

VINEYARDS RESEARCH PARK SUBDIVISION

CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

DEVELOPMENT PLAN

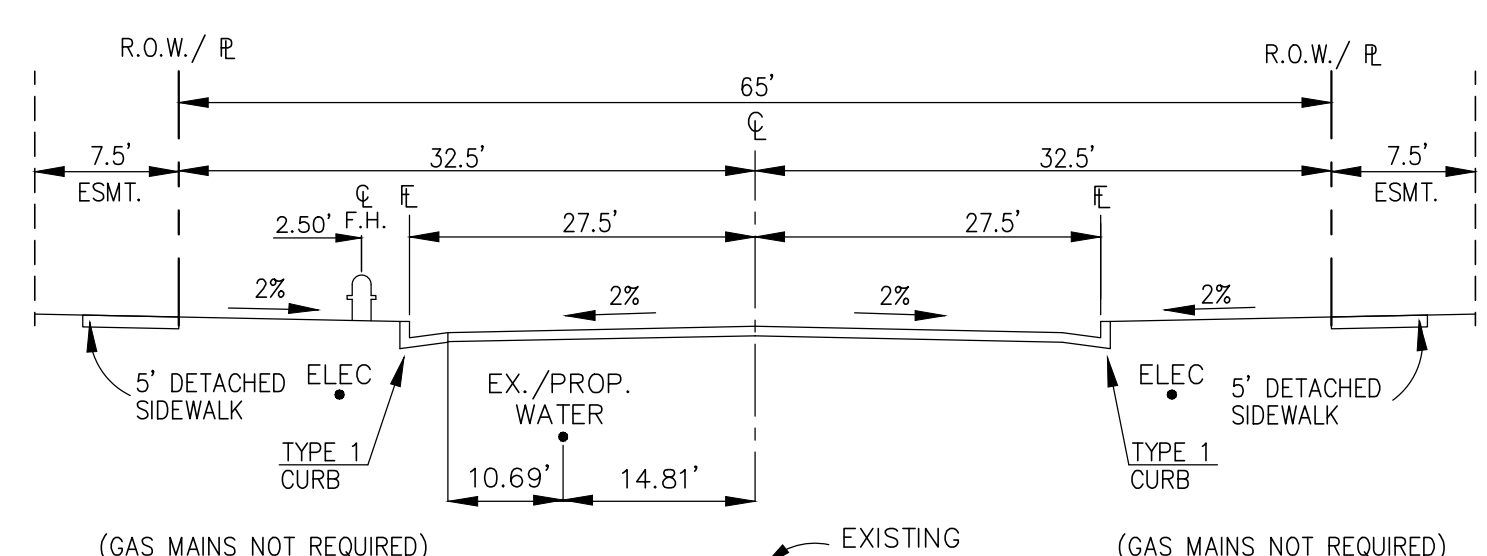
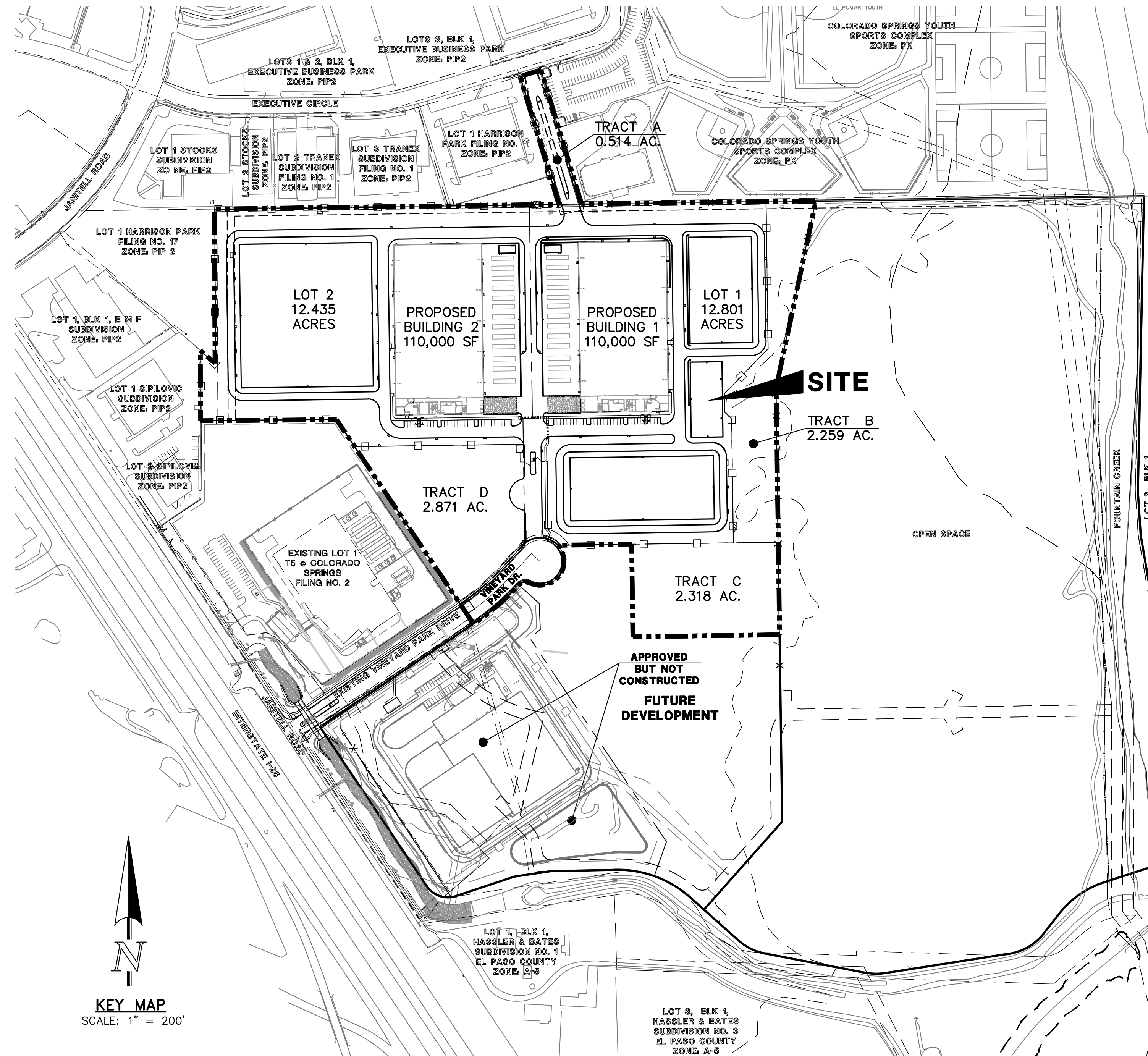
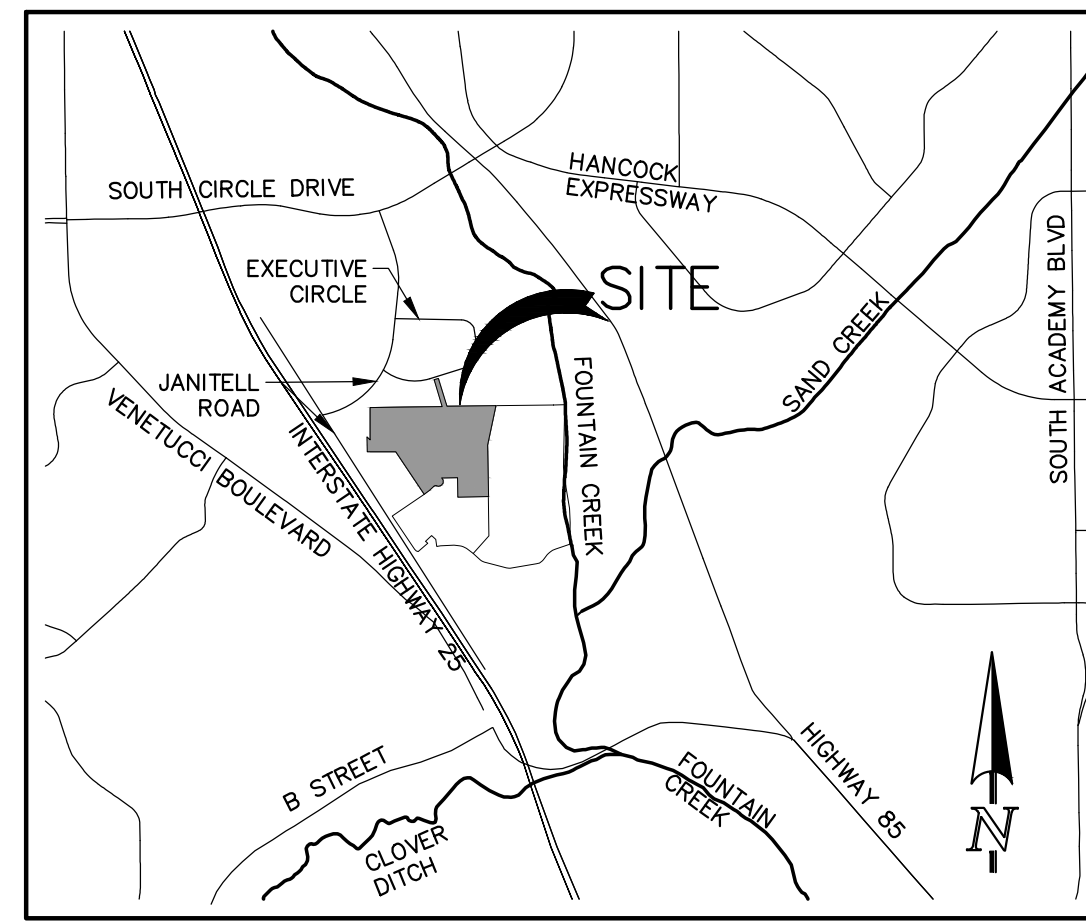
JULY 2026
(RAPID RESPONSE)

LEGAL DESCRIPTION:

SEE SHEET 3
THE LEGAL DESCRIPTION OCCUPIES AN AREA OF 33.790 ACRES OF LAND, MORE OR LESS.
(TO BE PLATTED AS "VINEYARDS RESEARCH PARK SUBDIVISION")

GENERAL NOTES:

- PROPERTY OWNERS ARE RESPONSIBLE FOR THE MAINTENANCE OF SHARED COMMON TRACTS, ACCESS DRIVES, PRESERVATION AREAS AND LANDSCAPE AREAS ADJACENT TO THEIR PROPERTY.
- ALL STREET TREES AND STREETSCAPE IMPROVEMENTS LOCATED IN THE ROW WILL BE MAINTAINED BY THE ADJACENT PROPERTY OWNER.
- MINIMUM GRADE FOR ASPHALT AND UNPAVED AREAS SHALL BE 2% WHERE PRACTICAL. MINIMUM GRADE FOR CONCRETE SHALL BE 0.5%.
- NO SLOPE SHALL EXCEED 3:1 WITHOUT SPECIAL TREATMENT TO AVOID EROSION.
- FINISHED GRADE BEHIND CURBS AND SIDEWALKS SHALL NOT BE LOWER THAN THE TOP OF CONCRETE.
- A PUBLIC IMPROVEMENT EASEMENT WILL BE REQUIRED FOR PUBLIC IMPROVEMENTS (PEDESTRIAN RAMPS AND SIDEWALKS) THAT ARE LOCATED OUTSIDE OF THE ROW.
- NO TREES SHALL BE PLACED WITHIN 15' OF ANY PUBLIC WATER OR PUBLIC SANITARY SEWER MAINS.
- TREES, FENCES OR WALLS WILL NOT BE ALLOWED WITHIN 10 FEET OF THE PRIVATE STORM SEWER FACILITIES. TREES SHALL NOT BE PLANTED WITHIN DRAINAGE OR PUBLIC IMPROVEMENT EASEMENTS UNLESS OTHERWISE APPROVED.
- THE CITY OF COLORADO SPRINGS RESERVES THE RIGHT TO MODIFY OR REMOVE ANY TRAFFIC SIGNAL, TRAFFIC SIGN OR STREET MARKING (TRAFFIC CONTROL DEVICE) ON PUBLIC RIGHT OF WAY OR EASEMENT SHOWN ON THIS OR ANY OTHER DEVELOPMENT DOCUMENT. THE DEVELOPER, OR ITS OWNER, HAS NO OWNERSHIP RIGHT, OR VESTED INTEREST, AFTER INSTALLATION, TO ANY TRAFFIC CONTROL DEVICE ON PUBLIC ROW. ALL TRAFFIC SIGNALS, SIGNS AND MARKINGS SHALL BE DESIGNED AND SEALED BY A PROFESSIONAL ENGINEER AND MUST HAVE TWO APPROVALS FROM THE CITY TRAFFIC ENGINEER BY SIGNATURE ON THE DRAWINGS. CONCEPTUAL APPROVAL OF FUTURE INSTALLATION AND DESIGN APPROVAL AND PERMISSION TO INSTALL ALL DESIGN CRITERIA AND CONDITIONS ON THE APPROVED TRAFFIC SIGNAL, SIGN AND MARKINGS SHALL SUPERSEDE ANY OTHER INFORMATION FOUND IN THE DEVELOPMENT DOCUMENT.
- THE OWNER SHALL CONSTRUCT IMPROVEMENTS ASSOCIATED WITH DEVELOPMENT PLAN APPROVALS.
- A FINANCIAL SECURITY WILL BE REQUIRED TO BE POSTED FOR SIDEWALK, STREETSCAPE, AND LANDSCAPE IMPROVEMENTS ILLUSTRATED ON THIS DEVELOPMENT PLAN PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT.
- PRIOR TO EARTHWORK ACTIVITIES COMMENCING ON THE SITE, A GRADING AND EROSION CONTROL PLAN MUST BE APPROVED BY CITY ENGINEERING, AND FINANCIAL ASSURANCES MUST BE POSTED FOR EROSION CONTROL AND PERMANENT WATER QUALITY FACILITIES.
- IF USE OF TEMPORARY CONSTRUCTION EQUIPMENT WILL EXCEED 200 FEET ABOVE GROUND LEVEL IN HEIGHT AT THIS SITE, THE APPLICANT IS TO FILE AN AIRSPACE EVALUATION CASE WITH THE F.A.A., AND PROVIDES THE RESULTS TO THE AIRPORT BEFORE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
- AN IRRIGATION PLAN APPLICATION SHALL BE SUBMITTED CONCURRENT WITH THE BUILDING PERMIT APPROVAL PROCESS.
- SIGNAGE IS NOT APPROVED PER THIS PLAN. IF PROPOSED, A SEPARATE PERMIT IS REQUIRED. MAXIMUM OF 64 SQUARE FEET FOR "CIVIC" USE. SIGNAGE WILL BE REQUIRED TO BE APPROVED BY CITY SIGN SPECIALIST PRIOR TO ISSUANCE OF PERMIT. CONTACT THE DEVELOPMENT REVIEW ENTERPRISE AT 719-385-5982 TO BEGIN A SIGN PERMIT APPLICATION.
- THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.
- ALL EXISTING CURB, GUTTER, SIDEWALK, PEDESTRIAN RAMPS, CROSS PANS AND DRIVEWAY APRONS POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DEGRADATION OR DOES NOT MEET CURRENT CITY ENGINEERING STANDARDS ALONG THE PUBLIC RIGHT-OF-WAY (ROW) ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY (CO). AN ON-SITE MEETING CAN BE ARRANGED WITH THE ENGINEERING DEVELOPMENT REVIEW (EDR) INSPECTOR AT 719-385-5977 TO DETERMINE THE REQUIRED IMPROVEMENTS.
- PROPERTY OWNERS ARE RESPONSIBLE FOR THE MAINTENANCE FOR SHARED COMMON AREAS, ACCESS DRIVES AND LANDSCAPE AREAS ADJACENT TO THEIR PROPERTY.
- ALL "STOP SIGNS" WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATIONS SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS. CONTACT TRAFFIC ENGINEERING, SIGNS & MARKINGS AT 719-385-6720 FOR ASSISTANCE.
- PER CITY CODE SECTION 7.4.102.D, ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF OR HAVE SHIELDING TO REDUCE OFF-SITE LIGHTING IMPACTS ONTO ADJACENT PROPERTIES AND ROADWAYS. ALL EXTERIOR LIGHTING SHALL BE ARRANGED TO MITIGATE LIGHT DIRECTED AWAY FROM ADJACENT PROPERTIES AND ANY PUBLIC RIGHT-OF-WAY. AN AMENDMENT TO THIS PLAN MAY BE REQUIRED IF THE LIGHTING TYPE IS CHANGED.
- ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND SIGNAGE SHALL MEET ALL APPLICABLE CITY CODE REQUIREMENTS INCLUDING: PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING ONE TO FIFTY (1:50) (2 PERCENT) IN ALL DIRECTIONS. ACCESSIBLE PARKING SPACES SHALL BE MARKED WITH FOUR INCH (4") LINES. ACCESSIBLE AISLES SHALL BE OUTLINED AND DIAGONALLY STRIPED AT FORTY FIVE (45°) ANGLES IN A CONTRASTING COLOR SUCH AS YELLOW, WHITE, OR BLUE. EACH ACCESSIBLE PARKING SPACE SHALL BE DESIGNATED AS RESERVED BY A SIGN SHOWING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. VAN ACCESSIBLE SPACES SHALL HAVE AN ADDITIONAL SIGN CONTAINING THE DESIGNATION, "VAN ACCESSIBLE", MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY. EACH ACCESSIBLE PARKING SPACE SIGN SHALL BE NO SMALLER THAN EIGHTEEN INCHES (18") TALL BY TWELVE INCHES (12") WIDE. EACH VAN ACCESSIBLE SIGN SHALL BE NO SMALLER THAN SIX INCHES (6") TALL BY TWELVE INCHES (12") WIDE. SIGN SHALL BE LOCATED AT THE HEAD OF THE SPACE WITH THE BOTTOM OF THE SIGN(S) BETWEEN FIVE FEET (5') AND SEVEN FEET (7') ABOVE THE FINISH FLOOR OR GROUND SURFACE.
- CITYWIDE DEVELOPMENT IMPACT (POLICE AND FIRE) FEES SHALL BE EVALUATED WITH EACH FUTURE LOT DEVELOPMENT AND DUE AT THE TIME OF BUILDING PERMIT.
- ACCESSIBLE ROUTE, INCLUDING RAMPS AND SIDEWALKS WITHIN THE PUBLIC RIGHT-OF-WAY, SHALL COMPLY WITH THE CITY'S STANDARD DRAWINGS AND SPECIFICATIONS. THE CITY'S ENGINEERING DEVELOPMENT REVIEW INSPECTOR WILL HAVE THE FINAL AUTHORITY OVER THE ACCEPTANCE OF PUBLIC IMPROVEMENTS.
- ALL ON-SITE FIRE LANES TO BE BUILT PER 2015 IFC-ACCESS AND LOADING STANDARDS.
- INSTALLATION OF ELECTRICAL DEVICES IN THE PUBLIC ROW SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY SPECIFICATION SECTION 1001 AND COMPLETE THE COLORADO SPRINGS UTILITIES "ELECTRIC INSPECTION IN THE RIGHT-OF-WAY CERTIFICATE" IN ACCORDANCE WITH UTILITIES REQUIREMENTS FOR ELECTRIFICATION. THE CERTIFICATE SHALL ALSO BE PROVIDED TO THE CITY INSPECTOR.
- THE PARCELS WITHIN THIS DEVELOPMENT ARE SUBJECT TO THE FEES, RESTRICTIONS, AND COVENANTS OF THE VINEYARD METROPOLITAN DISTRICT, WHICH IS CREATED BY ORDINANCE NO. _____ AND RECORDED IN THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER'S OFFICE UNDER RECEPTION NO. _____
- TRACT 'A', IS DESIGNATED FOR PRIVATE ACCESS, PUBLIC UTILITIES AND PRIVATE DRAINAGE, AND SHALL BE OWNED AND MAINTAINED BY THE OWNER OF RECORD.
- TRACT 'B', IS DESIGNATED FOR PRIVATE ACCESS AND PRIVATE DRAINAGE, AND SHALL BE OWNED AND MAINTAINED BY THE OWNER OF RECORD.
- TRACT 'C', IS DESIGNATED FOR PRIVATE DRAINAGE FACILITY AND LANDSCAPE, AND SHALL BE OWNED AND MAINTAINED BY THE OWNER OF RECORD.
- TRACT 'D', IS DESIGNATED FOR FUTURE DEVELOPMENT AND LANDSCAPE, AND SHALL BE OWNED AND MAINTAINED BY THE OWNER OF RECORD.



TYPICAL SECTION: 65' R.O.W.
(PROPOSED VINEYARD PARK DRIVE)
N.T.S.

KEY MAP
SCALE: 1" = 200'

PROJECT TEAM:

CIVIL ENGINEER

CLASSIC CONSULTING ENGINEERS & SURVEYORS
619 N. CASCADE AVENUE, SUITE 200
COLORADO SPRINGS, COLORADO 80903
MR. KYLE CAMPBELL P.E. (719) 785-0790

OWNER

ERCOR JANITELL ROAD, LLC
207 HIGH POINT DRIVE, SUITE 300
VICTOR, NEW YORK 14564
MR. MIKE COLEMAN (669) 224-8164

DEVELOPER

ERCOR JANITELL ROAD, LLC
207 HIGH POINT DRIVE, SUITE 300
VICTOR, NEW YORK 14564
MR. MIKE COLEMAN (669) 224-8164

LANDSCAPE ARCHITECT

N.E.S., INC.
619 N. CASCADE AVENUE, SUITE 200
COLORADO SPRINGS, COLORADO 80903
MR. BROOKS SWENSON (719) 471-0073

SITE DATA:

SITE ACREAGE:	DEVELOPMENT PLAN - 34.567 ACRES
MASTER PLAN:	OVERALL DEVELOPMENT - 35.159 ACRES(W/PUBLIC ROW)
CONCEPT PLAN:	VINEYARD COMMERCE PARK (CPC MP 07-00219-A1MN11)
EXISTING ZONING:	BP (BUSINESS PARK)
BUILDING USAGE:	LIGHT INDUSTRIAL AND GENERAL OFFICE
BUILDING SETBACKS:	FRONT: 25' SIDE: 10' REAR: 25' FRONT PARKING: 20'
MAX. ALLOWED BLDG. HEIGHT:	45' MAX.
PROPOSED BLDG. HEIGHT:	39.33' MAX.
LANDSCAPE SETBACKS	ADJACENT TO PUBLIC STREETS - 15' MIN.
BUILDING COVERAGE	14.63%
PAVEMENT COVERAGE	16.58%
TAX ID	64334-01-010
DEVELOPMENT SCHEDULE	SUMMER 2026

PARKING SUMMARY

LOT NUMBER	LOT ACREAGE	BUILDING S.F.	PARKING (REQUIRED) OFFICE 10,000 SF	PARKING (REQUIRED) LIGHT INDUSTRIAL 100,000 SF	TOTAL PARKING (PROVIDED)	H/C PARKING (REQUIRED)	H/C PARKING (PROVIDED)
1	12.801	110,000 SF	1/500 (OFFICE) 20 SPACES	SEE NOTE BELOW	29	2	2
2	15.306	110,000 SF	1/500 (OFFICE) 20 SPACES	SEE NOTE BELOW	29	2	2

NOTE: NO PARKING REQUIRED FOR THE 100,000 SF RESEARCH AND TESTING AREA AS ALL STAFF REQUIRED FOR THIS AREA ARE ACCOUNTED FOR WITH THE OFFICE COMPONENT OF THE BUILDING.

SITE SPECIFIC NOTES:

A PORTION OF THIS SITE, VINEYARD SUBDIVISION NO. 1 IS WITHIN THE 100 YEAR FLOODPLAIN AS DETERMINED BY THE FLOOD INSURANCE RATE MAP, PANEL NUMBERS 08041 C0741G, EFFECTIVE DECEMBER 7, 2018. ALL FLOODPLAIN IS CONTAINED WITHIN TRACT B (NO BUILD/OPEN SPACE). THE FEMA FLOODPLAIN REFERENCED MATCHES THE PRRBD CURRENT AFFECTIVE FLOODPLAIN MAP (CURRENT CITY DATA IS INCORRECT).

THIS PROPERTY IS SUBJECT TO THE FINDINGS SUMMARY AND CONCLUSIONS OF A GEOLOGIC HAZARD REPORT PREPARED BY CTL/THOMPSON, DATED JUNE 1, 2026, WHICH IDENTIFIED THE FOLLOWING SPECIFIC GEOLOGIC HAZARD ON THE PROPERTY: VINEYARDS RESEARCH PARK SUBDIVISION. A COPY OF SAID REPORT HAS BEEN PLACED WITHIN FILE STM-REV26-0756 OR WITHIN THE SUBDIVISION FILE DEPN-26-0 OF THE CITY OF COLORADO SPRINGS PLANNING AND DEVELOPMENT TEAM. CONTACT THE PLANNING AND DEVELOPMENT TEAM, 30 SOUTH NEVADA AVENUE, SUITE 105, COLORADO SPRINGS, CO, IF YOU WOULD LIKE TO REVIEW SAID REPORT.

