

SITE PLAN
SCALE: 1"=20.0"



INTENTION OF REMODEL:

1. ADD NEW COVERED PATIO TO EXISTING RESIDENCE.

MISCELLANEOUS NOTES:

1. ALL MATERIALS TO BE SELECTED BY OWNER, INSTALLED BY CONTRACTOR.
2. ALL PHASES OF CONSTRUCTION TO COMPLY WITH ALL LOCAL BUILDING CODES.
3. CONTRACTOR TO INTERPRET ANY QUESTIONS WHICH MAY ARISE ON THE SITE, AND ON THE DRAWINGS.

DRAWINGS & SPECIFICATIONS:

IT IS THE INTENT OF THE DRAWINGS AND SPECIFICATIONS TO BE GUIDELINES FOR CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING ANY QUESTIONS AND MEANINGS IN THE WORKING DRAWINGS AND SPECIFICATIONS; AND THE CONTRACTOR SHALL NOTIFY THE DESIGNER IN WRITING OF ANY ERRORS, OMISSIONS OR UNSUITABLE DETAILING WHICH MAY CAUSE CONSTRUCTION PROBLEMS.

THE DESIGNER'S LIABILITY REGARDING ERRORS AND/OR OMISSIONS WILL BE LIMITED TO THE CORRECTION OF THE ORIGINAL DRAWINGS; CONSULTANTS' LIABILITY IS THE SAME.

CODES AND LAWS:

ALL WORK MUST MEET THE STANDARDS OF ALL CODES INCLUDING THE 2015 INTERNATIONAL RESIDENTIAL CODE, AND ALL CITY (2011 PPRBC), STATE AND NATIONAL CODES WHICH APPLY; AND THE LAY OF THE PLAGE OF BUILDING SHALL GOVERN THE CONSTRUCTION OF THE CONTRACT BUILDING. CONSTRUCTION SHALL MEET OR EXCEED H.U.D. MINIMUM PROPERTY STANDARDS. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING ANY SUBDIVISION REGULATIONS SET FORTH BY THE LOCAL ARCHITECTURAL REVIEW COMMITTEE OR SIMILAR GROUP.

MATERIALS AND LABOR:

ALL MATERIALS SHALL BE NEW, SHALL CONFORM TO THE CURRENT APPLICABLE INDUSTRY STANDARDS AND CODES, LATEST EDITIONS, AND SHALL MEET GOOD BUILDING STANDARDS AND PRACTICES. ALL MATERIALS SHALL BE INSPECTED BY THE CONTRACTOR PRIOR TO CONSTRUCTION, AND ALL DEFECTIVE MATERIALS SHALL BE RETURNED. ALL WORK SHALL BE DONE IN A WORKMANSHIP MANNER IN ACCORDANCE WITH THE STANDARDS OF THE PARTICULAR TRADE OR PROFESSION. WORK INCLUDES THE FURNISHING OF ALL MATERIALS, LABOR AND EQUIPMENT FOR THE INSTALLATION OF EACH ITEM AS CALLED FOR ON THE DRAWINGS HEREIN SPECIFIED, OR BOTH. THIS SCOPE APPLIES TO ALL SECTIONS OF THE SPECIFICATIONS. INSTALL ALL MATERIALS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. ANY CONFLICT BETWEEN THE SPECIFICATIONS AND THE MANUFACTURER'S RECOMMENDATIONS, THE MANUFACTURER'S RECOMMENDATIONS SHALL GOVERN.

MATERIAL OR PRODUCT SUBSTITUTION:

PRODUCTS OR BRAND NAMES GIVEN IN THE SPECIFICATIONS ARE INTENDED AS AN INDICATION OF QUALITY; AND IT IS ASSUMED THE WORDS "OR EQUAL" AS APPROVED BY THE DESIGNER ARE IMPLIED. STRUCTURAL MATERIALS MAY ONLY BE SUBSTITUTED IF ACCOMPANIED BY A REGISTERED ENGINEER'S STAMPED DRAWING AND/OR LETTER.

CONTRACTOR'S ACCEPTANCE:

THE BEGINNING OF WORK BY THE CONTRACTOR SHALL CONSTITUTE COMPLETE ACCEPTANCE OF THE SITE CONDITIONS AND THE CONTRACT DOCUMENTS. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE DESIGNER IN WRITING OF ANY SITE PROBLEMS OR OF ANY ERRORS, OMISSIONS OR UNSUITABLE DETAILING WHICH MAY CAUSE CONSTRUCTION PROBLEMS.

