

R146441  
ADD21416  
PLAT 0  
LOT AREA 1.76 ACRES  
REF BOA93107  
ZONE RR-5  
DIST 1

APPROVED  
Plan Review

06/03/2021 10:54:36 AM  
dsdespinoza

EPC Planning & Community  
Development Department

Not Required  
BESQCP

06/03/2021 10:54:43 AM  
dsdespinoza

EPC Planning & Community  
Development Department



ANY APPROVAL GIVEN BY  
EL PASO COUNTY  
DOES NOT OBVIATE THE NEED  
TO COMPLY WITH APPLICABLE  
FEDERAL, STATE, OR LOCAL  
LAWS AND/OR REGULATION.

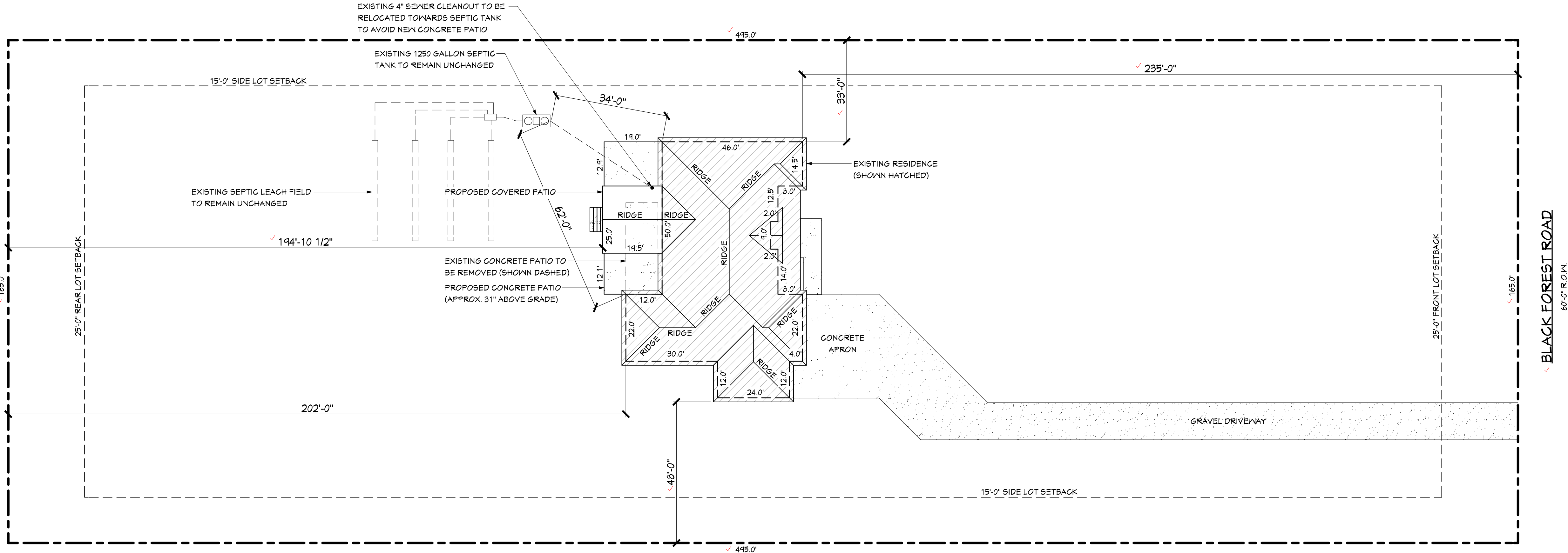
Planning & Community Development Department  
approval is contingent upon compliance with all  
applicable notes on the recorded plat.

An access permit must be granted by the  
Planning & Community Development Department  
prior to the establishment of any driveway onto a  
County road.

Division of blockage of any drainage way  
is not permitted without approval of the  
Planning & Community Development Department



It is the owner's responsibility to  
coordinate with easement holders  
to avoid impact to utilities that  
may be located in the easements.



SITE PLAN  
SCALE: 1"=20.0"

INTENTION OF REMODEL:

1. ADD NEW COVERED PATIO TO EXISTING RESIDENCE.

MISCELLANEOUS NOTES:

1. ALL MATERIALS TO BE SELECTED BY OWNER, INSTALLED BY CONTRACTOR.
2. ALL PHASES OF CONSTRUCTION TO COMPLY WITH ALL LOCAL BUILDING CODES.
3. CONTRACTOR TO INTERPRET ANY QUESTIONS WHICH MAY ARISE ON THE SITE, AND ON THE DRAWINGS.

