

SFD241073  
 PLAT 14795  
 PUD

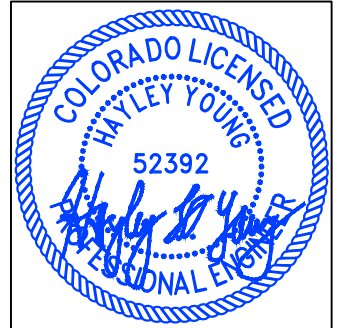


LOT 96

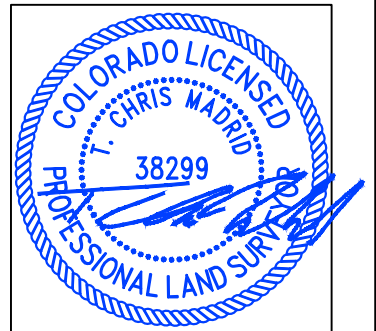
SCHEDULE NUMBER 5509309014

PLOT PLAN

TRACT C



HAYLEY YOUNG, P.E.  
 DATE: 11.06.24  
 I HEREBY CERTIFY ONLY THE ELEMENTS OF THIS DOCUMENT THAT FALL WITHIN THE SCOPE OF MY DUTIES AS A P.E.



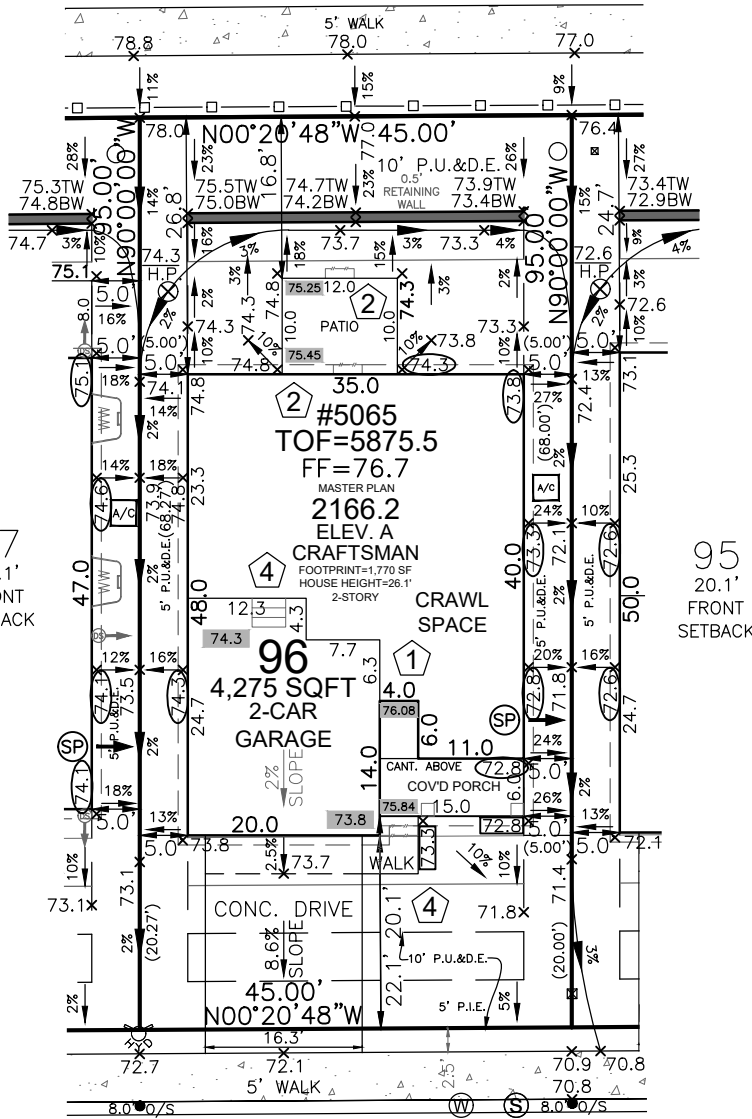
T. CHRIS MADRID, P.L.S.  
 DATE: 11.06.24  
 I HEREBY CERTIFY ONLY THE ELEMENTS OF THIS DOCUMENT THAT FALL WITHIN THE SCOPE OF MY DUTIES AS A P.L.S.

**APPROVED**  
**Plan Review**  
 11/21/2024 2:46:59 PM  
 dsdrangel  
 EPC Planning & Community  
 Development Department

ANY APPROVAL GIVEN BY EL PASO COUNTY DOES NOT OBTAIN THE NEED TO COMPLY WITH APPLICABLE FEDERAL, STATE, OR LOCAL LAWS AND/OR REGULATION  
 Planning & Community Development Department approval is contingent upon compliance with all applicable notes on the recorded plat.  
 An access permit must be granted by the Planning & Community Development Department prior to the establishment of any driveway onto a County road.  
 Diversion of blockage of any drainage way is not permitted without approval of the Planning & Community Development Department

**APPROVED**  
**BESQCP**  
 11/21/2024 2:47:12 PM  
 dsdrangel  
 EPC Planning & Community  
 Development Department

It is the owner's responsibility to coordinate with easement holders to avoid impact to utilities that may be located in the easements.