OWNER:

CHRIS & GINNY HALVORSON

ADDRESS:

14090 BLACK FOREST ROAD
COLORADO SPRINGS, CO 80908

CITY ZONING:

RR-5

LEGAL DESCRIPTION:

TRACT IN SE4NE4 SEC 6-12-65 AS FOLS, BEG AT SE COR OF SD NE4, TH N ON E LN 478 FT ML FOR POB, TH W PARA WITH S LN OF SE4NE4 495 FT, N PARA WITH E LN OF SEC 165 FT, E PARA WITH FIRST COURSE 495 FT, TH S ON E LN OF SEC 165 FT TO POB EX RD

TAX SCHEDULE:

5206000061

LOT COVERAGE:

EXISTING RESIDENCE= 2124
TOTAL EXISTING STRUCTURES= 2124 SF
LOT SIZE= 1.76 ACRES / 76,665.6 SF
EXISTING LOT COVERAGE= 3.55%

PROPOSED COVERED PATIO ADDITION= 481.5 SF
PROPOSED CONCRETE PATIO= 450 SF
TOTAL PROPOSED SF= 1431.5 SF
TOTAL EXISTING + PROPOSED SF= 4161.5 SF
TOTAL PROPOSED LOT COVERAGE= 5.43%
TOTAL LOT COVERAGE ALLOWED= 25%

LOT ELEVATION:

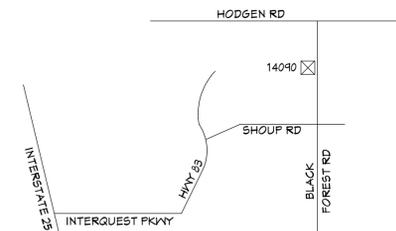
EXISTING RESIDENCE ALTITUDE= 7510 FEET ABOVE SEA LEVEL

BUILDING HEIGHT:

PROPOSED ADDITION FINAL BUILDING HEIGHT ABOVE GRADE= 19'-1"
MAXIMUM BUILDING HEIGHT ALLOWED= 30'-0"

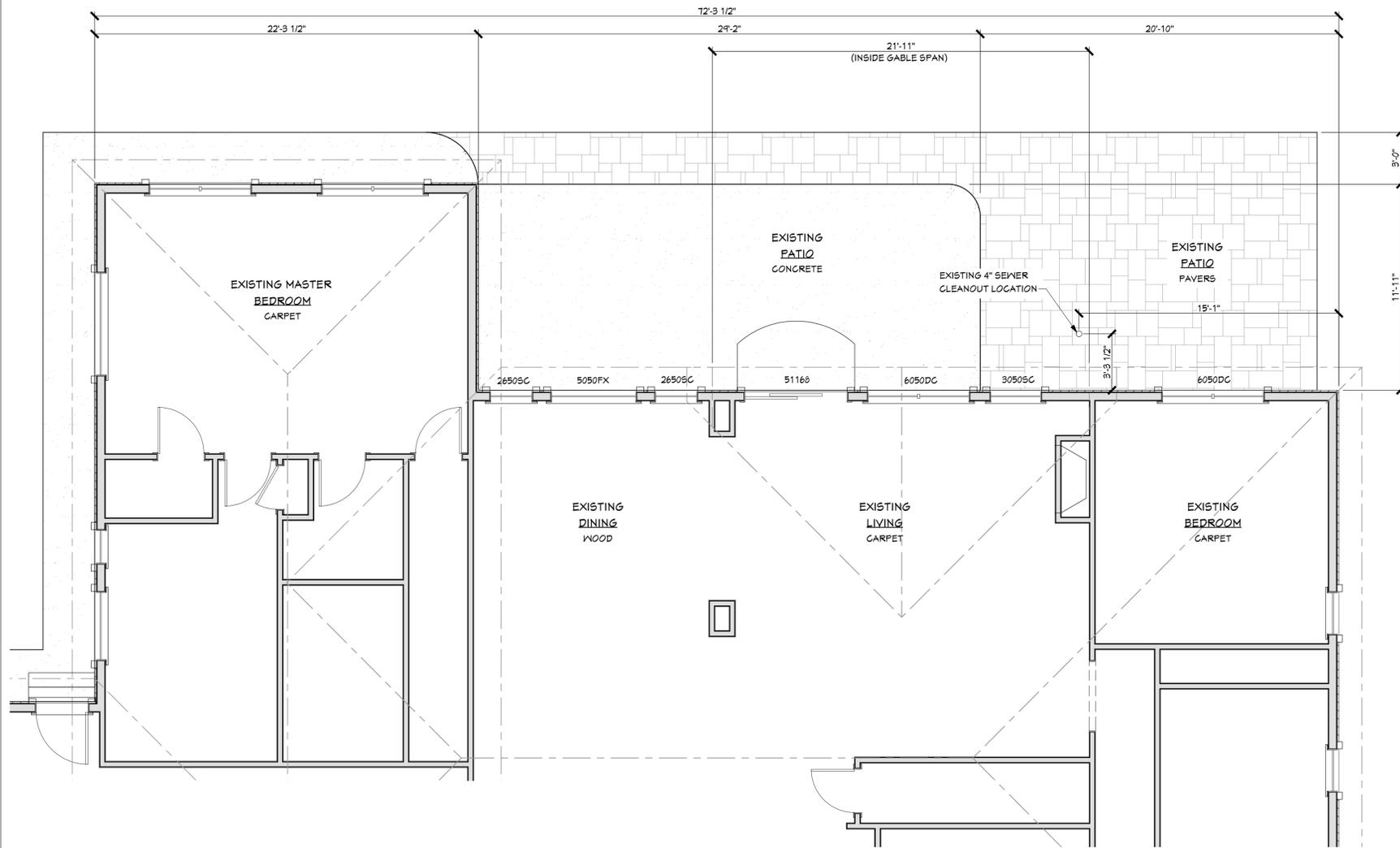
BUILDING SETBACKS:

FRONT LOT SETBACK= 25'-0"
REAR LOT SETBACK= 25'-0"
SIDE LOT SETBACK= 15'-0"



VICINITY MAP
NO SCALE

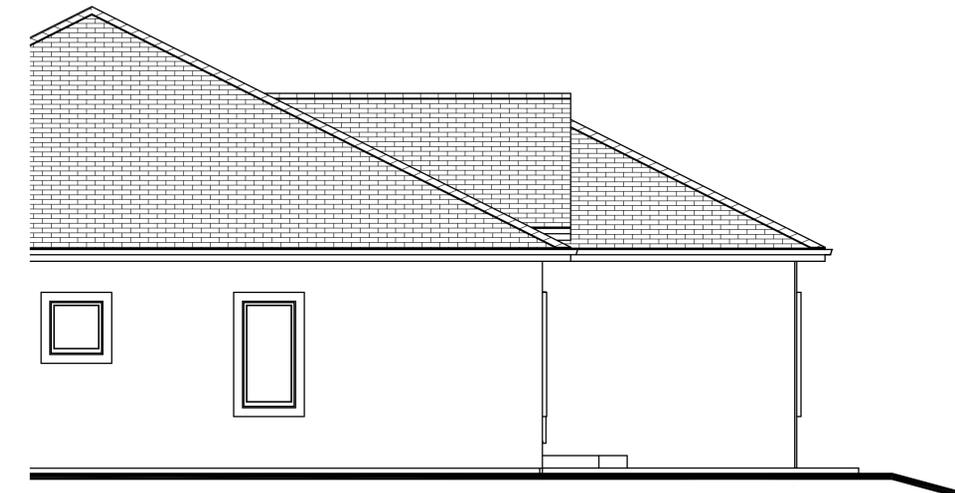




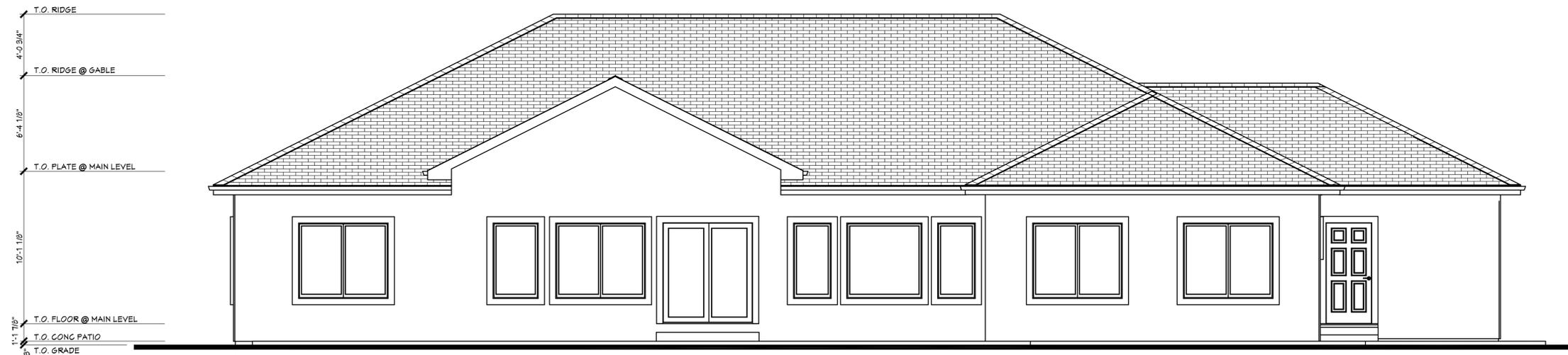
EXISTING PARTIAL MAIN LEVEL FLOOR PLAN
SCALE: 1/4"=1'-0"



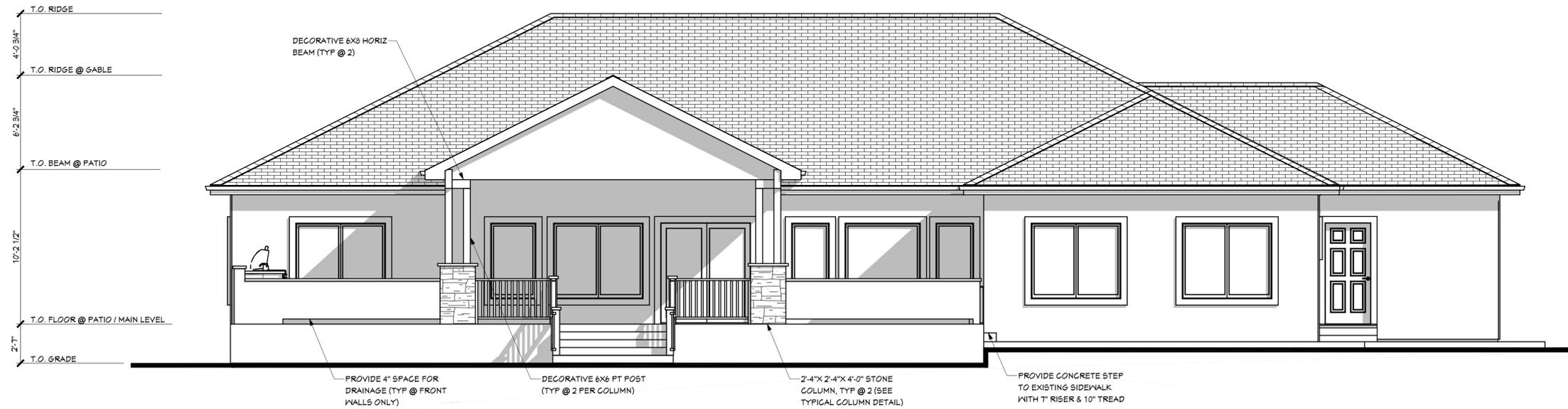
EXISTING RENDERING
SCALE: N.T.S.



