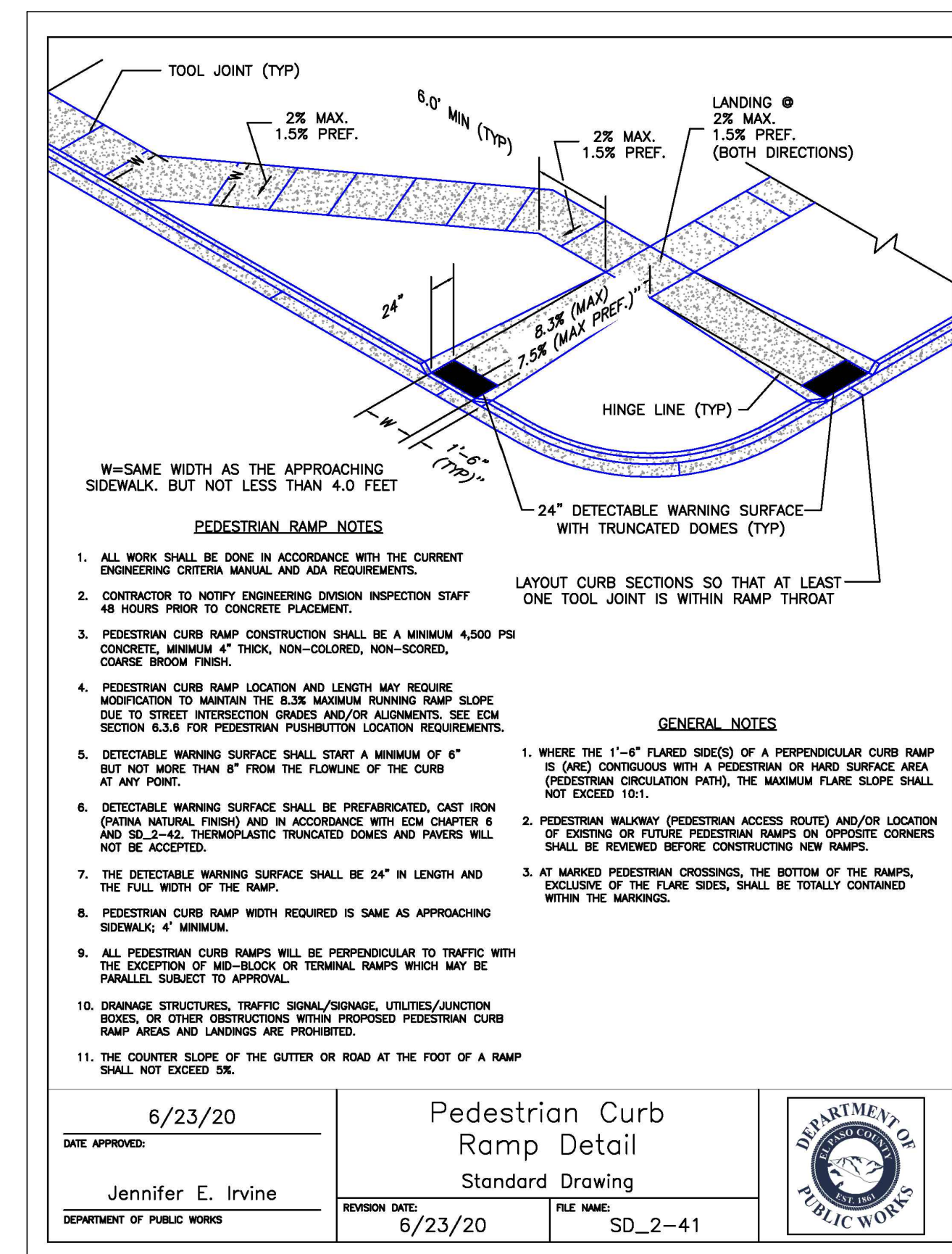
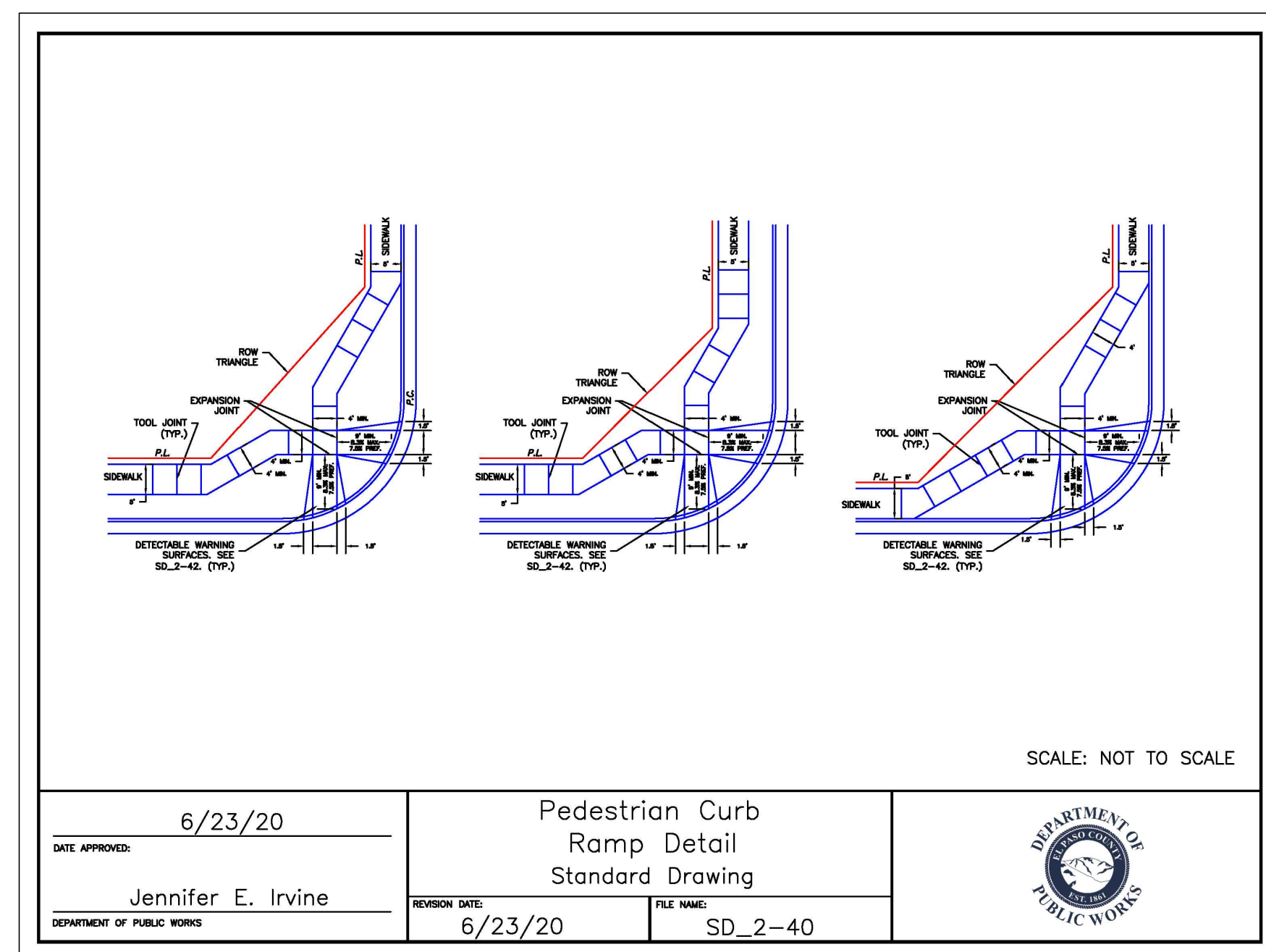
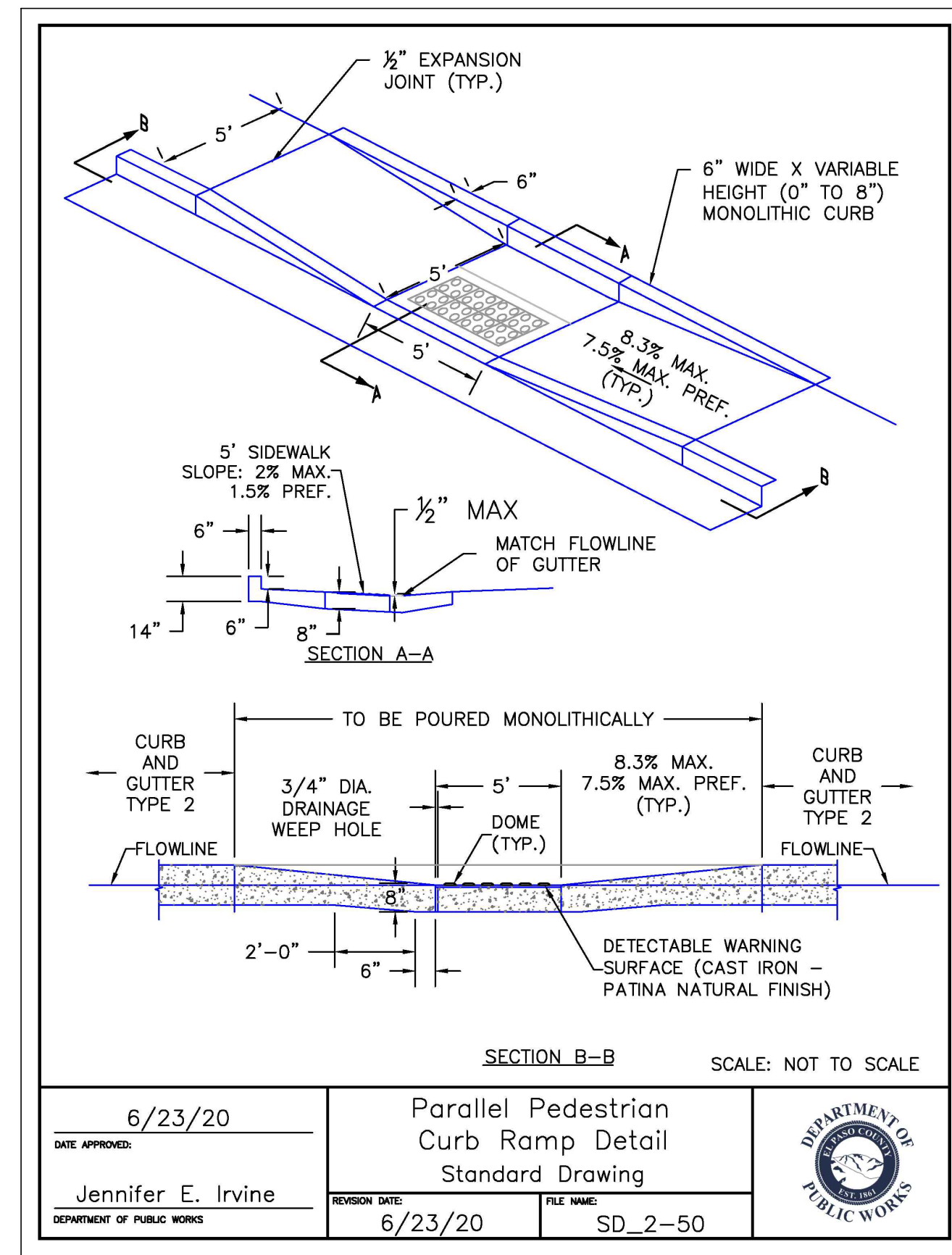
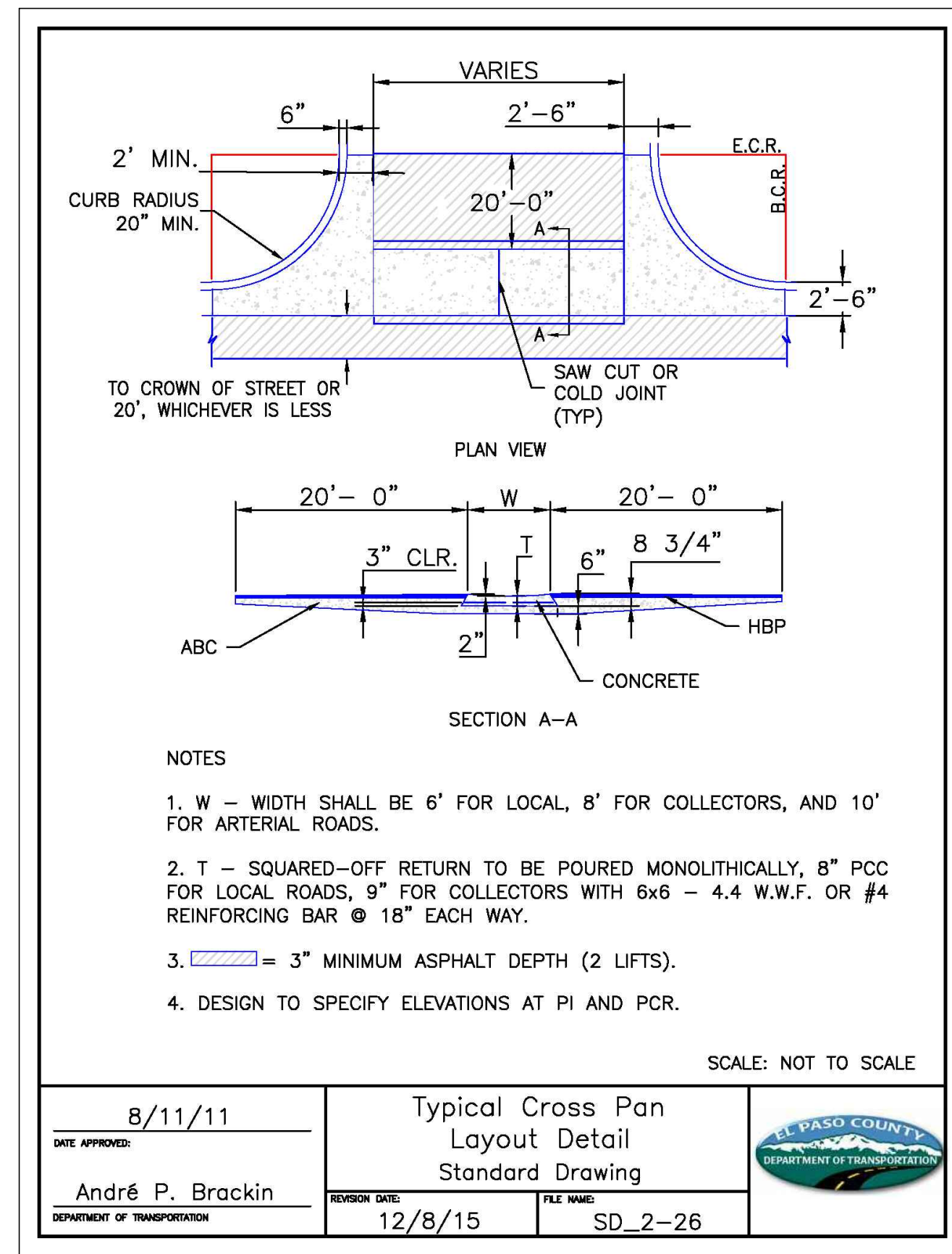
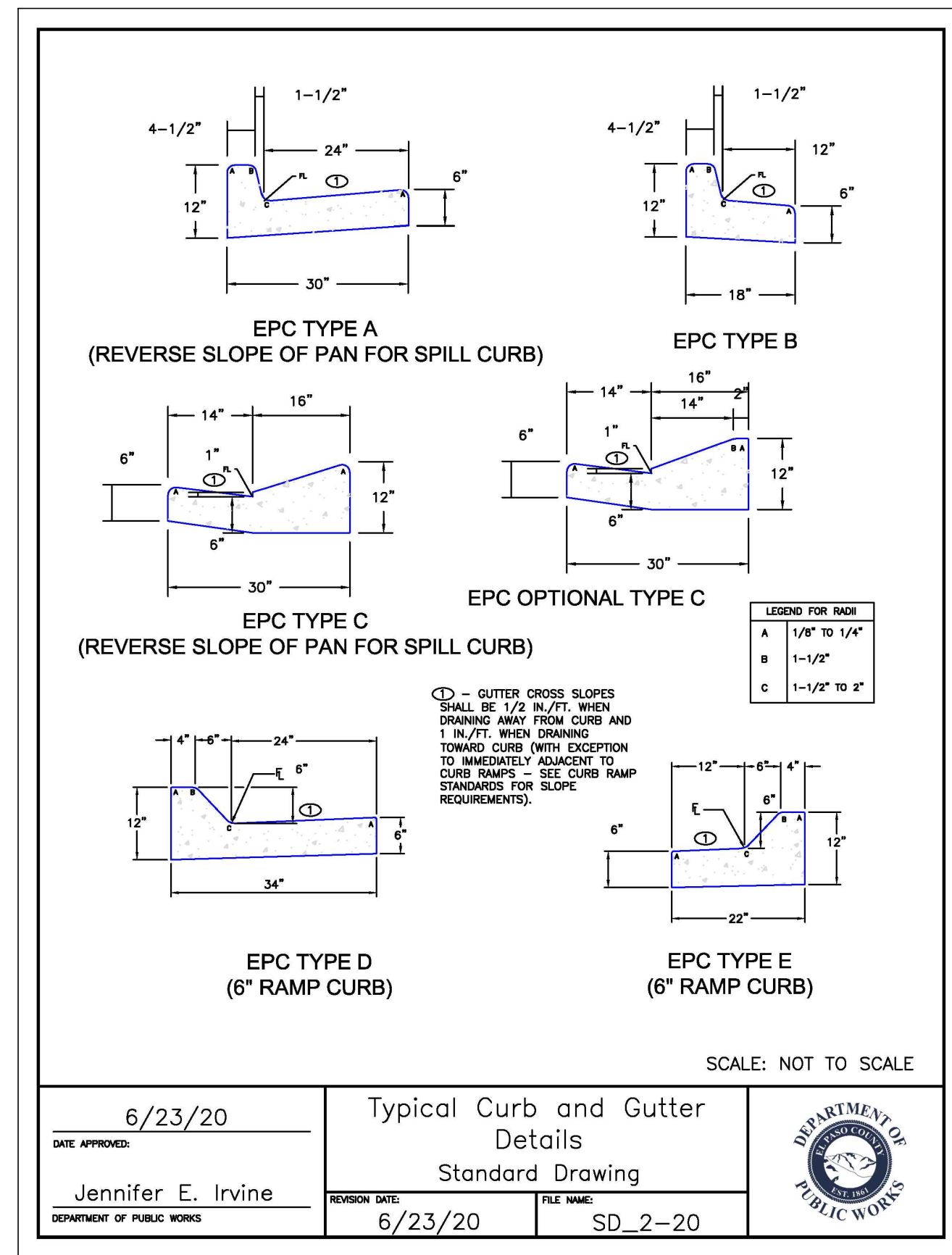
PREPARED FOR:
 PHI REAL ESTATE SERVICES
 200 W CITY CENTER DR #200
 PUEBLO CO 81003

