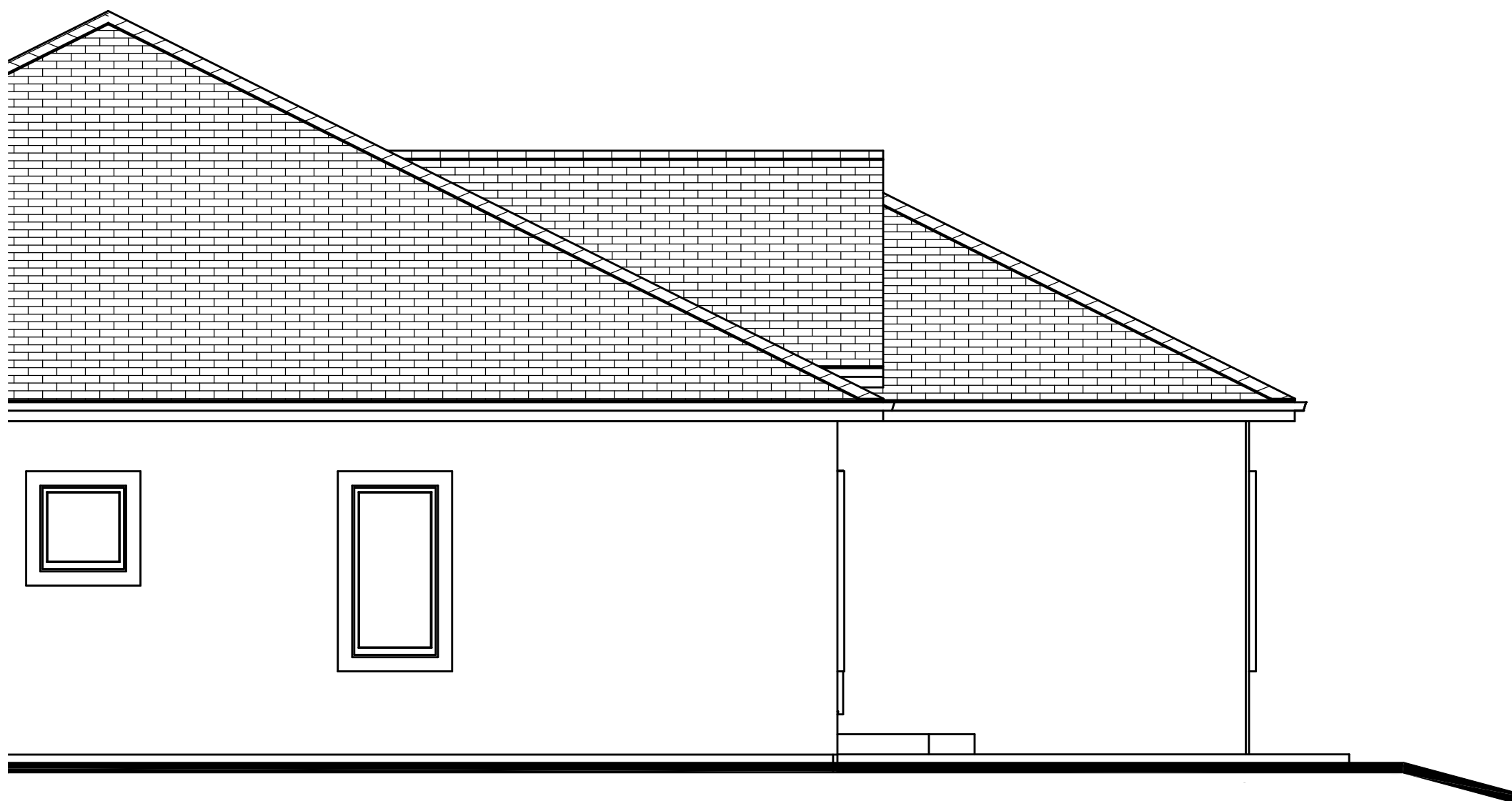


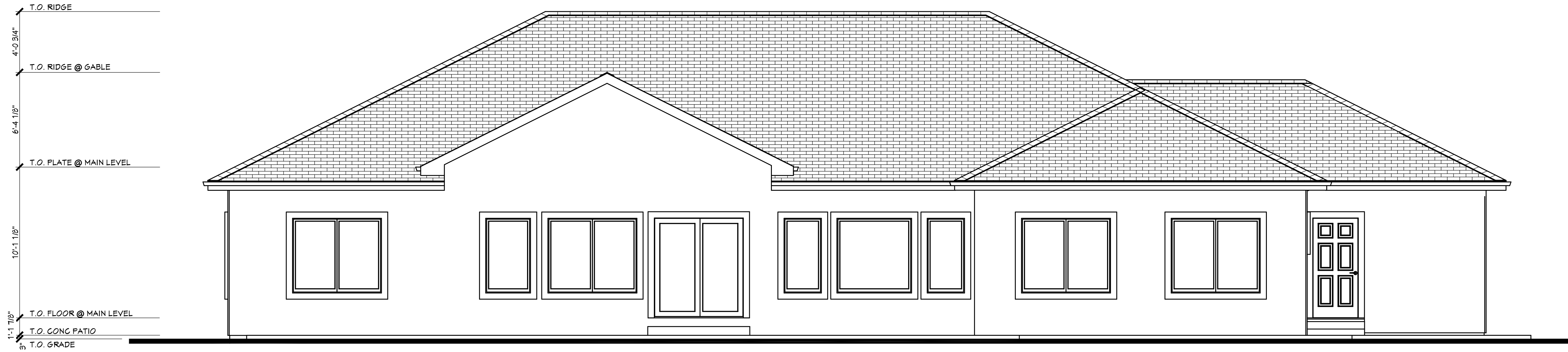
EXISTING PARTIAL MAIN LEVEL FLOOR PLAN
