

CROSSROADS AT MEADOWBROOK-MIXED USE PRELIMINARY PLAN

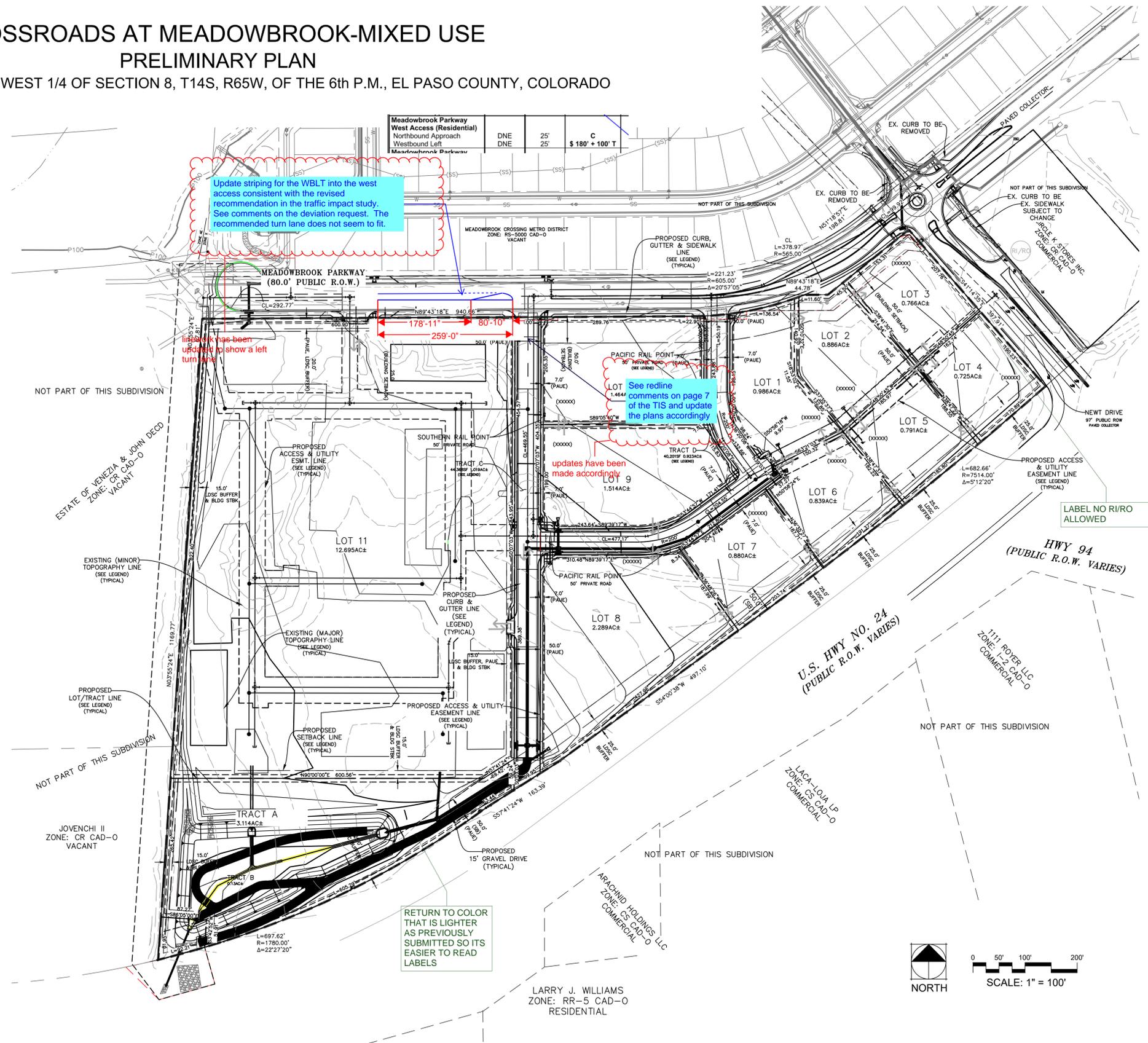
LOCATED IN THE SOUTHWEST 1/4 OF SECTION 8, T14S, R65W, OF THE 6th P.M., EL PASO COUNTY, COLORADO

LOT TABLE		
LOT NO.	SF/AC±	USE
1	42,957SF± / 0.986AC±	COMMERCIAL
2	38,580SF± / 0.886AC±	COMMERCIAL
3	33,348SF± / 0.766AC±	COMMERCIAL
4	31,582SF± / 0.725AC±	COMMERCIAL
5	34,445SF± / 0.791AC±	COMMERCIAL
6	36,566SF± / 0.839AC±	COMMERCIAL
7	38,339SF± / 0.880AC±	COMMERCIAL
8	99,693SF± / 2.289AC±	COMMERCIAL
9	65,950SF± / 1.514AC±	COMMERCIAL
10	63,729SF± / 1.464AC±	COMMERCIAL
11	553,005SF± / 12.695AC±	MULTI-FAMILY

TRACT TABLE			
TRACT	SIZE SF/ACRES±	OWNERSHIP & MAINTENANCE	USE
A	135,632SF / 3.114 AC±	CRMD #1	**PARK/OPEN SPACE/DRAINAGE/PUBLIC IMPROVEMENT/PUBLIC UTILITY/LANDSCAPING/SIDEWALKS & PEDESTRIAN EASEMENT
B	5,821SF / 0.130 AC±	CSE LLC	OPEN SPACE/DRAINAGE/PUBLIC IMPROVEMENT/PUBLIC UTILITY/LANDSCAPING/SIDEWALKS/SIGNAGE & PEDESTRIAN EASEMENT
C	44,368SF / 1.019 AC±	CRMD #1	PRIVATE ROAD/VEHICULAR ACCESS/DRAINAGE/PUBLIC IMPROVEMENT/PUBLIC UTILITY/LANDSCAPING/SIDEWALKS & PEDESTRIAN EASEMENT
D	40,201SF / 0.923 AC±	CRMD #1	PRIVATE ROAD/VEHICULAR ACCESS/DRAINAGE/PUBLIC IMPROVEMENT/PUBLIC UTILITY/LANDSCAPING/SIDEWALKS & PEDESTRIAN EASEMENT
TOTAL	226,022SF / 5.186 AC±		