PREPARED UNDER DIRECT SUPERVISION FOR AND BEHALF OF CATAMOUNT ENGINEERING
 DAVID L. MIJARES, PE #40510
 07/29/22 DATE



THE VILLAS AT
 CLAREMONT RANCH
 STREET IMPROVEMENT
 PLAN & PROFILE

DRAWN BY: MGP	DATE: 01/17/20
SCALE: 1" = 50'	JOB NUMBER: SHEET
16-102	4 OF 6



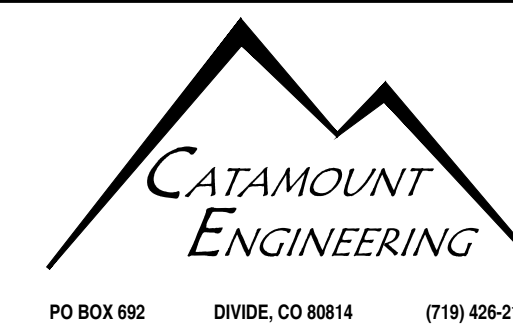
Add curb transition detail

REV.	DESCRIPTION	DATE

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PUEBLO, CO 81003

PREPARED UNDER DIRECT SUPERVISION FOR AND BEHALF OF CATAMOUNT ENGINEERING AND CONSTRUCTION, INC.
DAVID L. MIJAREZ, LICENSED PROFESSIONAL ENGINEER #40510
12/08/22
DATE



THE VILLAS AT CLAREMONT RANCH
CONSTRUCTION DRAWINGS
STREET IMPROVEMENT DETAILS

DRAWN BY: SLP	SCALE: N/A	DATE: 12/08/22
JOB NUMBER: 16-102	SHEET: 5 OF 6	

SIGNAGE & STRIPING NOTES:

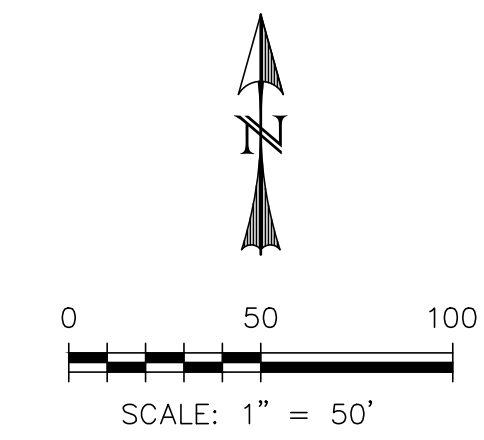
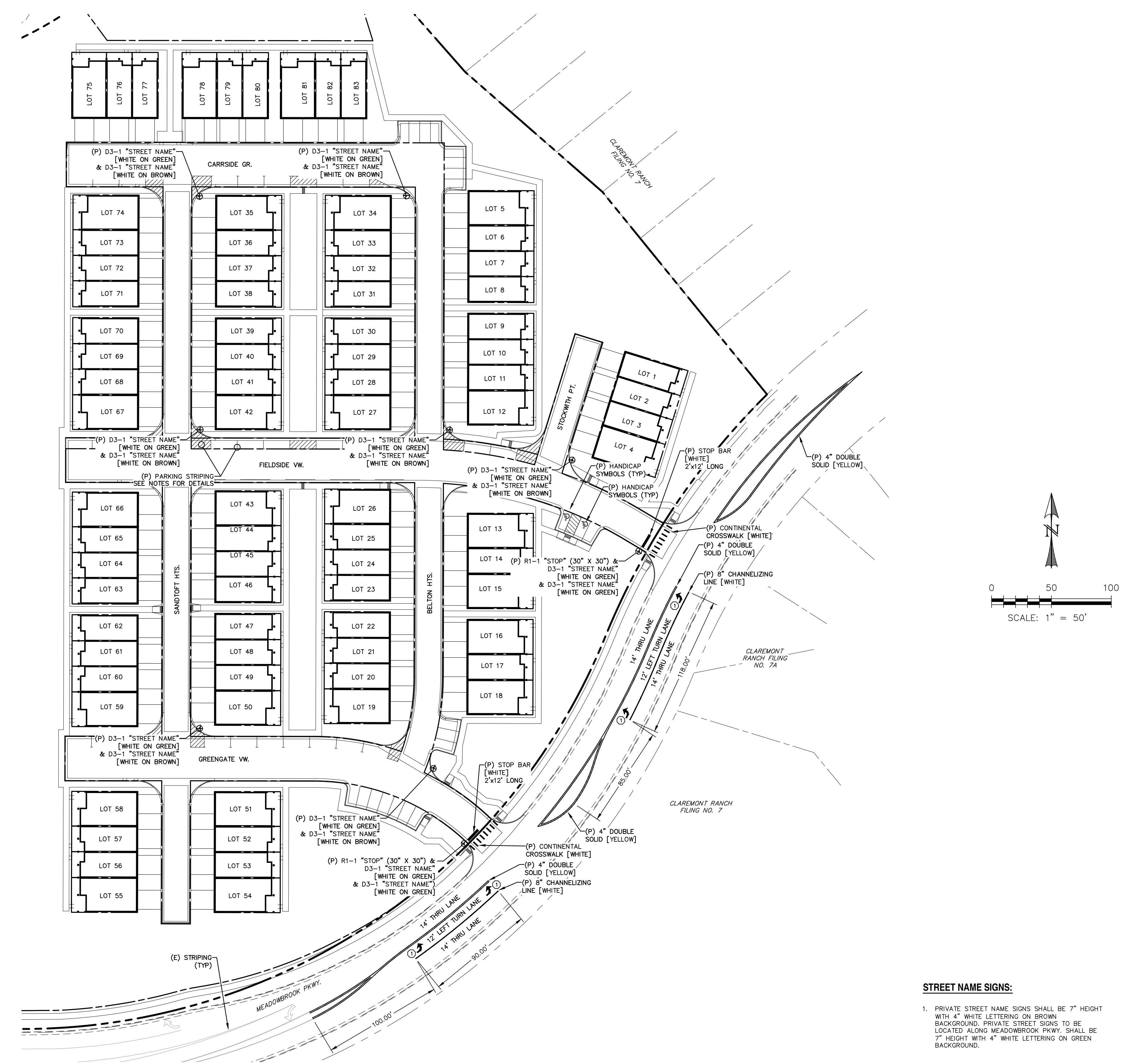
1. ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
2. REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY A METHOD THAT DOES NOT MATERIALLY DAMAGE THE PAVEMENT. THE PAVEMENT MARKINGS SHALL BE REMOVED TO THE EXTENT THAT THEY WILL NOT BE VISIBLE UNDER DAY OR NIGHT CONDITIONS. AT NO TIME WILL IT BE ACCEPTABLE TO PAINT OVER EXISTING PAVEMENT MARKINGS.
3. ANY DEVIATION FROM THE STRIPING AND SIGNING PLAN SHALL BE APPROVED BY EL PASO COUNTY DEVELOPMENT SERVICES.
4. ALL SIGNS SHOWN ON THE SIGNING AND STRIPING PLAN SHALL BE NEW SIGNS. EXISTING SIGNS MAY REMAIN OR BE REUSED IF THEY MEET CURRENT EL PASO COUNTY AND MUTCD STANDARDS.
5. STREET NAME AND REGULATORY STOP SIGNS SHALL BE ON THE SAME POST AT INTERSECTIONS.
6. ALL REMOVED SIGNS SHALL BE DISPOSED OF IN A PROPER MANNER BY THE CONTRACTOR.
7. ALL STREET NAME SIGNS SHALL HAVE "C" SERIES LETTERS, WITH LOCAL ROADWAY SIGNS BEING 4" UPPER-LOWER CASE LETTERING ON 8" BLANK AND NON-LOCAL ROADWAY SIGNS BEING 6" LETTERING, UPPER-LOWER CASE ON 12" BLANK, WITH 1/2" WHITE BORDER THAT IS NOT RECESSED. MULTI-LANE ROADWAYS WITH SPEED LIMITS OF 40 MPH OR HIGHER SHALL HAVE 8" UPPER-LOWER CASE LETTERING ON 18" BLANK WITH 1/2" WHITE BORDER THAT IS NOT RECESSED.
8. ALL TRAFFIC SIGNS SHALL HAVE A MINIMUM HIGH INTENSITY PRISMATIC GRADE SHEETING.
9. ALL LOCAL RESIDENTIAL STREET SIGNS SHALL BE MOUNTED ON A 1.75" X 1.75" SQUARE TUBE SIGN POST AND STUB POST BASE. FOR OTHER APPLICATIONS, REFER TO THE CDOT STANDARD S-614-8 REGARDING USE OF THE P2 TUBULAR STEEL POST SLIPBASE DESIGN.
10. ALL SIGNS SHALL BE SINGLE SHEET ALUMINUM WITH 0.100" MINIMUM THICKNESS.
11. ALL LIMIT LINES/STOP LINES, CROSSWALK LINES, PAVEMENT LEGENDS, AND ARROWS SHALL BE A MINIMUM 125 MIL THICKNESS PREFORMED THERMOPLASTIC PAVEMENT MARKINGS WITH TAPERED LEADING EDGES PER CDOT STANDARD S-627-1. WORD AND SYMBOL MARKINGS SHALL BE THE NARROW TYPE. STOP BARS SHALL BE 24" IN WIDTH. CROSSWALKS LINES SHALL BE 12" WIDE AND 8' LONG PER CDOT S-627-1.
12. ALL LONGITUDINAL LINES SHALL BE A MINIMUM 15MIL THICKNESS EPOXY PAINT. ALL NON-LOCAL RESIDENTIAL ROADWAYS SHALL INCLUDE BOTH RIGHT AND LEFT EDGE LINE STRIPING AND ANY ADDITIONAL STRIPING AS REQUIRED BY CDOT S-627-1.
13. THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY DEVELOPMENT SERVICES (719) 520-6819 PRIOR TO AND UPON COMPLETION OF SIGNING AND STRIPING.
14. THE CONTRACTOR SHALL OBTAIN A WORK IN THE RIGHT OF WAY PERMIT FROM THE EL PASO COUNTY PUBLIC SERVICE DEPARTMENT (PSD) PRIOR TO ANY SIGNAGE OR STRIPING WORK WITHIN AN EXISTING EL PASO COUNTY ROADWAY.

PRIVATE ROAD SIGNS

PRIVATE ROAD SIGNS SHALL GENERALLY CONFORM TO THE DIMENSIONS AND REQUIREMENTS DEFINED IN THE MOST CURRENT VERSION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE 2004 EDITION OF STANDARD HIGHWAY SIGNS 2012 SUPPLEMENT (SHS) FOR STREET NAME SIGNS.

PRIVATE ROAD STREET NAME SIGNING THAT FACES APPROACH ROADS WHICH ARE CLASSIFIED OR OPERATE AS LOCAL RESIDENTIAL AREA SUBDIVISION ROADS THAT PROVIDE DIRECT ACCESS TO CONSISTENTLY SUBDIVIDED RESIDENTIAL LOTS WILL TYPICALLY UTILIZE AN 8 INCH SIGN PANEL HEIGHT WITH 4-INCH INITIAL UPPER-CASE LETTERING FOR THE PRIMARY STREET NAME LEGEND. PRIVATE ROAD STREET NAME SIGNING THAT FACES APPROACH ROADS WHICH ARE CLASSIFIED OR OPERATE AS NON-LOCAL RESIDENTIAL AREA SUBDIVISION ROADS WILL TYPICALLY UTILIZE A 12-INCH SIGN PANEL HEIGHT WITH 6-INCH INITIAL UPPER-CASE LETTERING FOR THE PRIMARY STREET NAME LEGEND. LARGER SIGNS MAY BE REQUIRED PER THE MUTCD.

THE WORDS "PRIVATE ROAD" SHALL BE LOCATED PRIOR TO THE STREET NAME AND SHALL BE RIGHT JUSTIFIED. THE WORDS SHALL BE ALL CAPITAL LETTERS, STACKED AND CENTERED VERTICALLY. FOR AN 8-INCH SIGN PANEL HEIGHT, USE 2.25 INCHES FOR THE PRIVATE ROAD LETTER HEIGHT AND A 1.5-INCH VERTICAL SPACE BETWEEN THE LEGEND. FOR A 12-INCH SIGN PANEL HEIGHT, USE 3 INCHES FOR THE PRIVATE ROAD LETTER HEIGHT AND A 2-INCH VERTICAL SPACE BETWEEN THE LEGEND.



LEGEND

PROPOSED	(P)
EXISTING	(E)
CURB AND GUTTER	C&G
RIGHT-OF-WAY	ROW
BOUNDARY	---
RIGHT-OF-WAY	---
LOT LINE	---
(E) SIGN	+
(P) SIGN	+
(P) PAVEMENT MARKING - ARROW SYMBOL	⊙
"LEFT TURN" [WHITE]	⊙

- STREET NAME SIGNS:**
1. PRIVATE STREET NAME SIGNS SHALL BE 7" HEIGHT WITH 4" WHITE LETTERING ON BROWN BACKGROUND. PRIVATE STREET SIGNS TO BE LOCATED ALONG MEADOWBROOK PKWY. SHALL BE 7" HEIGHT WITH 4" WHITE LETTERING ON GREEN BACKGROUND.

REV.	DESCRIPTION	DATE



PREPARED FOR:
PHI REAL ESTATE SERVICES
 200 W CITY CENTER DR #200
 PUEBLO CO 81003

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 DAVID L. MIJARES, PE #40510
 07/29/22
 DATE



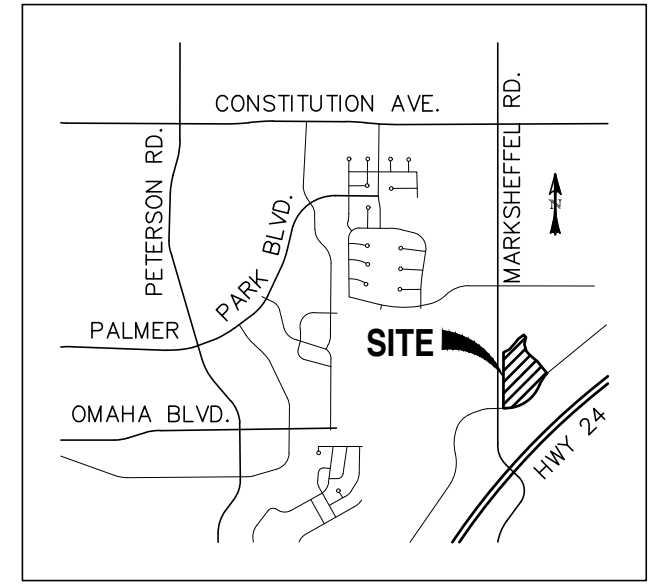
**THE VILLAS AT
 CLAREMONT RANCH**
**SIGNAGE & STRIPING
 PLAN**

DESIGNED BY: MGP	DRAWN BY: MGP
SCALE: 1"=50'	DATE: 01/17/20
JOB NUMBER: 16-102	SHEET: 6 OF 6

THE VILLAS AT CLAREMONT RANCH

STORM SEWER PLANS

EL PASO COUNTY, COLORADO



VICINITY MAP
SCALE: N.T.S.