IF THE OWNER OR FUTURE OWNER CHANCE THE USE TO ONE THAT WILL REQUIRE ADDITIONAL PARKING THE APPLICANT WILL SUBMIT A TRAFFIC IMPACT STUDY OR A TRIP GENERATION LETTER.

ALL EXISTING LANDSCAPING, MONUMENT SIGNS AND DECORATIVE RETAINING WALLS LOCATED WITHIN THE JANITELL ROAD RIGHT-OF-WAY IS SUBJECT TO THE REVOCABLE LICENSE AND PRIVATE MAINTENANCE AGREEMENT BETWEEN THE VINEYARD METROPOLITAN DISTRICT, LLC, CITY OF COLORADO SPRINGS AND COLORADO SPRINGS UTILITIES.

EXTERIOR SIGNAGE NOT PROPOSED WITHIN THIS DEVELOPMENT.

SURFACE MAINTENANCE OF EASEMENTS ON THE SITE WILL BE THE RESPONSIBILITY OF EACH INDIVIDUAL LOT OWNER.

SHEET INDEX

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SITE PLAN	SHEET 2-4 OF 19
PRELIMINARY GRADING PLAN	SHEET 5-7 OF 19
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FIRE APPARATUS MOVEMENT PLAN	SHEET 11 OF 19
PRELIMINARY LANDSCAPE PLAN	SHEET 12-16 OF 19
EXTERIOR BUILDING ELEVATIONS	SHEET 17 OF 19
SITE LIGHTING PLAN/PHOTOMETRICS	SHEET 18-19 OF 19

FOR CITY USE:

CITY FILE NUMBER
DEPN-26-0

CLASSIC CONSULTING

VINEYARDS RESEARCH PARK SUBDIVISION
DEVELOPMENT PLAN
COVER SHEET
(RAPID RESPONSE)

DESIGNED BY	KC	SCALE	DATE	07/07/26
DRAWN BY	KC	(H) 1" = N/A	SHEET	1 OF 19
CHECKED BY	KRC	(V) 1" = N/A	JOB NO.	2204.70

619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903
(719) 785-0790
(719) 785-0799 (Fax)

N:\220470\DRAWINGS\DEVELOPMENT\01 - 220470-01-01-C.RWG.dwg, 7/6/2026 9:16:57 PM, 1/1

LEGAL DESCRIPTION:

A PARCEL OF LAND BEING A PORTION OF THE SOUTHWEST QUARTER (SW 1/4) AND A PORTION OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER (SW 1/4 NW 1/4) OF SECTION 33, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO, AND A PORTION OF LOT 1, BLOCK 1 OF HASSLER & BATES SUBDIVISION NO. 3 RECORDED JANUARY 10, 1977 UNDER RECEPTION NO. 291096 IN PLAT BOOK D-3 AT PAGE 26 OF THE OFFICIAL RECORDS SAID EL PASO COUNTY, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS: THE EAST-WEST CENTERLINE OF SECTION 33, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN BEING MONUMENTED AT THE EAST QUARTER CORNER BY A 2-1/2" ALUMINUM SURVEYORS' CAP ESTABLISHED BY PLS 30118 AND AT THE WEST QUARTER CORNER BY A 3-1/4" ALUMINUM SURVEYORS' CAP ESTABLISHED BY LS 22573, IS ASSUMED TO BEAR SOUTH 89°12'26" WEST, A DISTANCE OF 5247.11 FEET;

COMMENCING AT SAID EAST QUARTER CORNER OF SAID SECTION 33;

THENCE SOUTH 89°12'26" WEST ON THE EAST-WEST CENTERLINE OF SAID SECTION 33, A DISTANCE OF 2279.88 FEET TO A POINT ON THE NORTHERLY BOUNDARY OF LOT 1, BLOCK 1 AS PLATTED IN SAID HASSLER & BATES SUBDIVISION NO. 3, SAID POINT ALSO BEING ON THE SOUTHERLY BOUNDARY LINE OF COLORADO SPRINGS YOUTH SPORTS COMPLEX AS RECORDED APRIL 2, 1999 UNDER RECEPTION NO. 99050902 OF SAID RECORDS, SAID POINT ALSO BEING THE POINT OF BEGINNING;

THENCE SOUTH 11°59'09" WEST, A DISTANCE OF 522.12 FEET;

THENCE SOUTH 00°47'59" EAST A DISTANCE OF 672.85 FEET;

THENCE SOUTH 89°12'26" WEST A DISTANCE OF 400.00 FEET;

THENCE NORTH 00°47'34" WEST A DISTANCE OF 252.43 FEET;

THENCE SOUTH 89°12'26" WEST A DISTANCE OF 201.81 FEET TO A POINT ON A CURVE, WHOSE CENTER BEARS SOUTH 47°08'42" WEST;

THENCE ON A CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 159°08'08", HAVING A RADIUS OF 65.00 FEET FOR AN ARC DISTANCE OF 180.53 FEET TO A POINT OF REVERSE CURVE;

THENCE ON A CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 73°52'21", HAVING A RADIUS OF 25.00 FEET FOR AN ARC DISTANCE OF 32.23 FEET TO A POINT OF REVERSE CURVE;

THENCE ON A CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 13°43'58", HAVING A RADIUS OF 682.50 FEET FOR AN ARC DISTANCE OF 163.58 FEET TO THE SOUTHEAST CORNER OF VINEYARD PARK DRIVE, AS DEDICATED TO THE PUBLIC IN T5 @ COLORADO SPRINGS FILING NO. 2 RECORDED JUNE 8, 2026 UNDER RECEPTION NO. 216713783 OF SAID RECORDS;

THENCE ON THE NORTHEASTERLY AND NORTHERLY BOUNDARY LINES OF SAID T5 @ COLORADO SPRINGS FILING NO. 2 THE FOLLOWING TWO COURSES:

1. THENCE NORTH 33°51'13" WEST A DISTANCE OF 670.65 FEET;
2. THENCE SOUTH 89°33'09" WEST A DISTANCE OF 370.59 FEET TO A POINT ON THE EASTERLY BOUNDARY LINE OF SIPOVIC SUBDIVISION RECORDED JULY 15, 1998 UNDER RECEPTION NO. 98098685 OF SAID RECORDS;

THENCE NORTH 00°16'22" WEST, ON SAID EASTERLY BOUNDARY LINE OF LOT 2, A DISTANCE OF 191.65 FEET TO A POINT ON THE SOUTHWESTERLY BOUNDARY LINE OF LOT 1 AS PLATTED IN HARRISON PARK FILING NO. 17 RECORDED JULY 7, 1999 UNDER RECEPTION NO. 99109078 OF SAID RECORDS;

THENCE ON THE SOUTHWESTERLY AND EASTERLY BOUNDARY LINES OF SAID LOT 1 THE FOLLOWING TWO (2) COURSES:

1. THENCE SOUTH 48°54'33" EAST A DISTANCE OF 53.30 FEET;
2. THENCE NORTH 00°16'22" WEST A DISTANCE OF 420.59 FEET TO A POINT ON SAID EAST-WEST CENTERLINE OF SECTION 33, SAID POINT ALSO BEING ON THE SOUTHERLY BOUNDARY LINE OF STOOKS SUBDIVISION RECORDED APRIL 20, 2006 UNDER RECEPTION NO. 206712297 OF SAID RECORDS;

THENCE NORTH 89°12'26" EAST, ON SAID EAST-WEST CENTERLINE, AND SAID SOUTHERLY BOUNDARY LINE OF SAID STOOKS SUBDIVISION, OF TRANX SUBDIVISION FILING NO. 1 AS RECORDED JUNE 11, 2002 UNDER RECEPTION NO. 202094392 OF SAID RECORDS AND OF HARRISON PARK FILING NO. 11, AS RECORDED SEPTEMBER 6, 1984 UNDER RECEPTION NO. 1158884 IN PLAT BOOK W-3 AT PAGE 128 OF SAID RECORDS, A DISTANCE OF 939.50 FEET TO THE SOUTHEAST CORNER OF SAID HARRISON PARK FILING NO. 11;

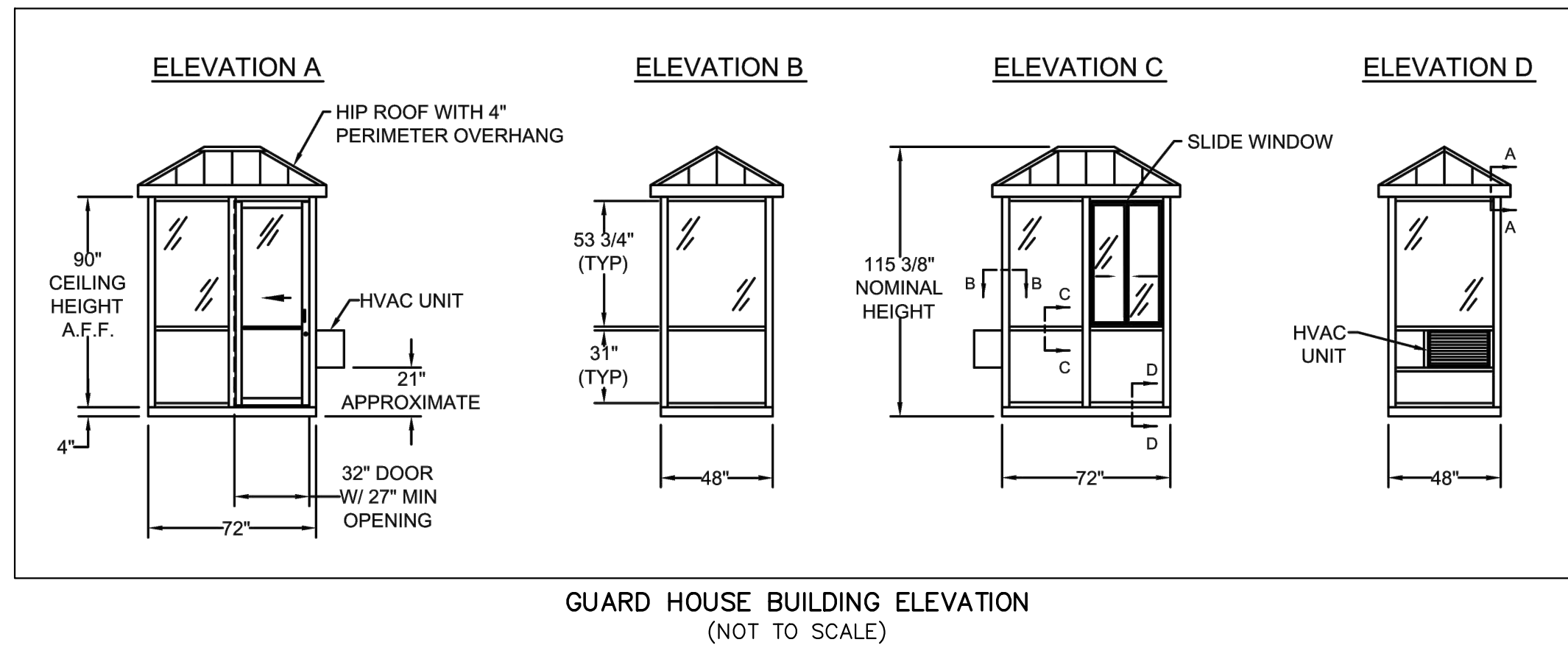
THENCE NORTH 16°52'09" WEST ON THE EASTERLY BOUNDARY LINE OF SAID HARRISON PARK FILING NO. 11, A DISTANCE OF 364.57 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF EXECUTIVE CIRCLE DEDICATED TO THE PUBLIC IN HARRISON PARK FILING NO. 8, RECORDED JANUARY 13, 1981 UNDER RECEPTION NO. 737017 IN PLAT BOOK M-3 AT PAGE 100 OF SAID RECORDS;

THENCE NORTH 73°07'51" EAST ON SAID SOUTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 60.00 FEET TO A POINT ON THE WESTERLY BOUNDARY LINE OF SAID COLORADO SPRINGS YOUTH SPORTS COMPLEX;

THENCE ON THE WESTERLY AND SOUTHERLY BOUNDARY OF SAID COLORADO SPRINGS YOUTH SPORTS COMPLEX, THE FOLLOWING TWO COURSES:

1. THENCE SOUTH 16°52'09" EAST A DISTANCE OF 381.86 FEET TO A POINT ON SAID EAST-WEST CENTERLINE OF SECTION 33;
2. NORTH 89°12'26" EAST ON SAID EAST-WEST CENTERLINE OF SECTION 33, A DISTANCE OF 639.05 FEET TO THE POINT OF BEGINNING.

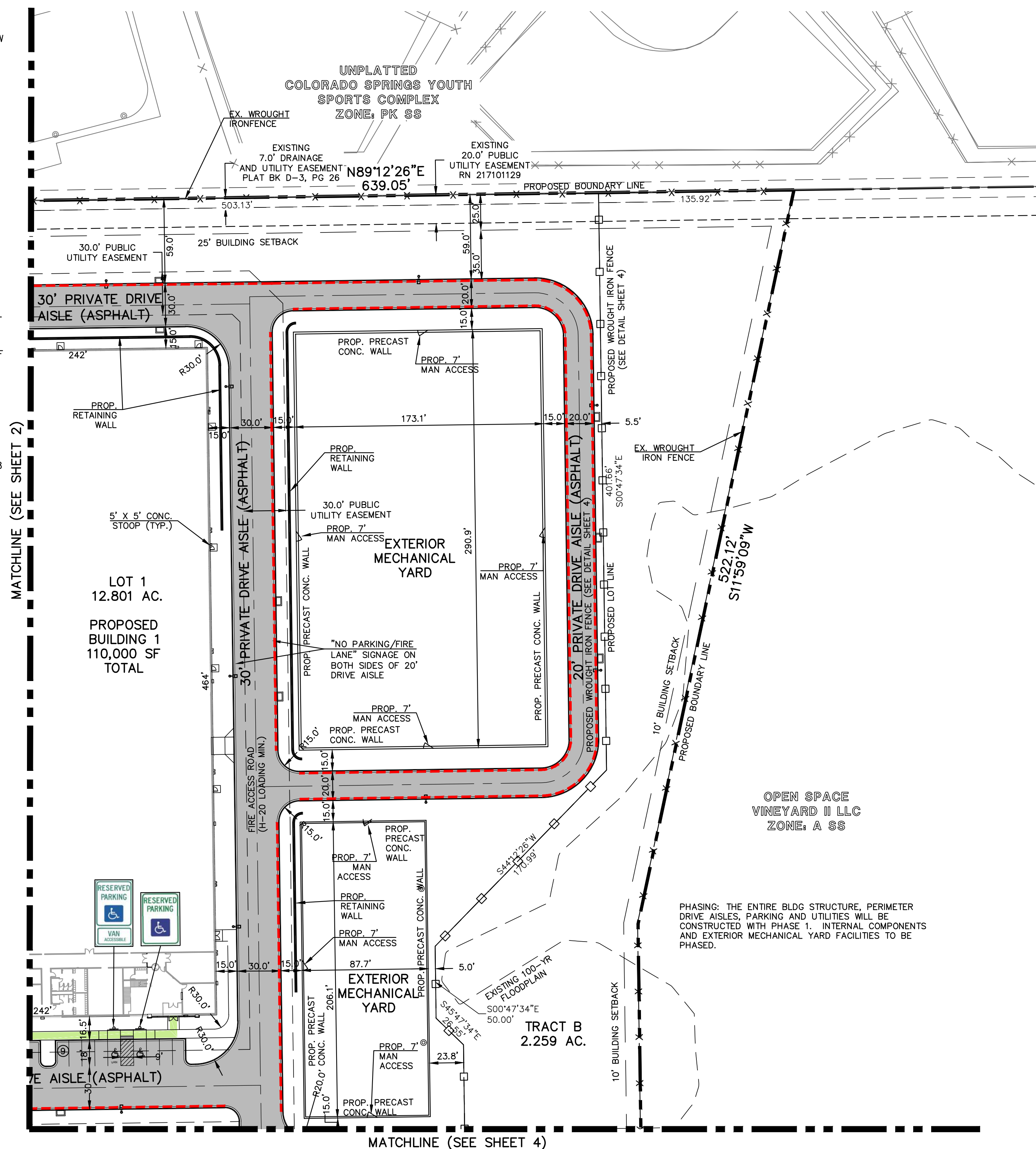
THE ABOVE DESCRIPTION PRODUCES AN AREA OF 33.790 ACRES OF LAND, MORE OR LESS.



GUARD HOUSE BUILDING ELEVATION (NOT TO SCALE)



PRECAST CONCRETE WALL DETAIL (NOT TO SCALE)



LEGEND:

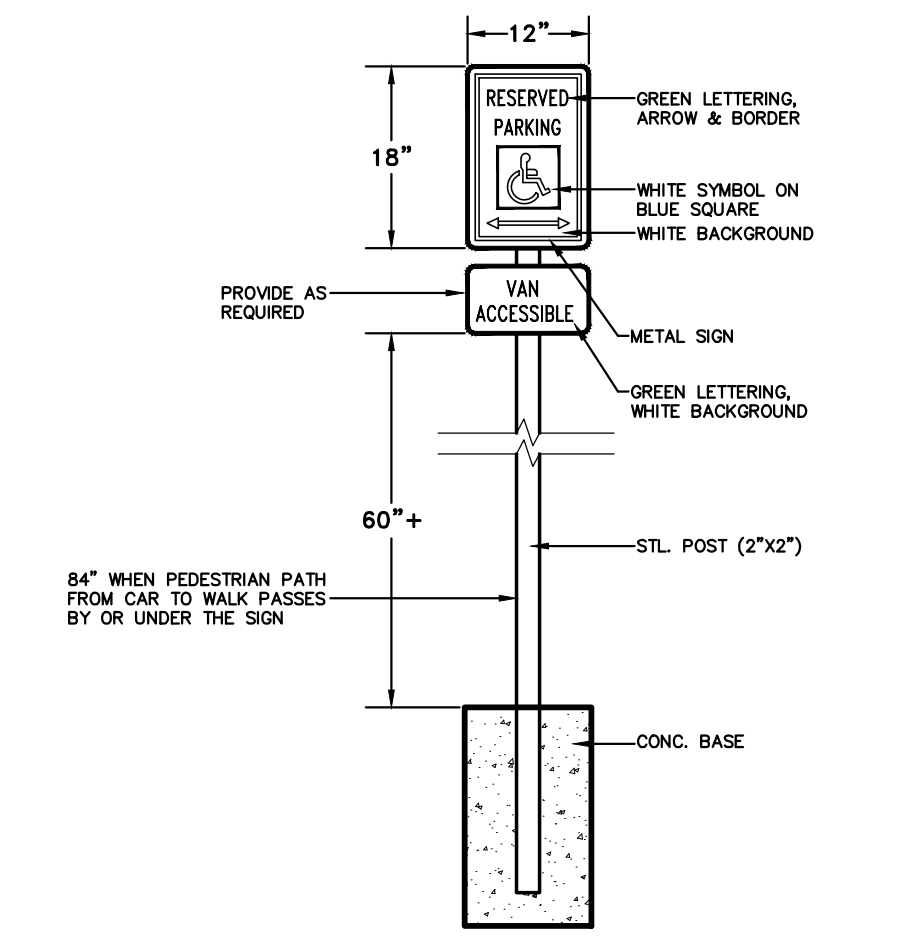
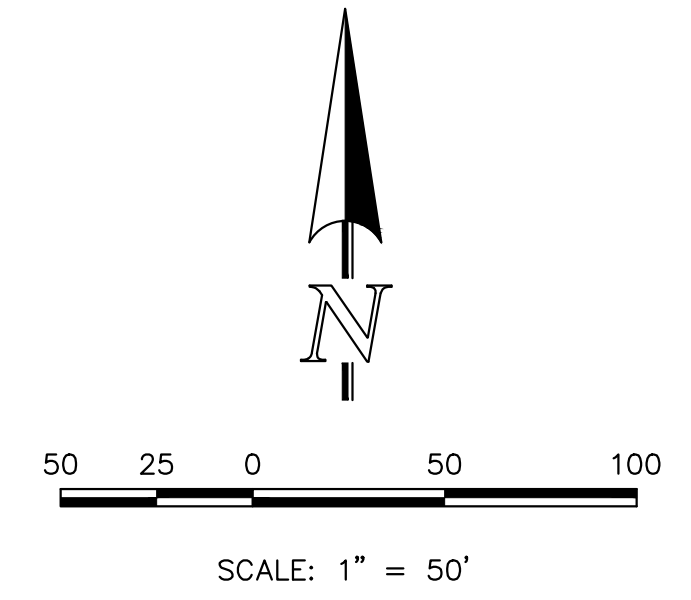
DESCRIPTION	SYMBOL
BOUNDARY LINE	— — — — —
"NO PARKING" FIRE LANE SIGNS AND/OR PAINTED CURB	— · — · — · — · —
PROPOSED DIRECT ADA ROUTING	— — — — —
PROPOSED BUILDING SETBACK	— — — — —
EX. MASONRY WALL	— — — — —
PROPOSED WROUGHT IRON FENCE	— — — — —
EX. WROUGHT IRON FENCE	— — — — —
PROP. 7" PRECAST CONCRETE WALL W/ MAN ACCESS AS NOTED	— — — — —

SITE PLAN NOTES:

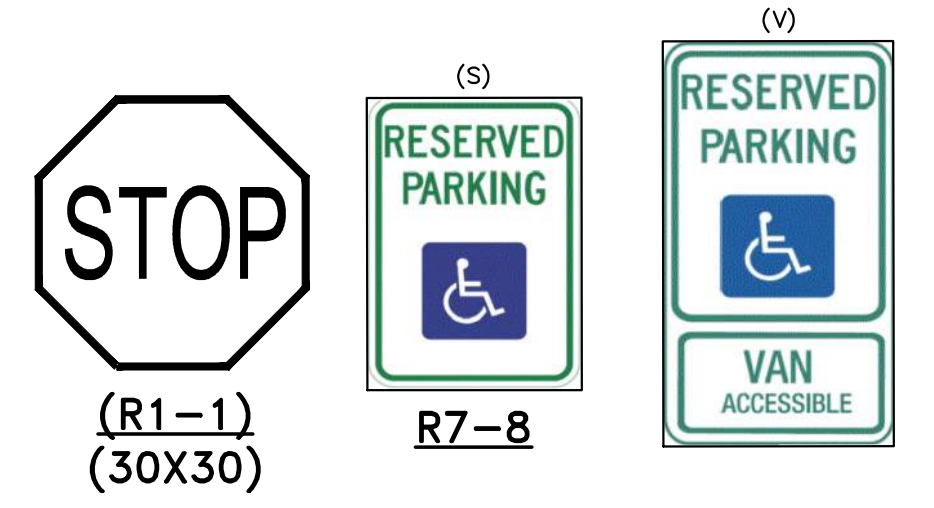
ALL PROPOSED PARKING LOTS AND DRIVE AISLE ARE ASPHALT PAVED.

ALL SIDEWALKS THROUGHOUT SITE ARE CONCRETE.