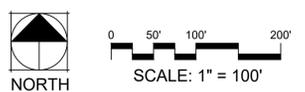
CRMD #1 = Crossroads Metropolitan District Nos. 1 & 2
CSE LLC = Colorado Springs Equities LLC

- (PAUE) PRIVATE ACCESS & UTILITY EASEMENT
 - (UE) UTILITY EASEMENT
 - (SB) SETBACK LINE
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 - — — — — EXISTING EDGE OF ASPHALT
 - - - - - EXISTING TOPOGRAPHY (MINOR)
 - - - - - EXISTING TOPOGRAPHY (MAJOR)
 - ⊘ ⊘ APPROXIMATE PROPOSED CURB 25' RADIUS (TYPICAL)



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<p>2018 KIMLEY-HORN AND ASSOCIATES, INC. 1001 NORTH NEWHOPE AVE., SUITE 300 COLORADO SPRINGS, COLORADO 80903 (719) 453-0180</p>	<p>DESIGNED BY: LMS DRAWN BY: LMS CHECKED BY: JEH DATE: 07/23/21</p>
<p>CROSSROADS AT MEADOWBROOK MIXED USE PRELIMINARY PLAN</p>	
<p>PROJECT NO. 096956000 SHEET 02 OF 05</p>	



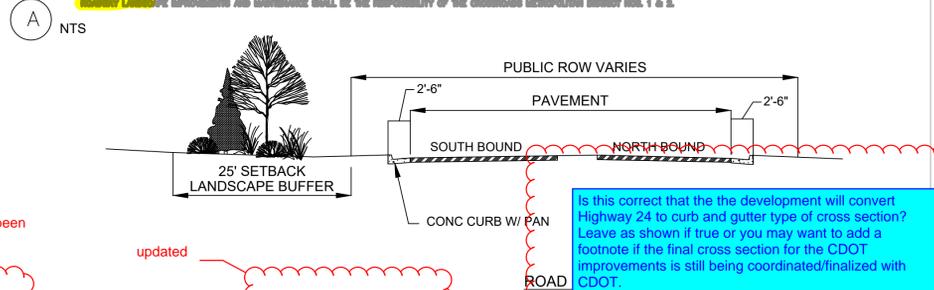
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NO LANDSCAPE
MAY BE IN THE
PUBLIC ROW

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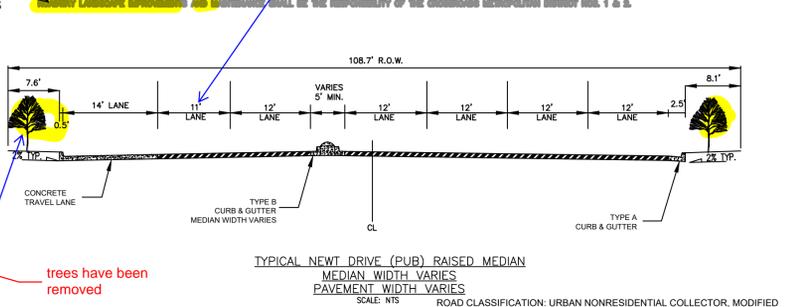
STREET CROSS SECTION & LANDSCAPE DETAIL "A" - HIGHWAY 24 (PROPOSED)



conc. curb has been removed, there will be no curb and gutter along 24

Is this correct that the development will convert Highway 24 to curb and gutter type of cross section? Leave as shown if true or you may want to add a footnote if the final cross section for the CDOT improvements is still being coordinated/ finalized with CDOT.

STREET CROSS SECTION & LANDSCAPE DETAIL "B" - NEWT DRIVE



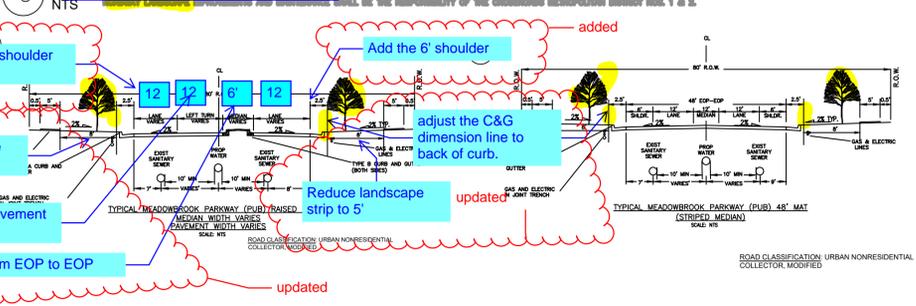
fix line weight to text is legible. Typical for all.

Revise to 12' lane width per ECM Table 2-7

remove the trees within the ROW. Typical for all cross sections.

Unresolved.

LANDSCAPE DETAIL "C" - MEADOWBROOK PARKWAY



Update dimensions from varies to the widths per criteria

Add the 6' shoulder

Add the 6' shoulder

adjust the C&G dimension line to back of curb.