STANDARD CONSTRUCTION NOTES:

- ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD LOCATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
- CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
 - EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
 - CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
 - COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
 - CDOT M & S STANDARDS
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY DEVELOPMENT SERVICES DEPARTMENT (DSD) - INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOORPLAN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
- CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND DSD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
- ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY DSD.
- CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY DSD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
- SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DOT AND MUTCD CRITERIA.
- CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DOT, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
- THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.

GRADING NOTES:

- CONSTRUCTION MAY NOT COMMENCE UNTIL A CONSTRUCTION PERMIT IS OBTAINED FROM DEVELOPMENT SERVICES AND A PRECONSTRUCTION CONFERENCE IS HELD WITH DEVELOPMENT SERVICES INSPECTIONS.
- STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFF SITE WATERS, INCLUDING WETLANDS.
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.
- A SEPARATE STORMWATER MANAGEMENT PLAN (SWMP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. DURING CONSTRUCTION THE SWMP IS THE RESPONSIBILITY OF THE DESIGNATED STORMWATER MANAGER SHALL BE LOCATED ON SITE AT ALL TIMES AND SHALL BE KEPT UP TO DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.
- ONCE THE ESQCP HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL BMPs AS INDICATED ON THE GEC. A PRECONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY DSD INSPECTIONS STAFF.
- SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 21 CALENDAR DAYS AFTER FINAL GRADING, OR FINAL EARTH DISTURBANCE, HAS BEEN COMPLETED. DISTURBED AREAS AND STOCKPILES WHICH ARE NOT AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN 30 DAYS SHALL ALSO BE MULCHED WITHIN 21 DAYS AFTER INTERIM GRADING. AN AREA THAT IS GOING TO REMAIN IN AN INTERIM STATE FOR MORE THAN 60 DAYS SHALL ALSO BE SEEDED. ALL TEMPORARY SOIL EROSION CONTROL MEASURES AND BMPs SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND ESTABLISHED.
- TEMPORARY SOIL EROSION CONTROL FACILITIES SHALL BE REMOVED AND EARTH DISTURBANCE AREAS GRADED AND STABILIZED WITH PERMANENT SOIL EROSION CONTROL MEASURES PURSUANT TO STANDARDS AND SPECIFICATION PRESCRIBED IN THE DCM VOLUME II AND THE ENGINEERING CRITERIA MANUAL (ECM) APPENDIX I.
- ALL PERSONS ENGAGED IN EARTH DISTURBANCE SHALL IMPLEMENT AND MAINTAIN ACCEPTABLE SOIL EROSION AND SEDIMENT CONTROL MEASURES INCLUDING BMPs IN CONFORMANCE WITH THE EROSION CONTROL TECHNICAL STANDARDS OF THE DRAINAGE CRITERIA MANUAL (DCM) VOLUME II AND IN ACCORDANCE WITH THE STORMWATER MANAGEMENT PLAN (SWMP).
- ALL TEMPORARY EROSION CONTROL FACILITIES INCLUDING BMPs AND ALL PERMANENT FACILITIES INTENDED TO CONTROL EROSION OF ANY EARTH DISTURBANCE OPERATIONS, SHALL BE INSTALLED AS DEFINED IN THE APPROVED PLANS, THE SWMP AND THE DCM VOLUME II AND MAINTAINED THROUGHOUT THE DURATION OF THE EARTH DISTURBANCE OPERATION.
- ANY EARTH DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY REDUCE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME.
- ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE DESIGNED TO LIMIT THE DISCHARGE TO A NON-EROSIVE VELOCITY.
- CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO RUNOFF TO STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
- EROSION CONTROL BLANKETING SHALL BE USED ON SLOPES STEEPER THAN 3:1.
- BUILDING, CONSTRUCTION, EXCAVATION, OR OTHER WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. BMPs MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.
- VEHICLE TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFFSITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- THE OWNER, SITE DEVELOPER, CONTRACTOR, AND/OR THEIR AUTHORIZED AGENTS SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, AND SAND THAT MAY ACCUMULATE IN THE STORM SEWER OR OTHER DRAINAGE CONVEYANCE SYSTEM AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
- THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.
- NO CHEMICALS ARE TO BE USED BY THE CONTRACTOR, WHICH HAVE THE POTENTIAL TO BE RELEASED IN STORMWATER UNLESS PERMISSION FOR THE USE OF A SPECIFIC CHEMICAL IS GRANTED IN WRITING BY THE ECM ADMINISTRATOR. IN GRANTING THE USE OF SUCH CHEMICALS, SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
- BULK STORAGE STRUCTURES FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE ADEQUATE PROTECTION SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
- NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE FLOW LINE OF THE CURB AND GUTTER OR IN THE DITCHLINE.
- INDIVIDUALS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS), AND THE "CLEAN WATER ACT" (33 USC 1344), IN ADDITION TO THE REQUIREMENTS INCLUDED IN THE DCM VOLUME II AND THE ECM APPENDIX I. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (NPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.), IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, OR COUNTY AGENCIES, THE MORE RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- PRIOR TO ACTUAL CONSTRUCTION THE PERMITEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.
- A WATER SOURCE SHALL BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
- THE SOILS REPORT FOR THIS SITE HAS BEEN PREPARED BY ENTECH ENGINEERING AND SHALL BE CONSIDERED A PART OF THESE PLANS.
- AT LEAST TEN DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB 1 ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:

COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT
WATER QUALITY CONTROL DIVISION
WOOD PERMITS
4300 CHERRY CREEK DRIVE SOUTH
DENVER, CO 80246-1530
ATTN: PERMITS UNIT



BASIS OF BEARINGS

THE WESTERN BOUNDARY OF VILLAS AT CLAREMONT.
HAVING AN ASSUMED BEARING OF: N 00°07'45" E

PREPARED FOR:

PHI REAL ESTATE SERVICES
200 W CITY CENTER DR #200
PUEBLO CO 81003

BENCHMARK

FIMS MONUMENT SR08: A 2 INCH DIA. ALUM. FIMS CAP STAMPED "CSU FIMS CONTROL SR08" ON THE NORTHEAST CORNER OF THE CONCRETE BASE OF THE ELECTRIC VAULT NUMBER 004810 ON THE WEST SIDE OF PETERSON ROAD, ABOUT 110 FEET NORTH OF THE NORTH CURB OF CONSTITUTION AVENUE.
ELEVATION: 6522.67

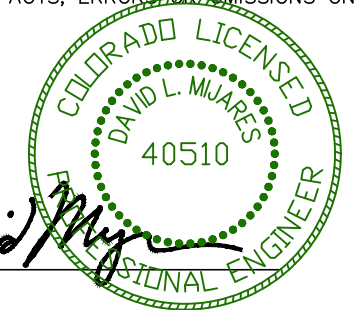


THE VILLAS AT
CLAREMONT RANCH
STORM SEWER PLANS

DESIGNED BY:	MGP	DRAWN BY:	MGP
SCALE:	N/A	DATE:	01/17/20
JOB NUMBER	16-102	SHEET	1 OF 5

CONSTRUCTION PLANS AND SPECIFICATIONS ENGINEERS STATEMENT:

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS, OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.



DAVID L. MJARES, COLORADO PE #40510

07/29/22
DATE

OWNER STATEMENT:

I, PAUL BROUSSARD, HAVE READ AND WILL COMPLY WITH ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

NAME, TITLE: *Paul Broussard* Paul Broussard, Director of Operations
12/14/2022
DATE

BUSINESS NAME: PHI REAL ESTATE SERVICES, LLC

ADDRESS: 200 W. CITY CENTER DRIVE, SUITE 200
PUEBLO, CO 81003

EL PASO COUNTY APPROVAL:

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

JOSH PALMER, P.E.
COUNTY ENGINEER / EMC ADMINISTRATOR

DATE

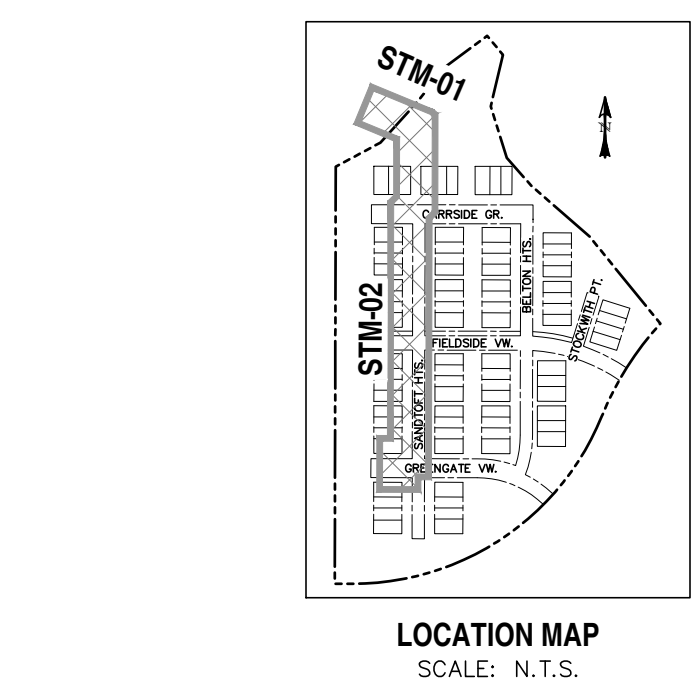
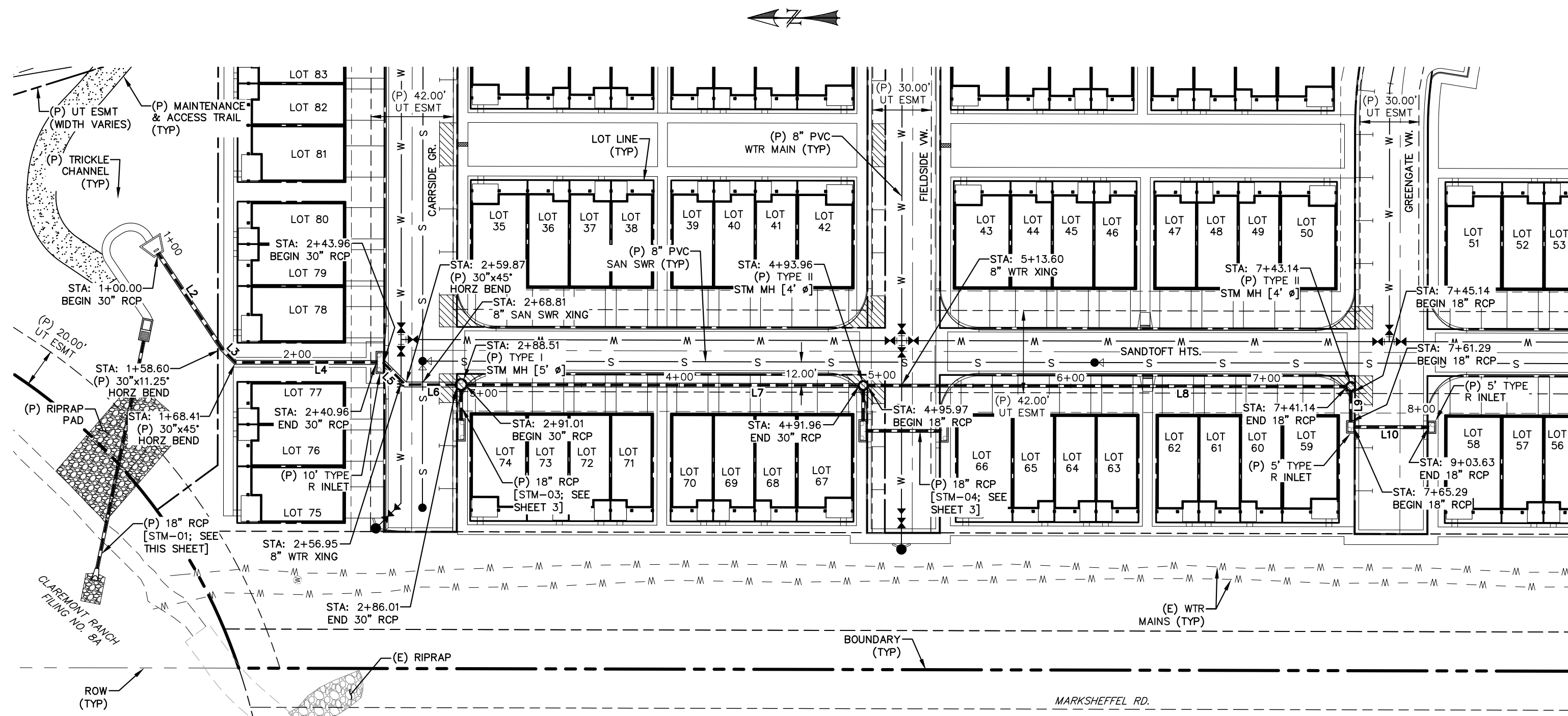
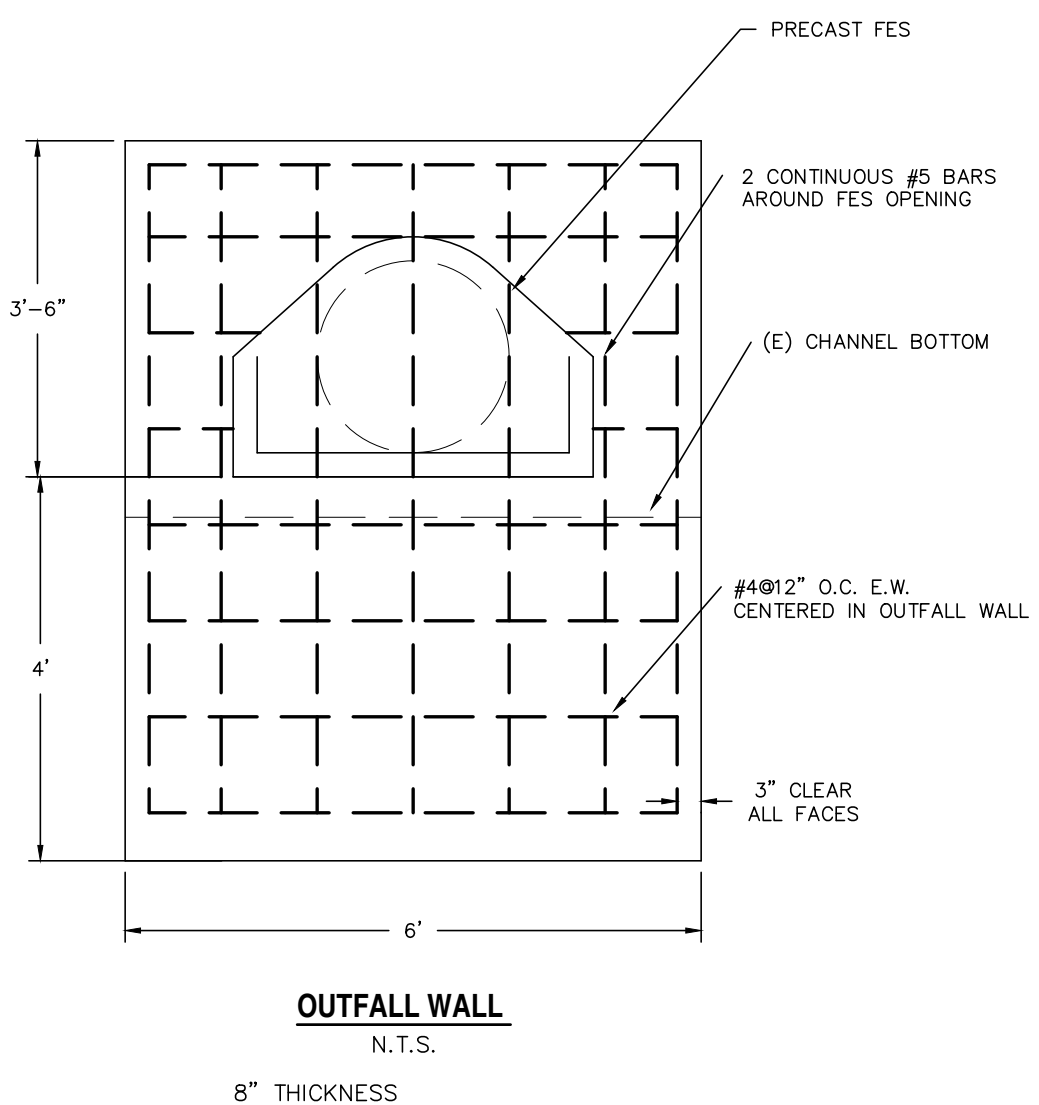
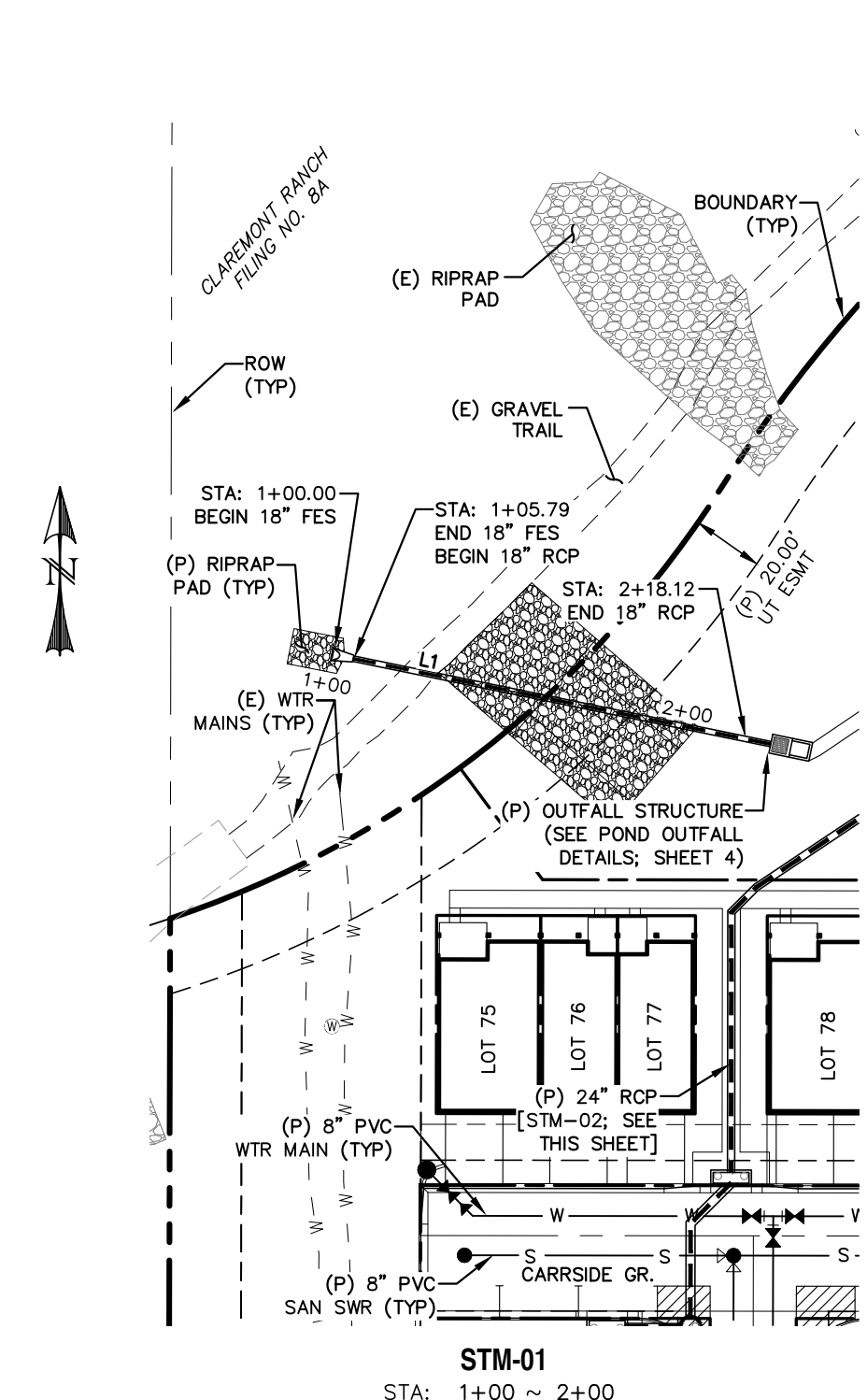
LEGEND