SCALE: 1/4"=1'-0"



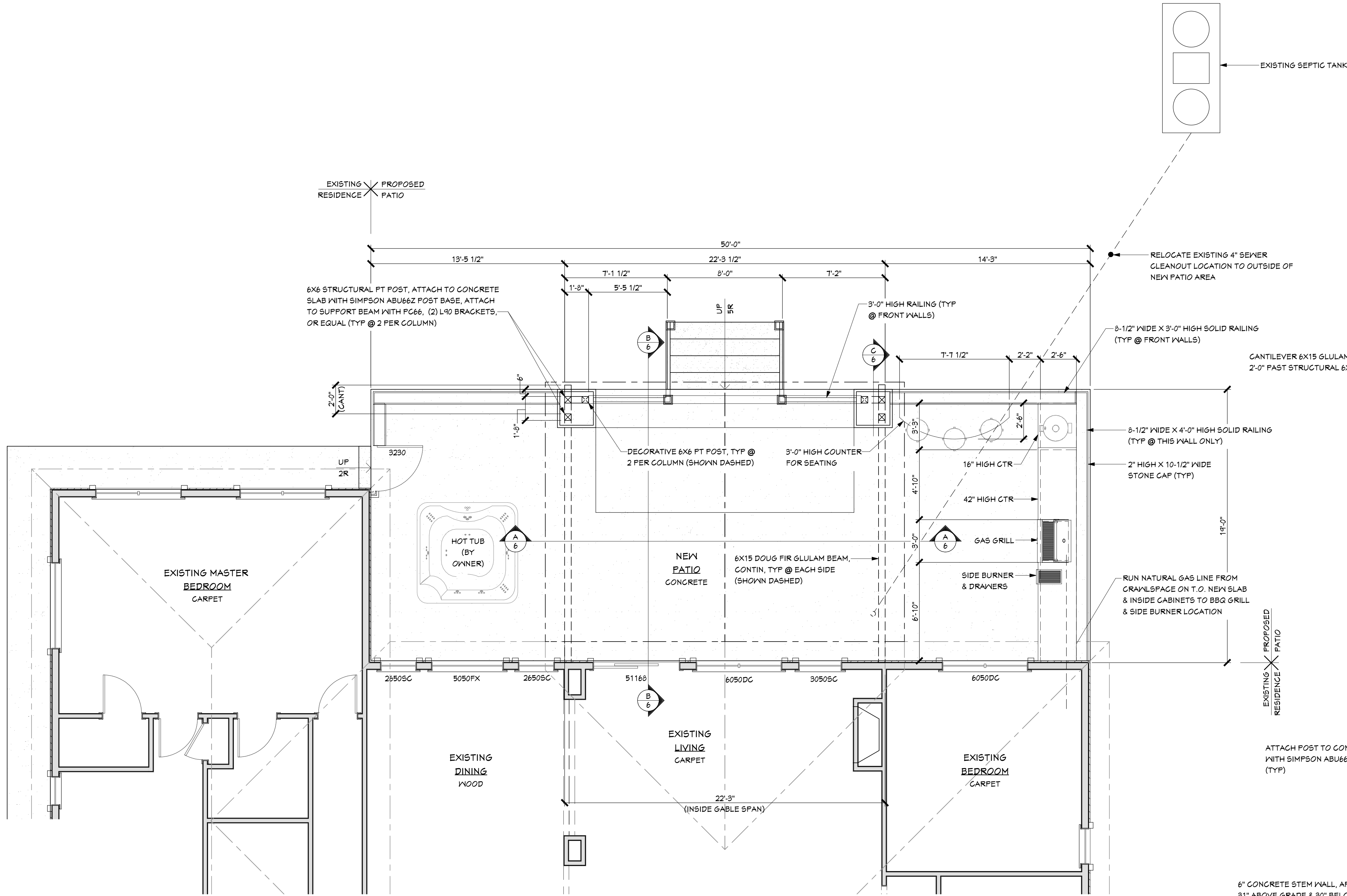
EXISTING RENDERING
SCALE: N.T.S.