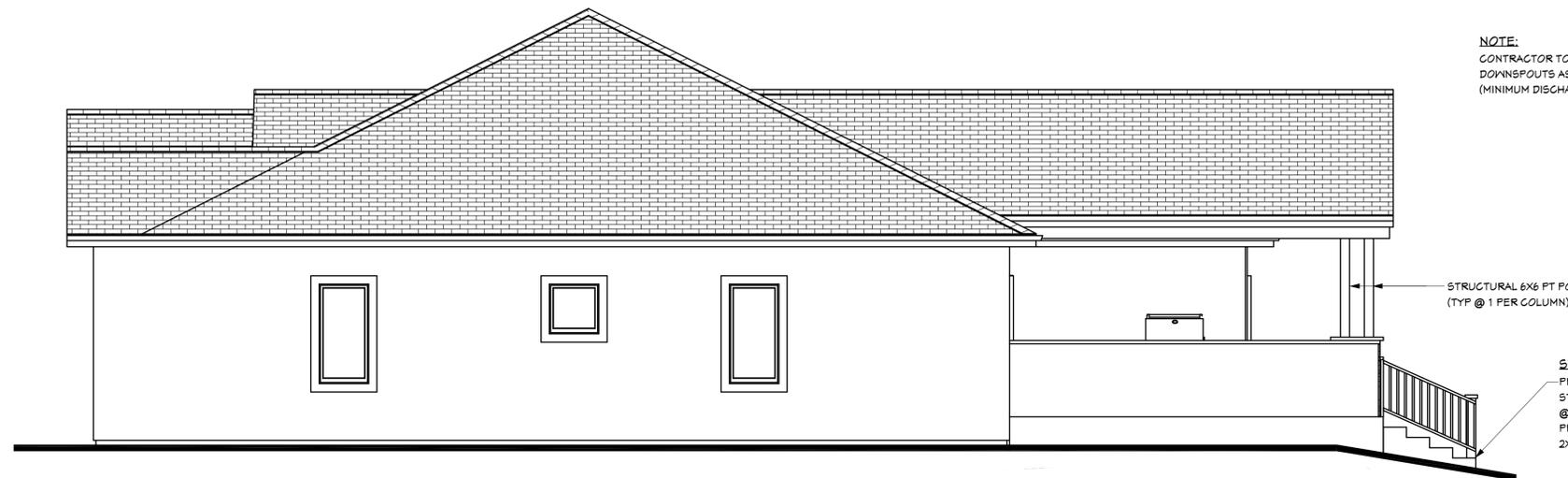
EXISTING PARTIAL RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"



EXISTING REAR ELEVATION
SCALE: 1/4"=1'-0"



REAR ELEVATION
SCALE: 1/4"=1'-0"



NOTE:
CONTRACTOR TO PROVIDE GUTTERS & DOWNSPOUTS AS REQUIRED BY CODE (MINIMUM DISCHARGE 3'-0" FROM FOUNDATION).

STAIR NOTE:
PROVIDE CONCRETE STAIRS TO FINAL GRADE PER CODE. CONCRETE STEPS TO GRADE, TOTAL STAIR HEIGHT = ± 31". PROVIDE (5) RISERS @ 6.20" EACH (1-3/4" MAX), TREADS TO BE 14" DEPTH (10" MIN). PROVIDE 32"-34" HIGH HANDRAIL WITH 2x6 TOP & BOTTOM RAIL AND 2x2 BALUSTERS @ 4" SPACING, MAX (TYP)

RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"

NOTES:

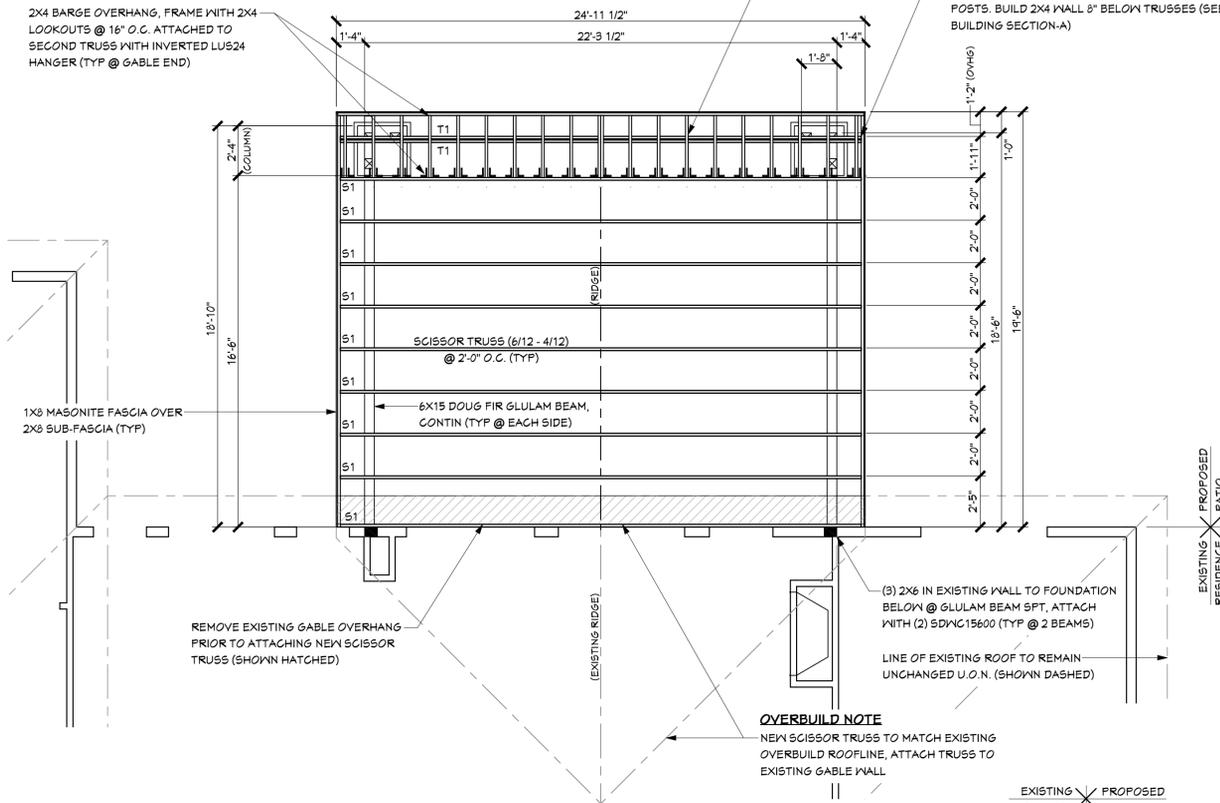
1. ALL CONNECTORS SHOWN ARE SIMPSON BRAND, OR EQUAL (TYPICAL).
2. ALL RAFTERS TO BE HELD WITH (1) SIMPSON A35 FRAMING ANCHOR (TYPICAL).
3. ALL TRUSS ENDS TO BE HELD WITH SIMPSON (2) H2.5T HURRICANE ANCHORS @ EACH END AS REQUIRED (TYPICAL).
4. CONTRACTOR MAY SUBSTITUTE EQUAL STRENGTH CUSTOM STEEL HANGERS BOLTED @ EACH CONNECTION POINT REQUIRED.
5. PROVIDE INTERMEDIATE BLOCKING AS REQUIRED.

2X4 BARGE OVERHANG, FRAME WITH 2X4 LOOKOUTS @ 16" O.C. ATTACHED TO SECOND TRUSS WITH INVERTED LUS24 HANGER (TYP @ GABLE END)

NOTE:

REDUCE STANDARD END TRUSS (T1) HEIGHT 3-1/2" FOR 2X4 LOOKOUT BARGE FRAMING (TYP @ 2 END TRUSSES)

(2) STANDARD END TRUSSES (6/12) WITH 1/2" PLYWOOD SPACER, TO EQUAL 3-1/2" TOTAL WIDTH, SUPPORT ON SIDE BEAMS & CENTER OVER FRONT 6X6 POSTS. BUILD 2X4 WALL 8" BELOW TRUSSES (SEE BUILDING SECTION-A)



ROOF FRAMING PLAN

SCALE: 1/4"=1'-0"

DESIGN LOADS:

GOVERNING AGENCY
PIKES PEAK REGIONAL BUILDING DEPARTMENT
PIKES PEAK REGIONAL DEVELOPMENT CENTER
2880 INTERNATIONAL CIRCLE
COLORADO SPRINGS, CO 80910
719-327-2880

LIVE & DEAD LOADS
ELEVATION=6103 FT.