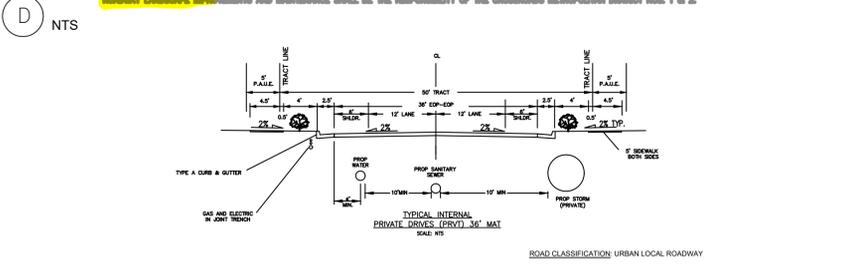
Reduce landscape strip to 5'

Reduce landscape strip to 5'

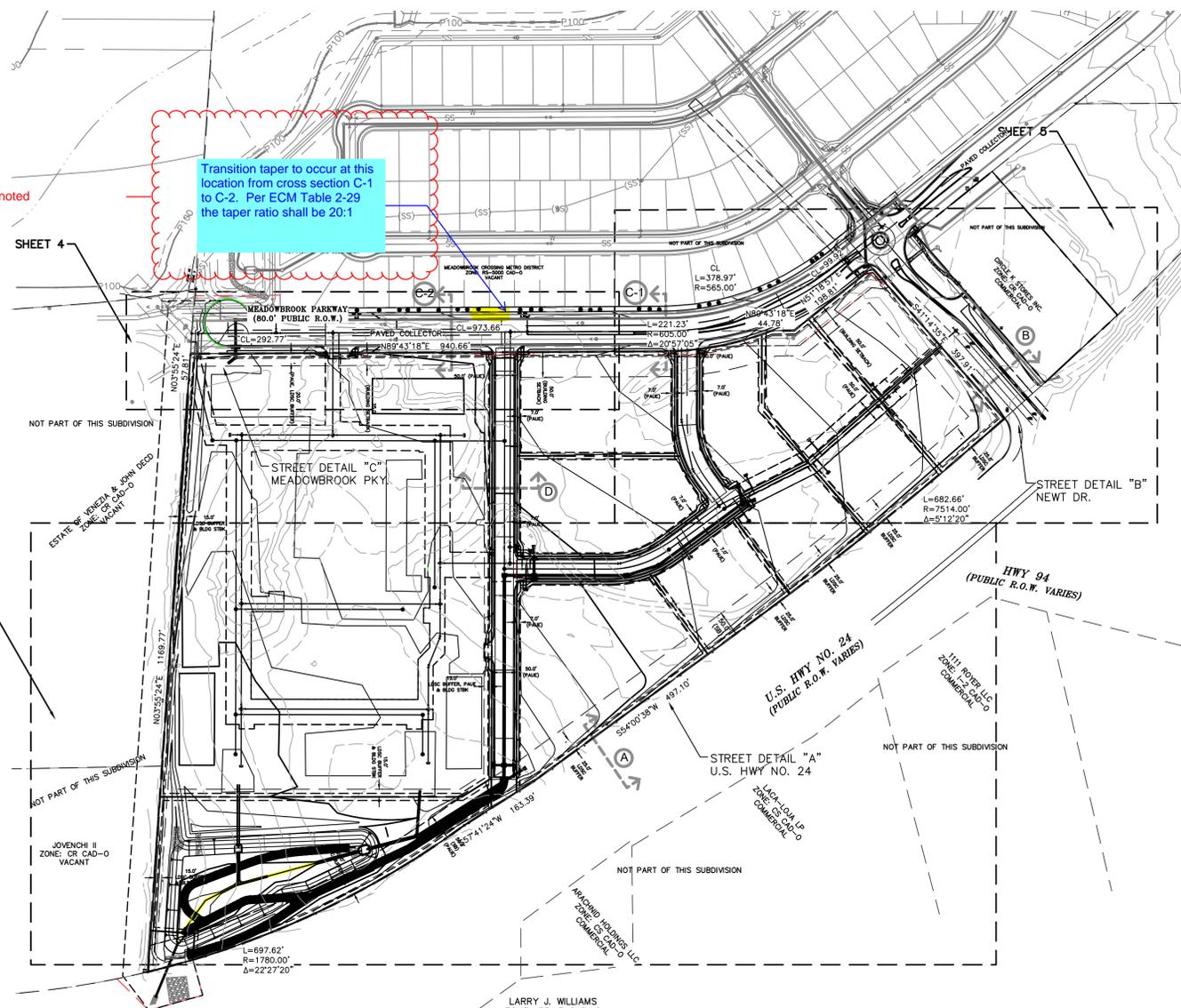
to edge of pavement (EOP).

from EOP to EOP

STREET CROSS SECTION & LANDSCAPE DETAIL "D" - SOUTHERN RAIL POINT & PACIFIC RAIL POINT



** SIDEWALKS FOR THE PRIVATE ROAD "SOUTHERN RAIL POINT AND PACIFIC RAIL POINT" SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PRIVATE ROAD CROSS SECTIONS PROVIDED ON THE LANDSCAPE DETAIL SHEET (SHEET NO. 3) OF THIS PRELIMINARY PLAN. FINAL SIDEWALK DESIGN AND CORRESPONDING FINANCIAL ASSURANCES WILL BE PROVIDED WITH FUTURE FINAL PLAT(S) OR INDIVIDUAL SITE DEVELOPMENT PLAN SUBMITTAL & REVIEW(S).