EXISTING PARTIAL RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"

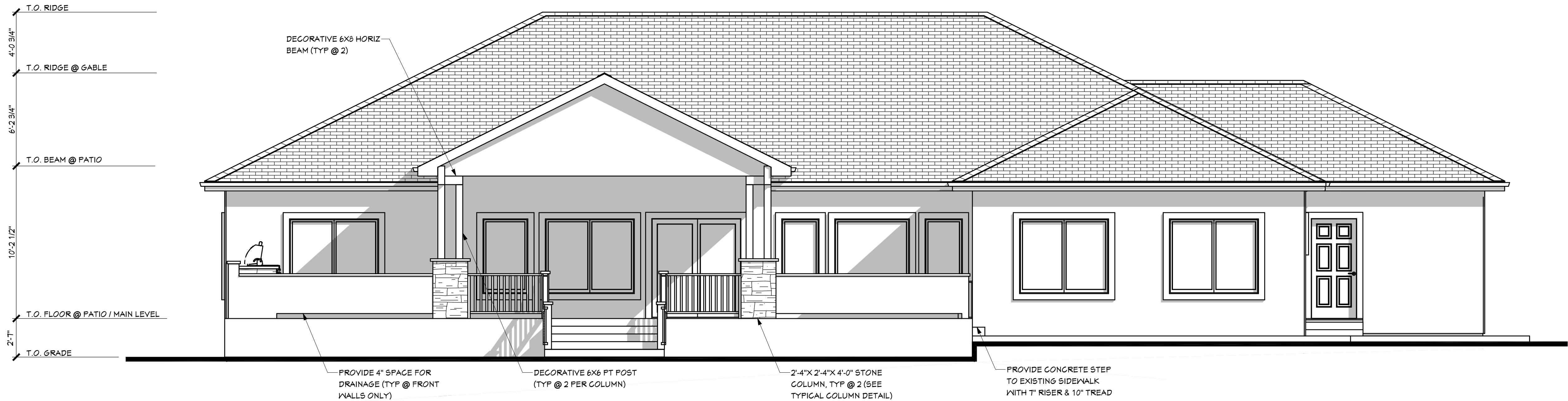


EXISTING REAR ELEVATION
SCALE: 1/4"=1'-0"