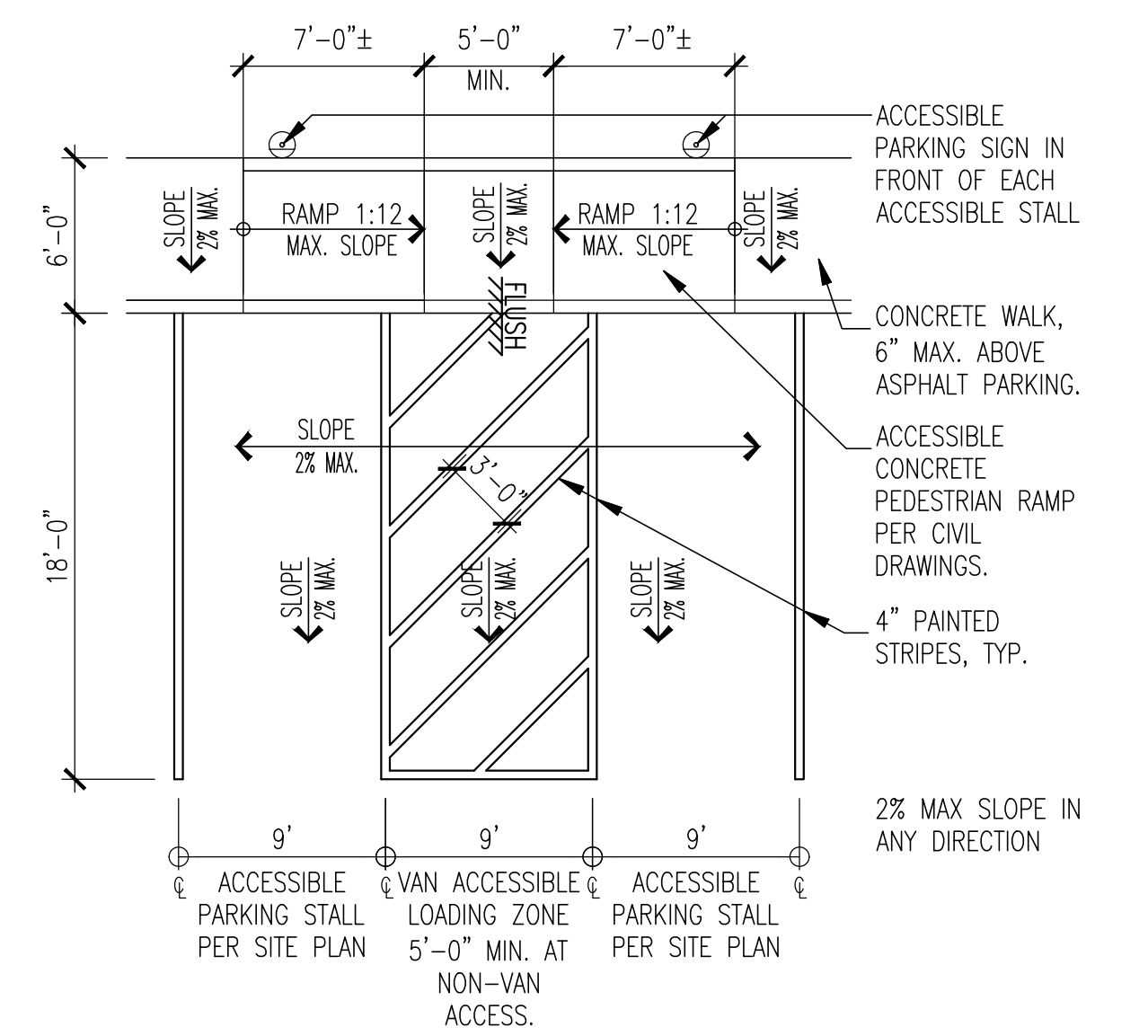
ALL ON-SITE CURB & GUTTER IS TYPE 3. CURB & GUTTER IN VINEYARD PARK DRIVE IS TYPE 2.



ACCESSIBLE SIGNAGE DETAIL N.T.S.

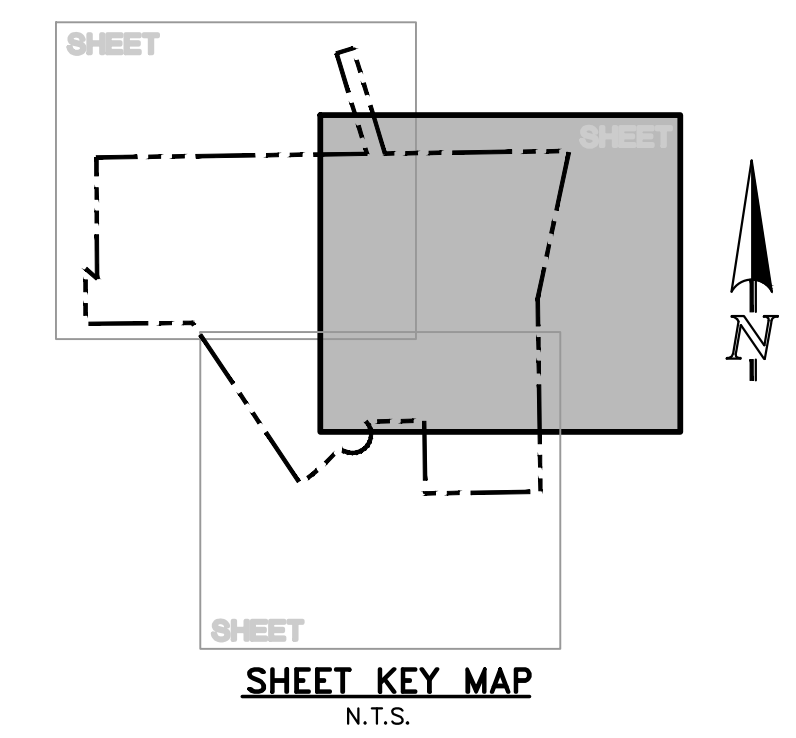


TYPICAL SIGN DETAILS



TYPICAL ACCESSIBLE STALL

SCALE: 1/8" = 1'-0"



FOR CITY USE:

CITY FILE NUMBER
DEPN-26-0

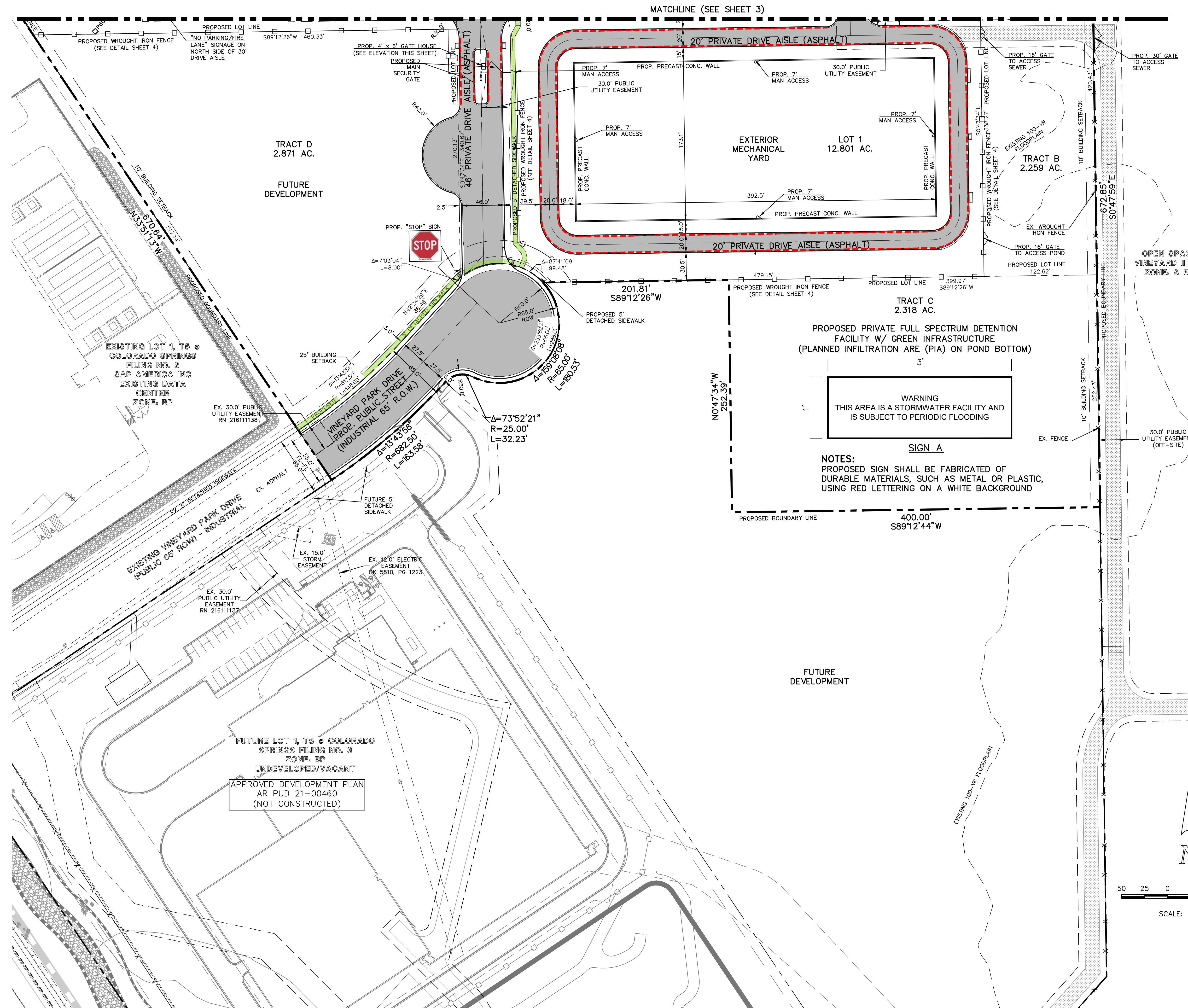
"NOT FOR CONSTRUCTION"

CLASSIC CONSULTING

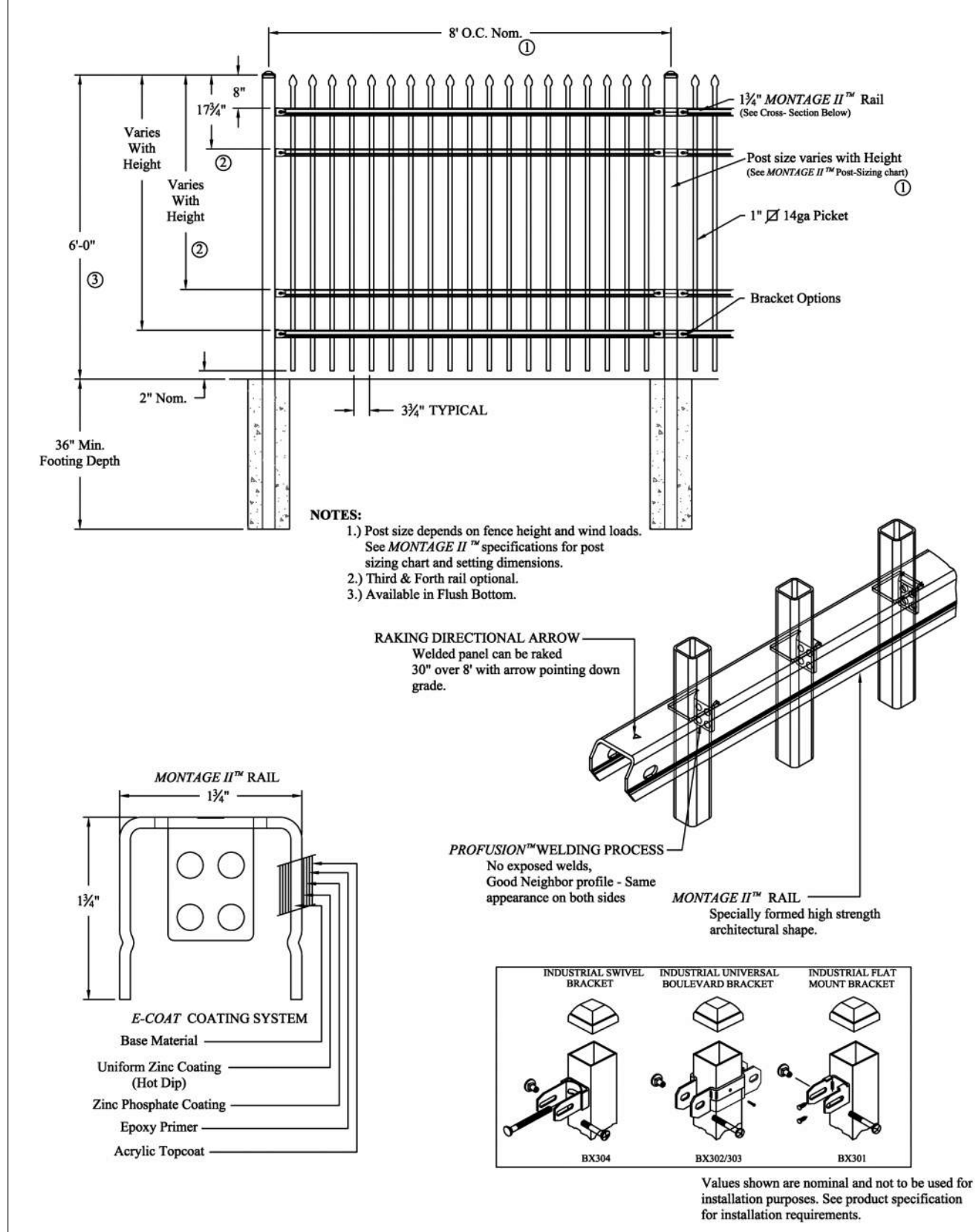
VINEYARDS RESEARCH PARK SUBDIVISION
DEVELOPMENT PLAN
SITE PLAN

DESIGNED BY: KC SCALE: DATE: 07/07/26
DRAWN BY: KC (H) 1" = 50' SHEET 3 OF 19
CHECKED BY: KRC (V) 1" = N/A JOB NO. 2204.70

619 N. Cascade Avenue, Suite 200 (719) 785-0790
Colorado Springs, Colorado 80903 (719) 785-0799 (Fax)

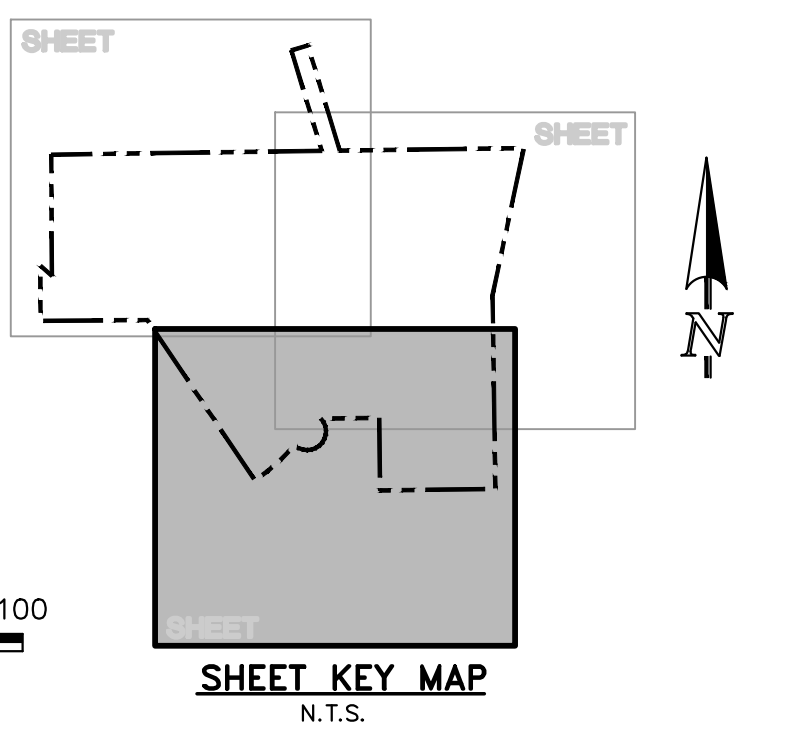
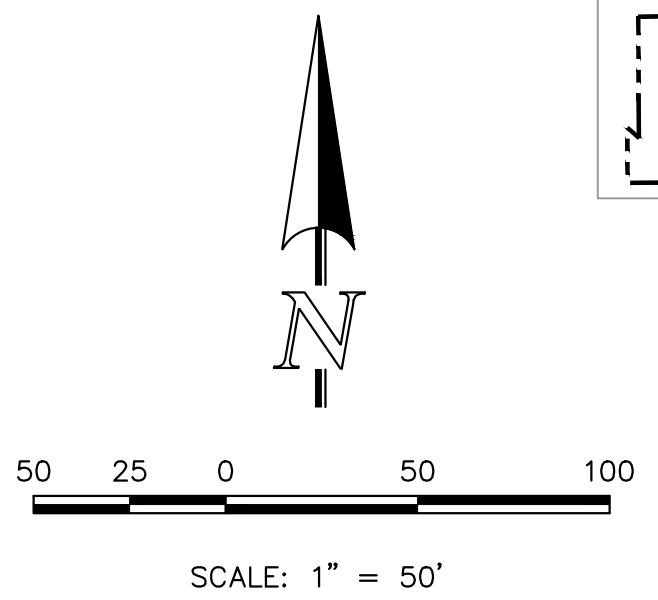


DESCRIPTION	SYMBOL
BOUNDARY LINE	---
"NO PARKING" FIRE LANE SIGNS AND/OR PAINTED CURB	---
PROPOSED DIRECT ADA ROUTING	---
PROPOSED BUILDING SETBACK	---
EX. MASONRY WALL	---
PROPOSED WROUGHT IRON FENCE	---
EX. WROUGHT IRON FENCE	---
PROP. 7' PRECAST CONCRETE WALL W/ MAN ACCESS AS NOTED	---



TYPE A FENCE AMERISTAR MONTAGE II CLASSIC 2/3/4-RAIL DETAIL
N.T.S.

SITE PLAN NOTES:
 ALL PROPOSED PARKING LOTS AND DRIVE AISLE ARE ASPHALT PAVED.
 ALL SIDEWALKS THROUGHOUT SITE ARE CONCRETE.
 ALL ON-SITE CURB & GUTTER IS TYPE 3.
 CURB & GUTTER IN VINEYARD PARK DRIVE IS TYPE 2.



FOR CITY USE:
 CITY FILE NUMBER
 DEPN-26-0



VINEYARDS RESEARCH PARK SUBDIVISION DEVELOPMENT PLAN SITE PLAN			
DESIGNED BY	KC	SCALE	DATE 07/07/26
DRAWN BY	KC	(H) 1" = 50'	SHEET 4 OF 19
CHECKED BY	KRC	(V) 1" = N/A	JOB NO. 2204.70

"NOT FOR CONSTRUCTION"

619 N. Cascade Avenue, Suite 200
 Colorado Springs, Colorado 80903
 (719) 785-0790
 (719) 785-0799 (Fax)

N:\220470\DRAWINGS\DEVELOPMENT\02-04 - 220470-02-04.dwg, 7/16/2026 9:00:23 AM, 1:1

DEVELOPMENT PLAN NOTE:

ALL CURB, GUTTER, PEDESTRIAN RAMPS AND SIDEWALK POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR NOT MEETING CURRENT CITY ENGINEERING STANDARDS ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO ISSUING THE CERTIFICATE OF OCCUPANCY (C.O.). AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 719-385-5977.

ADJACENT STREET IMPROVEMENTS, INCLUDING ADA PED RAMP DESIGN, TO BE CAREFULLY REVIEWED BY CITY.

SITE SPECIFIC NOTES:

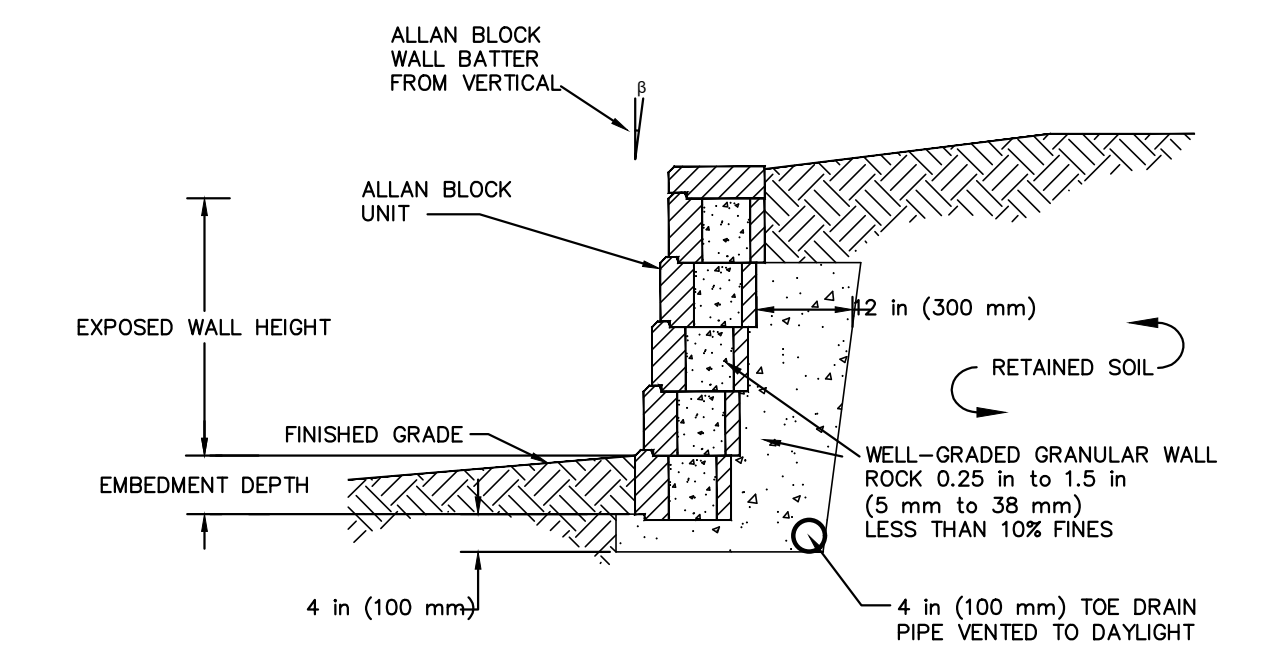
ALL DRIVEWAYS AND PARKING SPACES TO BE ASPHALT UNLESS OTHERWISE SHOWN.

ALL INTERNAL DRIVEWAYS, PARKING SPACES AND ISLANDS TO BE TYPE 3 CURB & GUTTER OR AS SPECIFIED ON PLANS.

ALL PROPOSED CURB & GUTTER, SIDEWALK AND PEDESTRIAN RAMPS SHALL MEET CURRENT CITY STANDARDS.

A MINIMUM OF 5-FOOT CLEARANCE AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS WILL BE KEPT CLEAR OF ANY PHYSICAL OR VISUAL OBSTRUCTIONS TO THE HYDRANT.

THE PRIVATE RETAINING WALL SYSTEM SHALL BE DESIGNED BY A COLORADO REGISTERED PROFESSIONAL ENGINEER AND THE RESPONSIBILITY OF THE CONSTRUCTION AND MAINTENANCE LIES WITH THE DEVELOPER AND PROPERTY OWNER. THE CITY OF COLORADO SPRINGS HAS NOT REVIEWED OR APPROVED THE DESIGN, AND THE OWNER(S) HEREBY RELEASES AND FORFEITS DISCHARGES, AND AGREES TO INDEMNIFY, DEFEND AND HOLD HARMLESS, THE CITY OF COLORADO SPRINGS, ITS OFFICERS, EMPLOYEES, ADMINISTRATORS, REPRESENTATIVES, AGENTS, SUCCESSORS AND ASSIGNS, FROM ANY AND ALL DAMAGES, INJURIES OR ACCIDENTS WHICH MIGHT ARISE FROM THE RETAINING WALL SYSTEM OR THE PROJECT AFTER ISSUANCE OF A BUILDING PERMIT.