Transition taper to occur at this location from cross section C-1 to C-2. Per ECM Table 2-29 the taper ratio shall be 20:1

noted

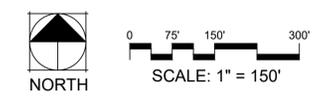
Kimley»Horn

2018 KIMLEY-HORN AND ASSOCIATES, INC.
100 NORTH NEWBLISS AVE., SUITE 300
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

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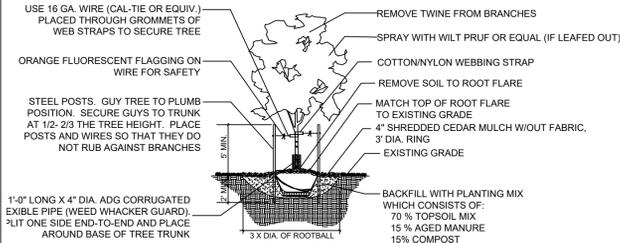


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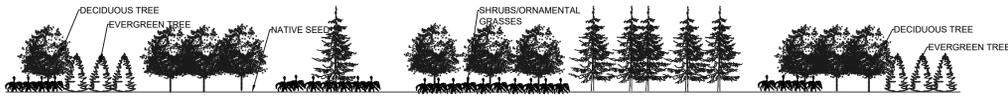
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- NOTES:
- DIG PIT SO THAT TOP OF THE ROOT FLARE IS LEVEL WITH SURROUNDING GRADE. THE ROOT FLARE SHOULD DETERMINE THE DEPTH OF THE PIT, NOT THE TOP OF THE ROOT BALL.
 - THE BALL OF TREE SHOULD SIT ON UNDISTURBED SOIL.
 - CUT BOTTOM OF BASKET. REMOVE ALL SOIL FROM ROOT BALL TO TOP OF ROOT FLARE. SET TREE AND REMOVE ENTIRE BASKET AFTER CORRECT PLACEMENT. REMOVE BURLAP FROM THE SIDE OF THE ROOT BALL. REMOVE ALL TWINE FROM AROUND THE TRUNK AND BACKFILL.

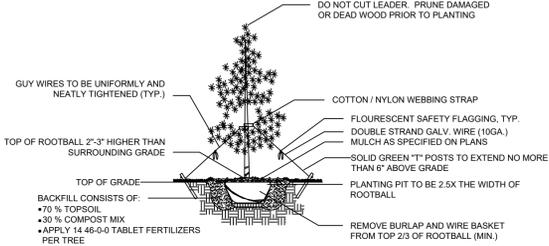


(A) TYPICAL LANDSCAPE ELEVATION
ELEVATION NTS

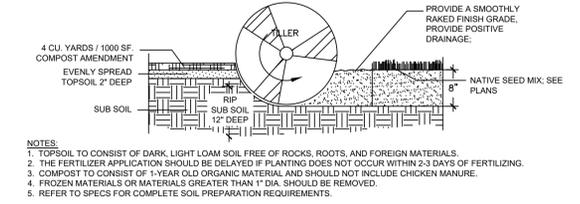
LANDSCAPE SETBACKS:

STREET NAME OR ZONE BOUNDARY:	HIGHWAY 24	MEADOWBROOK PKWY.	NEWT DRIVE
STREET CLASSIFICATION:	EXPRESSWAY	MAJOR ARTERIAL	NON ARTERIAL
SETBACK DEPTH REQUIRED/PROVIDED:	25' / 25'	25' / 25'	25' / 25'
LINEAR FOOTAGE:	2341'	1406'	388'
TREE/FEET REQUIRED:	1 / 20'	1 / 20'	1 / 30'
NUMBER OF TREES REQUIRED/PROVIDED:	102 / 102	71 / 71	14 / 14
PLANT ABBREVIATION DENOTED ON PLAN:	HB	MB	SB
% GROUND PLANE VEG. REQUIRED/PROVIDED:	75 / 75%	75 / 75%	75 / 75%

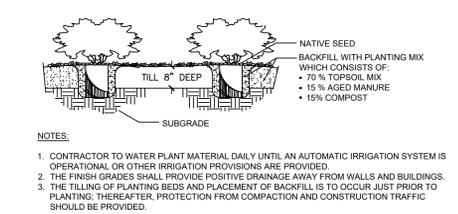
1 DECIDUOUS TREE PLANTING PLANTING DETAIL NTS