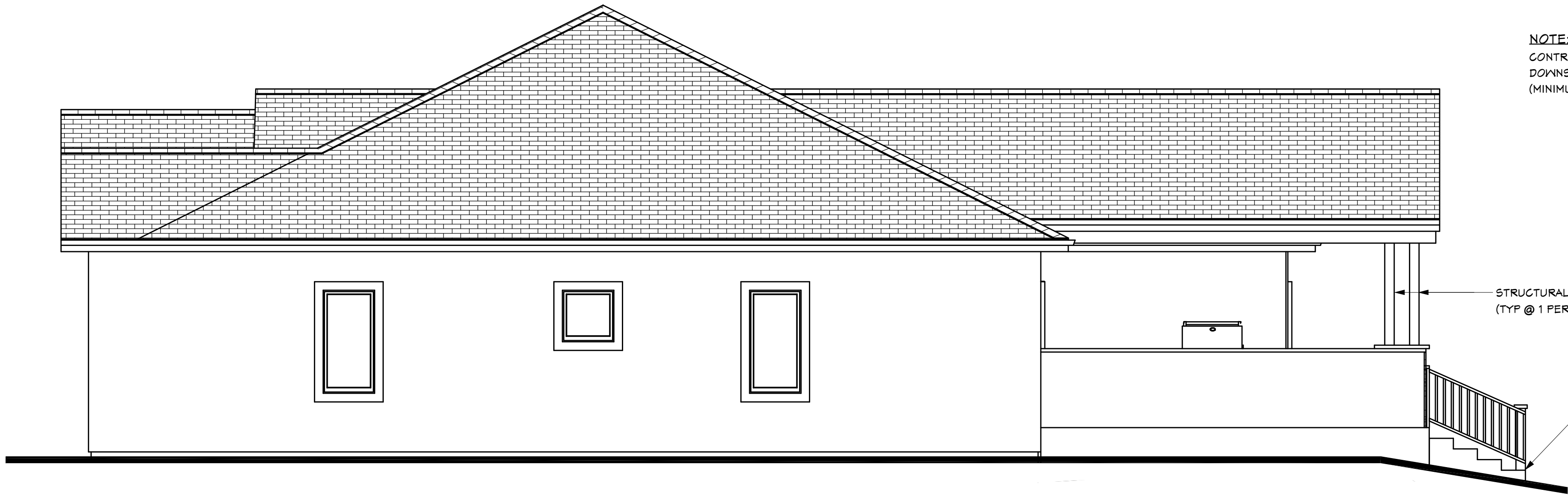


PROPOSED FLOOR PLAN
SCALE: 1/4"=1'-0"

TYPICAL COLUMN DETAIL
SCALE: 1"=1'-0"