TYPICAL RETAINING WALL DETAIL (BY OTHERS)

NOT TO SCALE

LEGEND

- (6770) EXISTING CONTOUR
- 6770 PROPOSED CONTOUR
- BOUNDARY/FILING LINE
- EXISTING FLOW DIRECTION
- PROPOSED FLOW
- EXISTING VEGETATION
- PROPOSED INLET
- PROPOSED STORM SEWER PIPE
- PROPOSED RETAINING WALL
- HP PROPOSED HIGH POINT
- LP PROPOSED LOW POINT
- PIA ("PLANNED INFILTRATION AREAS")

MATCHLINE (SEE SHEET 6)

MATCHLINE (SEE SHEET 7)

MATCHLINE (SEE SHEET 8)

MATCHLINE (SEE SHEET 9)

MATCHLINE (SEE SHEET 10)

MATCHLINE (SEE SHEET 5)

MATCHLINE (SEE SHEET 4)

MATCHLINE (SEE SHEET 3)

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DEVELOPMENT PLAN NOTE:

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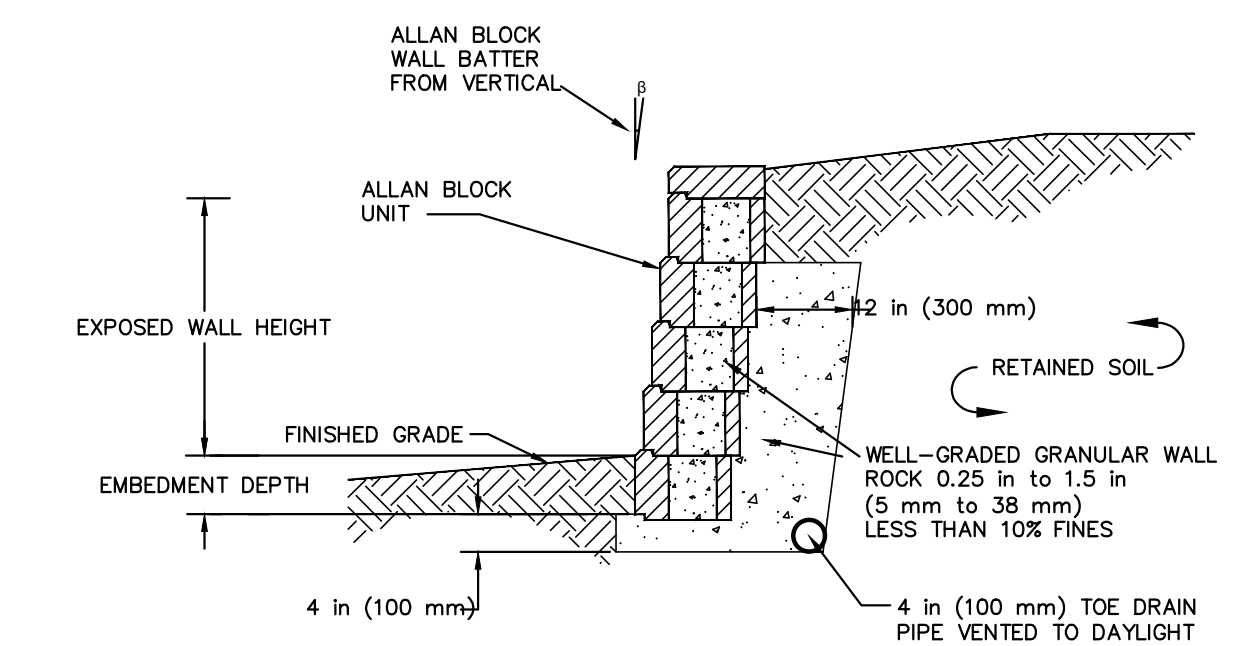
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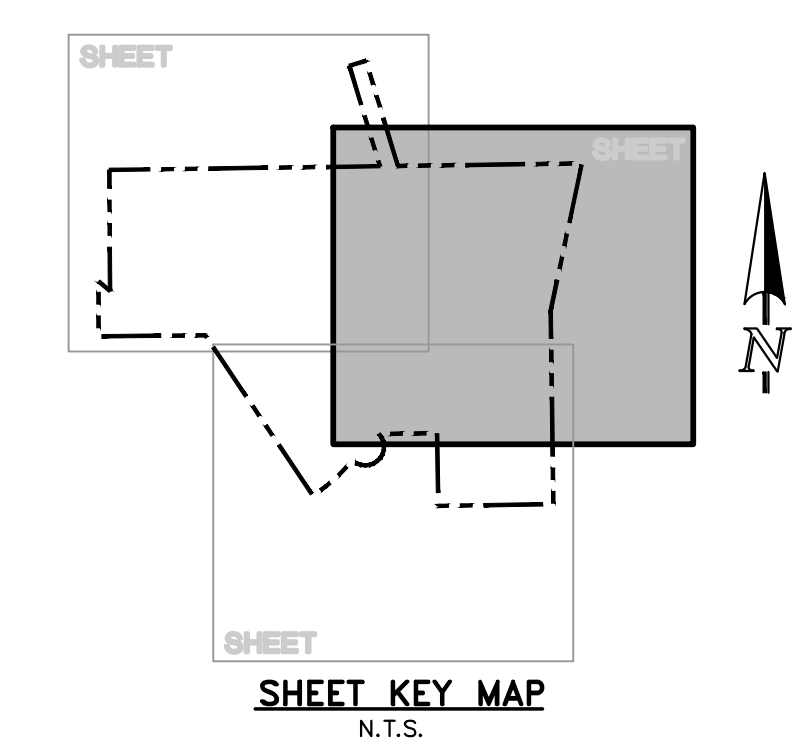
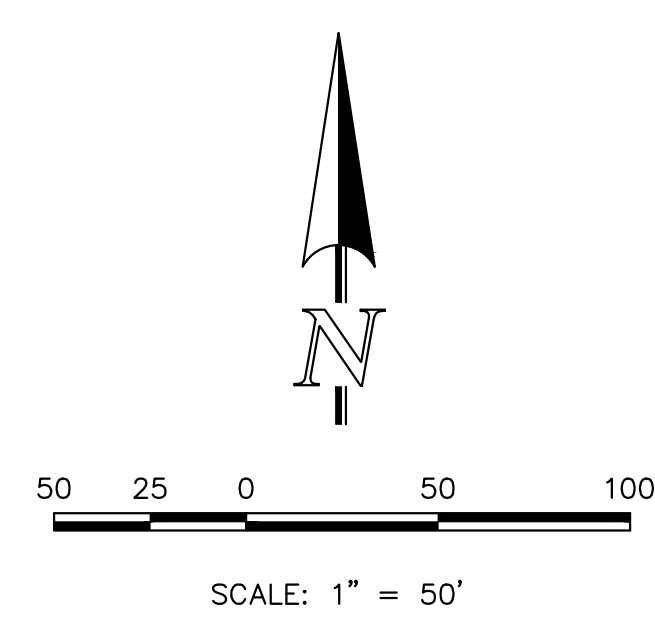
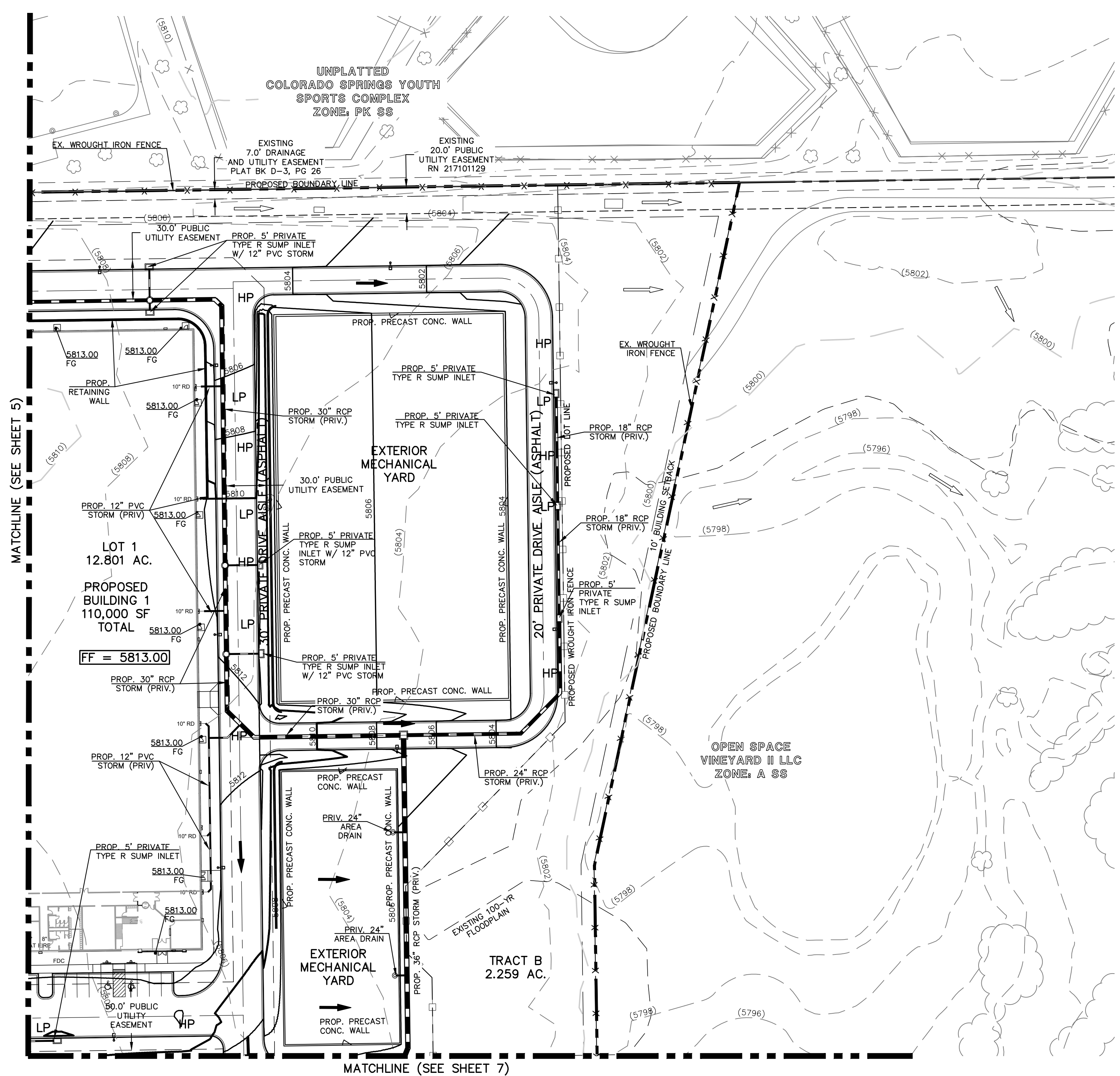


TYPICAL RETAINING WALL DETAIL (BY OTHERS)

NOT TO SCALE

LEGEND

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- PROPOSED HIGH POINT
- PROPOSED LOW POINT
- PIA ("PLANNED INFILTRATION AREAS")



FOR CITY USE:

CITY FILE NUMBER
DEPN-26-0

"NOT FOR CONSTRUCTION"

	VINEYARDS RESEARCH PARK SUBDIVISION DEVELOPMENT PLAN PRELIMINARY GRADING PLAN		
	DESIGNED BY: KC DRAWN BY: KC CHECKED BY: KRC	SCALE: (H) 1" = 50' (V) 1" = N/A	

N:\220470\DRAWINGS\DEVELOPMENT\05-07 - 220470-05-07.dwg, 7/6/2026 9:05:38 PM, 1:1

MATCHLINE (SEE SHEET 6)

DEVELOPMENT PLAN NOTE:

ALL CURB, GUTTER, PEDESTRIAN RAMPS AND SIDEWALK POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR NOT MEETING CURRENT CITY ENGINEERING STANDARDS ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO ISSUING THE CERTIFICATE OF OCCUPANCY (C.O.). AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 719-385-5977.

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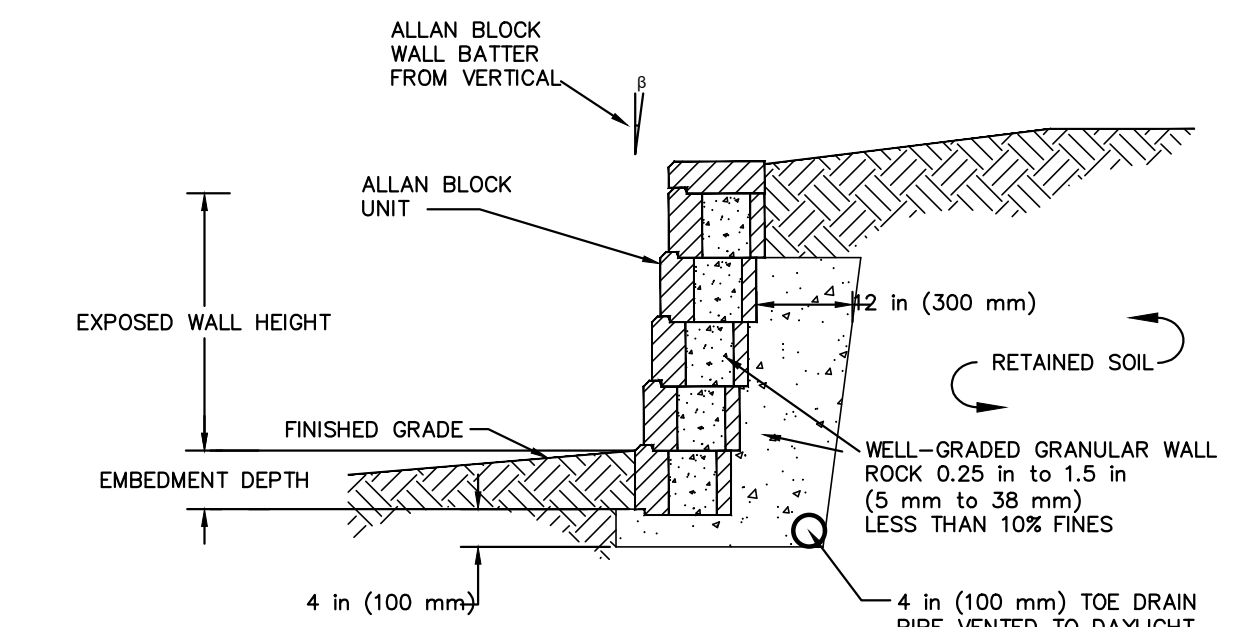
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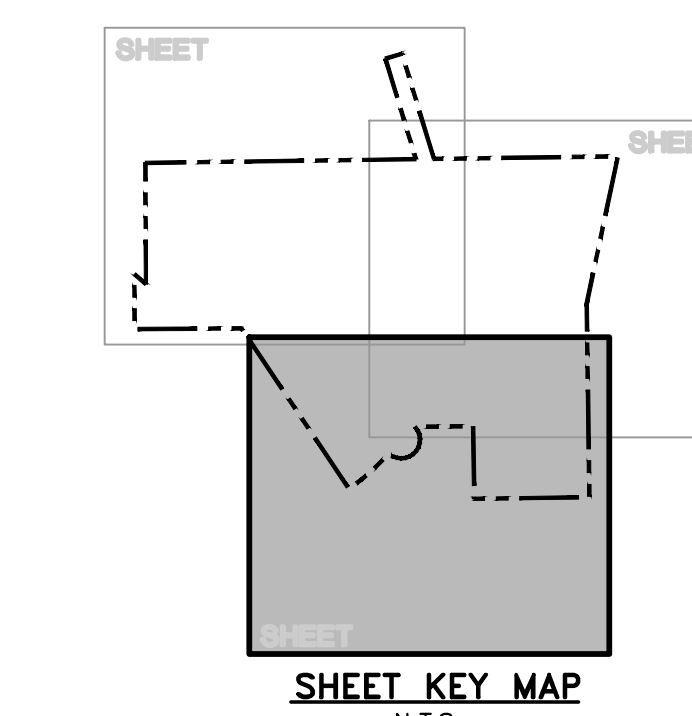


TYPICAL RETAINING WALL DETAIL (BY OTHERS)
NOT TO SCALE

LEGEND

- (6770) EXISTING CONTOUR
- 6770 PROPOSED CONTOUR
- BOUNDARY/FILING LINE
- EXISTING FLOW DIRECTION
- PROPOSED FLOW
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- PROPOSED INLET
- PROPOSED STORM SEWER PIPE
- PROPOSED RETAINING WALL
- HP PROPOSED HIGH POINT
- LP PROPOSED LOW POINT
- PIA ("PLANNED INFILTRATION AREAS")

NOTE: EXISTING TOPOGRAPHY BASED UPON PRIOR APPROVED GEC PLAN TO BE FIELD VERIFIED PRIOR TO CD PREP.



SHEET KEY MAP
N.T.S.

FOR CITY USE:

CITY FILE NUMBER
DEPN-26-0

"NOT FOR CONSTRUCTION"



VINEYARDS RESEARCH PARK SUBDIVISION
DEVELOPMENT PLAN
PRELIMINARY GRADING PLAN

DESIGNED BY	KC	SCALE	DATE	07/07/26
DRAWN BY	KC	(H) 1" = 50'	SHEET	7 OF 19
CHECKED BY	KRC	(V) 1" = N/A	JOB NO.	2204.70

619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903
(719) 785-0790
(719) 785-0799 (Fax)

SCALE: 1" = 50'

N:\220470\DRAWINGS\DEVELOPMENT\05-07 - 220470-05-07.dwg, 7/16/2026 9:05:57 PM, 1:1

**GENERAL NOTES FOR PRELIMINARY UTILITY PLANS
(REQUIRED FOR ALL DEVELOPMENT PLAN SUBMITTALS)**

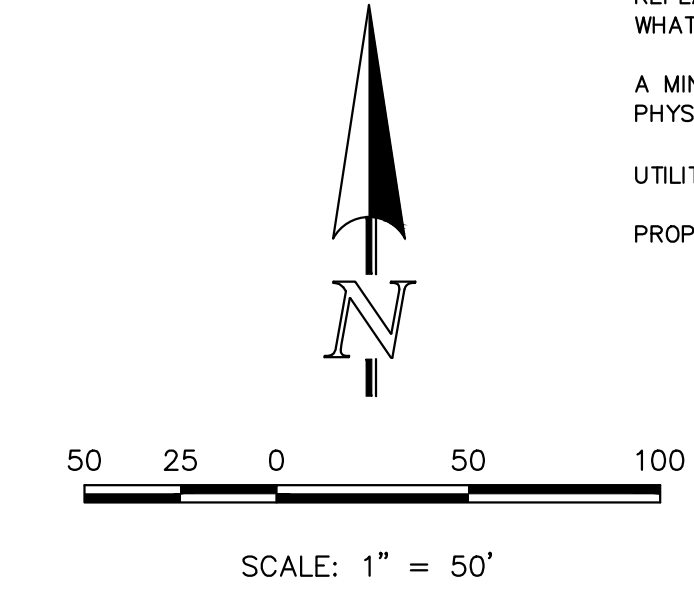
PROPERTY OWNER(S) ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY PLAN:

- COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
- LEASING DEVELOPER ("DEVELOPER") ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ("PROPERTY") SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES LINE EXTENSION & SERVICE STANDARDS ("STANDARDS"), TARIFFS, COLORADO SPRINGS CITY CODE, RESOLUTIONS, AND POLICIES, AND Pikes Peak REGIONAL BUILDING DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
- DEVELOPER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES' RULES AND REGULATIONS.
- SPRINGS UTILITIES UTILITY SERVICES ARE AVAILABLE ON A "FIRST-COME, FIRST-SERVED" BASIS, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE DEVELOPER, AND SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNLESS SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
- THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY WILL BE AT THE DEVELOPER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT DEVELOPER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, DEVELOPER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.
- CIVIL ENGINEER WILL PROVIDE PIC LEGAL DESCRIPTIONS TO PROPERTY OWNER AND PROPERTY OWNER WILL THEN PROVIDE THEM TO COLORADO SPRINGS UTILITIES.
- THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS).
- DEVELOPER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE SPRINGS UTILITIES WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, DEVELOPER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM AS A RESULT OF DEVELOPER'S WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.
- DEVELOPER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5564).
- IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NEC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
- SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS; AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR THE CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES' APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICIES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES AND POLICIES OF SPRINGS UTILITIES.

SITE SPECIFIC NOTES:

- ALL DRIVEWAYS AND PARKING SPACES TO BE ASPHALT UNLESS OTHERWISE SHOWN.
- ALL INTERNAL DRIVEWAYS, PARKING SPACES AND ISLANDS TO BE TYPE 3 CURB & GUTTER OR AS SPECIFIED ON PLANS.
- ALL PROPOSED CURB & GUTTER, SIDEWALK AND PEDESTRIAN RAMPS SHALL MEET CURRENT CITY STANDARDS.
- ALL CURB, GUTTER, PEDESTRIAN RAMPS AND SIDEWALK POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR DOES NOT MEET CURRENT CITY STANDARDS ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED. AN ON-SITE MEETING CAN BE SET UP THE THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF AN IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 385-5977.
- A MINIMUM OF 5-FOOT CLEARANCE AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS WILL BE KEPT CLEAR OF ANY PHYSICAL OR VISUAL OBSTRUCTIONS TO THE HYDRANT.
- UTILITY PLAN IS ACCEPTABLE BASED ON CSU'S APPROVAL.
- PROPOSED FENCING SHALL NOT STOP ACCESS TO UTILITY LINES OR CONFLICT WITH UTILITY EQUIPMENT.

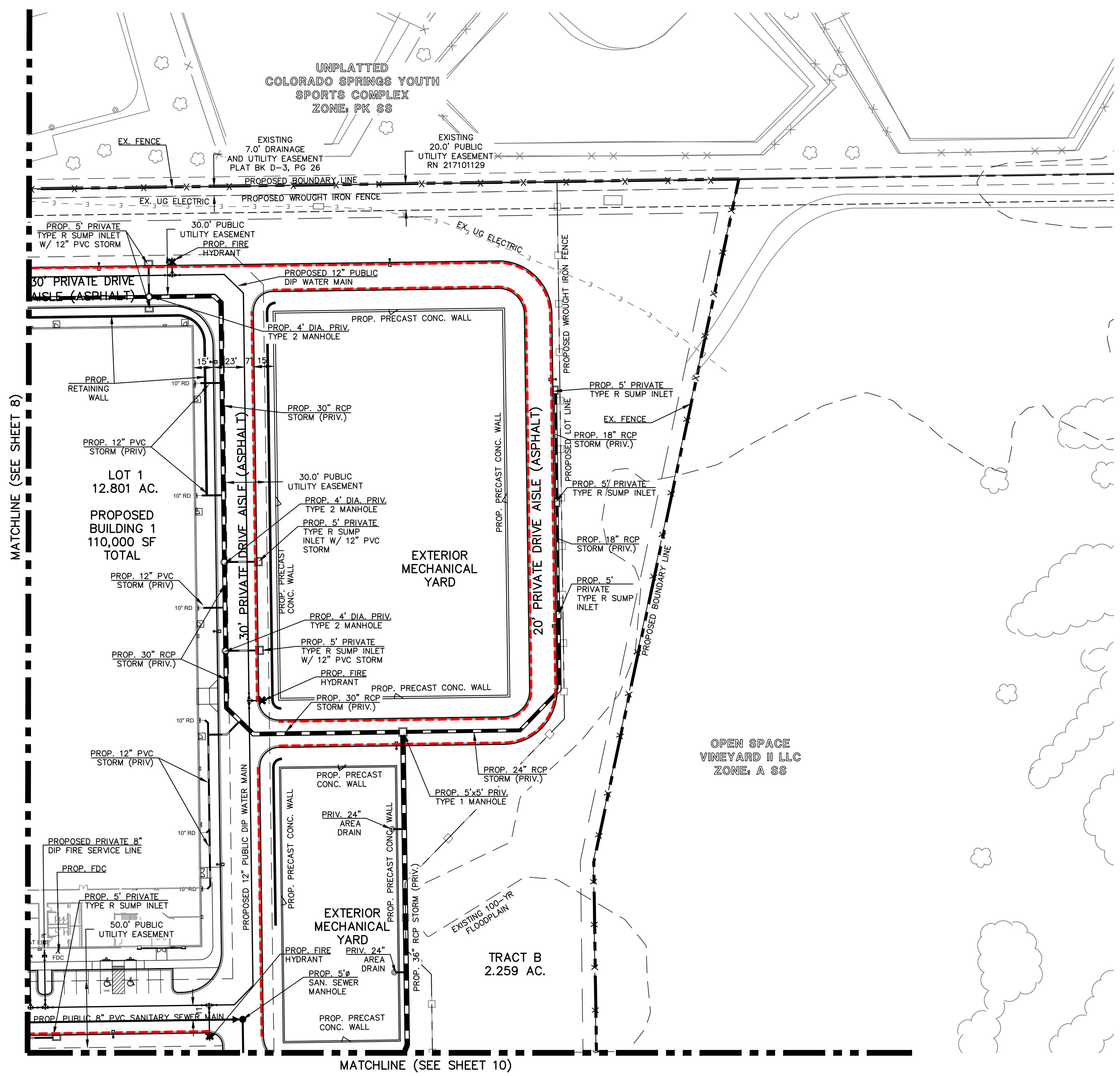
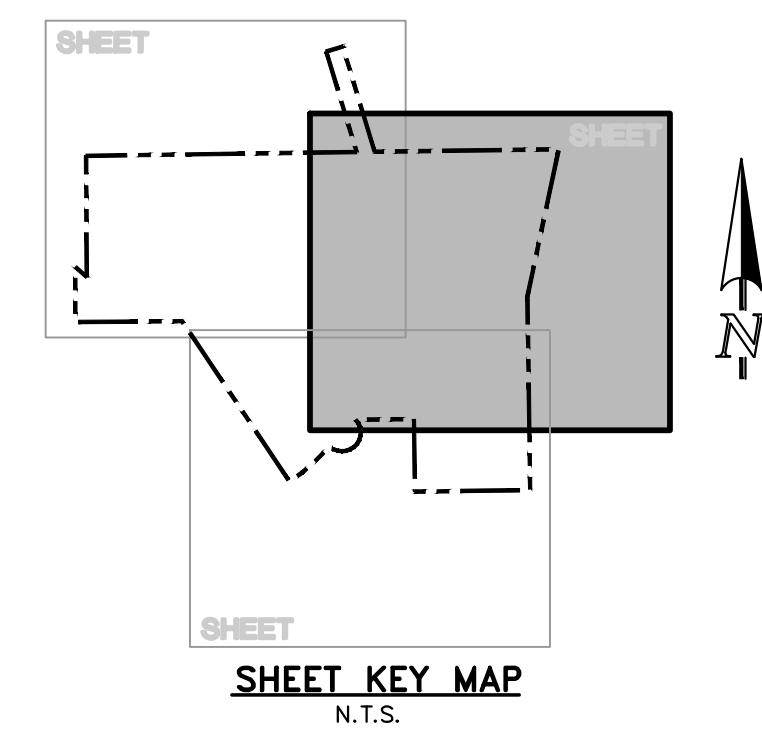
BUILDINGS 1 & 2
 GROSS SQ FOOTAGE: 110,000 S.F.
 TYPE CONSTRUCTION: II-B
 REQ. GPM FIRE FLOW = 7,000 GPM
 50% REDUCTION REQ. GPM FIRE FLOW = 3,500 GPM
 REQ. MIN. NUMBER HYDRANTS = 4
 AVG. DIST. BETWEEN HYDRANTS = 350'
 MAX. HOSE LENGTH = 210'
 BUILDING IS SPRINKLERED THEREFOR THERE IS A 50% REDUCTION ON REQ. GPM FIRE FLOW
 AREA SEPARATION WALLS ARE NOT USED