ROOF:
LIVE LOAD= 30 PSF
DEAD LOAD= 15 PSF
TOTAL LOAD: 45 PSF

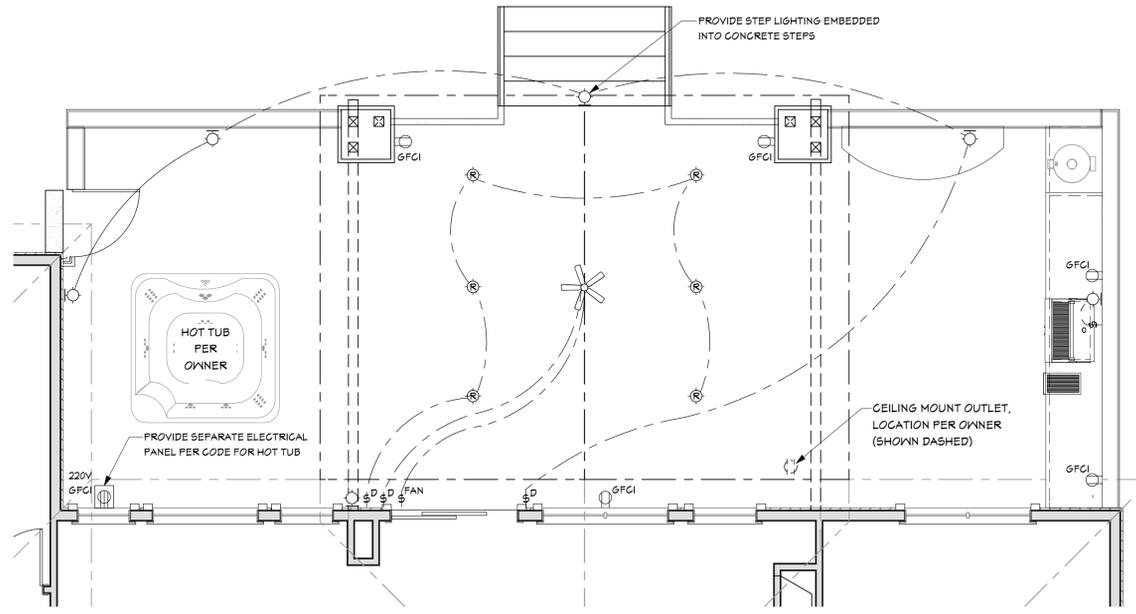
WIND LOADS
130 (VII) MPH, 3-SECOND GUST EXPOSURE 'C'

ELECTRICAL NOTES:

1. ALL ELECTRICAL FIXTURES TO BE SELECTED BY OWNER, INSTALLED PER LICENSED ELECTRICIAN PER CODE
2. ALL ELECTRICAL WIRING INSTALLED BELOW CONCRETE PATIO TO BE INSIDE SCH 40 CONDUIT
3. ALL ELECTRICAL FIXTURES & SWITCH PLACEMENT TO BE VERIFIED BY OWNER PRIOR TO INSTALLATION

ELECTRICAL LEGEND

- GFCI
- DUPLEX OUTLET (GFCI)
- SWITCH
- DIMMER SWITCH
- CEILING FAN
- RECESSED LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE



ELECTRICAL PLAN

SCALE: 1/4"=1'-0"

NOTE:

SEE FOUNDATION DESIGN FOR ALL CONCRETE DETAILS

NOTE:

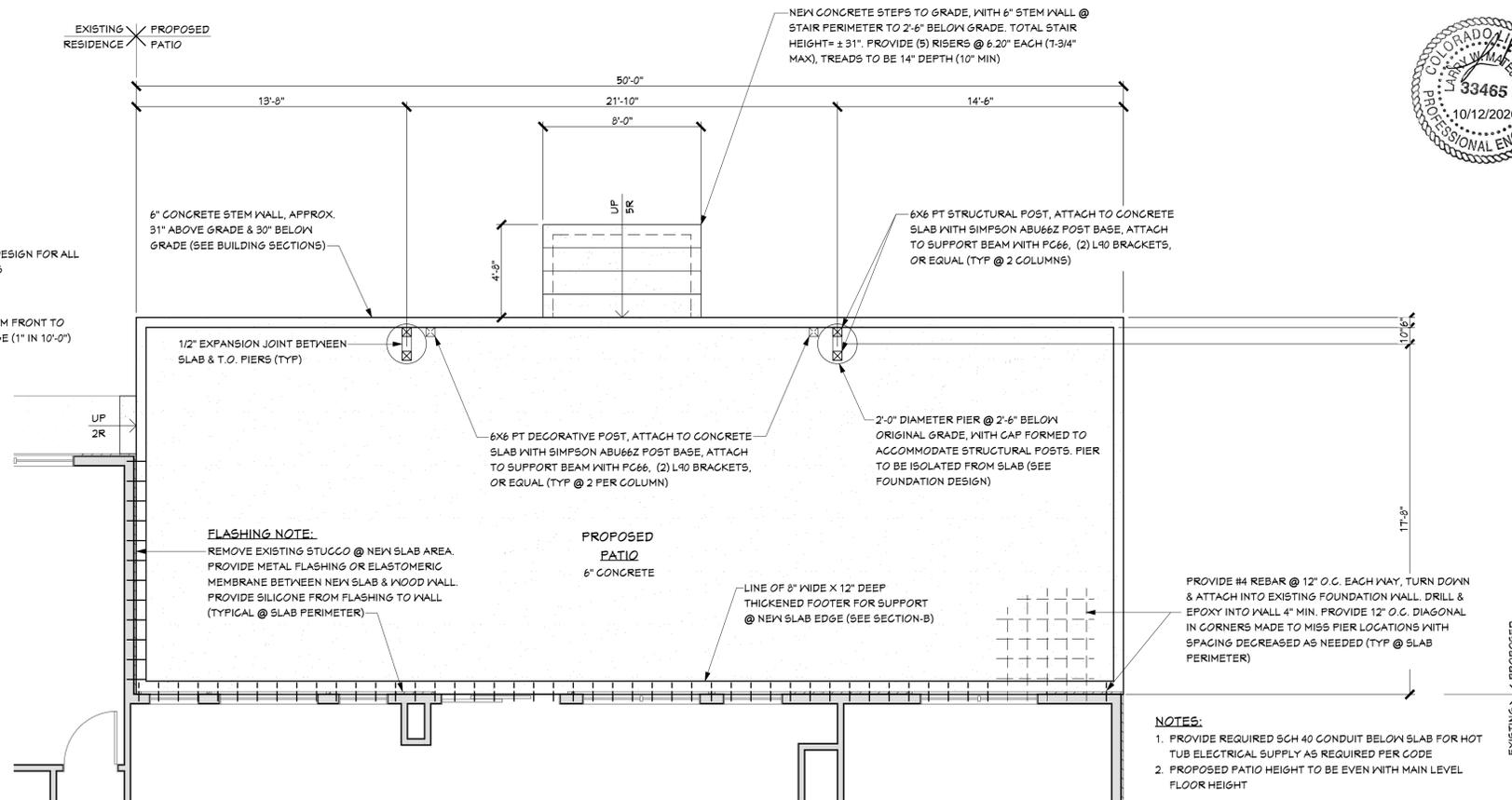
SLOPE SLAB 2" FROM FRONT TO BACK FOR DRAINAGE (1" IN 10'-0")