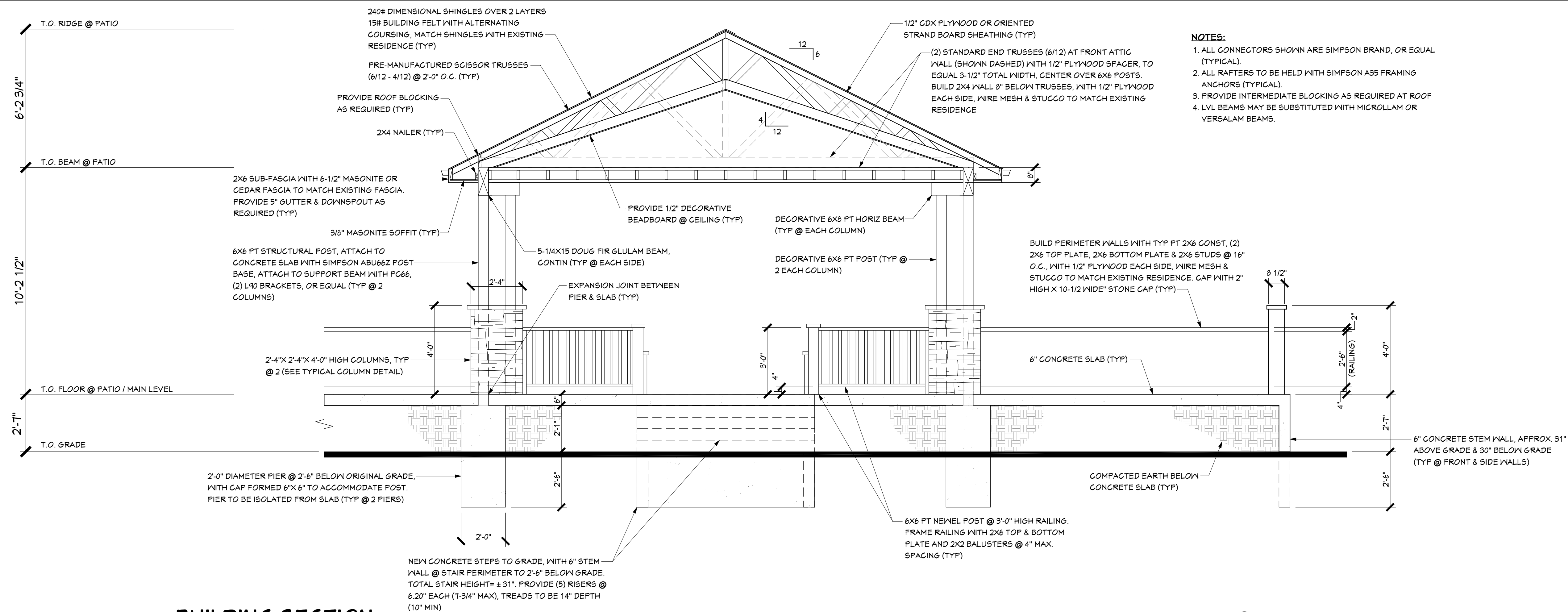
REAR ELEVATION
SCALE: 1/4"=1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"

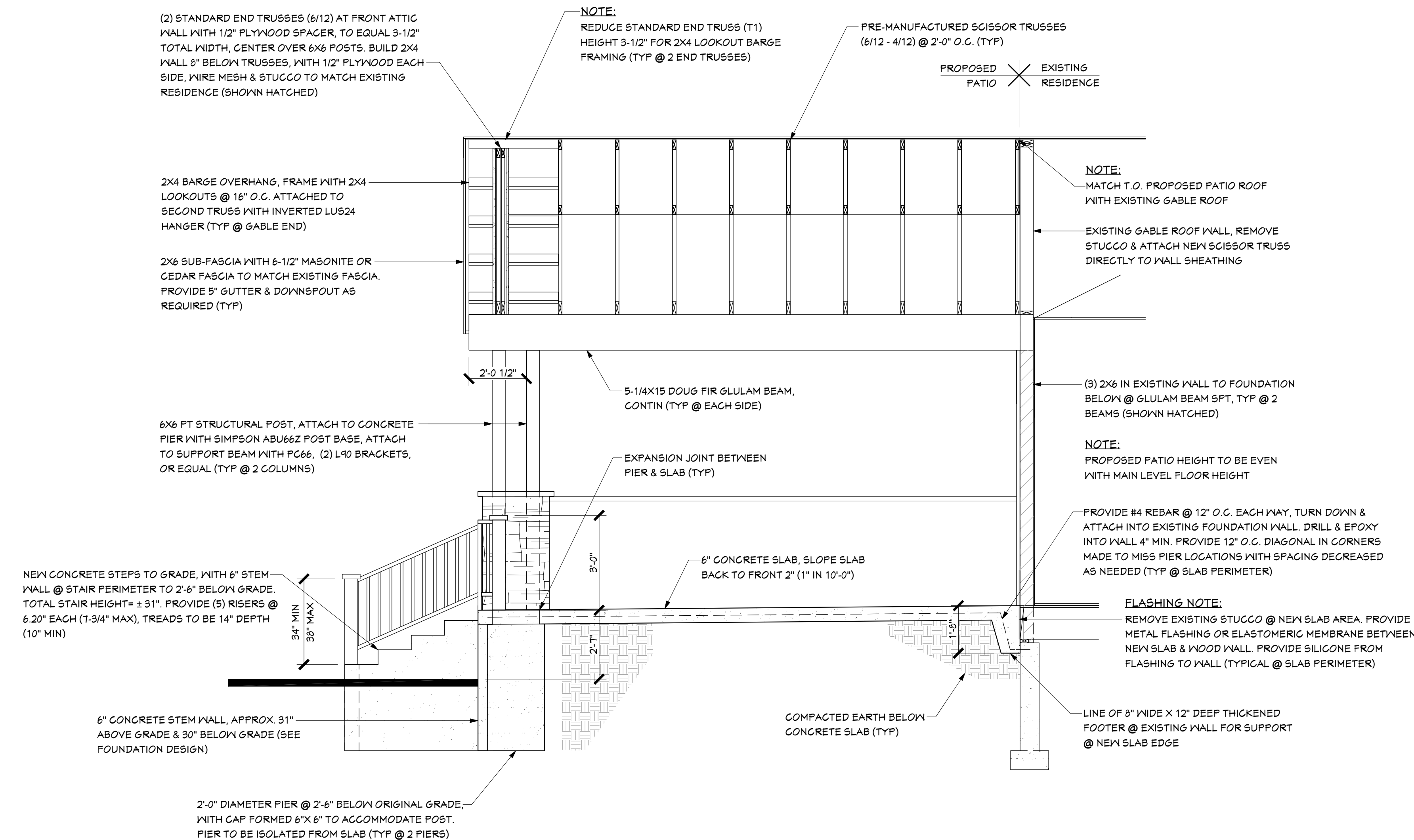
NOTE:
CONTRACTOR TO PROVIDE GUTTERS &
DOWNSPOUTS AS REQUIRED BY CODE
(MINIMUM DISCHARGE 3'-0" FROM FOUNDATION).