DESCRIPTION	SYMBOL
PROPOSED STORM SEWER	
PROPOSED STORM INLET	
EXISTING STORM SEWER	
EXISTING STORM INLET	
EXISTING FIRE HYDRANT	
EXISTING WATER MAIN	
EXISTING SANITARY SEWER MAIN W/ MANHOLE	
EXISTING GAS MAIN	
EXISTING BURIED ELECTRIC	
EXISTING BURIED TELEPHONE	
EXISTING BURIED FIBER OPTIC	
PROPOSED SANITARY MAIN	
PROPOSED WATER MAIN	
PROPOSED FIRE HYDRANT	
BOUNDARY LINE	
"NO PARKING" FIRE LANE SIGNS AND/OR PAINTED CURB (AT NO TIME SHALL VEHICLES BE PARKED IN THE DRIVEWAYS THAT ACCESS THIS SITE.)	
ADA ACCESS ROUTE	
PIA ("PLANNED INFILTRATION AREAS")	
PROPOSED CSU HS-20 LOADING MAINTENANCE ACCESS ROAD	

FOR CITY USE:

CITY FILE NUMBER
DEPN-26-0



CLASSIC CONSULTING

VINEYARDS RESEARCH PARK SUBDIVISION
 DEVELOPMENT PLAN
 PRELIMINARY UTILITY & PUBLIC FACILITY PLAN

DESIGNED BY	KC	SCALE	DATE	07/07/26
DRAWN BY	KC	(H) 1" = 50'	SHEET	9 OF 19
CHECKED BY	KRC	(V) 1" = N/A	JOB NO.	2204.70

619 N. Cascade Avenue, Suite 200
 Colorado Springs, Colorado 80903
 (719) 785-0790
 (719) 785-0799 (Fax)

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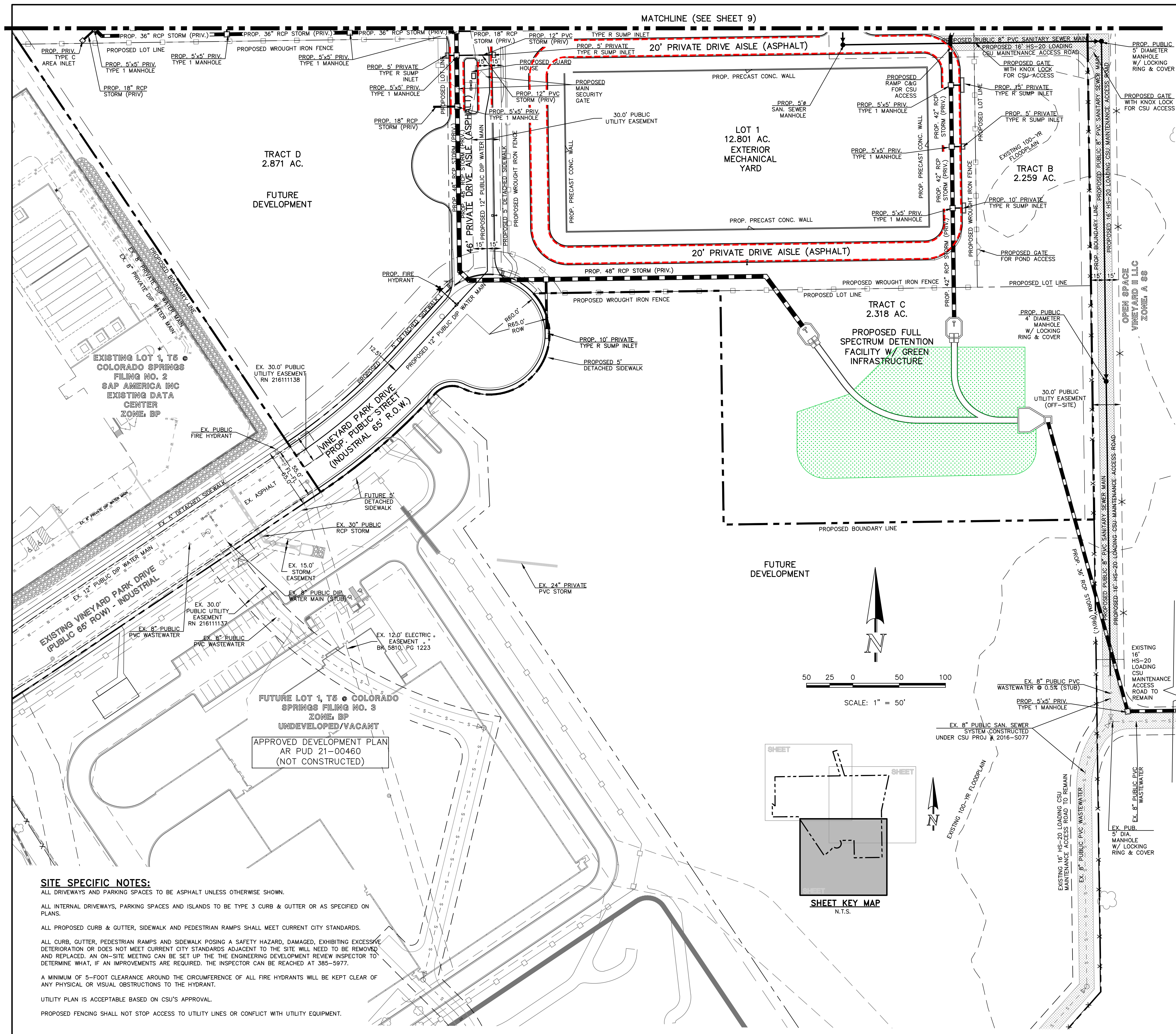
MATCHLINE (SEE SHEET 9)

GENERAL NOTES FOR PRELIMINARY UTILITY PLANS
(REQUIRED FOR ALL DEVELOPMENT PLAN SUBMITTALS)

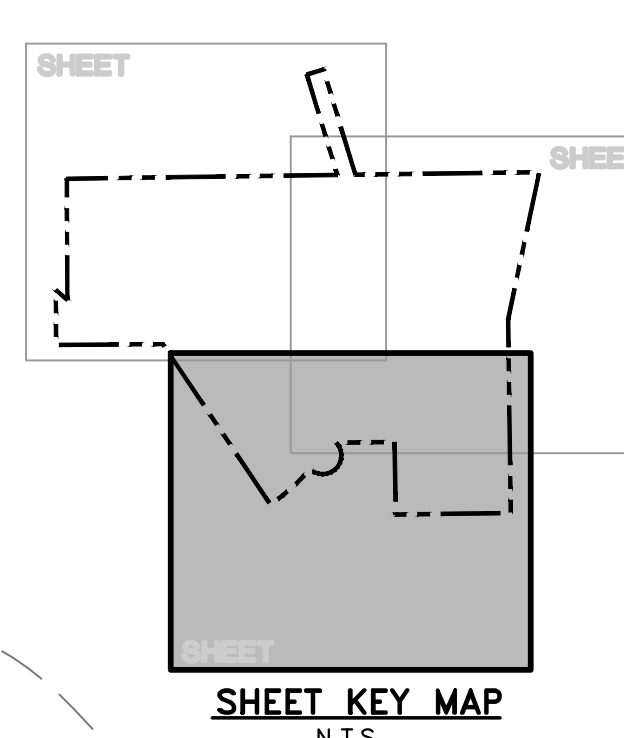
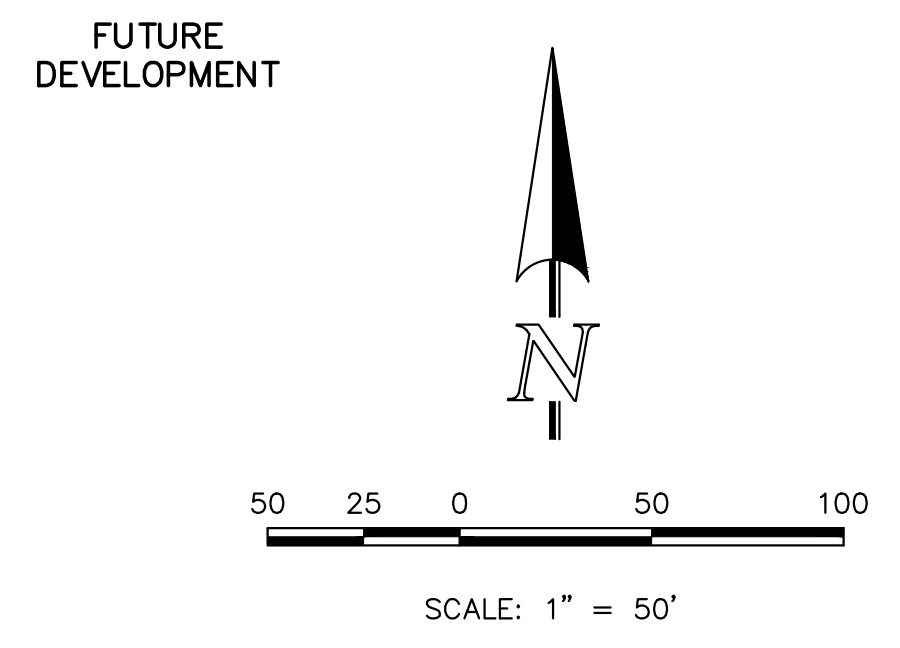
PROPERTY OWNER(S) ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY PLAN:

- COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
- LEASING DEVELOPER ("DEVELOPER") ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ("PROPERTY") SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES LINE EXTENSION & SERVICE STANDARDS ("STANDARDS"), TARIFFS, COLORADO SPRINGS CITY CODE, RESOLUTIONS, AND POLICIES, AND PICKS PEAK REGIONAL BUILDING DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
- DEVELOPER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES' RULES AND REGULATIONS.
- SPRINGS UTILITIES UTILITY SERVICES ARE AVAILABLE ON A "FIRST-COME, FIRST-SERVED" BASIS, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE DEVELOPER, AND APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
- THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY WILL BE AT THE DEVELOPER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT DEVELOPER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, DEVELOPER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.
- CIVIL ENGINEER WILL PROVIDE PIC LEGAL DESCRIPTIONS TO PROPERTY OWNER AND PROPERTY OWNER WILL THEN PROVIDE THEM TO COLORADO SPRINGS UTILITIES.
- THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS).
- DEVELOPER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE SPRINGS UTILITIES WATER SYSTEM, WHEN WATER QUALITY IS AFFECTED, DEVELOPER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM AS A RESULT OF DEVELOPER'S WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.
- DEVELOPER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5564).
- IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NEC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
- SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS; AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR THE CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES' APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICIES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES AND POLICIES OF SPRINGS UTILITIES.

DESCRIPTION	SYMBOL
PROPOSED STORM SEWER	
PROPOSED STORM INLET	
EXISTING STORM SEWER	
EXISTING STORM INLET	
EXISTING FIRE HYDRANT	
EXISTING WATER MAIN	
EXISTING SANITARY SEWER MAIN W/ MANHOLE	
EXISTING GAS MAIN	
EXISTING BURIED ELECTRIC	
EXISTING BURIED TELEPHONE	
EXISTING BURIED FIBER OPTIC	
PROPOSED SANITARY MAIN	
PROPOSED WATER MAIN	
PROPOSED FIRE HYDRANT	
BOUNDARY LINE	
"NO PARKING" FIRE LANE SIGNS AND/OR PAINTED CURB (AT NO TIME SHALL VEHICLES BE PARKED IN THE DRIVEWAYS THAT ACCESS THIS SITE).	
ADA ACCESS ROUTE	
PIA ("PLANNED INFILTRATION AREAS")	
PROPOSED CSU HS-20 LOADING MAINTENANCE ACCESS ROAD	



SITE SPECIFIC NOTES:
 ALL DRIVEWAYS AND PARKING SPACES TO BE ASPHALT UNLESS OTHERWISE SHOWN.
 ALL INTERNAL DRIVEWAYS, PARKING SPACES AND ISLANDS TO BE TYPE 3 CURB & GUTTER OR AS SPECIFIED ON PLANS.
 ALL PROPOSED CURB & GUTTER, SIDEWALK AND PEDESTRIAN RAMPS SHALL MEET CURRENT CITY STANDARDS.
 ALL CURB, GUTTER, PEDESTRIAN RAMPS AND SIDEWALK POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR DOES NOT MEET CURRENT CITY STANDARDS ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED. AN ON-SITE MEETING CAN BE SET UP THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF AN IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 385-5977.
 A MINIMUM OF 5-FOOT CLEARANCE AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS WILL BE KEPT CLEAR OF ANY PHYSICAL OR VISUAL OBSTRUCTIONS TO THE HYDRANT.
 UTILITY PLAN IS ACCEPTABLE BASED ON CSU'S APPROVAL.
 PROPOSED FENCING SHALL NOT STOP ACCESS TO UTILITY LINES OR CONFLICT WITH UTILITY EQUIPMENT.



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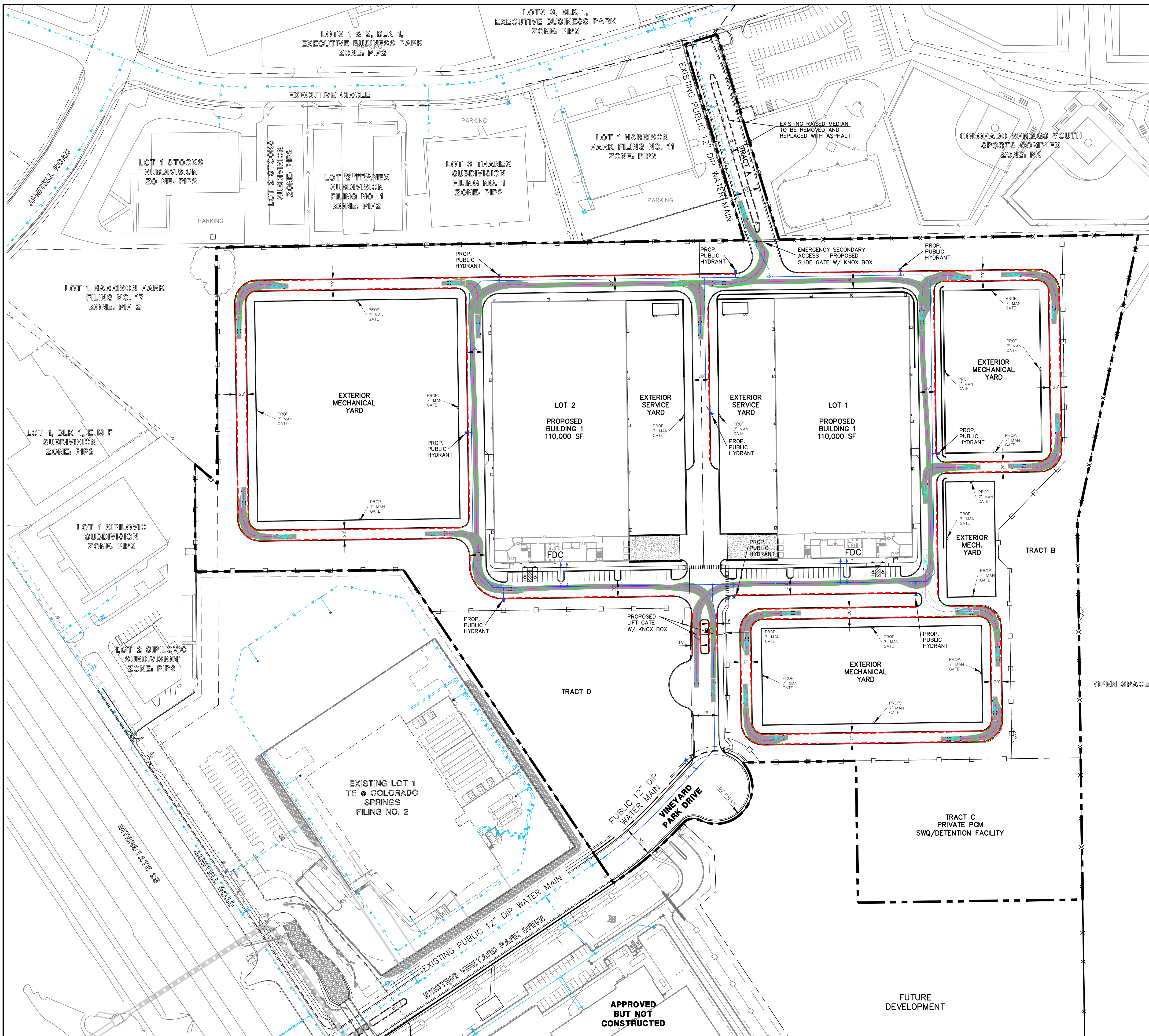
 CITY FILE NUMBER
 DEP-26-0

	VINEYARDS RESEARCH PARK SUBDIVISION DEVELOPMENT PLAN PRELIMINARY UTILITY & PUBLIC FACILITY PLAN			
	DESIGNED BY	KC	SCALE	DATE
DRAWN BY	KC	(H) 1" = 50'	SHEET	10 OF 19
CHECKED BY	KRC	(V) 1" = N/A	JOB NO.	2204.70

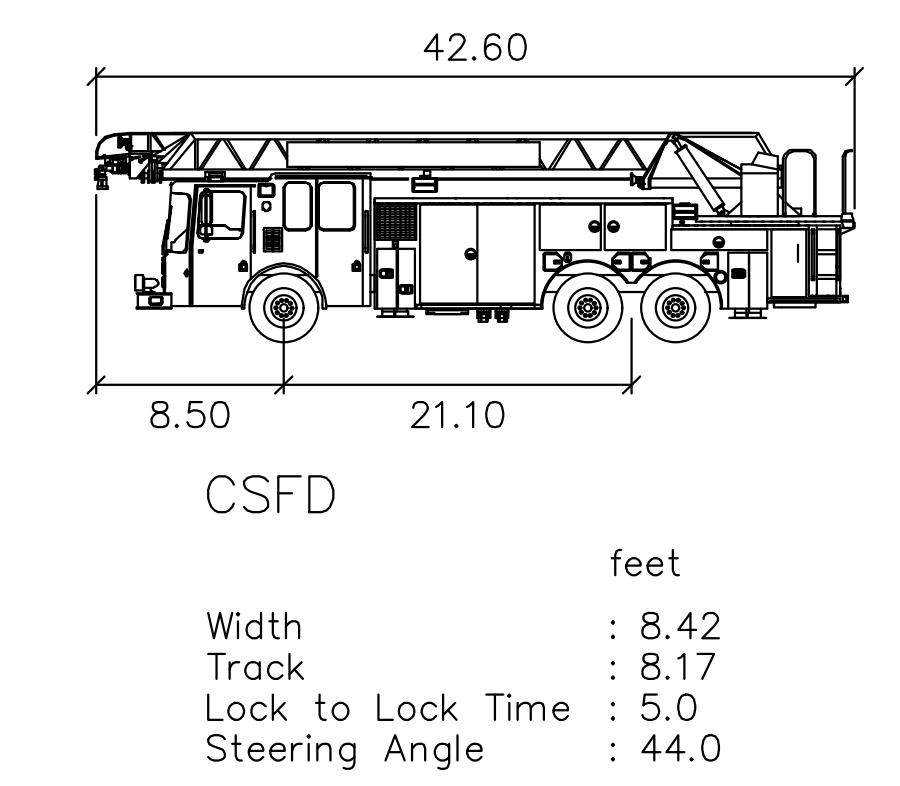
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FIRE ACCESS ROAD:
 APPROVED SIGNS OR OTHER APPROVED NOTICES OR MARKINGS THAT INCLUDE THE WORDS "NO PARKING - FIRE LANE" SHALL BE PROVIDED FOR THE FIRE APPARATUS ACCESS ROAD TO IDENTIFY SUCH ROAD OR PROHIBIT THE OBSTRUCTION THEREOF. THE MEANS BY WHICH FIRE LANES ARE DESIGNATED SHALL BE MAINTAINED IN A CLEAN AND LEGIBLE CONDITION AT ALL TIMES AND BE REPLACED OR REPAIRED WHEN NECESSARY TO PROVIDE ADEQUATE VISIBILITY.

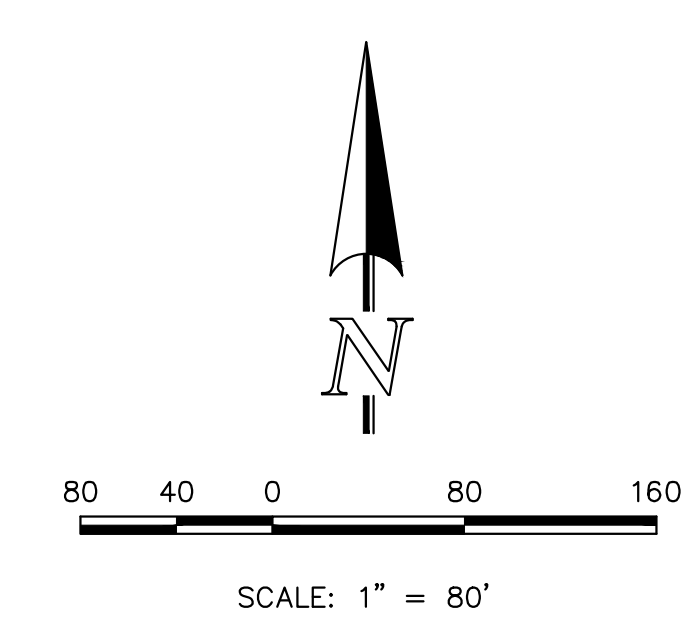


FIRE LANE REQUIREMENTS:
 FIRE LANE MARKINGS ARE REQUIRED:
 -ON BOTH SIDES OF FIRE DEPARTMENT ACCESS ROADWAYS LESS THAN 28' WIDE.
 -ON ONE SIDE OF FIRE DEPARTMENT ACCESS ROADWAYS WITH WIDTHS OF 28' OR MORE BUT LESS THAN 34'.
 -NO MARKINGS ARE REQUIRED FOR FIRE DEPARTMENT ACCESS ROADWAYS 34' IN WIDTH OR MORE.

LEGEND:

DESCRIPTION	SYMBOL
EXISTING FIRE HYDRANT	
EXISTING WATER MAIN	
PROPOSED FIRE HYDRANT	
PROPOSED WATER MAIN	
"NO PARKING" FIRE LANE SIGNS AND/OR PAINTED CURB	

BUILDINGS 1 & 2
 GROSS SQ FOOTAGE: 110,000 S.F.
 TYPE CONSTRUCTION: II-B
 REQ. GPM FIRE FLOW = 7,000 GPM
 50% REDUCTION REQ. GPM FIRE FLOW = 3,500 GPM
 REQ. MIN. NUMBER HYDRANTS = 4
 AVG. DIST. BETWEEN HYDRANTS = 350'
 MAX. HOSE LENGTH = 210'
 BUILDING IS SPRINKLERED THEREFOR THERE IS A 50% REDUCTION ON REQ. GPM FIRE FLOW
 AREA SEPARATION WALLS ARE NOT USED



FOR CITY USE:
 CITY FILE NUMBER
 DEPN-26-0

"NOT FOR CONSTRUCTION"

CLASSIC CONSULTING ENGINEERS & SURVEYORS

VINEYARDS RESEARCH PARK SUBDIVISION
 DEVELOPMENT PLAN
 FIRE APPARATUS MOVEMENT PLAN

DESIGNED BY	KC	SCALE	DATE	07/07/26
DRAWN BY	KC	(H) 1" = 80"	SHEET	11 OF 19
CHECKED BY	KRC	(V) 1" = N/A	JOB NO.	2204.70

619 N. Cascade Avenue, Suite 200 Colorado Springs, Colorado 80903 (719)785-0790 (719)785-0799 (Fax)

APPROVED BUT NOT CONSTRUCTED

FUTURE DEVELOPMENT

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VINEYARDS RESEARCH PARK SUBDIVISION

CITY OF COLORADO SPRINGS, COLORADO

PRELIMINARY LANDSCAPE PLAN

GENERAL NOTES

- FOR GRADING PLAN, REFER TO CIVIL ENGINEER'S DRAWINGS.
- FOR STANDARD LIGHTING AND LOCATIONS, REFER TO PHOTOMETRIC PLAN.
- A FULLY AUTOMATED SPRINKLER IRRIGATION SYSTEM WILL DRIP IRRIGATE ALL TREE, SHRUB, AND GROUND COVER PLANTING AREAS AND SPRAY ANY TURF. IRRIGATION PLAN WILL INCLUDE AN IRRIGATION SCHEDULE THAT NOTES APPLICATION RATES BASED ON TURF TYPE, AND NOTES RATES FOR NEWLY PLANTED PLANTS VS. ESTABLISHED PLANTS AND GENERAL RECOMMENDATIONS REGARDING SEASONAL ADJUSTMENTS (SPRING AND FALL).