EXISTING	(E)	BOUNDARY	---
PROPOSED	(P)	RIGHT-OF-WAY	----
FUTURE	(F)	LOT LINE	- - - -
BEGIN TRANSITION	BT	EASEMENT	----
END TRANSITION	ET	(E) CONTOUR, INDEX	---6400---
CURB RETURN	CR	(E) CONTOUR	---
POINT OF CURVATURE	PC	(E) STORM SEWER	----
POINT OF TANGENCY	PT	(P) CONTOUR, INDEX	---6400---
POINT ON CURVE	POC	(P) CONTOUR	---
		(P) STORM SEWER, INLET, MH	----

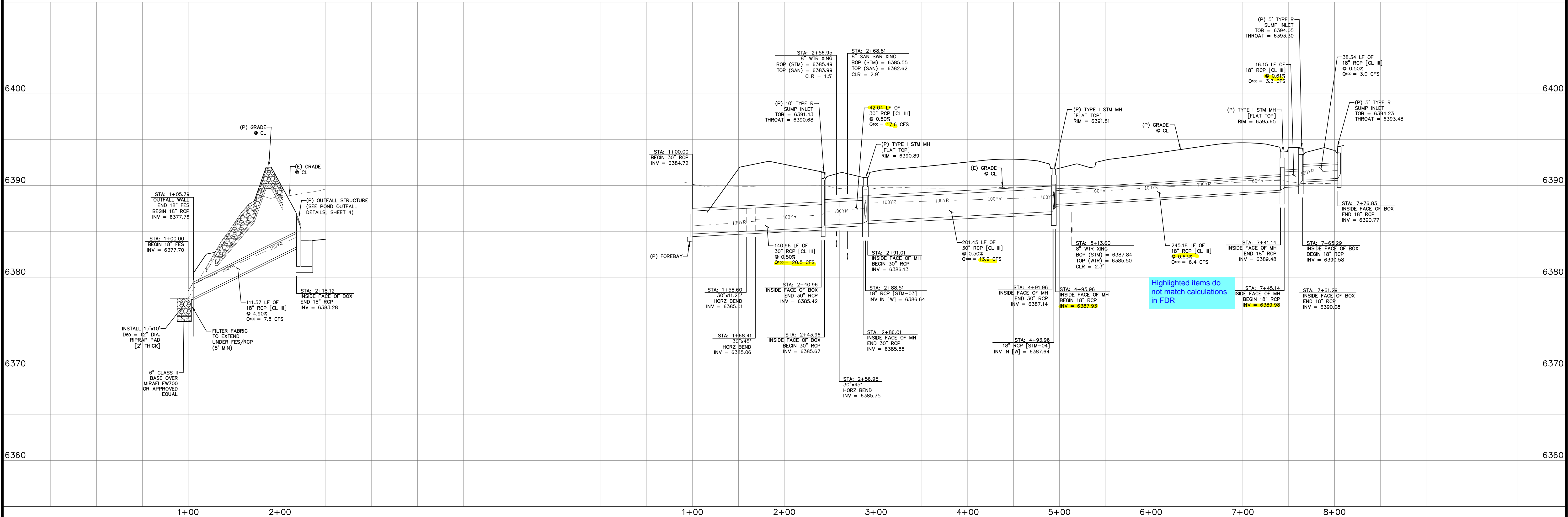
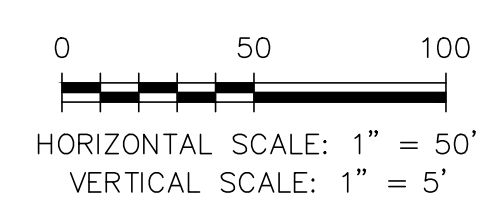
REV.	DESCRIPTION	DATE

SF-22-028

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LINE	BEARING	DISTANCE
L1	S78° 25' 55.14"E	112.33
L2	S56° 19' 18.37"W	58.60
L3	S45° 04' 18.37"W	9.81
L4	S0° 04' 18.37"W	72.55
L5	S45° 07' 32.17"W	15.91
L6	S0° 07' 36.33"W	26.14
L7	S0° 07' 32.17"W	200.95
L8	S0° 07' 32.17"W	245.18
L9	N89° 48' 48.36"W	16.15
L10	S0° 11' 11.64"W	38.34



Highlighted items do not match calculations in FDR

REV.	DESCRIPTION	DATE

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200 W CITY CENTER DR #200
PUEBLO CO 81003

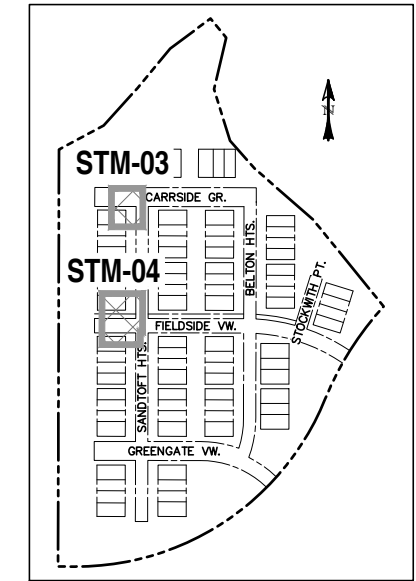
PREPARED UNDER THE DIRECT SUPERVISION FOR AND BEHALF OF:
DAVID L. MUJARES, PE #40510

DATE: **07/29/22**

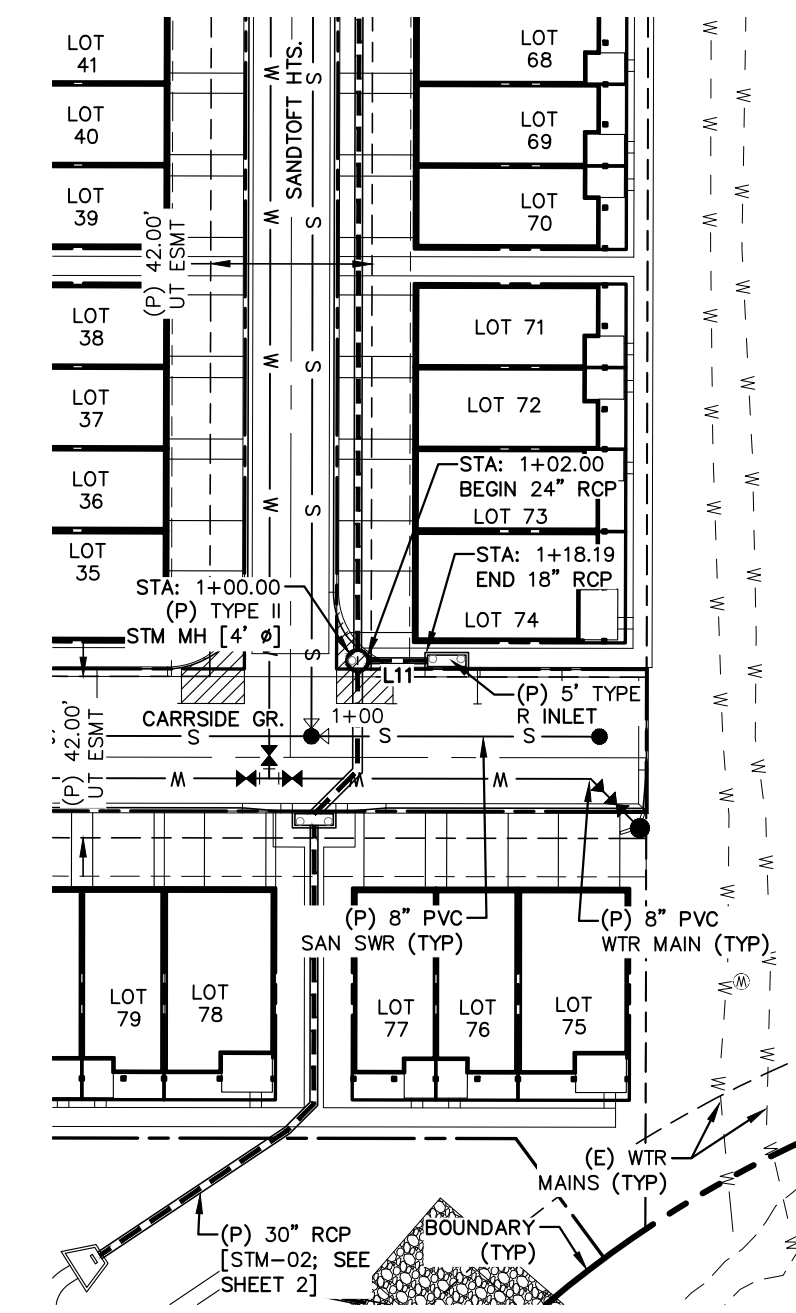
CATAMOUNT ENGINEERING
321 W. HENRIETTA AVE
WOODLAND PARK, CO 80866
(719) 425-2124

THE VILLAS AT CLAREMONT RANCH
STORM SEWER PLAN & PROFILES

DRAWN BY: MGP	DATE: 01/17/20
SCALE: 1" = 50'	JOB NUMBER: SHEET
16-102	2 OF 5

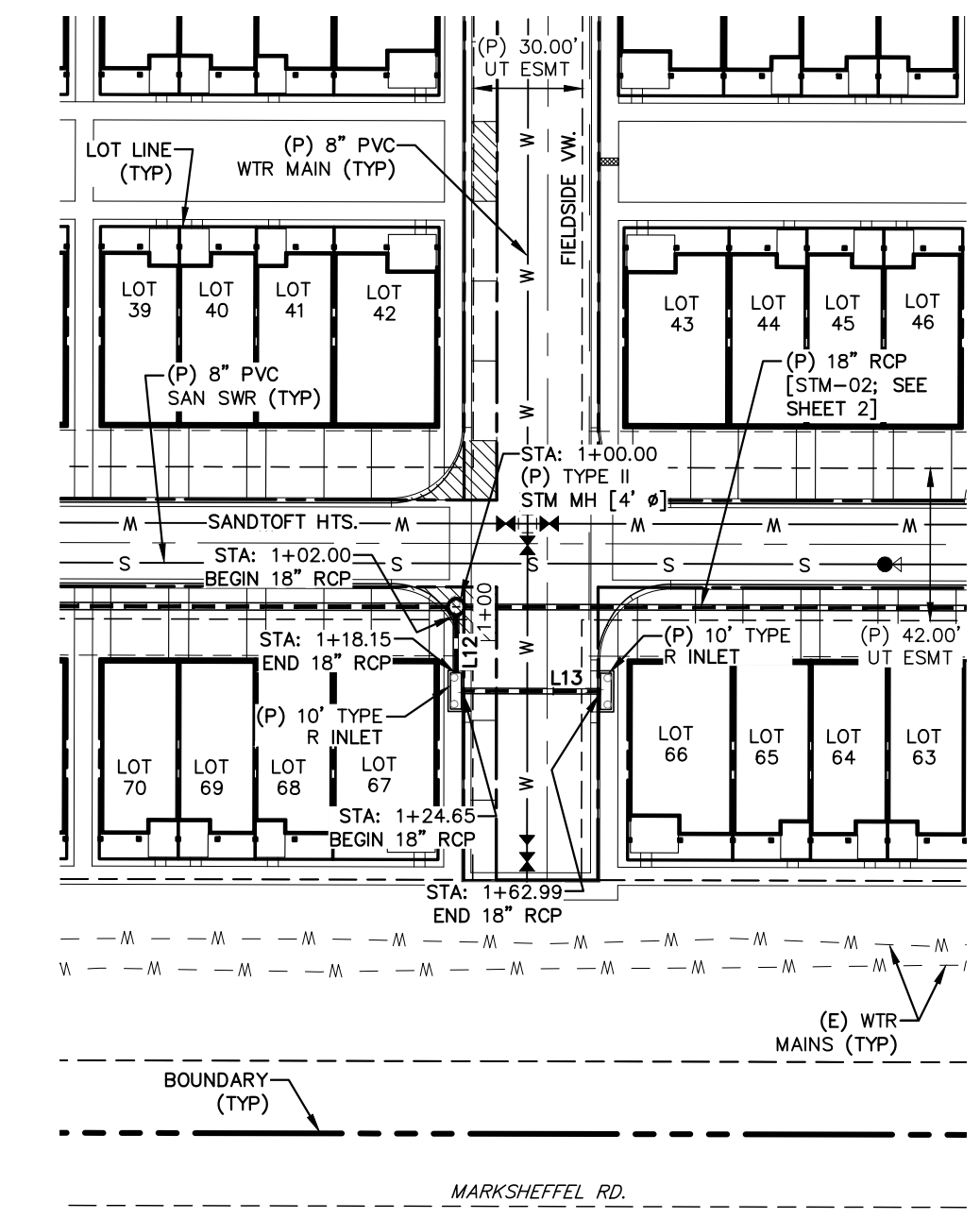
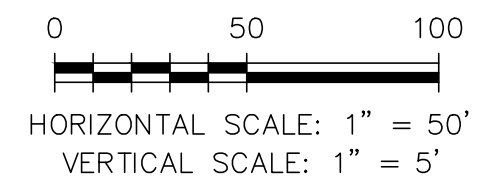


LOCATION MAP
SCALE: N.T.S.