2 EVERGREEN TREE PLANTING PLANTING DETAIL NTS



3 SOIL PREP- NATIVE SEED AREAS PLANTING DETAIL NTS

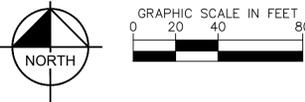
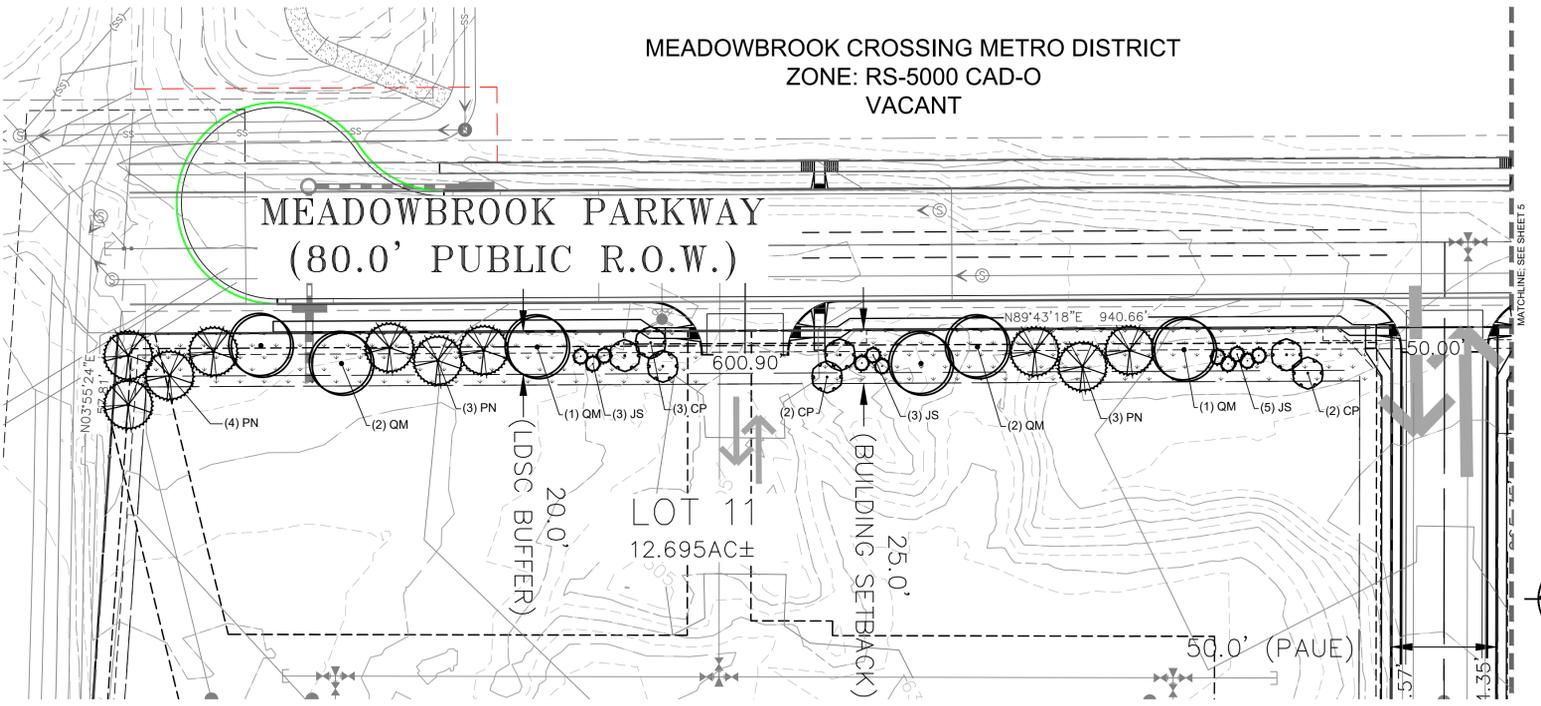


4 SHRUB DETAIL PLANTING DETAIL NTS

PLANT SCHEDULE

DECIDUOUS TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE/CAL	WIDTH	HEIGHT
	CP	54	CRATAEGUS PHAENOPYRUM	WASHINGTON HAWTHORN	B & B	2" CAL MIN	15'-20'	20'-25'
	QM	31	QUERCUS MACROCARPA	BUR OAK	B & B		40'-60'	60'+
EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE/CAL	WIDTH	HEIGHT
	JS	55	JUNIPERUS SCOPULORUM	ROCKY MOUNTAIN JUNIPER	B & B	6' HGT.	8'-12'	20'-30'
	PN	47	PINUS NIGRA	AUSTRIAN BLACK PINE	B & B	6' HGT.	30'-40'	40'-60'
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	TYPE	INSTALL RATE	WEED FABRIC	MFR.
	SEED	168,129 SF	PBSI NATIVE LAWN MIX QUANTITY IS APPROXIMATE. AREA OF SEED COVER TO BE PROVIDED WITH LANDSCAPE CONSTRUCTION DOCUMENTS.		SEED			PAWNEE BUTTES SEED INC.

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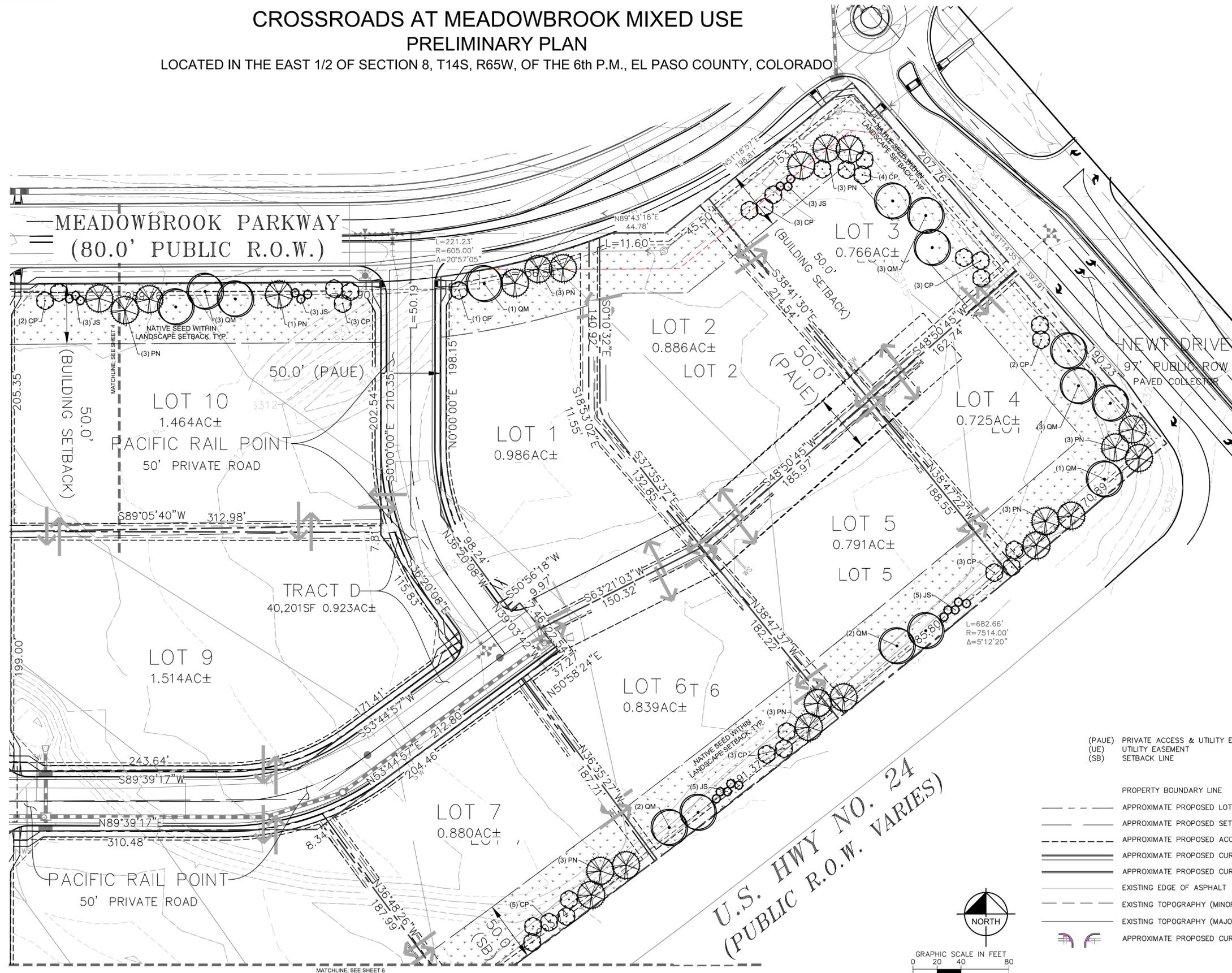
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 SHEET 04 OF 06
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 CHECKED BY: JEH
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 2018 KIMLEY-HORN AND ASSOCIATES, INC.
 700 NORTH NEWVIA AVE., SUITE 300
 COLORADO SPRINGS, COLORADO 80903 (719) 453-0180
 NO. REVISION BY DATE APPR.