DRAWINGS & SPECIFICATIONS:

IT IS THE INTENT OF THE DRAWINGS AND SPECIFICATIONS TO BE GUIDELINES FOR CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING ANY QUESTIONS AND MEANINGS IN THE WORKING DRAWINGS AND SPECIFICATIONS; AND THE CONTRACTOR SHALL NOTIFY THE DESIGNER IN WRITING OF ANY ERRORS, OMISSIONS OR UNSUITABLE DETAILING WHICH MAY CAUSE CONSTRUCTION PROBLEMS.

THE DESIGNER'S LIABILITY REGARDING ERRORS AND/OR OMISSIONS WILL BE LIMITED TO THE CORRECTION OF THE ORIGINAL DRAWINGS; CONSULTANTS' LIABILITY IS THE SAME.

CODES AND LAWS:

ALL WORK MUST MEET THE STANDARDS OF ALL CODES INCLUDING THE 2015 INTERNATIONAL RESIDENTIAL CODE, AND ALL CITY (2011 FPRBC), STATE AND NATIONAL CODES WHICH APPLY, AND THE LAW OF THE PLACE OF BUILDING SHALL GOVERN THE CONSTRUCTION OF THE CONTRACT BUILDING. CONSTRUCTION SHALL MEET OR EXCEED H.U.D. MINIMUM PROPERTY STANDARDS. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING ANY SUBDIVISION REGULATIONS SET FORTH BY THE LOCAL ARCHITECTURAL REVIEW COMMITTEE OR SIMILAR GROUP.

MATERIALS AND LABOR:

ALL MATERIALS SHALL BE NEW, SHALL CONFORM TO THE CURRENT APPLICABLE INDUSTRY STANDARDS AND CODES, LATEST EDITIONS, AND SHALL MEET GOOD BUILDING STANDARDS AND PRACTICES. ALL MATERIALS SHALL BE INSPECTED BY THE CONTRACTOR PRIOR TO CONSTRUCTION, AND ALL DEFECTIVE MATERIALS SHALL BE RETURNED. ALL WORK SHALL BE DONE IN A WORKMANSHIP MANNER IN ACCORDANCE WITH THE STANDARDS OF THE PARTICULAR TRADE OR PROFESSION. WORK INCLUDES THE FURNISHING OF ALL MATERIALS, LABOR AND EQUIPMENT FOR THE INSTALLATION OF EACH ITEM AS CALLED FOR ON THE DRAWINGS HEREIN SPECIFIED, OR BOTH. THIS SCOPE APPLIES TO ALL SECTIONS OF THE SPECIFICATIONS. INSTALL ALL MATERIALS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. ANY CONFLICT BETWEEN THE SPECIFICATIONS AND THE MANUFACTURER'S RECOMMENDATIONS, THE MANUFACTURER'S RECOMMENDATIONS SHALL GOVERN.

MATERIAL OR PRODUCT SUBSTITUTION:

PRODUCTS OR BRAND NAMES GIVEN IN THE SPECIFICATIONS ARE INTENDED AS AN INDICATION OF QUALITY; AND IT IS ASSUMED THE WORDS "OR EQUAL" AS APPROVED BY THE DESIGNER ARE IMPLIED. STRUCTURAL MATERIALS MAY ONLY BE SUBSTITUTED IF ACCOMPANIED BY A REGISTERED ENGINEER'S STAMPED DRAWING AND/OR LETTER.

CONTRACTOR'S ACCEPTANCE:

THE BEGINNING OF WORK BY THE CONTRACTOR SHALL CONSTITUTE COMPLETE ACCEPTANCE OF THE SITE CONDITIONS AND THE CONTRACT DOCUMENTS. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE DESIGNER IN WRITING OF ANY SITE PROBLEMS OR OF ANY ERRORS, OMISSIONS OR UNSUITABLE DETAILING WHICH MAY CAUSE CONSTRUCTION PROBLEMS.

OWNER:

- ✓ CHRIS & GINNY HALVORSON

ADDRESS:

- ✓ 14090 BLACK FOREST ROAD
- COLORADO SPRINGS, CO 80908

CITY ZONING:

- ✓ RR-5

LEGAL DESCRIPTION:

- ✓ TRACT IN SE4NE4 SEC 6-12-65 AS FOLS, BEG AT SE COR OF SD NE4, TH N ON E LN 478 FT M/L FOR POB, TH N PARA WITH S LN OF SE4NE4 495 FT, N PARA WITH E LN OF SEC 165 FT, E PARA WITH FIRST COURSE 495 FT, TH S ON E LN OF SEC 165 FT TO POB EX RD

TAX SCHEDULE:

- ✓ 5206000061

LOT COVERAGE:

- EXISTING RESIDENCE= 2124
- TOTAL EXISTING STRUCTURES= 2124 SF
- LOT SIZE= 1.76 ACRES / 76,665.6 SF
- EXISTING LOT COVERAGE= 3.55%