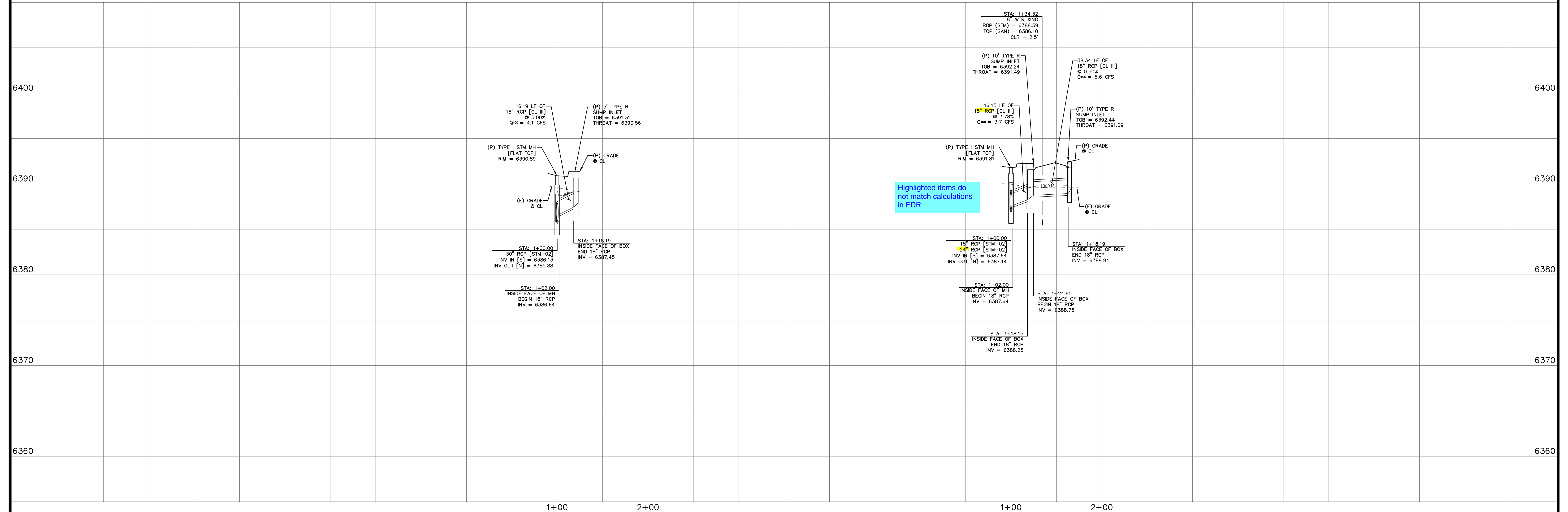


STM-03
STA: 1+00 ~ 1+20

LINE TABLE - STORM		
LINE	BEARING	DISTANCE
L11	N89° 48' 48.36"W	16.19
L12	N89° 48' 48.36"W	16.15
L13	S0° 11' 11.64"W	38.34



STM-04
STA: 1+00 ~ 1+70

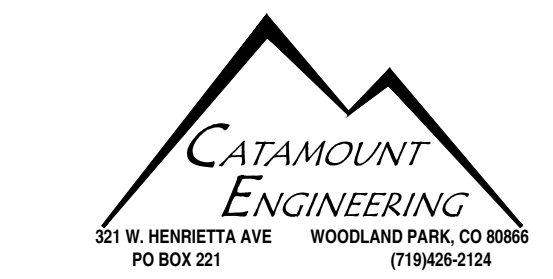


REV.	DESCRIPTION	DATE



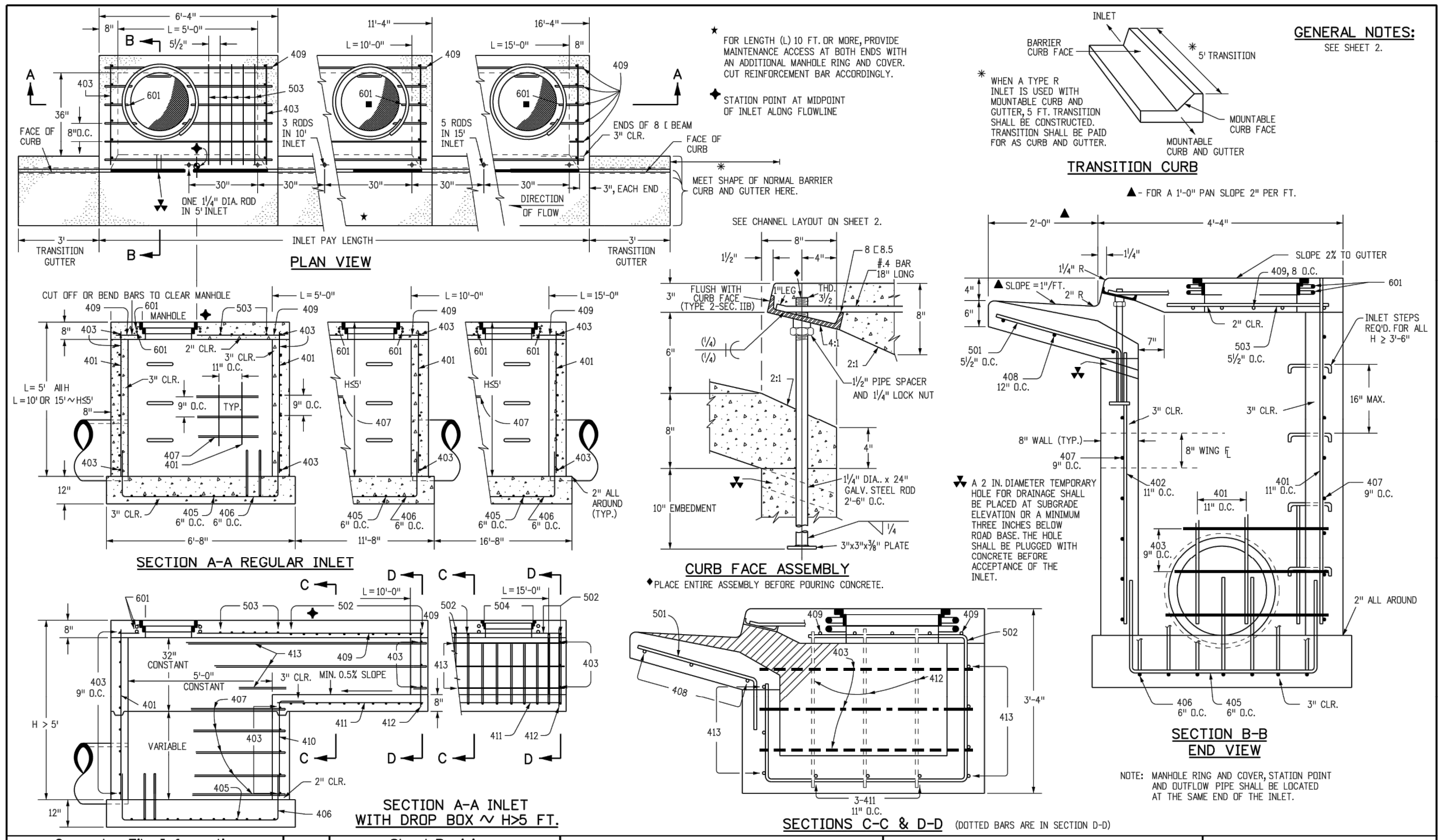
PREPARED FOR:
PHI REAL ESTATE SERVICES
200 W CITY CENTER DR #200
PUEBLO CO 81003

PREPARED UNDER DIRECT SUPERVISION FOR AND BEHALF
OF CATAMOUNT ENGINEERING
David L. Mijares
DAVID L. MIJARES, PE #40510
07/29/22
DATE



THE VILLAS AT CLAREMONT RANCH		SCALE: 1" = 50'	DRAWN BY: MGP
STORM SEWER PLAN & PROFILES		DATE: 01/17/20	JOB NUMBER: SHEET
16-102		3 OF 5	

Provide detail for riprap outlet protection



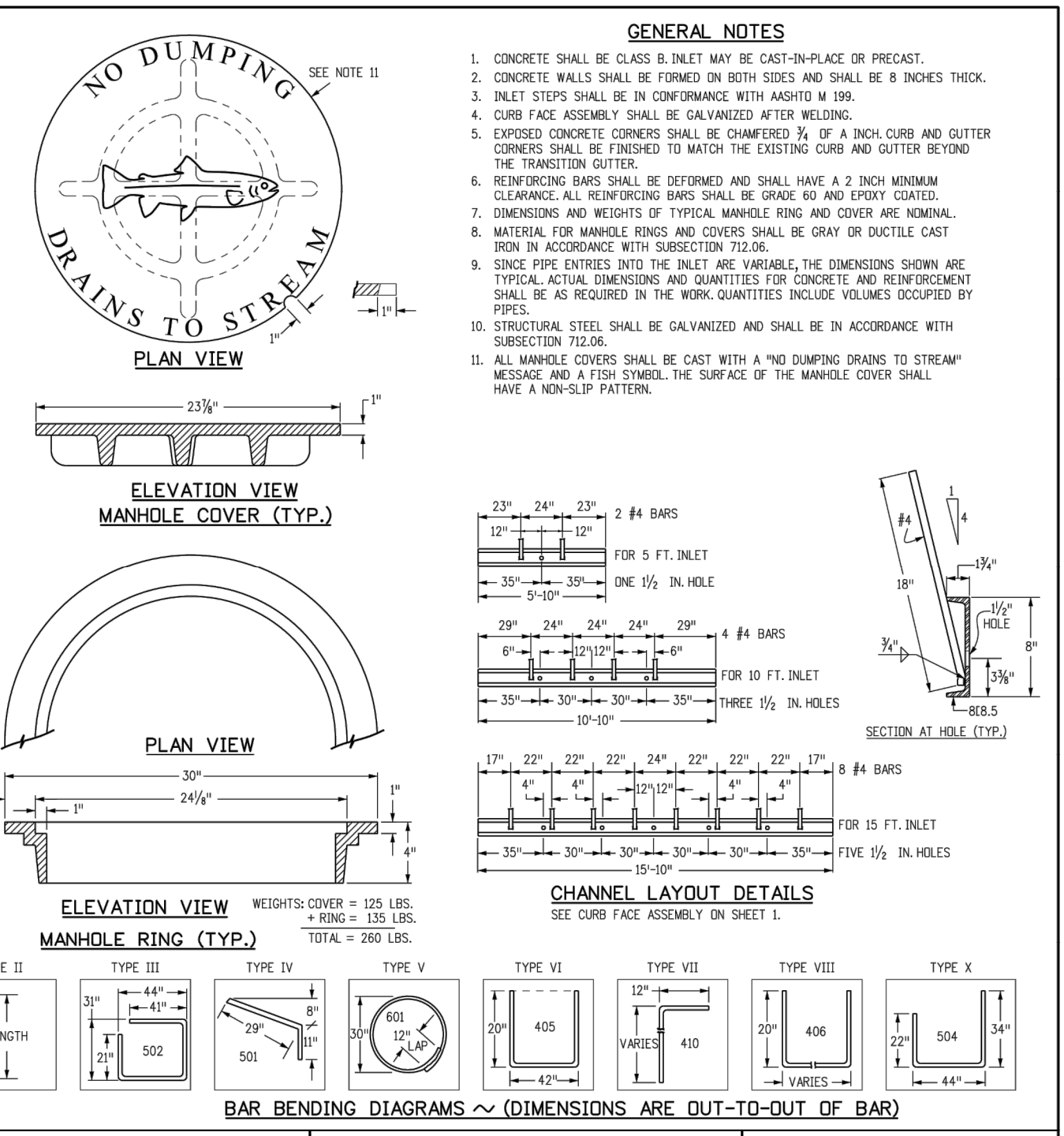
Computer File Information, Sheet Revisions, Colorado Department of Transportation, CURB INLET TYPE R, STANDARD PLAN NO. M-604-12, Standard Sheet No. 1 of 2.

Table with columns: MARK, BAR NO., TYPE, ALL INLETS, INLETS H ≤ 5 FT., INLETS H > 5 FT. (L=10 FT., L=15 FT.). Lists bar specifications for various inlet types and sizes.

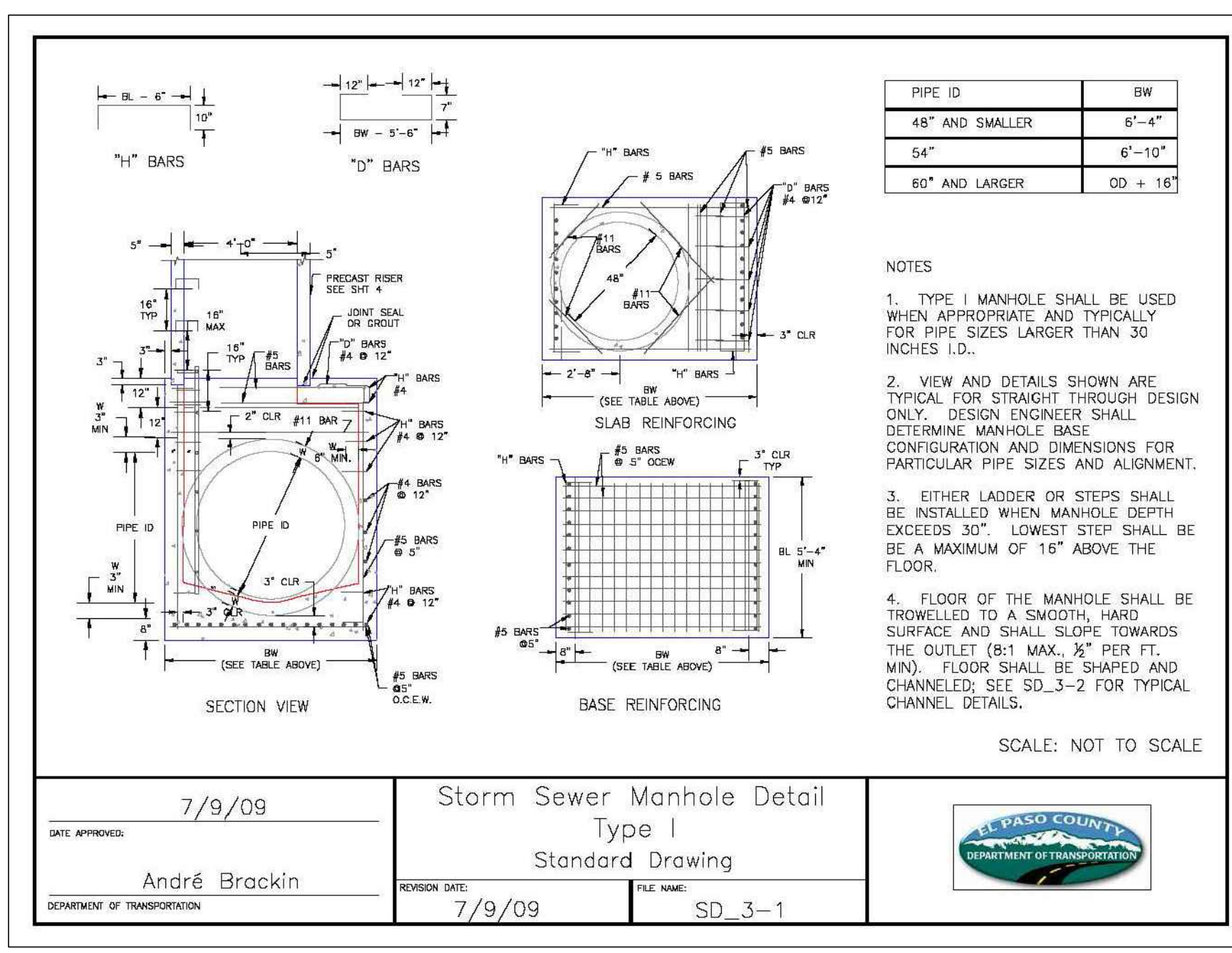
TABLE ONE ~ BAR LIST FOR CURB INLETS, TYPE "R"

Table with columns: INLET, LENGTH, NO. REINFORCING BARS, NO. REINFORCING STEEL, L = 5 FT., L = 10 FT., L = 15 FT. Includes notes on steel weights and quantities.