STAIR NOTE:
PROVIDE CONCRETE STAIRS TO FINAL GRADE PER CODE. CONCRETE
STEPS TO GRADE, TOTAL STAIR HEIGHT= ± 31". PROVIDE (5) RISERS
@ 6.20" EACH (7-3/4" MAX), TREADS TO BE 14" DEPTH (10" MIN).
PROVIDE 32"-34" HIGH HANDRAIL WITH 2X6 TOP & BOTTOM RAIL AND
2X2 BALUSTERS @ 4" SPACING, MAX (TYP)



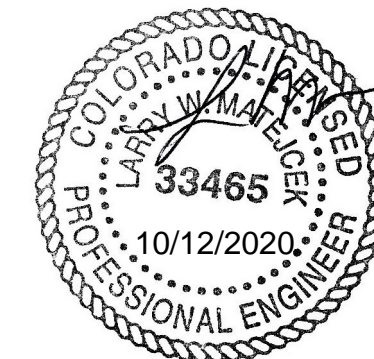
NOTES:

1. ALL CONNECTORS SHOWN ARE SIMPSON BRAND, OR EQUAL (TYPICAL).
2. ALL RAFTERS TO BE HELD WITH SIMPSON A35 FRAMING ANCHORS (TYPICAL).
3. PROVIDE INTERMEDIATE BLOCKING AS REQUIRED AT ROOF
4. LVL BEAMS MAY BE SUBSTITUTED WITH MICROLLAM OR VERSALAM BEAMS.



BUILDING SECTION

SCALE: 3/8"=1'-0"



A CUSTOM COVERED PATIO ADDITION FOR:

CHRIS & GINNY HALVORSON
14090 BLACK FOREST ROAD
COLORADO SPRINGS, CO 80908

DESIGNED BY: CHRIS & GINNY HALVORSON
 DRAWN BY: JONAS RUGGERI

SHEET:

A6

BUILDING SECTIONS

J.R. Design Company, LLC
Residential Drafting & Design

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