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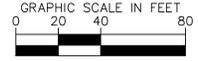
CROSSROADS AT MEADOWBROOK MIXED USE PRELIMINARY PLAN

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U.S. HWY NO. 24
(PUBLIC R.O.W. VARIES)

Kimley»Horn	
2018 KIMLEY-HORN AND ASSOCIATES, INC. 1000 NORTH NEWYORK AVE., SUITE 300 COLORADO SPRINGS, COLORADO 80903 (719) 453-0180	
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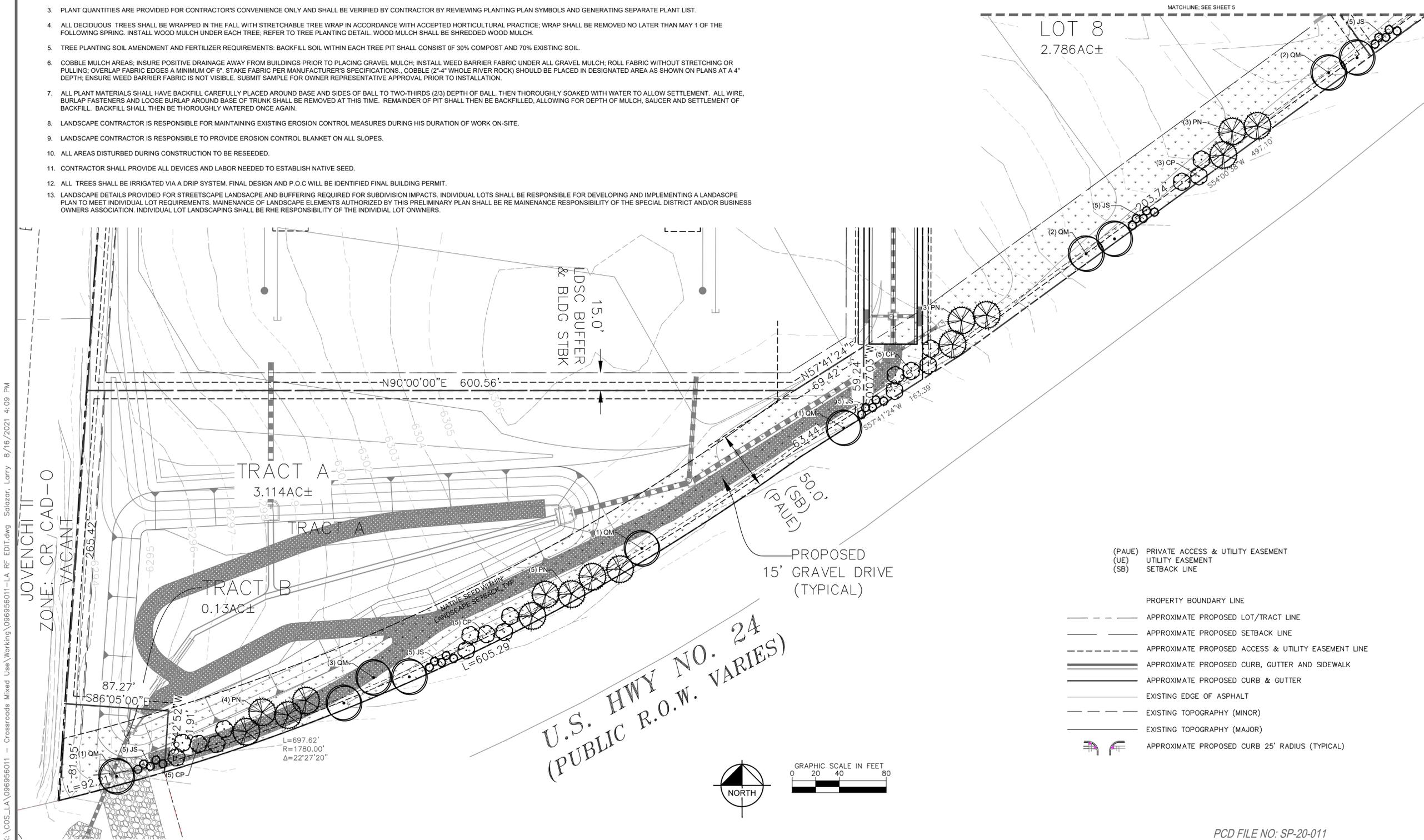
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GENERAL NOTES