FLASHING NOTE:

REMOVE EXISTING STUCCO @ NEW SLAB AREA. PROVIDE METAL FLASHING OR ELASTOMERIC MEMBRANE BETWEEN NEW SLAB & WOOD WALL. PROVIDE SILICONE FROM FLASHING TO WALL (TYPICAL @ SLAB PERIMETER)

PROPOSED PATIO

6" CONCRETE



PROPOSED FOUNDATION PLAN

SCALE: 1/4"=1'-0"

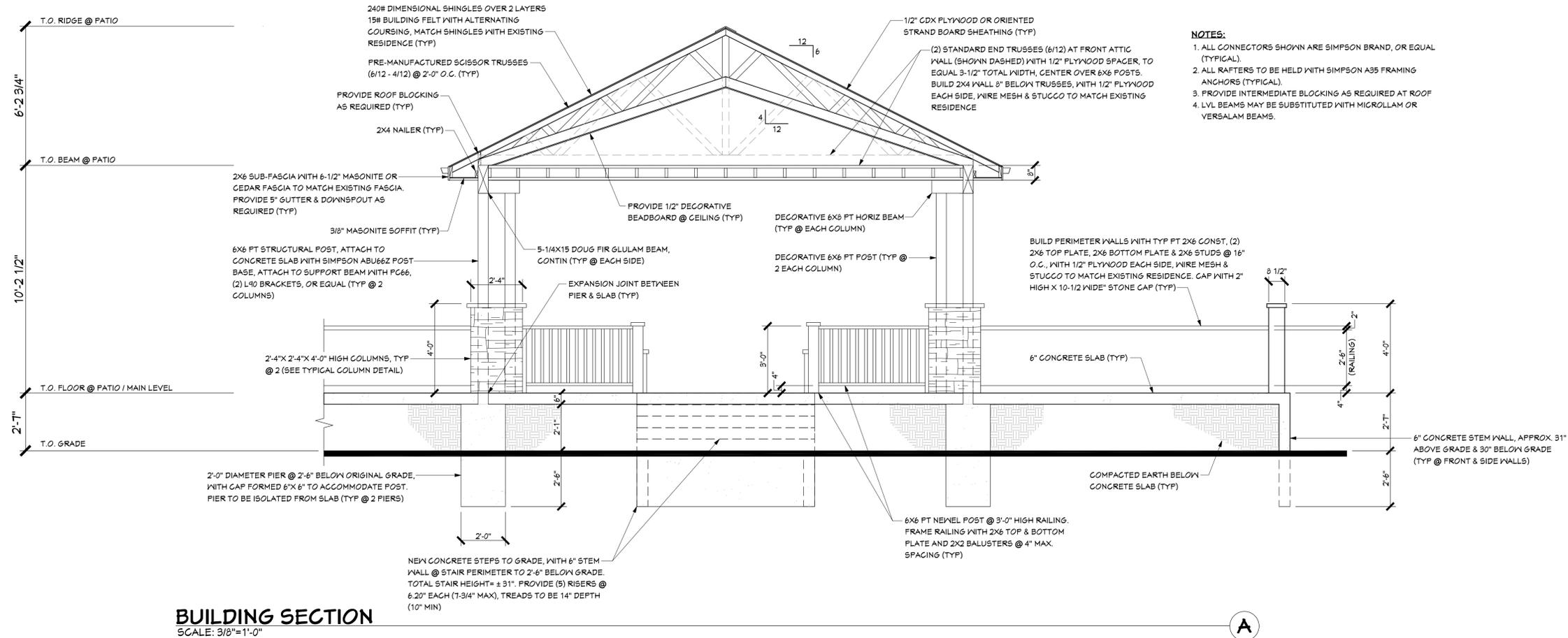
NOTES:

1. PROVIDE REQUIRED SCH 40 CONDUIT BELOW SLAB FOR HOT TUB ELECTRICAL SUPPLY AS REQUIRED PER CODE
2. PROPOSED PATIO HEIGHT TO BE EVEN WITH MAIN LEVEL FLOOR HEIGHT