STANDARD CITY OF COLORADO SPRINGS LANDSCAPE NOTES

- A FINAL LANDSCAPE AND IRRIGATION PLAN, WITH APPLICABLE SUPPORTING MATERIAL, SHALL BE SUBMITTED AT TIME OF BUILDING PERMIT APPLICATION AND SHALL BE APPROVED BEFORE ANY BUILDING PERMIT APPROVAL, ANY LANDSCAPING OR IRRIGATION CONSTRUCTION, AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- THE OWNER OR DEVELOPER IS REQUIRED TO PROVIDE INSPECTION AFFIDAVITS EXECUTED BY THE COLORADO LICENSED LANDSCAPE ARCHITECT OR CERTIFIED IRRIGATION DESIGNER OF RECORD FOR THE PROJECT, WHICH CERTIFIES THAT THE PROJECT WAS INSTALLED AND IN COMPLIANCE WITH THE APPROVED FINAL LANDSCAPE AND IRRIGATION PLAN ON FILE IN CITY PLANNING. THIS SHOULD REQUIRE LIMITED CONSTRUCTION OBSERVATION VISITS TO ACCURATELY COMPLETE THE AFFIDAVITS. WHEN READY TO CALL FOR INSPECTION AND SUBMIT AFFIDAVITS, FIRST CONTACT THE CITY PLANNER OF RECORD FOR THE PROJECT (719-385-5905) AND AS NECESSARY OUR DRE OFFICE (719-385-5982).
- LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF OWNER AND/OR THEIR ASSIGNED.
- ALL STREET TREES AND STREETScape IMPROVEMENTS LOCATED IN THE ROW WILL BE MAINTAINED BY THE OWNER AND/OR THEIR ASSIGNED.
- COPIES OF RECEIPTS/DELIVERY TICKETS FOR SOIL AMENDMENTS ON THE PROJECT ARE REQUIRED TO BE PROVIDED WITH THE INSPECTION AFFIDAVITS.
- ANY FIELD CHANGES OR DEVIATIONS TO THESE PLANS WITHOUT PRIOR CITY APPROVAL OF AN AMENDED DEVELOPMENT PLAN MAY RESULT IN A DELAY OF FINAL APPROVAL AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY. THESE PLANS ARE FOR CITY APPROVALS ONLY AND ARE NOT TO BE UTILIZED FOR CONSTRUCTION.

SOILS NOTES

- SOIL AMENDMENT - INCORPORATE 3 CUBIC YARDS/1000 SF AREA OF "PREMIUM 3 ORGANIC COMPOST", OR APPROVED EQUAL, ON SOD AREAS. INCORPORATE 2 CUBIC YARDS/1000 SF AREA OF ORGANIC COMPOST (DECOMPOSED MANURE) TO ALL NATIVE SEED AREAS. TILL INTO TOP 8" OF SOIL.
- RECOMMENDED SOIL AMENDMENT FOR PLANTING PITS: TRI-MIX III AS SUPPLIED BY C&C SAND, TO BE APPLIED PER DETAILS.
- FERTILIZER REQUIREMENTS BELOW ARE BASED ON SOIL ANALYSIS.

	SOD	SEED	SHRUB-BROADLEAF	SHRUB-CONIFER
NITROGEN	0 LBS/1000SF	0 LBS/1000SF	0 LBS/1000SF	0 LBS/1000SF
PHOSPHORUS (P205)	0 LBS/1000SF	0 LBS/1000SF	0 LBS/1000SF	0 LBS/1000SF
POTASSIUM (K20)	0 LBS/1000SF	0 LBS/1000SF	0 LBS/1000SF	0 LBS/1000SF
SULFUR (S04-S)	0 LBS/1000SF	0 LBS/1000SF	0 LBS/1000SF	0 LBS/1000SF
MANGANESE	0 LBS/1000SF	0 LBS/1000SF	0 LBS/1000SF	0 LBS/1000SF
- *NATIVE SEED FERTILIZER NOTE - APPLY NITROGEN AND OTHER FERTILIZER JUST PRIOR TO THE BEGINNING OF SPRING GROWTH. AFTER GRASS HAS ESTABLISHED. APPLYING NITROGEN TOO EARLY CAN STIMULATE COOL SEASON GRASSES AND WEEDS, THUS LIMITING SEED YIELDS.
- A SIGNED AFFIDAVIT ATTESTING TO THE SOIL AMENDMENTS INCORPORATED TO CORRECT DEFICIENCIES SHALL BE INCLUDED WITH THE SOIL ANALYSIS PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- CONTRACTOR TO UTILIZE STOCKPILED TOPSOIL FROM GRADING OPERATION AS AVAILABLE. TILL INTO TOP 8" OF SOIL.
- OR- TOPSOIL TO BE INSTALLED.
- CONTRACTOR TO TEST AMENDED SOIL. FOR EACH STREET, TAKE 1 TEST IN FESCUE SOD/ALTERNATIVE TURF AREA, 1 TEST IN PLANTING BED AREA, AND 1 TEST IN SEEDING AREA, AND SUBMIT SOIL ANALYSIS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLING LANDSCAPE.
- SUBMIT FERTILIZER PRODUCT SHEET TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. EXAMPLES FOR SUBMITTALS ARE: FESCUE SOD FERTILIZER, LOW ALTERNATE TURF FERTILIZER, TALL NATIVE SEED MIX FERTILIZER, ETC. IF SOIL IN.
- THE PARKING LOT HAS BEEN COMPACTED BY GRADING OPERATIONS. THE SOIL WITHIN THE PLANTER SHALL BE TILLED, OR REMOVED TO A DEPTH OF THIRTY (30) INCHES AND REPLACED WITH AN ACCEPTABLE GROWING MEDIUM FOR THE SPECIES BEING INSTALLED.
- TILLING OF THE EXISTING SOIL TO INCORPORATE AMENDMENTS AND COUNTER ANY COMPACTION OR SOIL CONSOLIDATION SHALL BE REQUIRED FOR ALL LANDSCAPE PLANTING AREAS.

SEED NOTES

- NATIVE SEED AREAS TO USE SEED MIX SPECIFIED. ALL SEED AREAS SHALL BE IRRIGATED UNTIL ESTABLISHMENT. SUBMIT SEED MIX PRODUCT INFORMATION TO L.A. FOR APPROVAL PRIOR TO INSTALLATION.
- EROSION CONTROL BLANKET TO BE APPLIED ON ALL SEED AREAS WITH GREATER THAN 3:1 SLOPES.
- EROSION CONTROL BLANKET TO BE: S150BN WITH 6" STEEL STAKES AVAILABLE FROM NORTH AMERICAN GREEN DISTRIBUTOR, NILEX ENVIRONMENTAL INC. (303)766-2000, OR APPROVED EQUAL. SUBMIT SAMPLE AND PRODUCT INFO TO LANDSCAPE ARCHITECT (L.A.) FOR APPROVAL PRIOR TO INSTALLATION. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- ALL SEED SHALL BE WARRANTED FOR ONE FULL YEAR AND BE IN SATISFACTORY CONDITION AT THE END OF THE WARRANTY PERIOD. NO AREA LARGER THAN 3"x3" WITHIN THE IRRIGATED SEEDING AREA, 12"x12" FOR NON-IRRIGATED SEEDING AREAS OF THIS PROJECT SHALL BE VOID OF SUBSTANTIAL GRASS 45 DAYS AFTER THE TIME OF SEEDING DURING THE GROWING SEASON.

SOD NOTES

- NO SOD SHALL BE PLANTED ON SLOPES IN EXCESS OF 6:1 GRADIENT.
- SOD SHALL BE LAID ON A FIRM BED WITH TIGHT JOINTS WITH NO VOIDS BETWEEN STRIPS. ANY MOUNDS OR DEPRESSIONS OCCURRING AFTER INSTALLATION SHALL BE CORRECTED PRIOR TO ACCEPTANCE.
- SOD TO BE FERTILIZED ACCORDING TO GROWERS RECOMMENDATIONS. SUBMIT PRODUCT INFORMATION TO L.A. FOR APPROVAL PRIOR TO INSTALLATION.

PLANTING NOTES

- ALL TREES TO RECEIVE 3 INCH DEPTH WOOD MULCH RING UNLESS OTHERWISE SPECIFIED. MULCH RINGS TO BE SIZED PER PLANTING DETAILS.
- WOOD MULCH: GORILLA HAIR CEDAR WOOD MULCH SHALL BE USED UNLESS OTHERWISE SPECIFIED ON PLAN.
- ALL TREES TO BE STAKED WITH WOOD STAKES. FOR 3" CAL. DECIDUOUS TREES AND EVERGREEN TREES OVER 8" USE 3" WOOD STAKES (STAKE TO GROUND LEVEL). SUBMIT STAKING MATERIALS PRODUCT INFO TO L.A. FOR APPROVAL PRIOR TO INSTALLATION.
- ALL TREES TO BE STAKED FOR A MINIMUM OF 18 MONTHS. REMOVE STAKING MATERIALS ONCE TREE IS ESTABLISHED, WHICH MAY DEPEND ON TREE SPECIES, MATURITY AND SITE CONDITIONS.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL PLANT MATERIAL SHOWN ON THIS PLAN. IF ANY DISCREPANCIES ARE FOUND BETWEEN THE LANDSCAPE PLAN AND THE PLANT SCHEDULE, THE QUANTITIES SHOWN ON THE LANDSCAPE PLAN SUPERSEDE THOSE SHOWN ON THE PLANT SCHEDULE.
- PLANTS SHALL BE WARRANTED FOR THE DURATION OF ONE FULL YEAR AFTER THE INSTALLATION (WARRANTY SHALL COVER 100% OF THE REPLACEMENT COST).
- TREES SHALL MAINTAIN A 15-FOOT MINIMUM SEPARATION FROM WATER AND WASTEWATER MAINS AND A 6-FOOT MINIMUM SEPARATION FROM ELECTRIC AND GAS DISTRIBUTION LINES.
- A 3' CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF FIRE HYDRANTS. ALL FIRE HYDRANTS WILL NOT BE OBSTRUCTED VISUALLY OR PHYSICALLY DUE TO VEGETATION.
- ALL FIRE DEPARTMENT CONNECTIONS (FDC) SHALL NOT BE VISUALLY OR PHYSICALLY OBSTRUCTED BY LANDSCAPING.

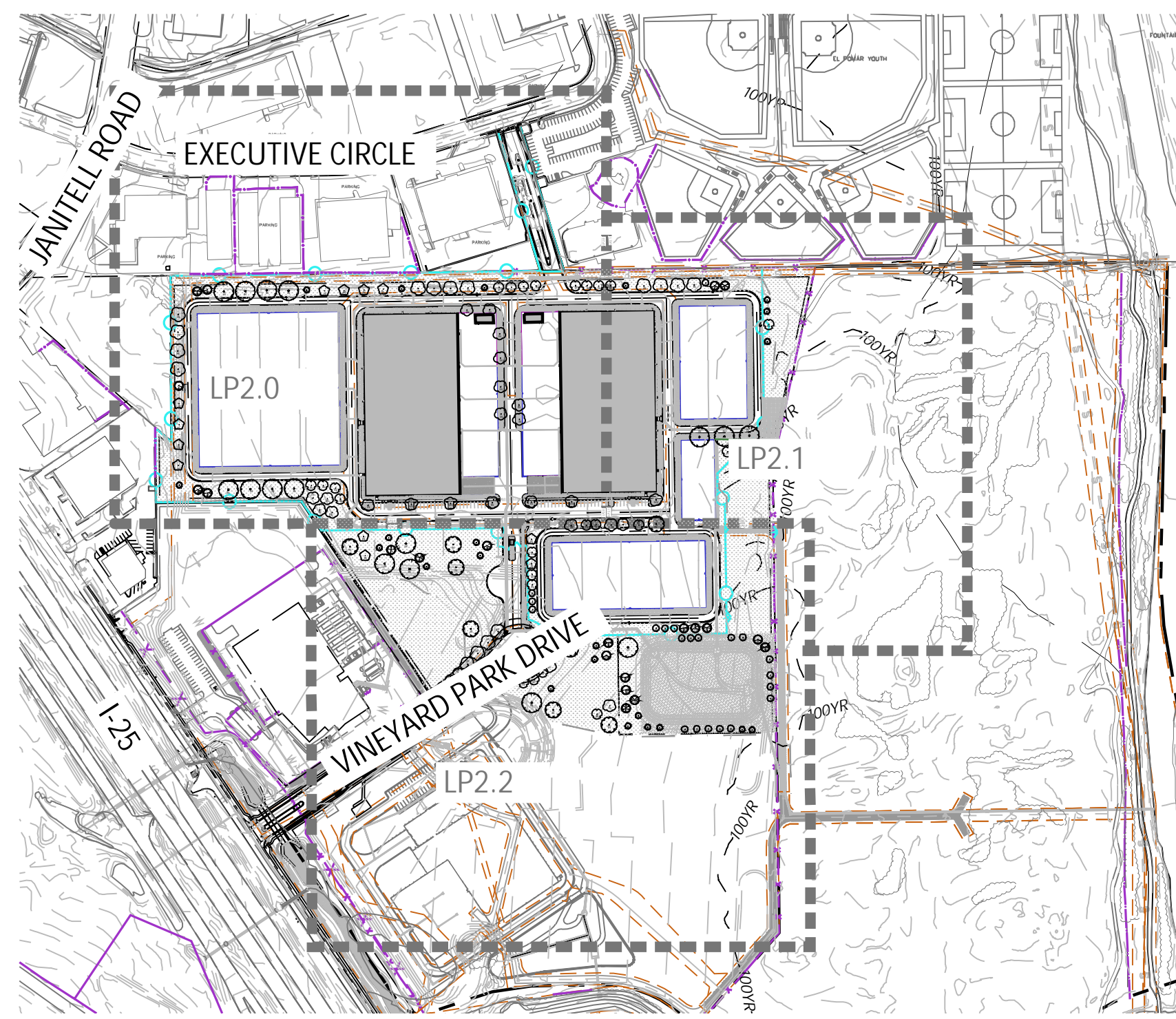
EDGING NOTES

- ALL ROCK OR WOOD MULCH ADJACENT TO NATIVE SEED OR SOD TO BE SEPARATED BY EDGING.
- SEPARATION BETWEEN SOD AND NATIVE SEED SHALL BE A MOWED STRIP, WITHOUT EDGING.
- SEPARATION BETWEEN ROCK TYPES, EDGING TO BE PER PLAN.
- ARTIFICIAL TURF TO BE ENCLOSED WITH CONCRETE CURB EDGING OR SIDEWALKS.
- USE SOLID STEEL EDGING EXCEPT WHERE NOTED ON THE PLANS.
- SOLID STEEL EDGING TO BE: "DURAEDGE" (1/8" THICK x 4" WIDE) STEEL LANDSCAPE EDGING, DARK GREEN COLOR, WITH ROLLED EDGE AND STEEL STAKES.
- PERFORATED STEEL EDGING TO BE: ACME (14 GA. x 4" WIDE) GALVANIZED STEEL EDGING, WITH ROLLED EDGE AND GALVANIZED STEEL STAKES. COLOR TO BE DARK GREEN. SEE PLAN FOR TRAIL LOCATIONS.

EXISTING VEGETATION NOTES

- ALL PRESERVATION AREAS CONTAINING VEGETATION DESIGNATED TO BE PRESERVED, SHALL BE FENCED OFF DURING CONSTRUCTION TO MINIMIZE DISTURBANCE IN THESE AREAS. ALL FENCING SHALL BE INSTALLED AROUND PRESERVED VEGETATION PRIOR TO ANY GRADING ON THE PROPERTY. A 4-FOOT ORANGE CONSTRUCTION SAFETY FENCE SHOULD BE USED IN THIS APPLICATION. SUBMIT PRODUCT INFO TO L.A. FOR APPROVAL PRIOR TO INSTALLATION.
- EXISTING TREES TO BE EVALUATED FOR HEALTH AND PRUNED AS NEEDED.
- ALL EXISTING TREES DESIGNATED TO REMAIN WILL NEED TO BE REPLACED IF NOT IN A HEALTHY CONDITION.

KEY MAP



LANDSCAPE SITE REQUIREMENTS

PLAN	STREET NAME/ ZONE BOUNDARY	CLASSIFICATION	SETBACK DEPTH		LINEAR FOOTAGE	TREE/FEET REQUIRED
			REQ.	PROV.		
VP	VINEYARD PARK DRIVE	NON-ARTERIAL	10'	10'	244'	1 / 30

NO. OF TREES	SHRUB SUBSTITUTES		ORN GRASSES SUBS.		% LIVE GROUND PLANE	
	REQ.	PROV.	REQ.	PROV.	REQ.	PROV.
VP 16	16	NA	NA	NA	75%	75%

INTERNAL PLAN	NET SITE AREA	INTERNAL AREA %	INTERNAL AREA		NON-ACTIVE GREEN SPACE	
			REQ.	PROV.	REQ.	PROV.
IN	1531537.5 SF	5%	76577 SF	76577 SF	76577 SF	76577 SF

NO. OF TREES (1/500)	SHRUB SUBSTITUTES		ORN GRASSES SUBS.		% LIVE GROUND PLANE	
	REQ.	PROV.	REQ.	PROV.	REQ.	PROV.
153	153	NA	NA	NA	75%	75%

MOTOR VEHICLE LOT PLAN	NO. OF VEHICLE SPACES PROVIDED	SHADE TREES		% LIVE GROUND PLANE	
		REQ. (1/15)	PROV.	REQ.	PROV.
MV	58	4	4	75%	75%

PLANT SCHEDULE

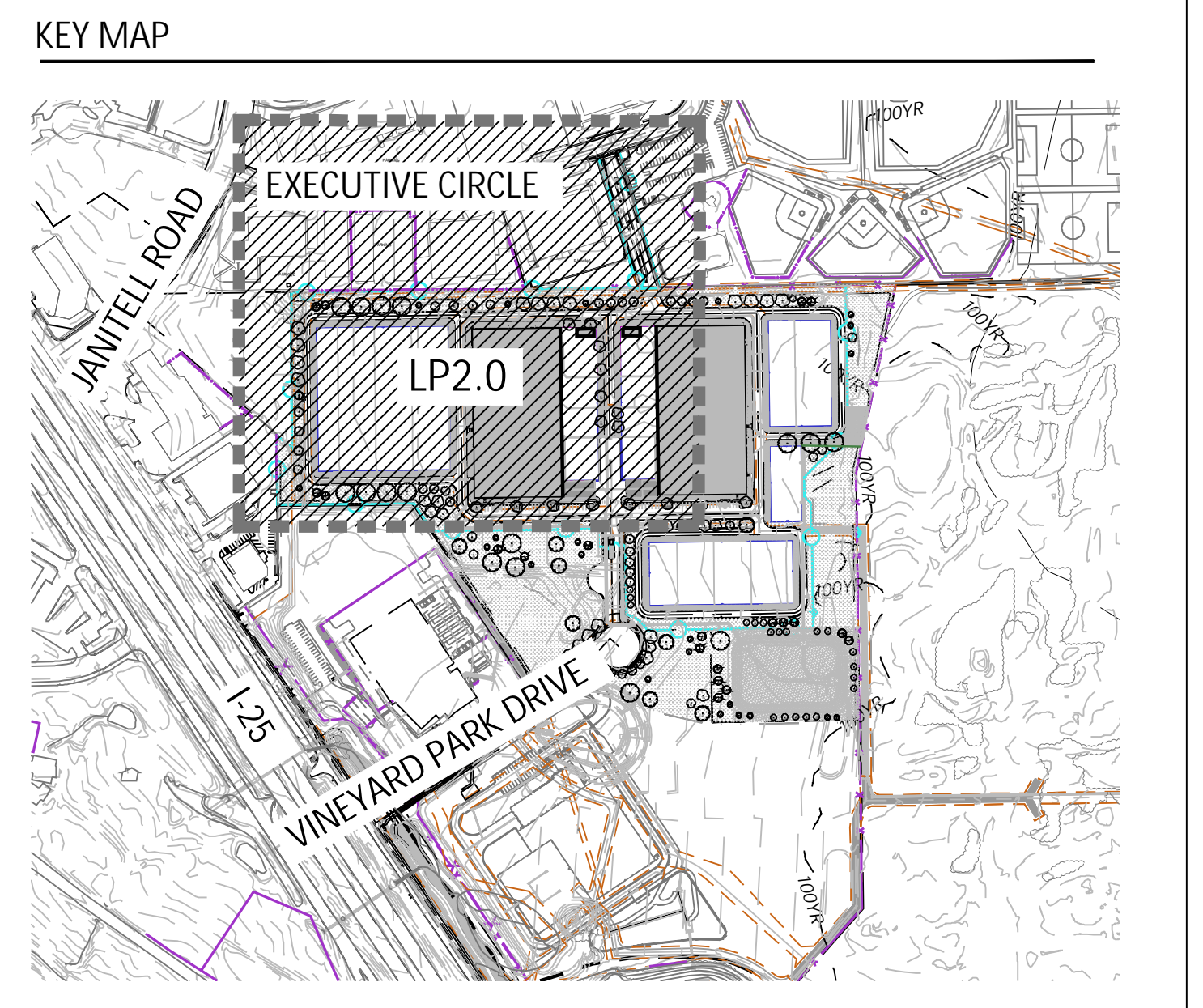
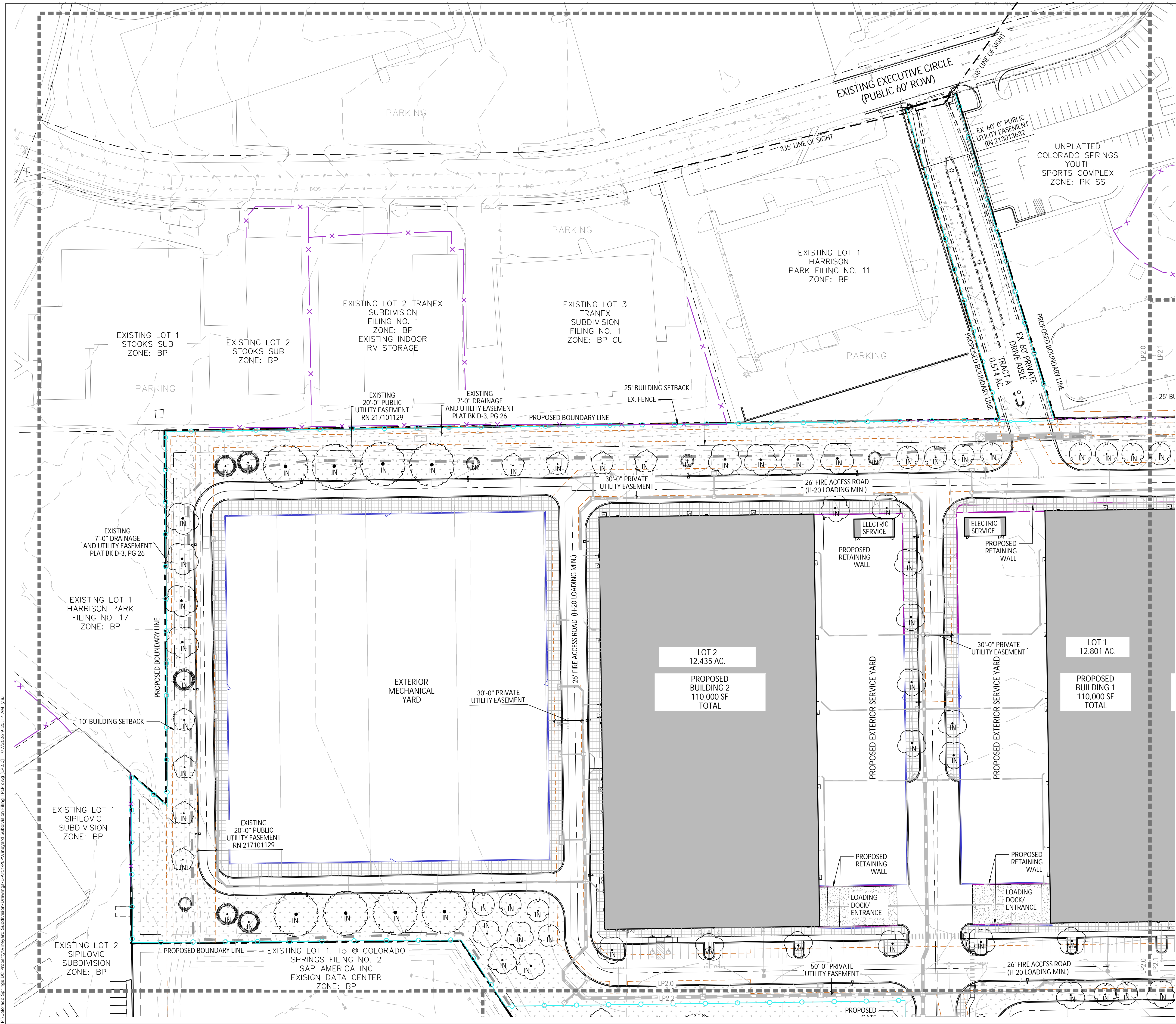
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	CONDITION	CITY REQ.
DECIDUOUS TREES								
	BM	23	ACER GRANDIDENTATUM / BIGTOOTH MAPLE	30'	30'	1.5" CAL.	B&B	MEDIAN/PARK/ROW/STREAM
	NM	8	ACER PLATANOIDES / NORWAY MAPLE	40'	40'	1.5" CAL.	B&B	PARK/ROW
	CO	19	CELTIS OCCIDENTALIS / COMMON HACKBERRY	35'	35'	1.5" CAL.	B&B	MEDIAN/PARK/ROW/STREAM
	TF	12	CORYLUS COLURNA / TURKISH FILBERT	35'	25'	1.5" CAL.	B&B	MEDIAN/PARK/ROW
	QB	16	QUERCUS MACROCARPA / BURR OAK	50'	50'	1.5" CAL.	B&B	MEDIAN/PARK/ROW/STREAM
	TI	31	TILIA TOMENTOSA 'STERLING' / STERLING SILVER LINDEN	40'	25'	1.5" CAL.	B&B	ROW
EVERGREEN TREES								
	PP	21	PICEA PUNGENS / COLORADO SPRUCE	50'	25'	6' HT.	B&B	SCREEN/TRASH/WALL
	PR	22	PINUS ARISTATA / BRISTLEcone PINE	30'	15'	6' HT.	B&B	SCREEN/TRASH/WALL
	PV	21	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID' / VANDERWOLF'S PYRAMID LIMBER PINE	40'	20'	6' HT.	B&B	SCREEN/TRASH/WALL