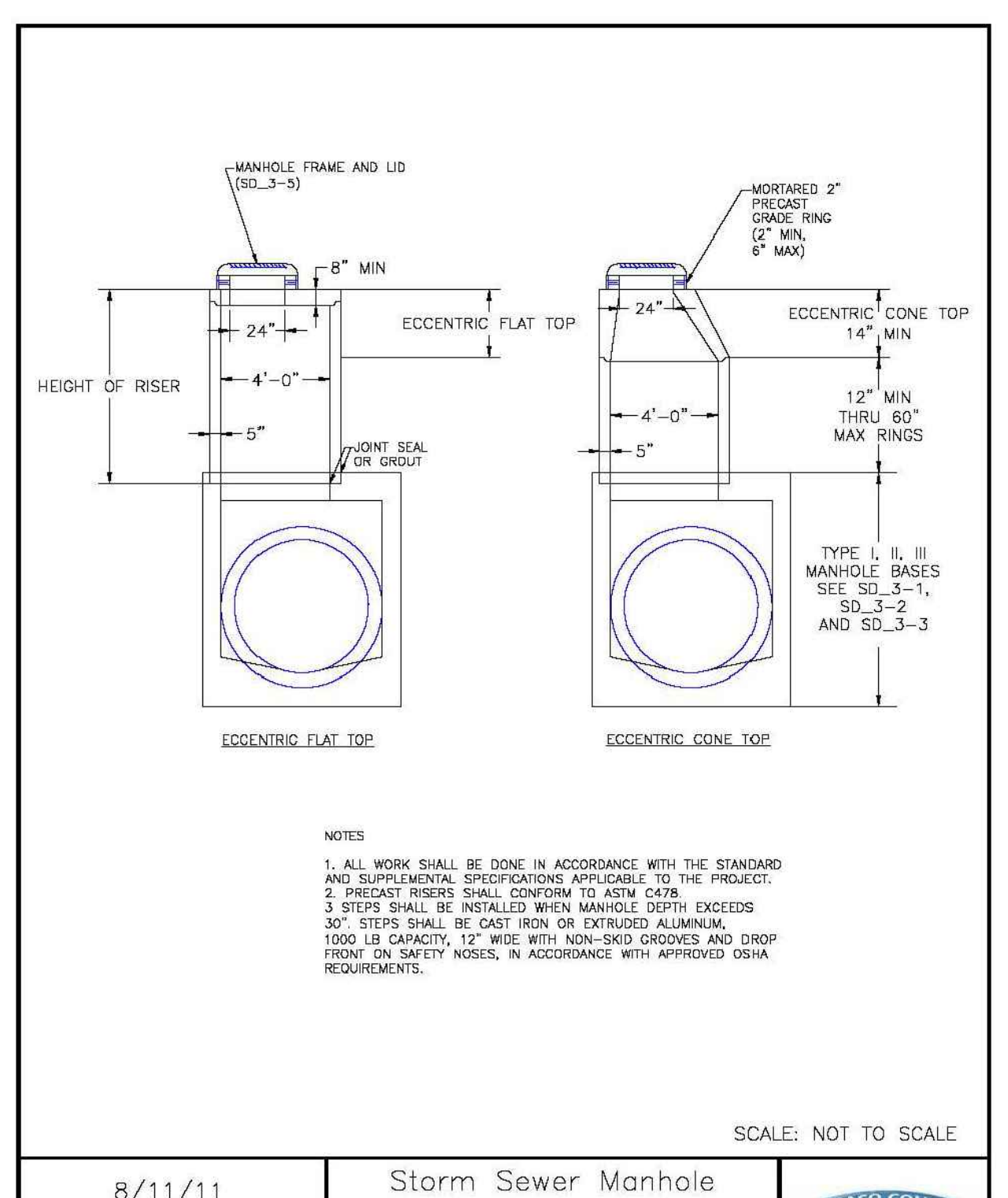
TABLE TWO ~ BARS AND QUANTITIES VARIABLE WITH "H"



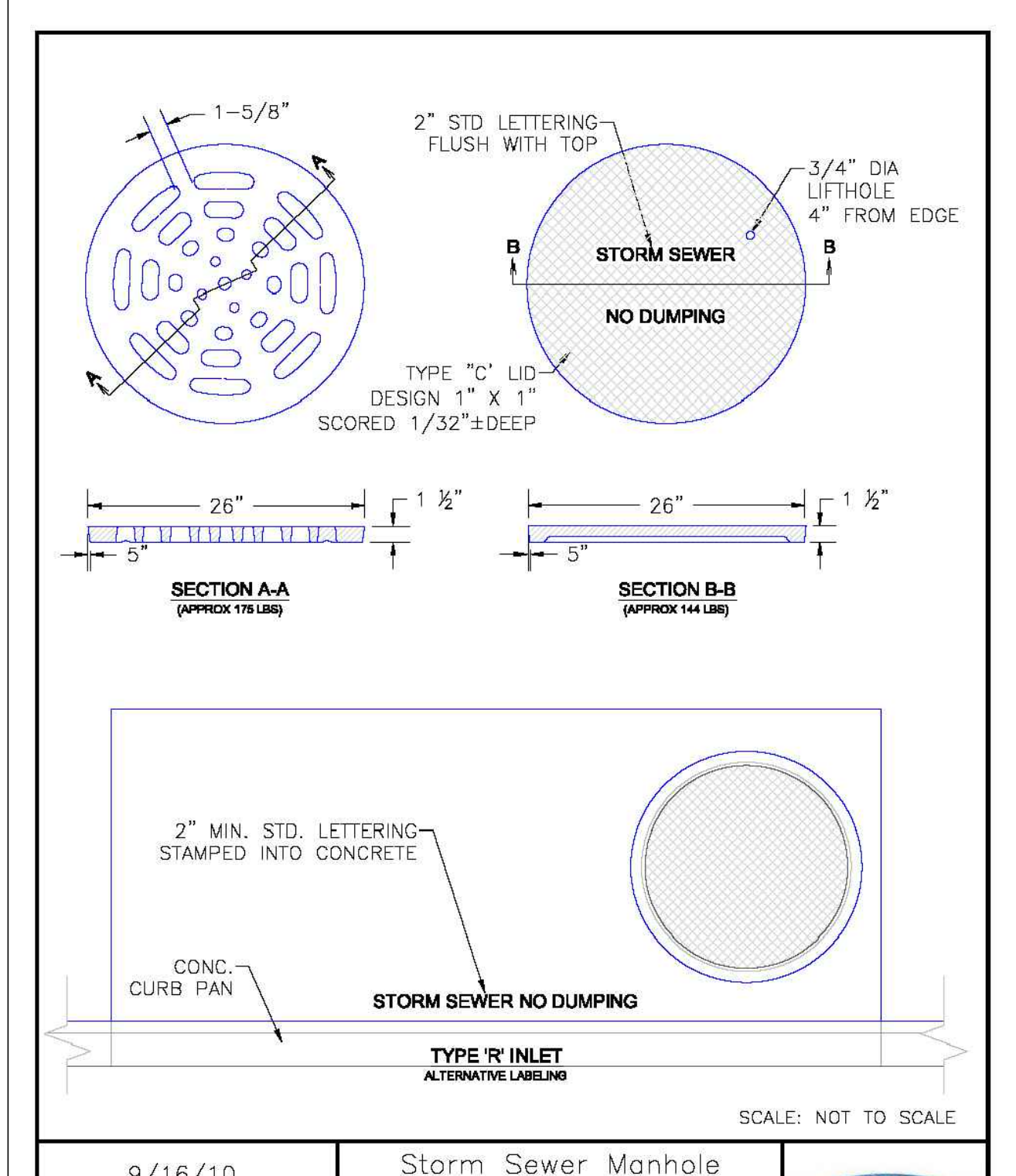
Computer File Information, Sheet Revisions, Colorado Department of Transportation, CURB INLET TYPE R, STANDARD PLAN NO. M-604-12, Standard Sheet No. 2 of 2.



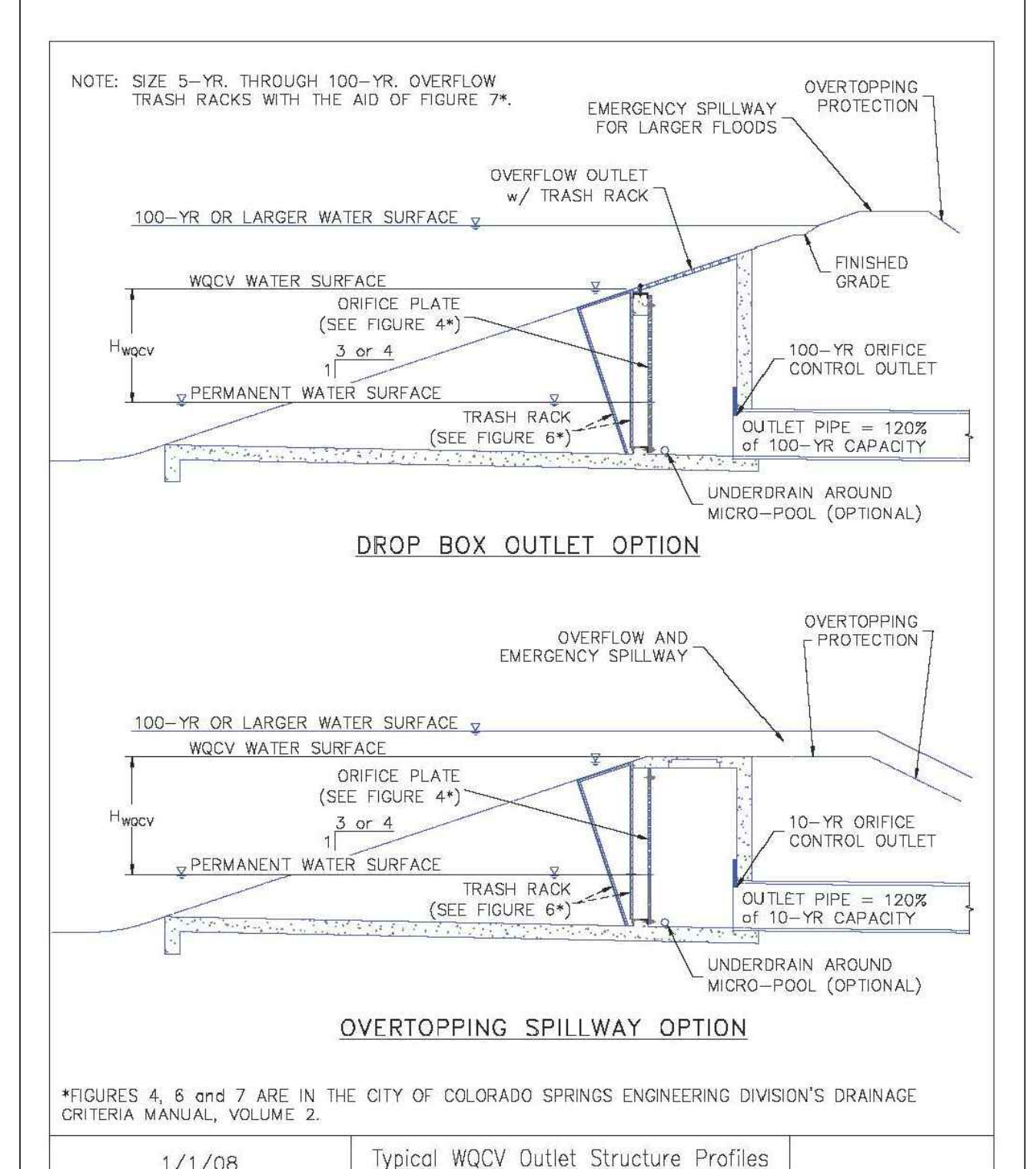
8/9/09, Storm Sewer Manhole Detail Type I Standard Drawing, SD_3-1, André Brackin.



8/11/11, Storm Sewer Manhole Riser and Cover Detail Standard Drawing, SD_3-7, André P. Brackin.



9/16/10, Storm Sewer Manhole Details Alternative Labeling Standard Drawing, SD_3-5, André P. Brackin.



1/1/08, Typical WQCV Outlet Structure Profiles Including 100-Year Detention Standard Drawing, SD_3-83, John A. McCorty.

Project information footer including 811 logo, PHI REAL ESTATE SERVICES, LLC, CATAMOUNT ENGINEERING, THE VILLAS AT CLAREMONT RANCH, and drawing details like SCALE: N/A, DATE: 12/08/22, JOB NUMBER: 16-102, SHEET: 4 OF 5.

GENERAL NOTES:

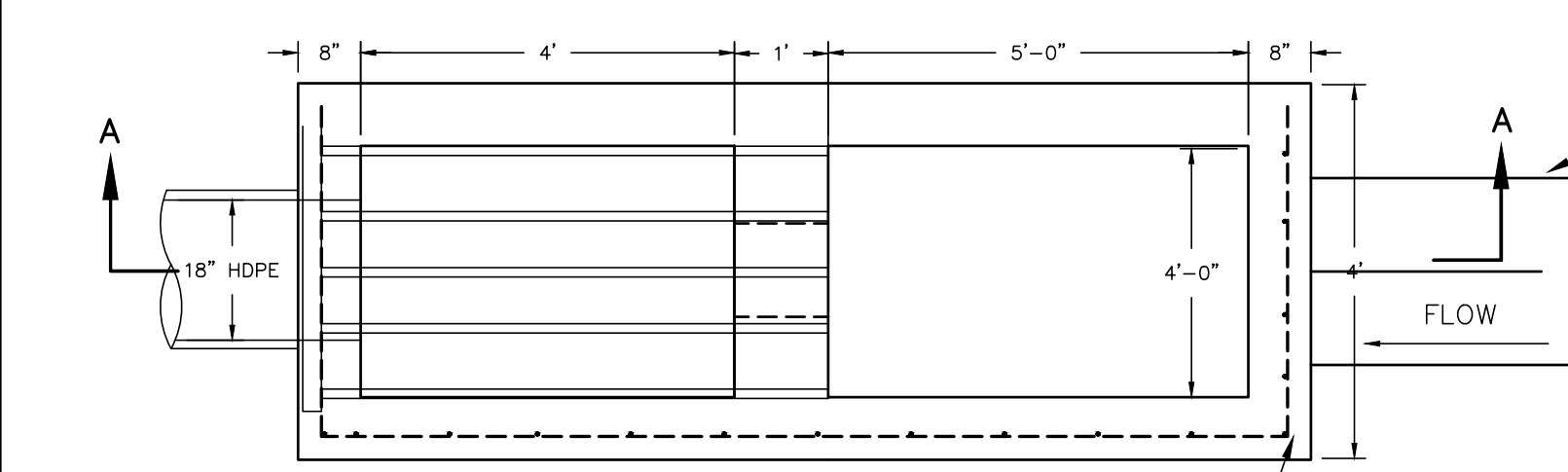
- ALL MATERIALS AND INSTALLATION PROCEDURES SHALL BE IN ACCORDANCE WITH CITY OF COLORADO SPRINGS STANDARD SPECIFICATIONS LATEST REVISION, UNLESS OTHERWISE IDENTIFIED.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WORK. THE OMISSION FROM OR THE INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NONEXISTENCE OF OR A DEFINITE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- THE CONTRACTOR WILL TAKE NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. ANY DAMAGE TO UTILITIES WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE, AND ANY SERVICE DISRUPTION SHALL BE SETTLED BY THE CONTRACTOR.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SCHEDULE A PRECONSTRUCTION CONFERENCE INCLUDING THE CONTRACTOR, ENGINEER, GEOTECHNICAL ENGINEER, PROJECT SURVEYOR, AND CITY REPRESENTATIVE. THE CONTRACTOR SHALL PROVIDE A DETAILED CONSTRUCTION SCHEDULE INDICATING THE PROJECT SEQUENCING AND TIME LINE FOR CONSTRUCTION ACTIVITIES FOR THE DURATION OF THE PROJECT.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE GEOTECHNICAL ENGINEER, THE ENGINEER, AND/OR CITY REPRESENTATIVE FOR TESTING AND OBSERVATION AS ESTABLISHED AT THE PRECONSTRUCTION CONFERENCE AND AS REQUIRED BY THE PROJECT SPECIFICATIONS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT SURVEYOR FOR STAKING REQUIREMENTS AS ESTABLISHED AT THE PRECONSTRUCTION CONFERENCE.
- THE CONTRACTOR SHALL PROVIDE COPIES OF ALL SUBMITTALS AND CERTIFICATIONS TO THE ENGINEER FOR APPROVAL A MINIMUM OF TWO (2) WEEKS PRIOR TO ORDERING MATERIALS.
- BEFORE EXCAVATING, CONTRACTOR SHALL VERIFY LOCATION OF UNDERGROUND UTILITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MONUMENTATION AND/OR BENCHMARKS WHICH WILL BE DISTURBED OR DESTROYED BY CONSTRUCTION. SUCH POINTS SHALL BE REFERENCED AND REPLACED WITH APPROPRIATE MONUMENTATION BY A LICENSED LAND SURVEYOR.
- THE APPROVAL OF THESE PLANS OR ISSUANCE OF A PERMIT BY THE CITY OF COLORADO SPRINGS DOES NOT AUTHORIZE THE CONTRACTOR AND/OR THE OWNER TO VIOLATE ANY FEDERAL, STATE OR CITY LAWS, ORDINANCES, REGULATIONS, OR POLICIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NEW, TEMPORARY AND EXISTING SIGNAGE FROM THE START OF THE CONSTRUCTION PROJECT UNTIL ACCEPTANCE BY THE OWNER.
- THE CONTRACTOR SHALL NOT REMOVE ANY EXISTING SIGNS, PAVEMENT MARKINGS OR TRAFFIC SIGNALS DURING THE PROJECT WITHOUT SIGNED AUTHORIZATION OF THE CITY REPRESENTATIVE ASSIGNED TO THE PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK ZONE TRAFFIC CONTROL. CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING, INSTALLING AND MAINTAINING THE TEMPORARY TRAFFIC CONTROL DEVICES THROUGHOUT THE DURATION OF THE PROJECT.
- IF A DISCREPANCY IS IDENTIFIED BETWEEN THE CONSTRUCTION DRAWINGS, PROJECT SPECIFICATIONS, AND/OR CITY SPECIFICATIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD FOR RESOLUTION PRIOR TO CONTINUATION OF WORK.
- PRIVATE EXTENDED DETENTION BASIN TO BE OWNED AND MAINTAINED BY CENTRAL MARKSHEFFEL METROPOLITAN DISTRICT.