- CONTRACTOR SHALL WARRANTY ALL PLANT MATERIAL FOR ONE YEAR AFTER SUBSTANTIAL COMPLETION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL PLANT MATERIALS IN A HEALTHY STATE DURING CONSTRUCTION AND THROUGH FINAL COMPLETION AS PART OF PLANTING COST. ANY DAMAGE TO PLANT MATERIAL SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE. AFTER FINAL COMPLETION, OWNER SHALL BE RESPONSIBLE FOR PLANT MAINTENANCE.
- PLANT QUANTITIES ARE PROVIDED FOR CONTRACTOR'S CONVENIENCE ONLY AND SHALL BE VERIFIED BY CONTRACTOR BY REVIEWING PLANTING PLAN SYMBOLS AND GENERATING SEPARATE PLANT LIST.
- ALL DECIDUOUS TREES SHALL BE WRAPPED IN THE FALL WITH STRETCHABLE TREE WRAP IN ACCORDANCE WITH ACCEPTED HORTICULTURAL PRACTICE; WRAP SHALL BE REMOVED NO LATER THAN MAY 1 OF THE FOLLOWING SPRING. INSTALL WOOD MULCH UNDER EACH TREE; REFER TO TREE PLANTING DETAIL. WOOD MULCH SHALL BE SHREDDED WOOD MULCH.
- TREE PLANTING SOIL AMENDMENT AND FERTILIZER REQUIREMENTS: BACKFILL SOIL WITHIN EACH TREE PIT SHALL CONSIST OF 30% COMPOST AND 70% EXISTING SOIL.
- COBBLE MULCH AREAS: INSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS PRIOR TO PLACING GRAVEL MULCH; INSTALL WEED BARRIER FABRIC UNDER ALL GRAVEL MULCH; ROLL FABRIC WITHOUT STRETCHING OR PULLING; OVERLAP FABRIC EDGES A MINIMUM OF 6". STAKE FABRIC PER MANUFACTURER'S SPECIFICATIONS. COBBLE (2"4" WHOLE RIVER ROCK) SHOULD BE PLACED IN DESIGNATED AREA AS SHOWN ON PLANS AT A 4" DEPTH; ENSURE WEED BARRIER FABRIC IS NOT VISIBLE. SUBMIT SAMPLE FOR OWNER REPRESENTATIVE APPROVAL PRIOR TO INSTALLATION.
- ALL PLANT MATERIALS SHALL HAVE BACKFILL CAREFULLY PLACED AROUND BASE AND SIDES OF BALL TO TWO-THIRDS (2/3) DEPTH OF BALL, THEN THOROUGHLY SOAKED WITH WATER TO ALLOW SETTLEMENT. ALL WIRE, BURLAP FASTENERS AND LOOSE BURLAP AROUND BASE OF TRUNK SHALL BE REMOVED AT THIS TIME. REMAINDER OF PIT SHALL THEN BE BACKFILLED, ALLOWING FOR DEPTH OF MULCH, SAUCER AND SETTLEMENT OF BACKFILL. BACKFILL SHALL THEN BE THOROUGHLY WATERED ONCE AGAIN.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EXISTING EROSION CONTROL MEASURES DURING HIS DURATION OF WORK ON-SITE.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE TO PROVIDE EROSION CONTROL BLANKET ON ALL SLOPES.
- ALL AREAS DISTURBED DURING CONSTRUCTION TO BE RESEEDDED.
- CONTRACTOR SHALL PROVIDE ALL DEVICES AND LABOR NEEDED TO ESTABLISH NATIVE SEED.
- ALL TREES SHALL BE IRRIGATED VIA A DRIP SYSTEM. FINAL DESIGN AND P.O.C WILL BE IDENTIFIED FINAL BUILDING PERMIT.
- LANDSCAPE DETAILS PROVIDED FOR STREETSCAPE LANDSCAPE AND BUFFERING REQUIRED FOR SUBDIVISION IMPACTS. INDIVIDUAL LOTS SHALL BE RESPONSIBLE FOR DEVELOPING AND IMPLEMENTING A LANDSCAPE PLAN TO MEET INDIVIDUAL LOT REQUIREMENTS. MAINTENANCE OF LANDSCAPE ELEMENTS AUTHORIZED BY THIS PRELIMINARY PLAN SHALL BE RE MAINTENANCE RESPONSIBILITY OF THE SPECIAL DISTRICT AND/OR BUSINESS OWNERS ASSOCIATION. INDIVIDUAL LOT LANDSCAPING SHALL BE RHE RESPONSIBILITY OF THE INDIVIDUAL LOT OWNERS.