SELECTED PLANTS	SPECIES DIVERSITY	SPECIES HEIGHT	
			SELECTED/TOTAL
TREES	173/ 173	31/ 173	173/ 173
TOTAL	REQ. /PROV.	REQ. /PROV.	REQ. /PROV.
	70% / 100%	<35% / 17.9%	>40% / 100%

FOR CITY USE:

CITY FILE NUMBER
DEPN-26-0-___

VINEYARDS RESEARCH PARK SUBDIVISION DEVELOPMENT PLAN			
LP1.0 LANDSCAPE NOTES AND DETAILS			
DESIGNED BY	Y.L. J.T	SCALE	DATE 07/07/26
DRAWN BY	B.S	SHEET 12 OF 19	
CHECKED BY	B.S	JOB NO. 2204.70	



GROUND COVER LEGEND

	EL PASO COUNTY CONSERVATION BIG BLUESTEM - 20% BLUE GRAMA - 10% GREEN NEEDLEGRASS - 10% WESTERN WHEATGRASS - 20% SIDCOATS GRAMA - 10% SWITCHGRASS - 10% PRARIE SANDREED - 10% YELLOW INDIANGRASS - 10% SEEDING WILL BE IN COMPLIANCE WITH SCM CH. 5 HYDROSEED @ 19.3 PLS/ACRE	86,599 SF
	NATIVE LOW GROW MIXTURE EL PASO COUNTY ALL PURPOSE LOW GROW MIX	466,558 SF
	ROCK MULCH 1 1/2" ARKANSAS TAN	111,429 SF

LINE TYPE LEGEND

	PROPERTY BOUNDARY
	SIDEWALK
	EASEMENT
	PROPOSED CONTOUR
	EXISTING CONTOUR
	LINE OF SIGHT
	MATCHLINE
	SETBACK
	STEEL EDGE
	EXISTING FENCE
	PROPOSED 7' HT PRECAST WALL
	PROPOSED FENCE
	PROPOSED RETAINING WALL
	100-YEAR FLOODWAY
	100-YEAR FLOODPLAIN
	CONSTRUCTION LIMIT

FOR CITY USE:

CITY FILE NUMBER
DEPN-26-0-___

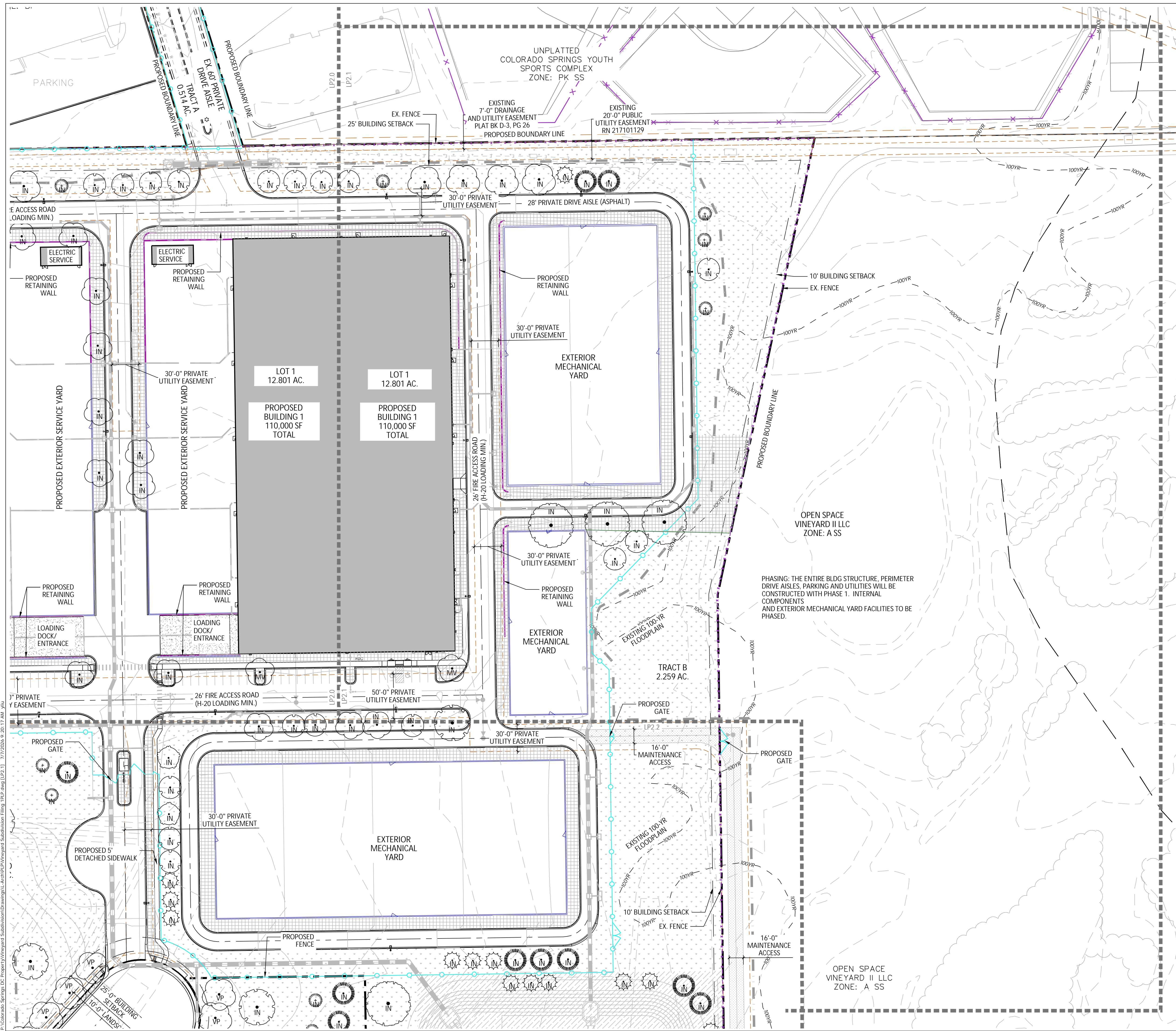
VINEYARDS RESEARCH PARK SUBDIVISION
DEVELOPMENT PLAN
LP2.0
PRELIMINARY LANDSCAPE PLAN

DESIGNED BY: Y.L. J.T.
DRAWN BY: Y.L. J.T.
CHECKED BY: B.S.

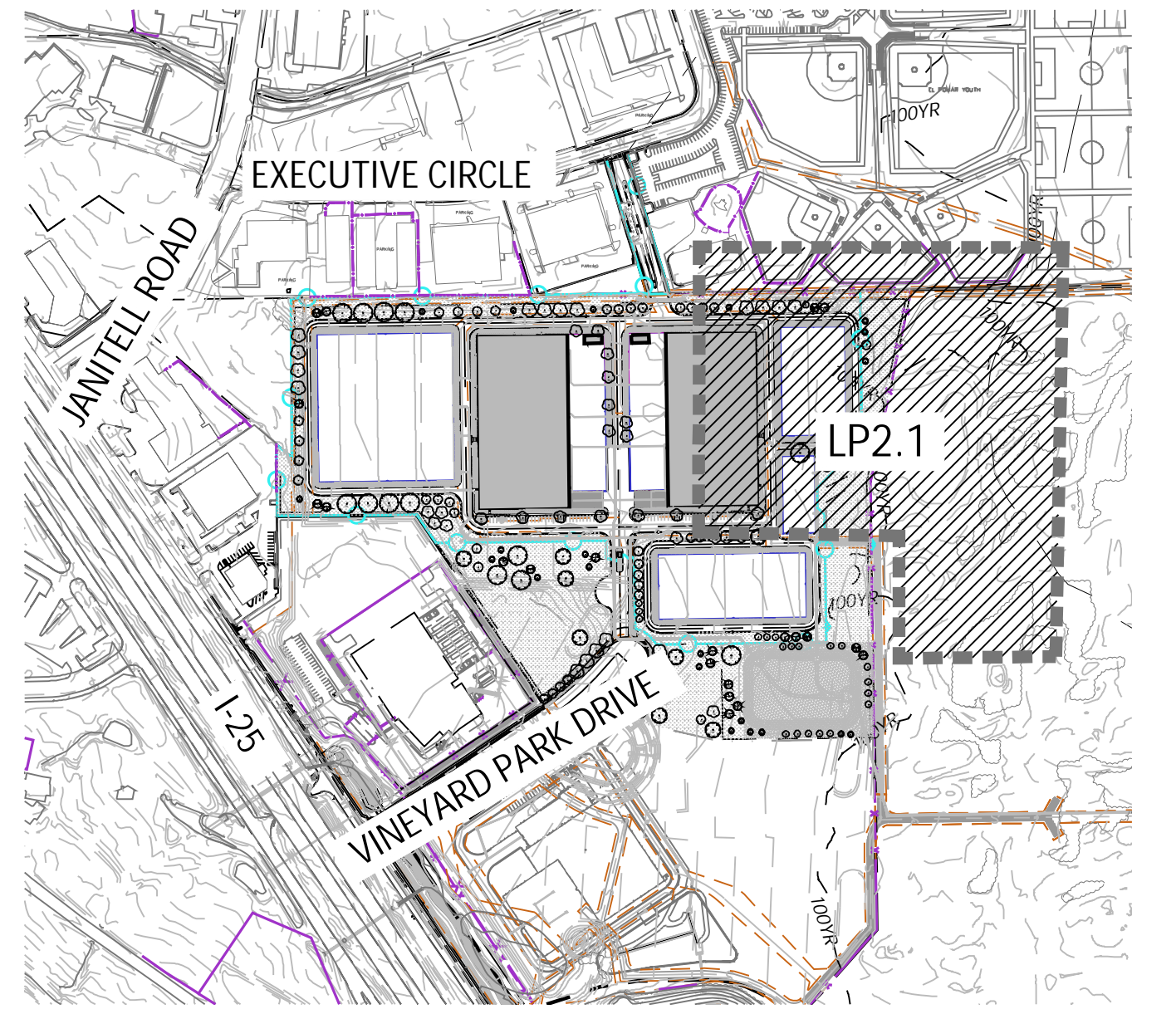
SCALE: 1" = 50'
SCALE: 1" = 50'

DATE: 07/07/26
SHEET 13 OF 19
JOB NO. 2204.70

P:\Colorado Springs, DC Property\Vineyard Subdivision\Drawings\LP2.0 - 7/7/2026 @ 2:20:14 AM.ydw



KEY MAP



GROUND COVER LEGEND

	EL PASO COUNTY CONSERVATION	86,599 SF
	BIG BLUESTEM - 20%	
	BLUE GRAMA - 10%	
	GREEN NEEDLEGRASS - 10%	
	WESTERN WHEATGRASS - 20%	
	SIDEOATS GRAMA - 10%	
	SWITCHGRASS - 10%	
	PRAIRIE SANDREED - 10%	
	YELLOW INDIANGRASS - 10%	
	SEEDING WILL BE IN COMPLIANCE WITH SCM CH. 5	
	HYDROSEED @ 19.3 PLS/ACRE	
	NATIVE LOW GROW MIXTURE	466,558 SF
	EL PASO COUNTY ALL PURPOSE LOW GROW MIX	
	ROCK MULCH	111,429 SF
	1 1/2" ARKANSAS TAN	

LINE TYPE LEGEND

	PROPERTY BOUNDARY
	SIDEWALK
	EASEMENT
	PROPOSED CONTOUR
	EXISTING CONTOUR
	LINE OF SIGHT
	MATCHLINE
	SETBACK
	STEEL EDGE
	EXISTING FENCE
	PROPOSED 7FT PRECAST WALL
	PROPOSED FENCE
	PROPOSED RETAINING WALL
	100-YEAR FLOODWAY
	100-YEAR FLOODPLAIN
	CONSTRUCTION LIMIT

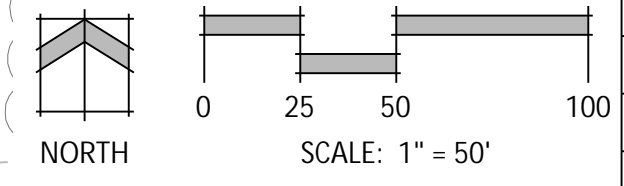
FOR CITY USE:

CITY FILE NUMBER
DEPN-26-0-___

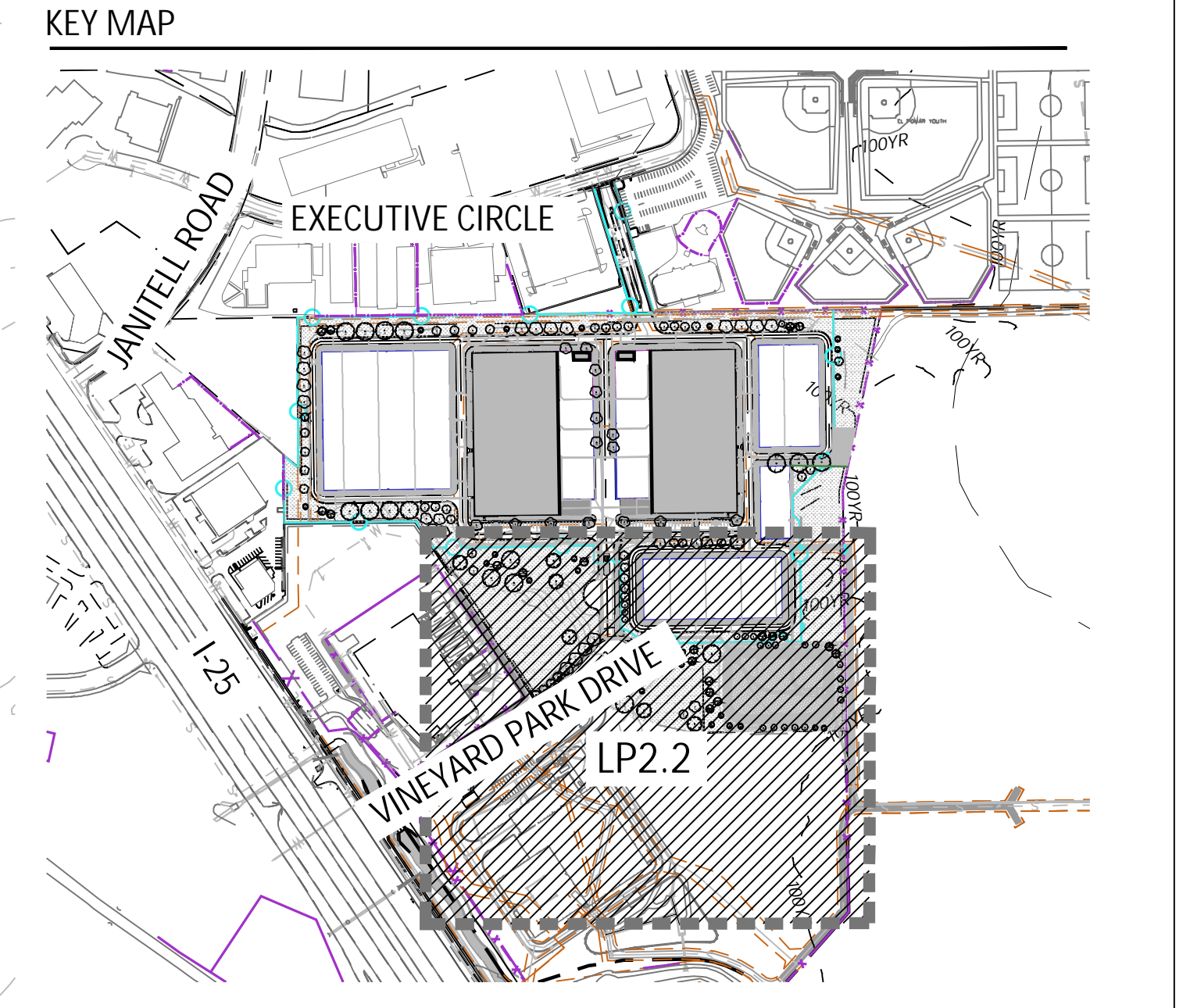
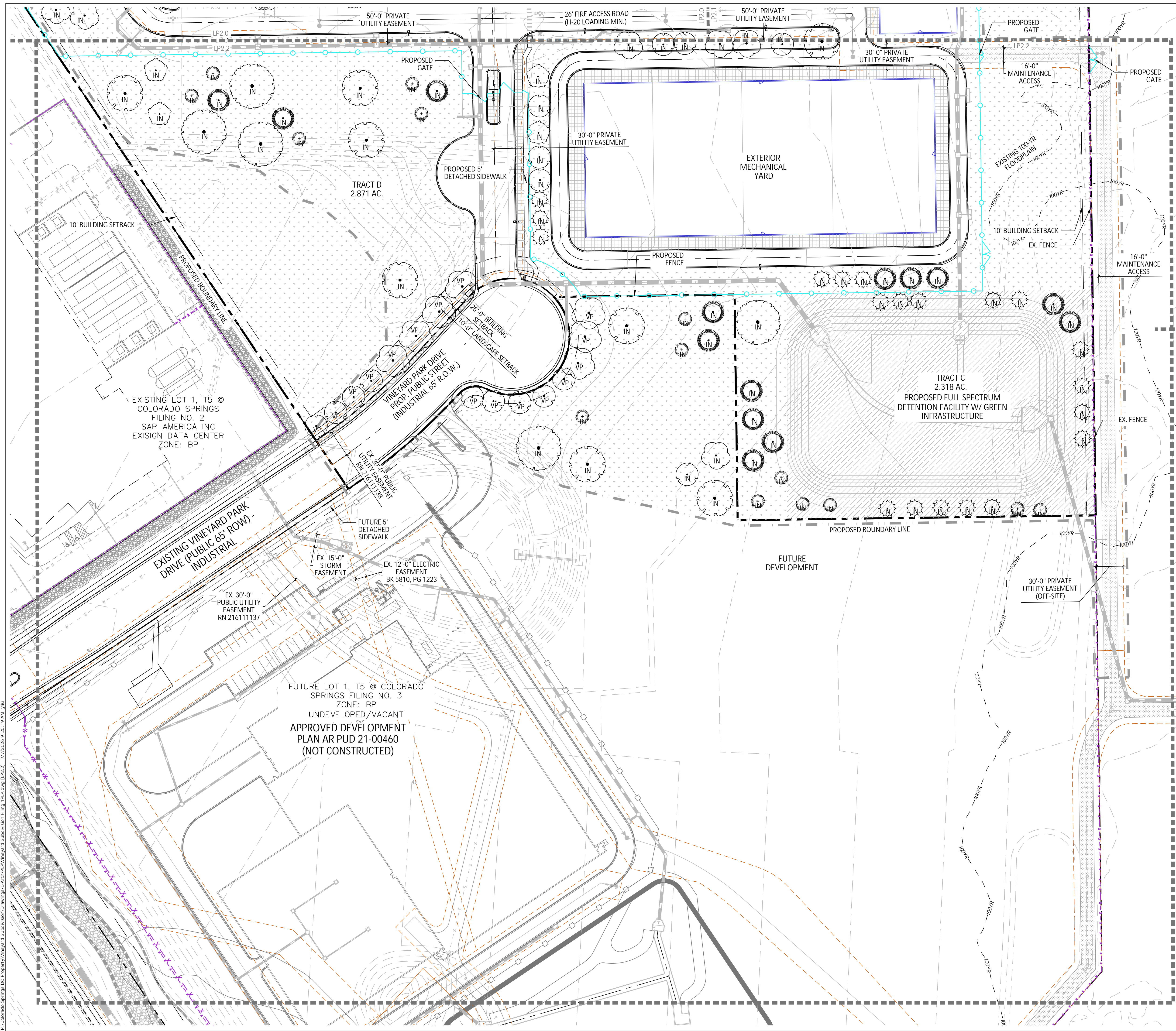
VINEYARDS RESEARCH PARK SUBDIVISION
DEVELOPMENT PLAN
LP2.1
PRELIMINARY LANDSCAPE PLAN



DESIGNED BY	Y.L. J.T.	SCALE	DATE	07/07/26
DRAWN BY		SCALE: 1"=50'	SHEET	14 OF 19
CHECKED BY	B.S.		JOB NO.	2204.70



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GROUND COVER LEGEND

EL PASO COUNTY CONSERVATION	86,599 SF
BIG BLUESTEM - 20%	
BLUE GRAMA - 10%	
GREEN NEEDLEGRASS - 10%	
WESTERN WHEATGRASS - 20%	
SIDE OATS GRAMA - 10%	
SWITCHGRASS - 10%	
PRARIE SANDREED - 10%	
YELLOW INDIANGRASS - 10%	
SEEDING WILL BE IN COMPLIANCE WITH SCM CH. 5	
HYDROSEED @ 19.3 PLS/ACRE	
NATIVE LOW GROW MIXTURE	466,558 SF
EL PASO COUNTY ALL PURPOSE LOW GROW MIX	
ROCK MULCH	111,429 SF
1 1/2" ARKANSAS TAN	

LINE TYPE LEGEND

--- (dashed)	PROPERTY BOUNDARY
- - - (dash-dot)	SIDEWALK
- - - (dotted)	EASEMENT
- - - (dashed)	PROPOSED CONTOUR
- - - (dashed)	EXISTING CONTOUR
- - - (dashed)	LINE OF SIGHT
- - - (dashed)	MATCHLINE
- - - (dashed)	SETBACK
- - - (dashed)	STEEL EDGE
- x - x - x - x - (dashed with crosses)	EXISTING FENCE
- - - (dashed)	PROPOSED 7'HT PRECAST WALL
- - - (dashed)	PROPOSED FENCE
- - - (dashed)	PROPOSED RETAINING WALL
- - - (dashed)	100-YEAR FLOODWAY
- - - (dashed)	100-YEAR FLOODPLAIN
- - - (dashed)	CONSTRUCTION LIMIT

FOR CITY USE:

CITY FILE NUMBER
DEPN-26-0-__

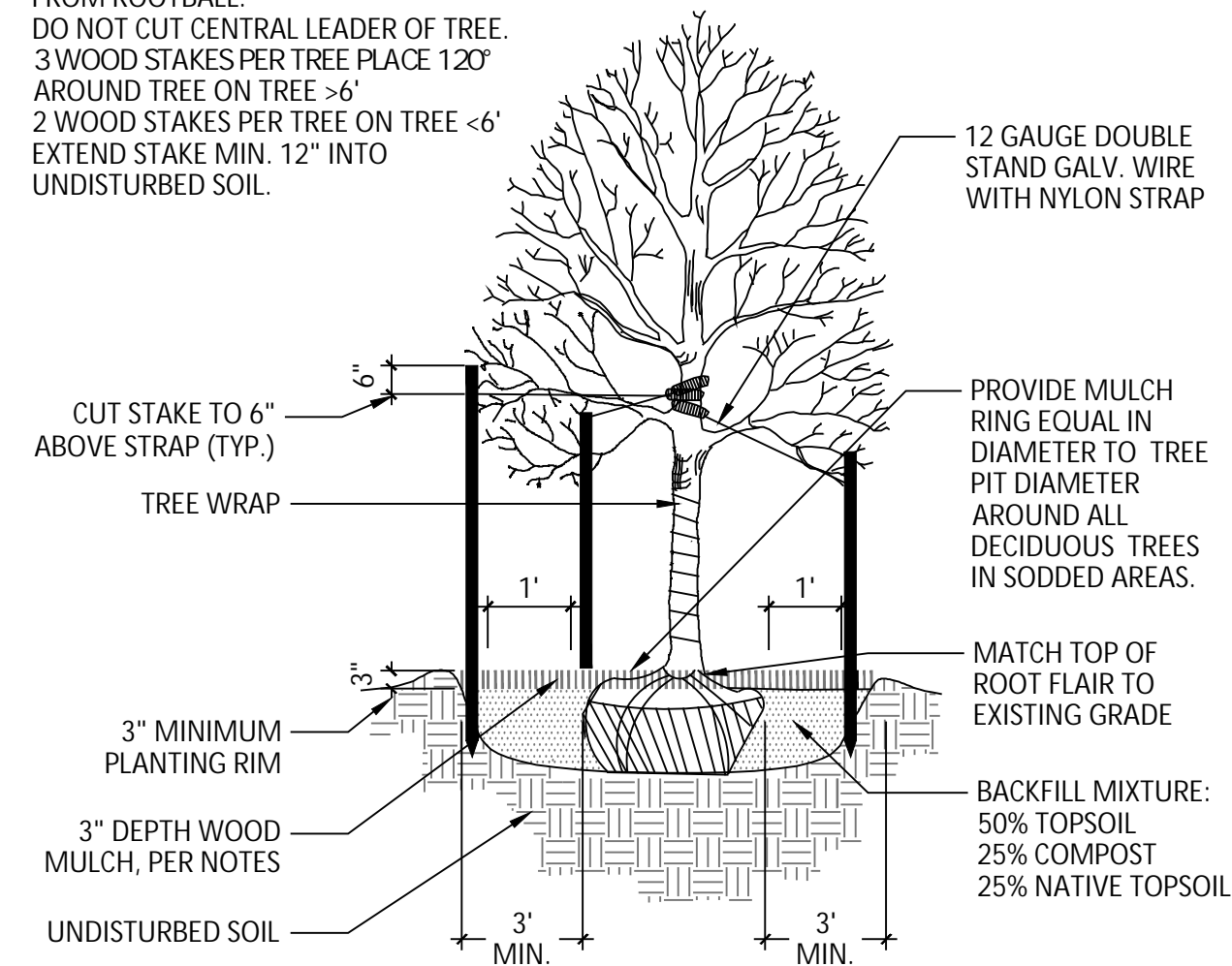
VINEYARDS RESEARCH PARK SUBDIVISION
DEVELOPMENT PLAN
LP2.2
PRELIMINARY LANDSCAPE PLAN

DESIGNED BY: Y.L. J.T. SCALE: 1"=50' DATE: 07/07/26
DRAWN BY: SHEET 15 OF 19
CHECKED BY: B.S. JOB NO. 2204.70

P:\Colorado Springs, DC Property\Vineyard Subdivision\Drawings\LP2.2_1_7/7/2026_9_20_19 AM.dwg

- NOTES:
1. PRUNE DAMAGED OR DEAD BRANCHES IMMEDIATELY PRIOR TO PLANTING. REMOVE ANY DOUBLE LEADERS.
 2. CUT AND REMOVE BURLAP AND WIRE FROM ROOTBALL.
 3. DO NOT CUT CENTRAL LEADER OF TREE.
 4. 3 WOOD STAKES PER TREE PLACE 120° AROUND TREE ON TREE >6'
 5. 2 WOOD STAKES PER TREE ON TREE <6'
 6. EXTEND STAKE MIN. 12" INTO UNDISTURBED SOIL.

7. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
8. DEEP WATER ALL PLANTS AT TIME OF PLANTING.

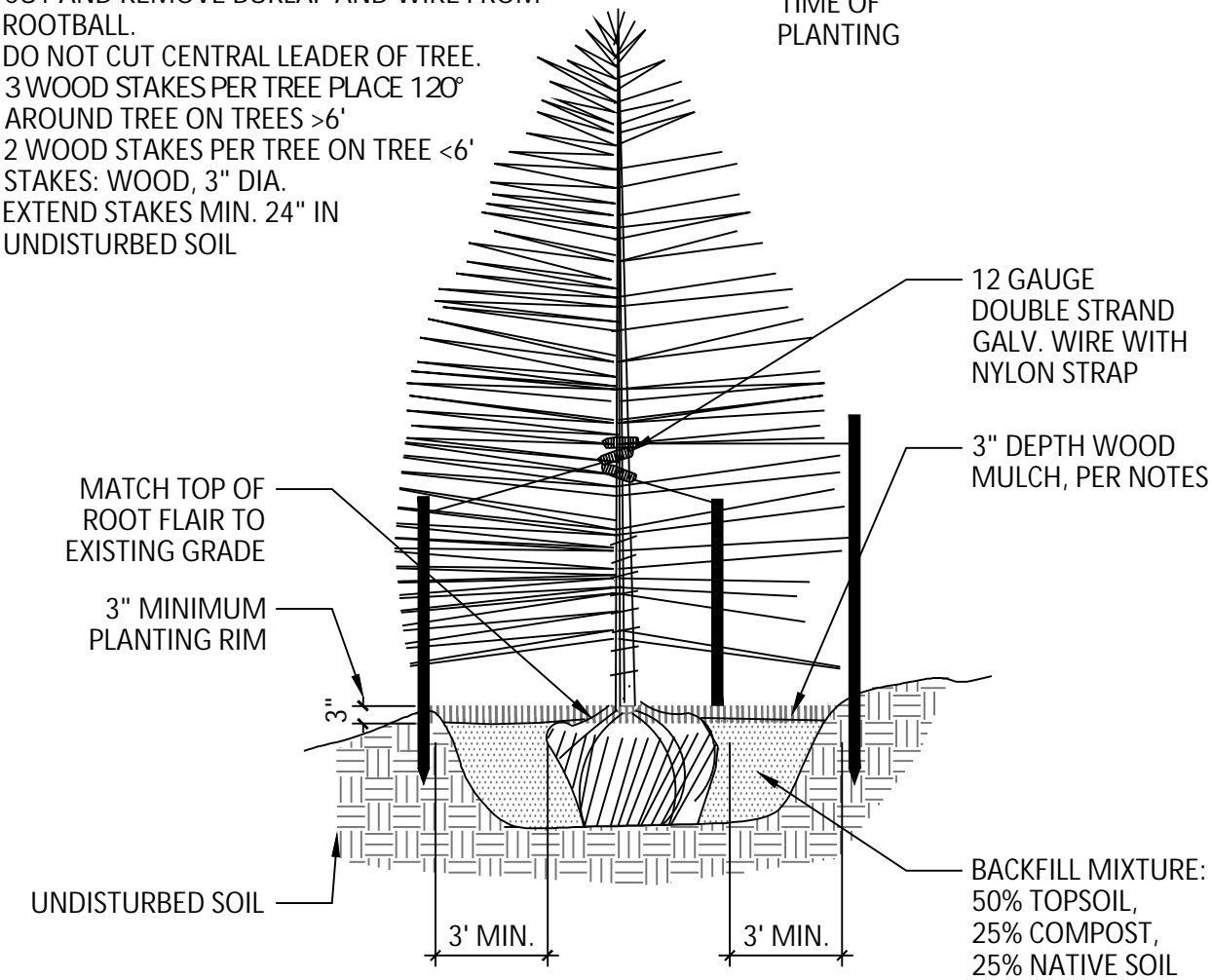


1 DECIDUOUS TREE PLANTING DETAIL

NTS N-PL-01

- NOTES:
1. PRUNE DAMAGED OR DEAD BRANCHES IMMEDIATELY PRIOR TO PLANTING. REMOVE ANY DOUBLE LEADERS.
 2. CUT AND REMOVE BURLAP AND WIRE FROM ROOTBALL.
 3. DO NOT CUT CENTRAL LEADER OF TREE.
 4. 3 WOOD STAKES PER TREE PLACE 120° AROUND TREE ON TREES >6'
 5. 2 WOOD STAKES PER TREE ON TREE <6'
 6. STAKES: WOOD, 3" DIA.
 7. EXTEND STAKES MIN. 24" IN UNDISTURBED SOIL.

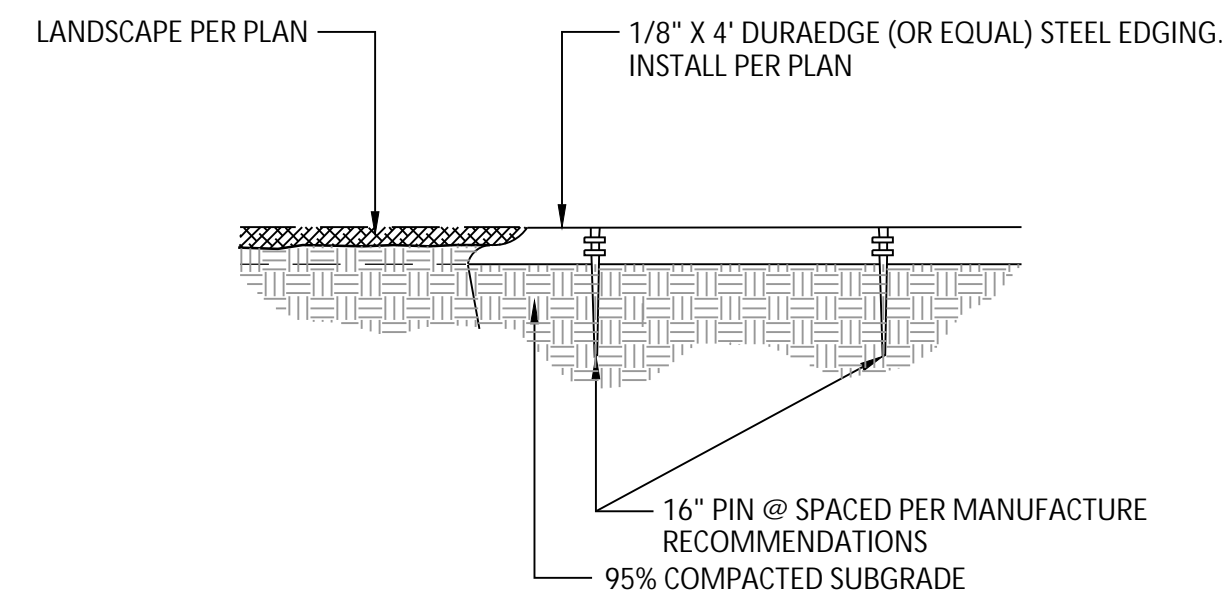
8. KEEP PLANTS MOIST AND SHADED AT ALL TIME OF PLANTING
9. DEEP WATER ALL PLANTS AT TIME OF PLANTING



2 CONIFEROUS TREE PLANTING DETAIL

NTS N-PL-04

- NOTES:
1. PLACE EDGING 2" DEEP BELOW GRADE AND TAPER MULCH TO MEET TOP OF EDGING.



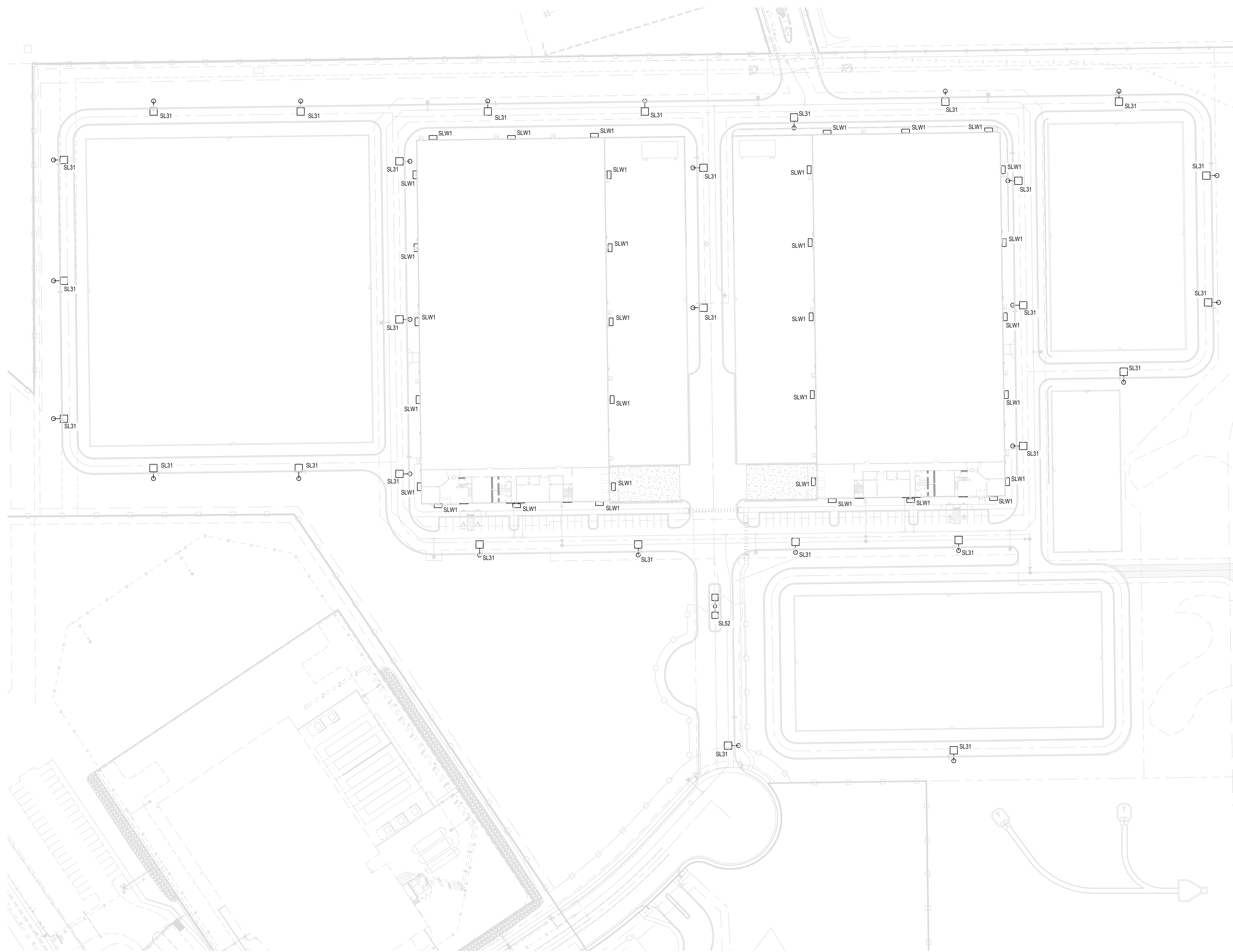
3 STEEL EDGING

NTS N-ED-01

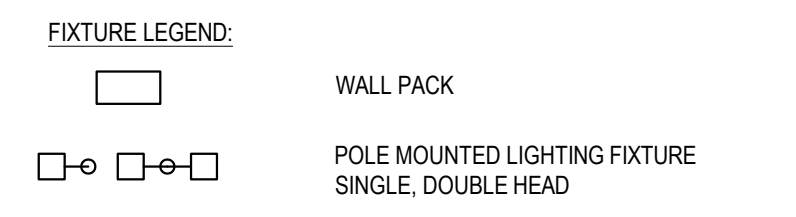
FOR CITY USE:

CITY FILE NUMBER
DEPN-26-0-__

VINEYARDS RESEARCH PARK SUBDIVISION DEVELOPMENT PLAN LP3.0 LANDSCAPE DETAILS				
DESIGNED BY	Y.L. J.T	SCALE	DATE	
DRAWN BY	NTS		SHEET	16 OF 19
CHECKED BY	B.S		JOB NO.	2204.70



- GENERAL NOTES:
1. WALL PACK MOUNTING HEIGHT SHALL BE 20'-0" ABOVE GRADE.
 2. SITE LIGHTING POLE HEIGHT SHALL BE 33'-0" ABOVE GRADE.



1 SITE LIGHTING PLAN
SCALE: 1" = 60'

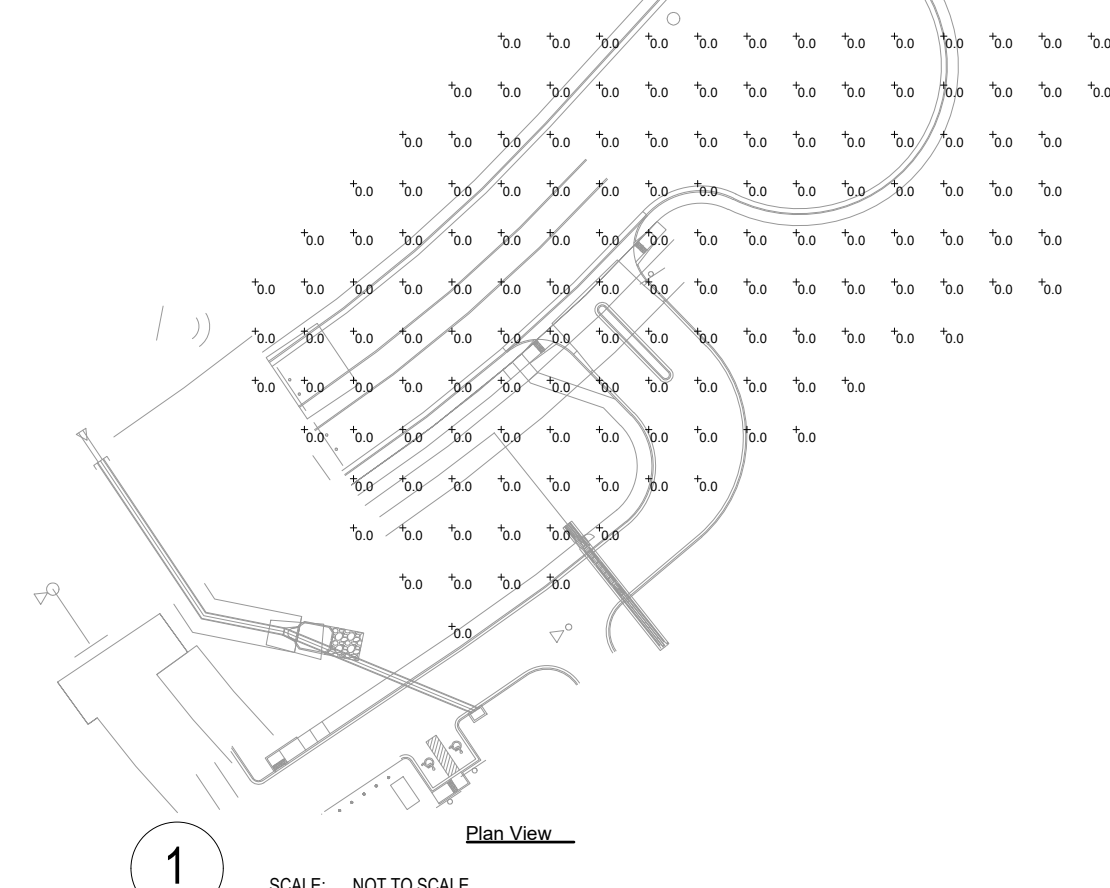
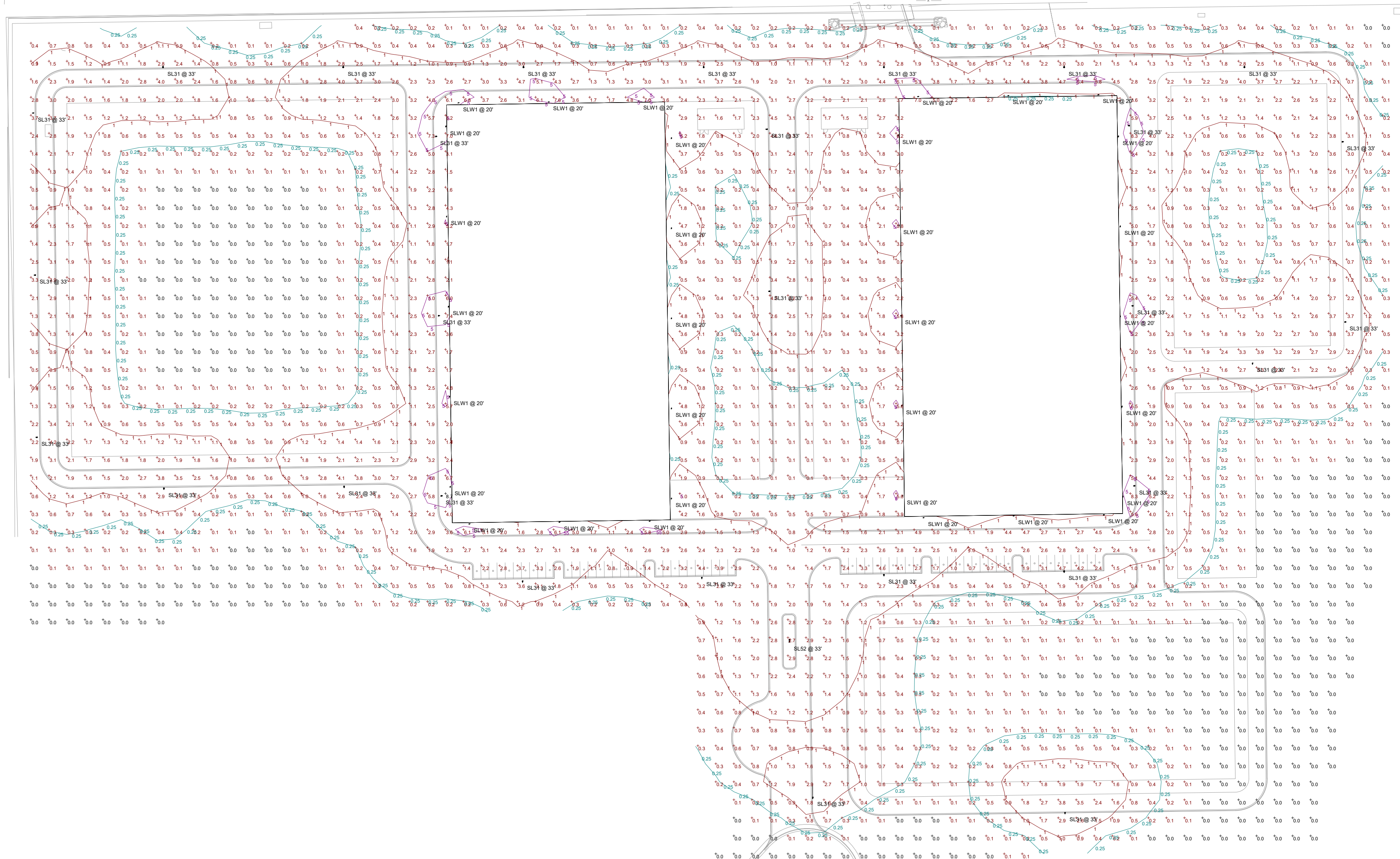
FIXTURE SCHEDULE								
TYPE	TYPE	LAMP	MOUNTING	LUMENS PER LAMP	LAMP WATTAGE	VOLTAGE	FIXTURE SIZE AND DESCRIPTION	REMARKS
SL3	RSX2 LED P6 40K R3	LED	POLE	30266	246.63		RSX AREA FIXTURE 4000K CCT TYPE R3 DISTRIBUTION	
SL52	RSX2 LED P6 40K R5 (TWIN AT 180 DEG)	LED	POLE	31073	493.26		RSX AREA FIXTURE 4000K CCT TYPE R3 DISTRIBUTION	
SLW1	WPX3 LED 40K MVOLT	LED	WALL	9270	72.33		WPX3 LED WALLPACK 9000LM 4000K	

FOR CITY USE:

CITY FILE NUMBER
DEPN-26-0

VINEYARDS RESEARCH PARK SUBDIVISION
DEVELOPMENT PLAN
SITE LIGHTING PLAN

DESIGNED BY	RMM	SCALE	DATE	07/07/26
DRAWN BY	RMM	(H) 1" = 60'	SHEET	18 OF 19
CHECKED BY	RMM	(V) 1" = 60'	JOB NO.	1940120024



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
AT GRADE	+	1.0 fc	8.7 fc	0.0 fc	N/A	N/A

Symbol	Label	Image	QTY	Manufacturer	Catalog Number	Description	Lumens per Lamp	LLF	Wattage	Distribution
□	SL31		20	Lithonia Lighting	RSQ2 LED P6 40K R3	RSX Area Fixture Size 2 P6 Lumen Package 4000K CCT Type R3 Distribution	30266	0.92	246.63	TYPE II, SHORT, BUG RATING: B3 - U0 - G4
□	SL52		1	Lithonia Lighting	RSX2 LED P6 40K R3 (TWIN AT 180DEG)	RSX Area Fixture Size 2 P6 Lumen Package 4000K CCT Type R3 Distribution	31073	0.92	493.26	TYPE VS, BUG RATING: B5 - U0 - G4
□	SLW1		32	Lithonia Lighting	WPX3 LED 40K Mwa	WPX3 LED wallpack 9000lm 4000K color temperature 120-277V	9270	0.92	72.33	TYPE II, SHORT, BUG RATING: B2 - U0 - G2

FOR CITY USE:

CITY FILE NUMBER
DEPN-26-0-_____

VINEYARDS RESEARCH PARK SUBDIVISION
DEVELOPMENT PLAN
SITE LIGHTING PHOTOMETRICS

DESIGNED BY	RMM	SCALE	DATE	07/07/26
DRAWN BY	RMM	(H) 1"= N/A	SHEET	19 OF 19
CHECKED BY	RMM	(V) 1"= N/A	JOB NO.	1940120024