- PROPOSED COVERED PATIO ADDITION= 481.5 SF
- PROPOSED CONCRETE PATIO= 950 SF
- TOTAL PROPOSED SF= 1437.5 SF
- TOTAL EXISTING + PROPOSED SF= 4161.5 SF
- ✓ TOTAL PROPOSED LOT COVERAGE= 5.43%
- ✓ TOTAL LOT COVERAGE ALLOWED= 25%

LOT ELEVATION:

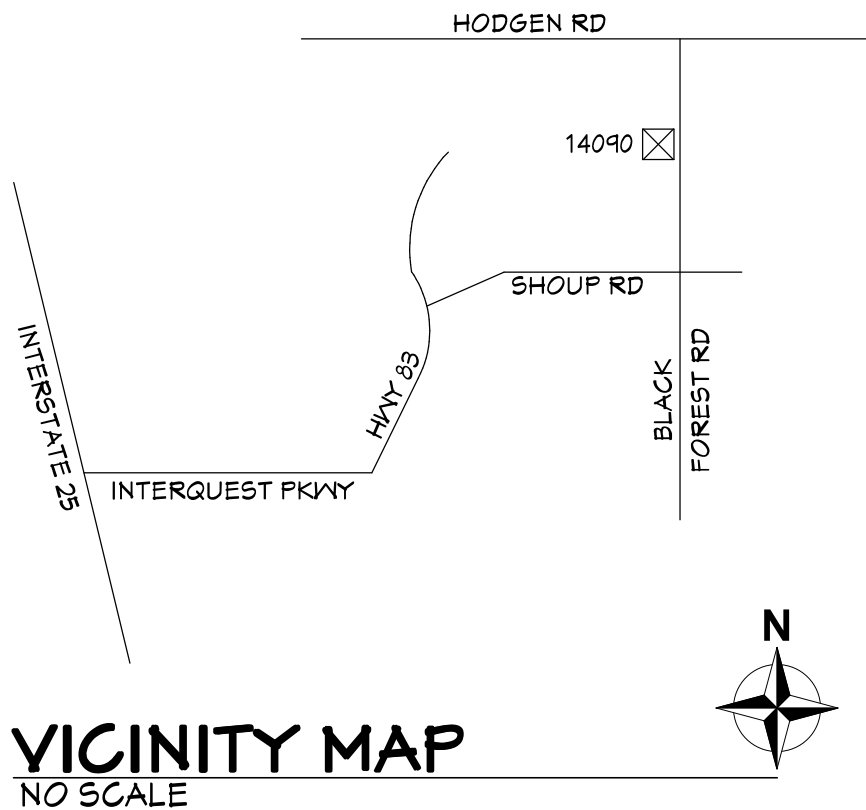
- EXISTING RESIDENCE ALTITUDE= 7510 FEET ABOVE SEA LEVEL

BUILDING HEIGHT:

- ✓ PROPOSED ADDITION FINAL BUILDING HEIGHT ABOVE GRADE= 19'-1"
- ✓ MAXIMUM BUILDING HEIGHT ALLOWED= 30'-0"

BUILDING SETBACKS:

- FRONT LOT SETBACK= 25'-0"
- REAR LOT SETBACK= 25'-0"
- SIDE LOT SETBACK= 15'-0"



J.R. Design Company, LLC  
Residential Drafting & Design

JOHN C. RUSSEL  
JRDDESIGN@COMCAST.NET  
719.667.7994

SITE PLAN / GENERAL NOTES

CHRIS & GINNY HALVORSON  
14090 BLACK FOREST ROAD  
COLORADO SPRINGS, CO 80908

A CUSTOM COVERED PATIO ADDITION FOR:

DESIGNED BY: CHRIS & GINNY HALVORSON  
DRAWN BY: JOHN C. RUSSEL  
DATE: 10-8-2020

SHEET:

A1

# RESIDENTIAL



2017 PPRBC

Address: 14090 BLACK FOREST RD, COLORADO SPRINGS

Parcel: 5206000061

Plan Track #: 146441

Received: 01-Jun-2021 (DANM)

## Description:

### PATIO COVER

Contractor: HOMEOWNER

Type of Unit:

## Required PPRBD Departments (2)

### Floodplain

(N/A) RBD GIS

### Construction

Released for Permit  
06/02/2021 10:58 PM  
  
CONSTRUCTION

## Required Outside Departments (1)

### County Zoning

**APPROVED**  
Plan Review

06/03/2021 10:57:33 AM  
dsdespinoza  
EPC Planning & Community  
Development Department

Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations. This plan set must be present on the job site for every inspection.