CONCRETE CONSTRUCTION NOTES:

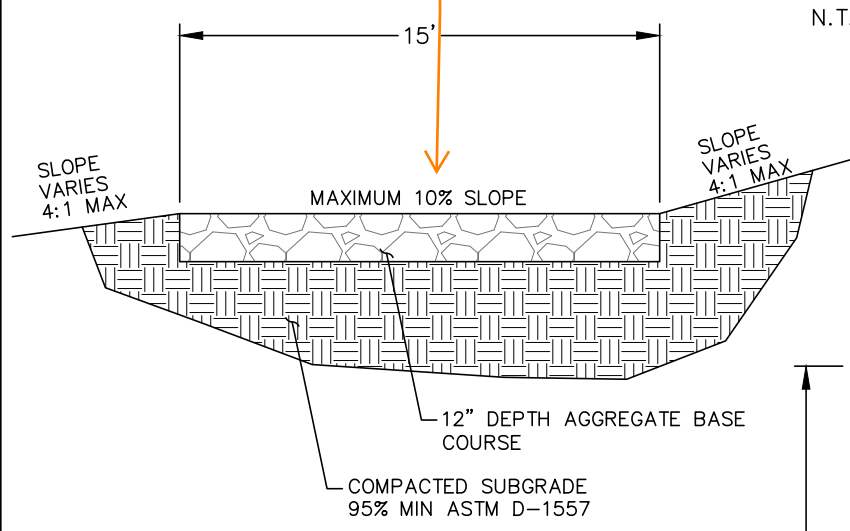
- ALL CAST INPLACE STRUCTURAL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS. HIGHER COMPRESSIVE STRENGTH CONCRETE IS ACCEPTABLE TO ACHIEVE EARLY STRENGTH AS DEEMED NECESSARY TO MEET CONSTRUCTION SCHEDULING.
- REINFORCING BARS SHALL BE IN CONFORMANCE WITH ASTM A-615 GRADE 60.
- CONCRETE PROTECTIVE COVER SHALL BE 3" FOR CONCRETE POURED AGAINST EARTH AND 2" FOR FORMED CONCRETE, UNLESS OTHERWISE NOTED ON THE PLANS.
- MINIMUM LAP SPLICES SHALL BE 18".
- PLACEMENT OF CONCRETE SHALL BE IN ACCORDANCE WITH ACI-318. DROP CHUTES AND/OR PUMPING SHALL BE USED TO PREVENT SEGREGATION OF THE MIX DUE TO EXCESSIVE VERTICAL DROP.
- CONCRETE SHALL BE PLACED WITH A SLUMP BETWEEN 1" AND 4".
- NO CALCIUM CHLORIDE ADMIXTURE SHALL BE USED. AN APPROVED WATER REDUCING AGENT MAY BE USED.
- CONCRETE SHALL HAVE 5% TO 8% ENTRAINED AIR BY VOLUME.
- ALL EXPOSED CONCRETE EDGES SHALL BE CHAMFERED 1".
- ALL MATERIALS AND INSTALLATION PROCEDURES SHALL BE IN COMPLIANCE WITH CITY OF COLORADO SPRINGS STANDARDS. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED FROM THE ENGINEER AND MUST BE APPROVED IN WRITING PRIOR TO ACCEPTANCE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR STRUCTURE STABILITY DURING CONSTRUCTION. BACKFILL SHALL BE BROUGHT UP EVENLY AGAINST STRUCTURE.

provide detail for handrail

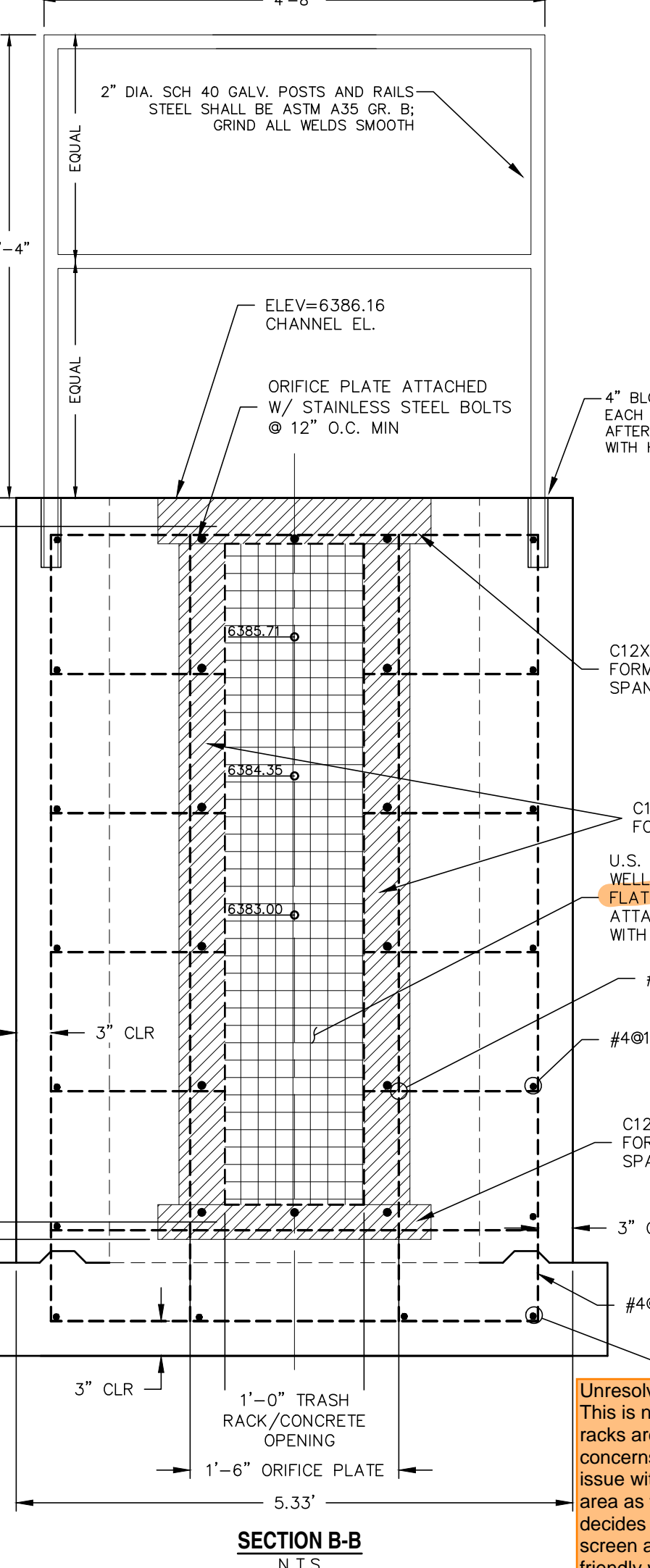
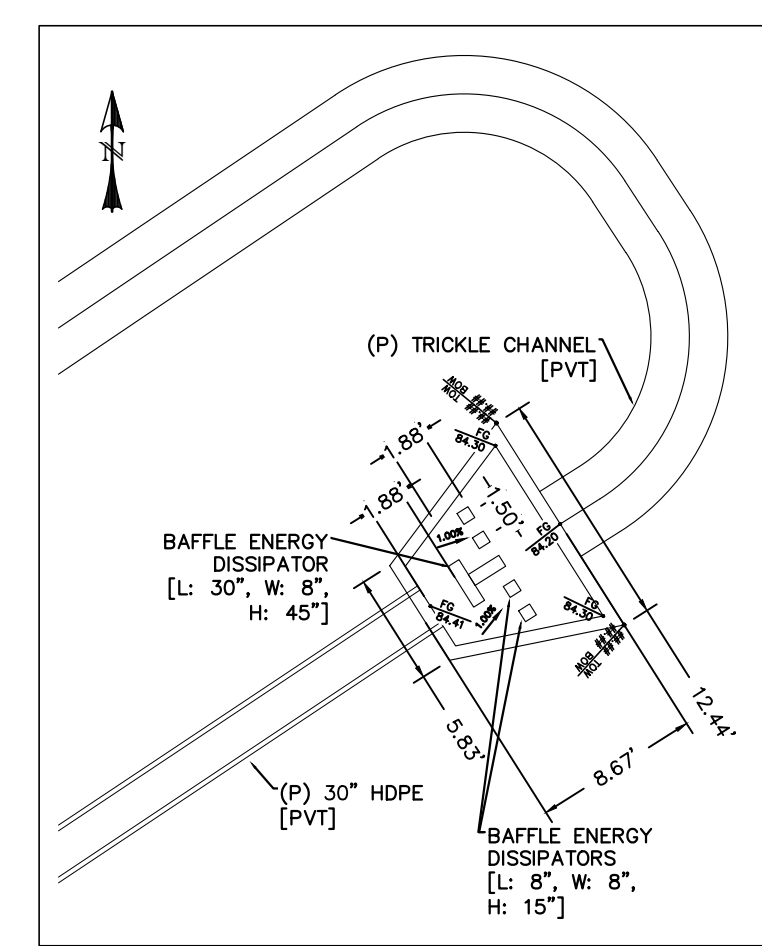
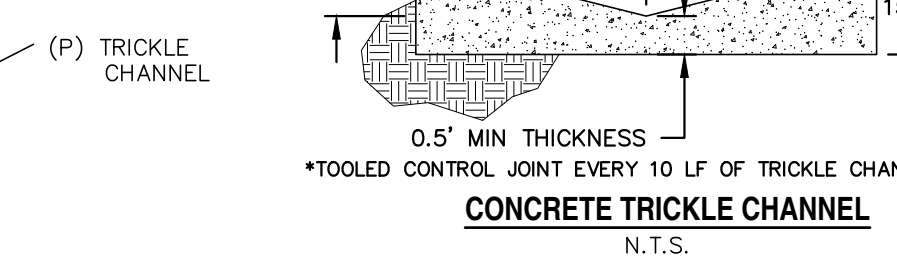
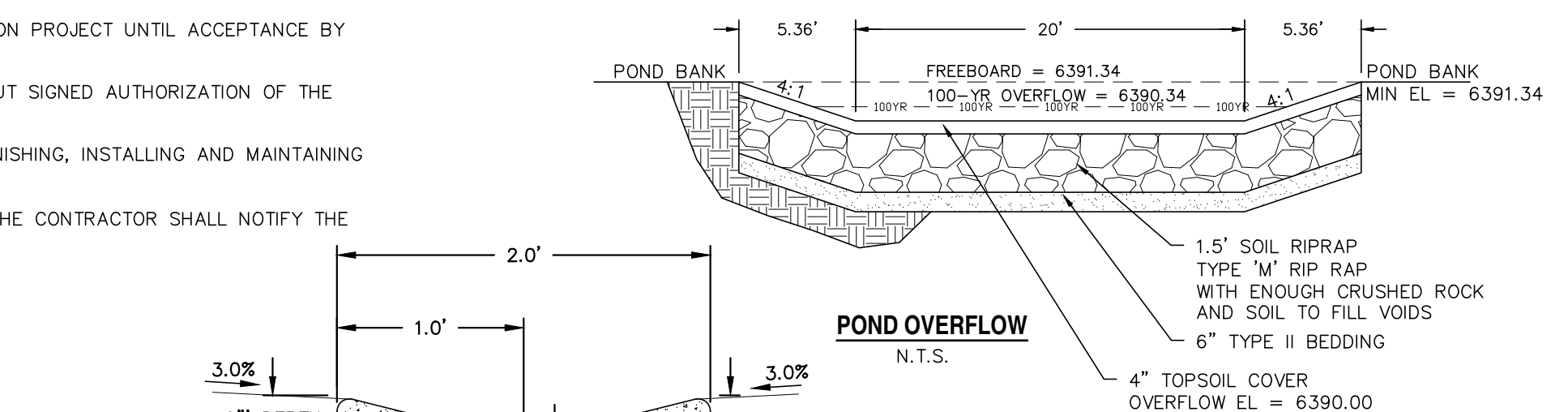
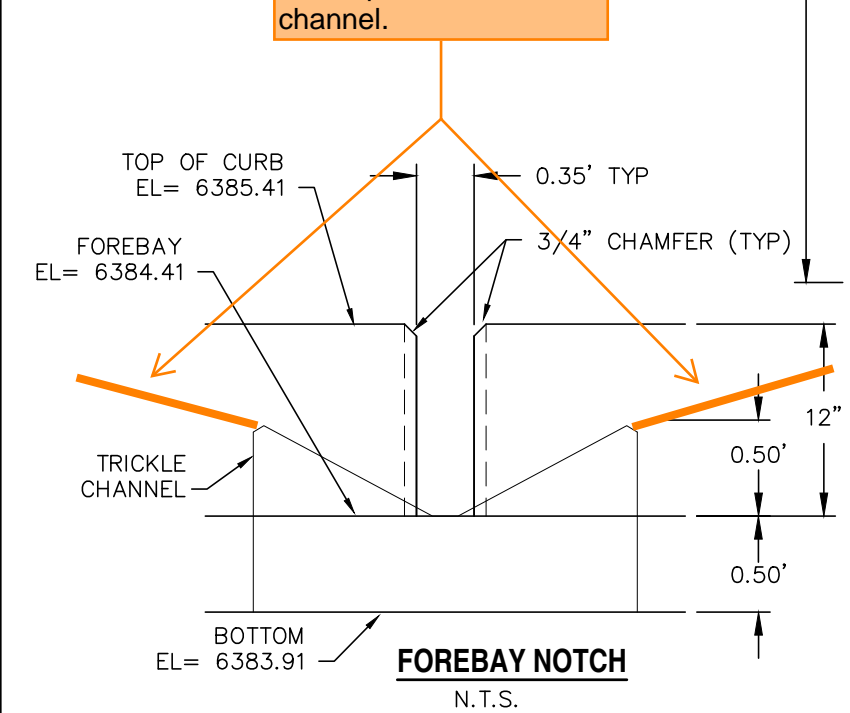
Provide horizontal information to layout trickle channel and access road



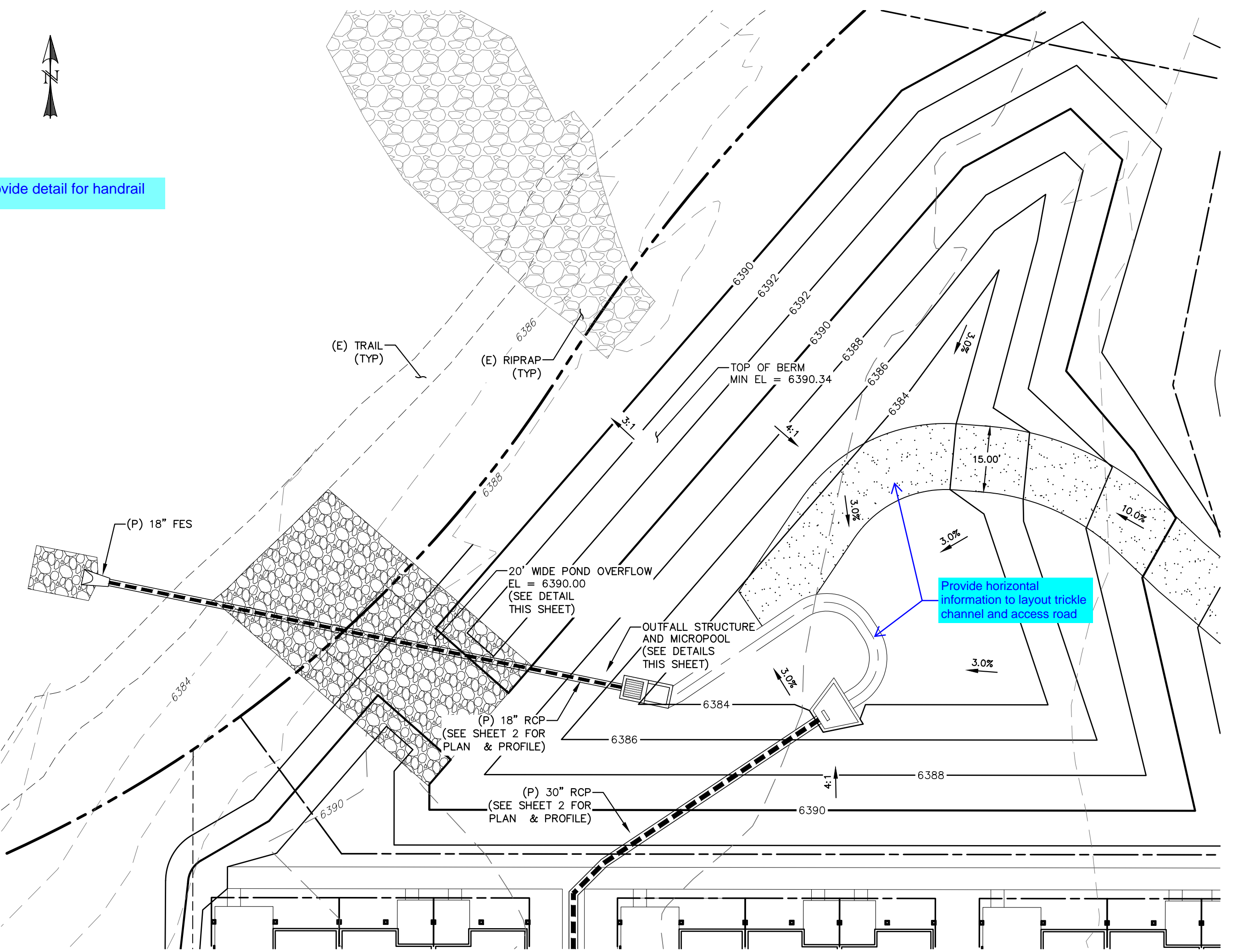
clarify that this is for longitudinal slope so it's not confused with the max cross slope which is 2%.