97  
 20.1'  
 FRONT  
 SETBACK

95  
 20.1'  
 FRONT  
 SETBACK

**BIG JOHNSON DRIVE**  
 50' R.O.W.

**SITE SPECIFIC PLOT PLAN NOTES:**

- TOF = 75.5
- GARAGE SLAB = 73.8
- GRADE BEAM = 24"  
 (75.5 - 73.8 = 01.7 \* 12 = 20" + 4" = 24")
- \*FROST DEPTH MUST BE MAINTAINED
- LOWERED FINISH GRADE ALONG HOUSE
- LOWERED FINISH GRADE AT PORCH 32"
- LOWERED FINISH GRADE AT PATIO
- RETAINING WALL PROPOSED  
 TW/BW INDICATE FINISH GRADE AT WALL

**LEGEND**

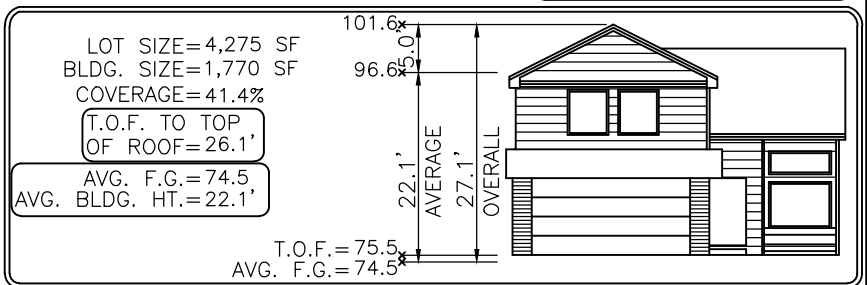
**LOWERED FINISH GRADE:**

- (XX.X) HOUSE
- (XX.X) PORCH
- (XX.X) GARAGE/CRAWL SPACE
- (XX.X) FOUNDATION STEP
- (XX.X) CONCRETE
- (X) RISER COUNT
- (XX.XX) CONCRETE ELEVATION

Released for Permit  
 11/19/2024 2:46:35 PM  
 brent  
 ENUMERATION



0 20 40  
 SCALE: 1"=20'



Elevation view of building is an illustrative tool only to indicate the calculation for the average building height.

MODEL OPTIONS: 2166.2-A/CRAFTSMAN/2-CAR/CRAWL SPACE

SUBDIVISION: THE TRAILS AT ASPEN RIDGE FILING NO. 2

COUNTY: EL PASO

ADDRESS: 5065 BIG JOHNSON DRIVE

**MINIMUM SETBACKS:**  
 FRONT: 15' SIDE: 5'  
 GARAGE: 20' SEP.: 10'  
 REAR: 15'  
 CORNER: 10'

DRAWN BY: MH

DATE: 11.05.24



6841 South Yosemite Street #100  
 Centennial, CO 80112 USA  
 Phone: (303) 850-0559  
 Fax: (303) 850-0711  
 E-mail: info@bjsurveying.net

**GENERAL NOTES:**

- PLOT PLAN NOT TO BE USED FOR EXCAVATION PLAN OR FOUNDATION PLAN LAYOUT.
- PLOT PLAN SUBJECT TO APPROVAL BY ZONING/BUILDING AUTHORITY PRIOR TO STAKEOUT.
- EASEMENTS DISPLAYED ON THIS PLOT ARE FROM THE RECORDED PLAT AND MAY NOT INCLUDE ALL EASEMENTS OF RECORD.
- PLOT PLAN MUST BE APPROVED BY BUILDER PRIOR TO ORDERING STAKEOUT.
- LOT CORNER ELEVATION CHECK: 10.24.22

# SITE



2023 PPRBC  
2021 IECC Amended

Parcel: 5509309014

Address: 5065 BIG JOHNSON DR, COLORADO SPRINGS

Plan Track #: 196299 

Received: 19-Nov-2024 (BRENT)

## Description:

### RESIDENCE

Type of Unit:

Garage	458	
Lower Level 2	1085	
Main Level	1083	
Upper Level 1	1083	
	3709	Total Square Feet

## Required PPRBD Departments (2)

<p><b>Enumeration</b></p> <p><b>APPROVED</b></p> <p><b>BRENT</b></p> <p><b>11/19/2024 2:46:49 PM</b></p>	<p><b>Floodplain</b></p> <p><b>(N/A) RBD GIS</b></p>
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## Required Outside Departments (1)

<p><b>County Zoning</b></p> <p><b>APPROVED</b></p> <p><b>Plan Review</b></p> <p><i>11/21/2024 2:48:57 PM</i></p> <p><i>dsdrangel</i></p> <p><b>EPC Planning &amp; Community Development Department</b></p>
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Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations. This plan set must be present on the job site for every inspection.