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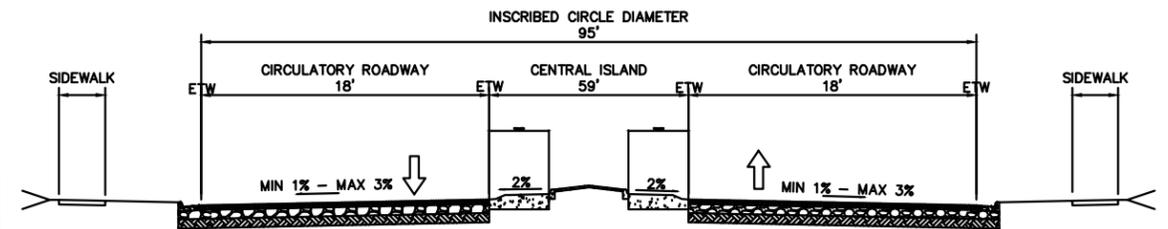
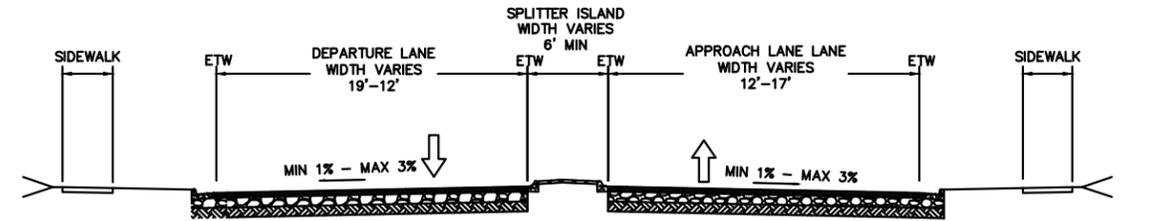
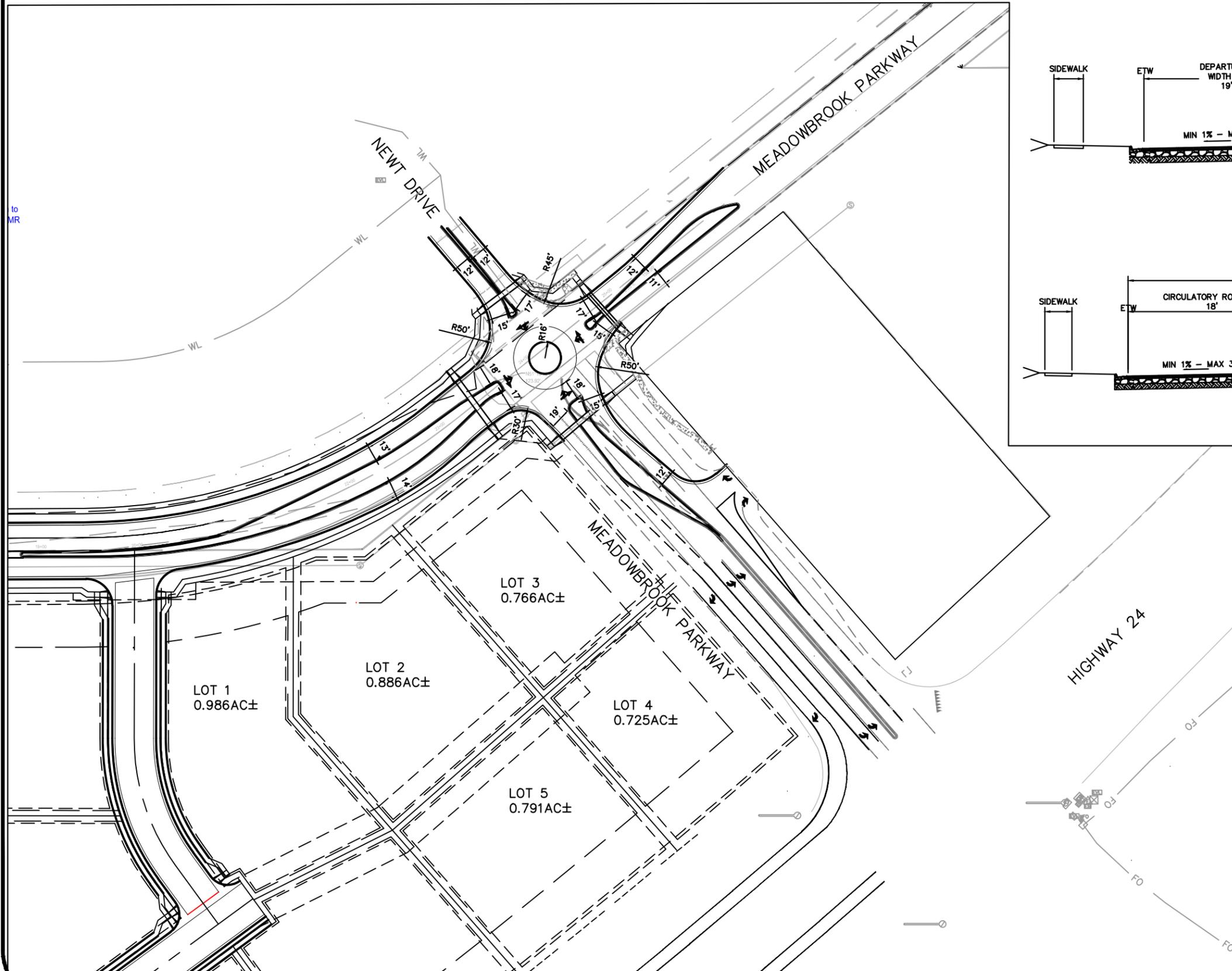
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MEADOWBROOK PARKWAY ROUNDABOUT



NOTES

1. SEE ROUNDABOUT DESIGN DOCUMENTATION MEMO DATED JUNE 22ND 2021 FOR ADDITIONAL GEOMETRIC DETAILS.
2. PROPOSED ROUNDABOUT WILL ACCOMMODATE AN AASHTO WB-50 DESIGN VEHICLE, SEE ROUNDABOUT DESIGN DOCUMENTATION MEMO DATED JUNE 22ND, 2021 FOR ADDITIONAL DETAILS.
3. IMPROVEMENTS AT THE EXISTING INTERSECTION OF MEADOWBROOK PKWY AND US 24 ARE STRIPING IMPROVEMENTS ONLY.

GRAPHIC SCALE IN FEET
0 25 50 100