Show how pond bottom ties into top of trickle channel curb with min 3% slope towards channel.

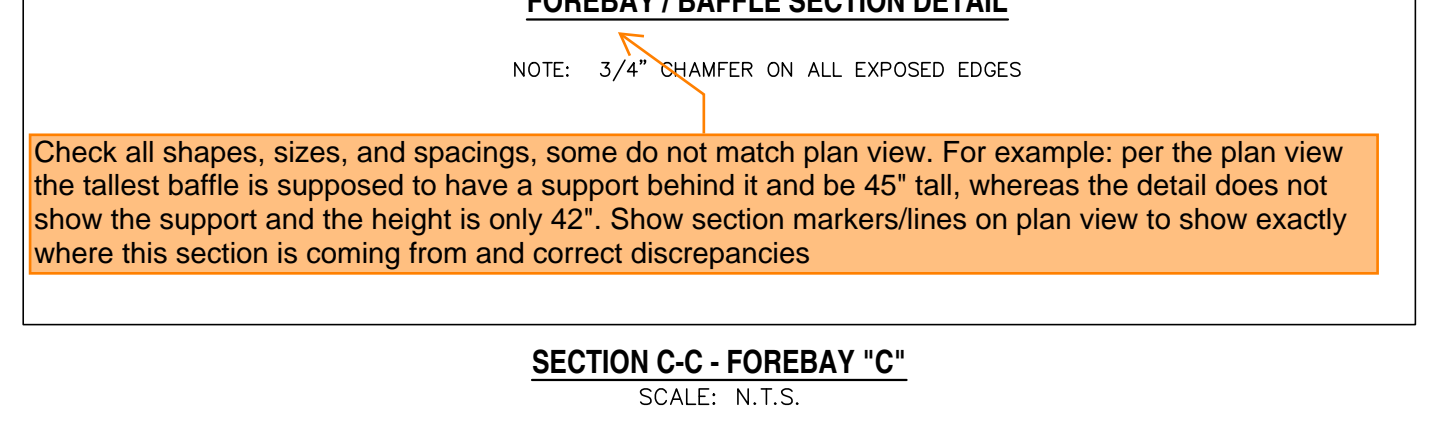
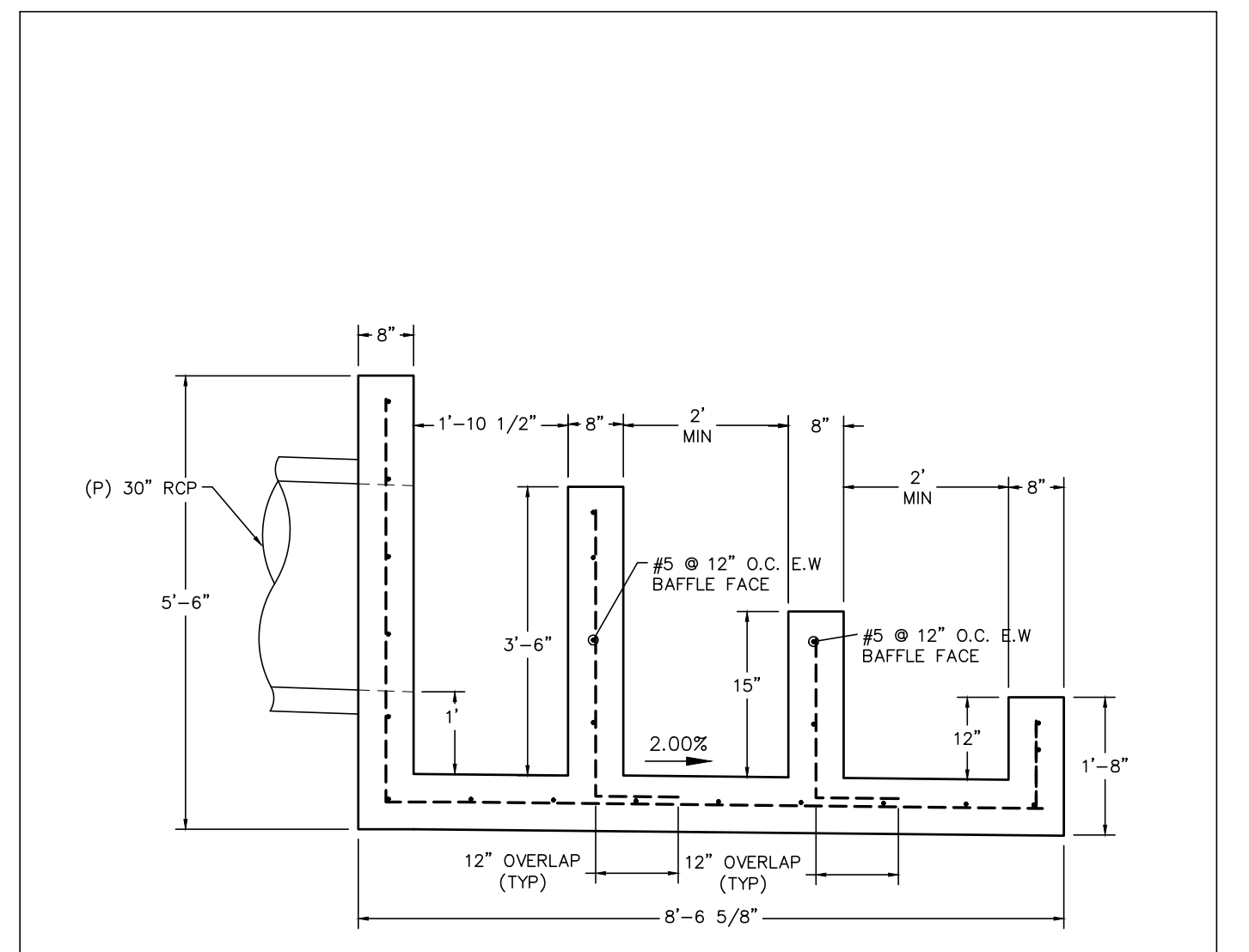


Unresolved comment.
This is not an approved alternative, please remove. Diamond plate trash racks are not an equivalent replacement to those in our criteria. We have concerns that the diamond plate is going to be a constant maintenance issue with clogging. Diamonds plates may have the same percent open area as those shown in our criteria but this isn't the only criteria that decides equivalency with the ones specified out in our criteria. The well screen and bar grates in our criteria are designed to be maintenance friendly whereas the diamond plate will clog more often.



LEGEND

EXISTING	(E)
PROPOSED	(P)
CURB AND GUTTER	C&G
BOUNDARY	---
RIGHT-OF-WAY	---
LOT LINE	---
(E) CONTOUR, INDEX	---
(E) CONTOUR	---
(P) CONTOUR, INDEX	---
(P) CONTOUR	---
(P) STORM SEWER	---



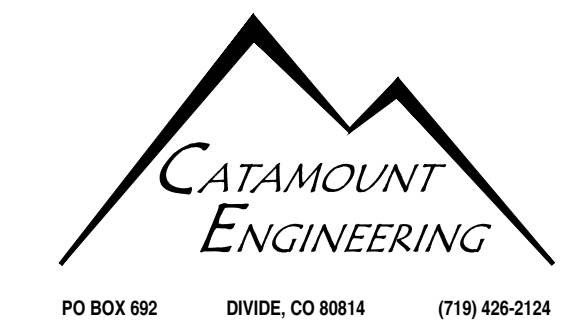
Check all shapes, sizes, and spacings, some do not match plan view. For example: per the plan view the tallest baffle is supposed to have a support behind it and be 45" tall, whereas the detail does not show the support and the height is only 42". Show section markers/lines on plan view to show exactly where this section is coming from and correct discrepancies

REV.	DESCRIPTION	DATE



PREPARED FOR:
PREMIER HOMES
200 W CITY CENTER DR #200
PUEBLO CO 81003

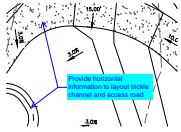
PREPARED UNDER THE DIRECT SUPERVISION FOR AND BEHALF OF
CATAMOUNT ENGINEERING
DAVID L. MIJARES, LICENSED PROFESSIONAL ENGINEER
40510
07/29/22
DATE



THE VILLAS AT CLAREMONT RANCH		DRAWN BY: SLP
POND DETAIL SHEET		SCALE: N/A DATE: 07/29/22
16-102	JOB NUMBER	SHEET
5 OF 5	16-102	5 OF 5

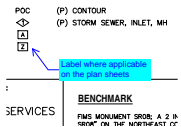
Construction Drawings_V3.pdf Markup Summary

Callout (5)



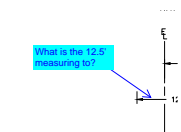
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Author: CDurham
Date: 1/18/2023 11:06:42 AM
Status:
Color: ■
Layer:
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Provide horizontal information to layout trickle channel and access road



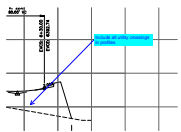
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Author: CDurham
Date: 1/18/2023 9:26:27 AM
Status:
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Layer:
Space:

Label where applicable on the plan sheets



Subject: Callout
Page Label: 1
Author: CDurham
Date: 1/18/2023 9:29:55 AM
Status:
Color: ■
Layer:
Space:

What is the 12.5' measuring to?



Subject: Callout
Page Label: 2
Author: CDurham
Date: 1/18/2023 9:31:20 AM
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Layer:
Space:

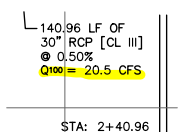
Include all utility crossings in profiles



Subject: Callout
Page Label: 3
Author: CDurham
Date: 1/18/2023 9:32:33 AM
Status:
Color: ■
Layer:
Space:


Need to indicate where curb transitions are taking place - All plan views

Highlight (10)




Subject: Highlight
Page Label: 8
Author: CDurham
Date: 1/18/2023 10:20:18 AM
Status:
Color: ■
Layer:
Space:


42.04 LF OF
30" RCP [CL
0.50%

Subject: Highlight
Page Label: 8
Author: CDurham
Date: 1/18/2023 10:21:44 AM
Status:
Color: 
Layer:
Space:


0.50%
= 17.6 CF

Subject: Highlight
Page Label: 8
Author: CDurham
Date: 1/18/2023 10:21:51 AM
Status:
Color: 
Layer:
Space:


RCP [CL III]
0.50%
= 13.9 CFS

Subject: Highlight
Page Label: 8
Author: CDurham
Date: 1/18/2023 10:22:09 AM
Status:
Color: 
Layer:
Space:


245.18 LF OF
18" RCP [CL III]
0.63%
Q100 = 6.4 CFS

Subject: Highlight
Page Label: 8
Author: CDurham
Date: 1/18/2023 10:24:28 AM
Status:
Color: 
Layer:
Space:


10.15 LF OF
RCP [CL III]
0.61%
= 3.3 CFS

Subject: Highlight
Page Label: 8
Author: CDurham
Date: 1/18/2023 10:25:03 AM
Status:
Color: 
Layer:
Space:


STA: 4+95.96
INSIDE FACE OF MH
BEGIN 18" RCP
INV = 6387.93

Subject: Highlight
Page Label: 8
Author: CDurham
Date: 1/18/2023 10:29:07 AM
Status:
Color: 
Layer:
Space:


STA: 7+45.14
INSIDE FACE OF MH
BEGIN 18" RCP
INV = 6389.98

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Author: CDurham
Date: 1/18/2023 10:29:36 AM
Status:
Color: 
Layer:
Space:

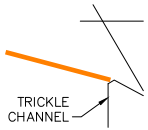
16.15 L
15" RCP [C
③ 3
Q10 - 3 7


Subject: Highlight
Page Label: 9
Author: CDurham
Date: 1/18/2023 10:33:15 AM
Status:
Color: 
Layer:
Space:

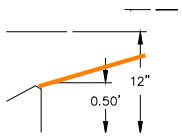
18" RC
24" RC
INV IN [S


Subject: Highlight
Page Label: 9
Author: CDurham
Date: 1/18/2023 10:33:25 AM
Status:
Color: 
Layer:
Space:

Line (2)

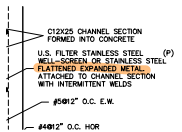



Subject: Line
Page Label: 11
Author: Glenn Reese - EPC Stormwater
Date: 1/10/2023 11:39:00 AM
Status:
Color: 
Layer:
Space:



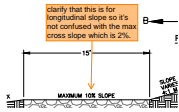
Subject: Line
Page Label: 11
Author: Glenn Reese - EPC Stormwater
Date: 1/10/2023 11:39:00 AM
Status:
Color: 
Layer:
Space:

SW - Highlight (1)



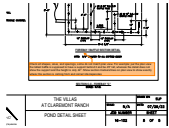
Subject: SW - Highlight
Page Label: 11
Author: Glenn Reese - EPC Stormwater
Date: 1/10/2023 11:39:00 AM
Status:
Color: 
Layer:
Space:

SW - Textbox with Arrow (4)



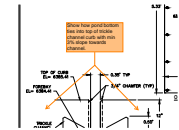
Subject: SW - Textbox with Arrow
Page Label: 11
Author: Glenn Reese - EPC Stormwater
Date: 1/10/2023 11:39:00 AM
Status:
Color: ■
Layer:
Space:

clarify that this is for longitudinal slope so it's not confused with the max cross slope which is 2%.



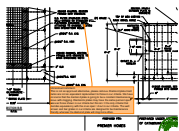
Subject: SW - Textbox with Arrow
Page Label: 11
Author: Glenn Reese - EPC Stormwater
Date: 1/10/2023 11:39:00 AM
Status:
Color: ■
Layer:
Space:

Check all shapes, sizes, and spacings, some do not match plan view. For example: per the plan view the tallest baffle is supposed to have a support behind it and be 45" tall, whereas the detail does not show the support and the height is only 42". Show section markers/lines on plan view to show exactly where this section is coming from and correct discrepancies



Subject: SW - Textbox with Arrow
Page Label: 11
Author: Glenn Reese - EPC Stormwater
Date: 1/10/2023 11:39:00 AM
Status:
Color: ■
Layer:
Space:

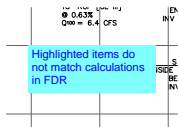
Show how pond bottom ties into top of trickle channel curb with min 3% slope towards channel.



Subject: SW - Textbox with Arrow
Page Label: 11
Author: Glenn Reese - EPC Stormwater
Date: 1/10/2023 11:39:00 AM
Status:
Color: ■
Layer:
Space:

Unresolved comment.
This is not an approved alternative, please remove. Diamond plate trash racks are not an equivalent replacement to those in our criteria. We have concerns that the diamond plate is going to be a constant maintenance issue with clogging. Diamonds plates may have the same percent open area as those shown in our criteria but this isn't the only criteria that decides equivalency with the ones specified out in our criteria. The well screen and bar grates in our criteria are designed to be maintenance friendly whereas the diamond plate will clog more often.

Text Box (5)



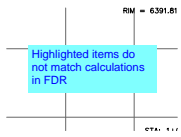
Subject: Text Box
Page Label: 8
Author: CDurham
Date: 1/18/2023 10:26:42 AM
Status:
Color: ■
Layer:
Space:

Highlighted items do not match calculations in FDR



Subject: Text Box
Page Label: 10
Author: CDurham
Date: 1/18/2023 10:32:40 AM
Status:
Color: ■
Layer:
Space:

Provide detail for riprap outlet protection



Subject: Text Box
Page Label: 9
Author: CDurham
Date: 1/18/2023 10:35:04 AM
Status:
Color: ■
Layer:
Space:

Highlighted items do not match calculations in FDR

A

Subject: Text Box
Page Label: 11
Author: CDurham
Date: 1/18/2023 10:40:24 AM
Status:
Color: ■
Layer:
Space:

provide detail for handrail

Subject: Text Box
Page Label: 5
Author: CDurham
Date: 1/18/2023 9:33:29 AM
Status:
Color: ■
Layer:
Space:

Add curb transition detail