SOIL BEARING:

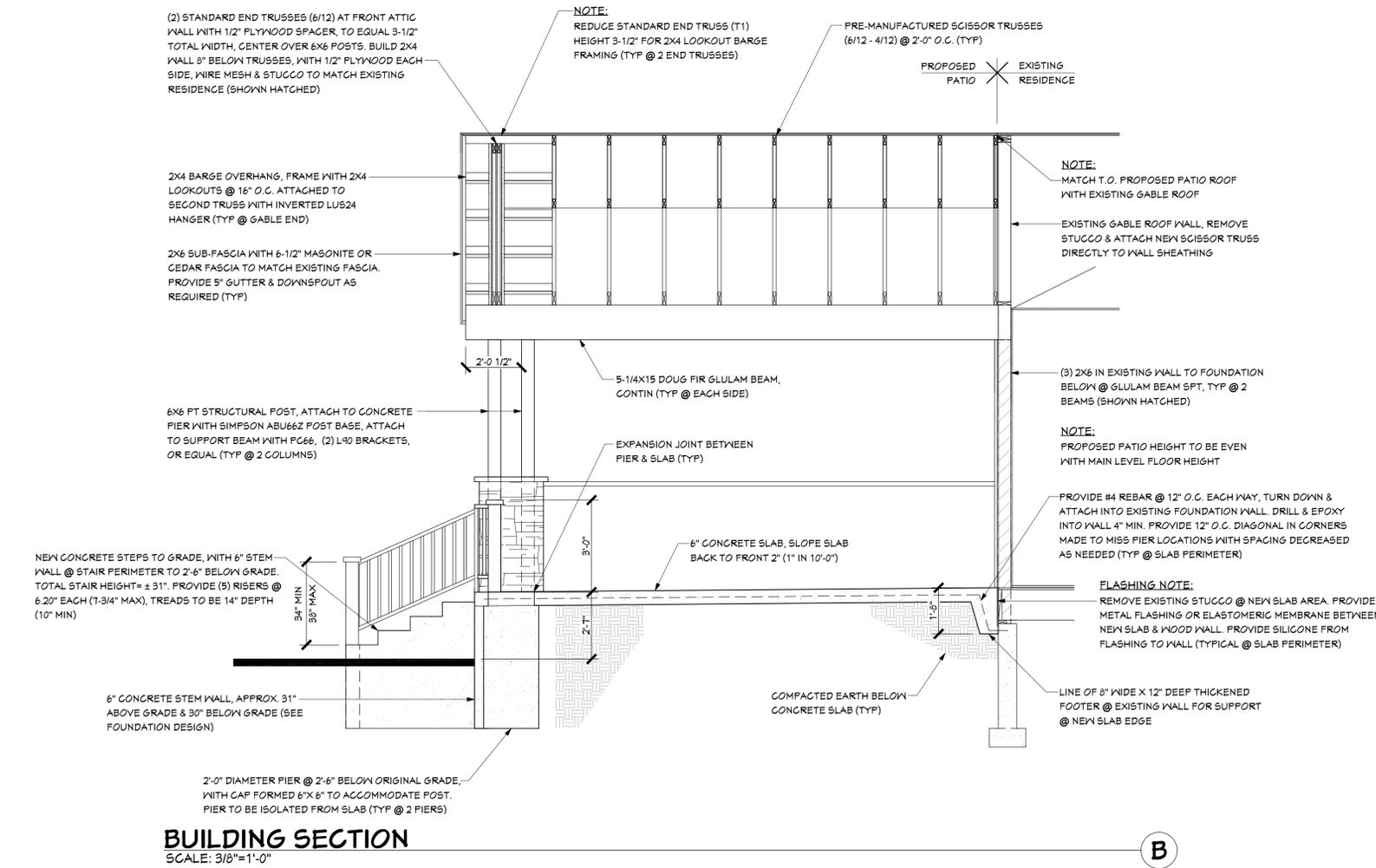
1500 PSF ASSUMED (PER PPRBD). ALL PIERS TO BE FINISHED 30" MINIMUM BELOW FINAL GRADE





- NOTES:**
1. ALL CONNECTORS SHOWN ARE SIMPSON BRAND, OR EQUAL (TYPICAL).
 2. ALL RAFTERS TO BE HELD WITH SIMPSON A35 FRAMING ANCHORS (TYPICAL).
 3. PROVIDE INTERMEDIATE BLOCKING AS REQUIRED AT ROOF.
 4. LVL BEAMS MAY BE SUBSTITUTED WITH MICROLAM OR VERSALAM BEAMS.

BUILDING SECTION
SCALE: 3/8"=1'-0"



BUILDING SECTION
SCALE: 3/8"=1'-0"





PROPOSED RENDERINGS

A CUSTOM COVERED PATIO ADDITION FOR:
CHRIS & GINNY HALVORSON
 14090 BLACK FOREST ROAD
 COLORADO SPRINGS, CO 80908

DESIGNED BY: CHRIS & GINNY HALVORSON
 DRAWN BY: JOHN C. RUSSEL
 DATE: 10-6-2020

