

# EL PASO



# COUNTY

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PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT  
CRAIG DOSSEY, EXECUTIVE DIRECTOR

**TO:** El Paso County Board of County Commissioners  
Darryl Glenn, President

**FROM:** Nina Ruiz, PM/Planner II  
Jeff Rice, PE Engineer III  
Craig Dossey, Executive Director

**RE:** Project File #: VA-17-006  
Project Name: Falcon School Tower  
Parcel No.: 52253-00-002

OWNER:	REPRESENTATIVE:
Falcon School District No. 49 10850 E Woodmen Road Peyton, CO 80831	Centerline Solutions 16035 Table Mountain Parkway Golden, CO 80403

**Commissioner District: 2**

Planning Commission Hearing Date:	12/5/2017
Board of County Commissioners Hearing Date	1/9/2018

## EXECUTIVE SUMMARY

A request by Centerline Solutions for approval of a variance of use for a 100 foot tall freestanding commercial mobile radio service facility (CMRS) located on 39.08 acres zoned RR-5 (Residential Rural) on which the Falcon Middle School is located. There is an existing 100 foot tall freestanding commercial mobile radio service facility onsite that does not allow for co-location. The existing tower was not approved by El Paso County. The applicant is requesting to replace that facility with a new 100 foot tall facility that is capable of co-location. The property is located east of Towner Avenue and north of Stapleton Drive and is within Section 25, Township 12 South, Range 65 West of the 6<sup>th</sup> P.M. The property is included within the Falcon/Peyton Small Area Master Plan (2008).

2880 INTERNATIONAL CIRCLE, SUITE 110  
PHONE: (719) 520-6300



COLORADO SPRINGS, CO 80910-3127  
FAX: (719) 520-6695

Bocce 17393 1/09/18 (C)

## **A. REQUEST/WAIVERS/AUTHORIZATION**

**Request:** A request by Centerline Solutions for approval of a variance of use for a 100 foot tall freestanding commercial mobile radio service facility (CMRS).

**Waiver(s):** There are no waivers requested with this application.

**Authorization to Sign:** There are no documents associated with this application that require signing.

## **B. PLANNING COMMISSION SUMMARY**

**Request Heard:** December 5, 2017, as a consent item

**Recommendation:** Approval, subject to the conditions and notations. A copy of the Planning Commission Resolution is included as an attachment

**Waiver Recommendation:** N/A

**Vote:** 7 to 0

**Vote Rationale:** N/A

**Summary of Hearing:**

**SPEAKING FOR:** Applicant was represented at the hearing

**SPEAKING AGAINST:** None

**Legal Notice:** N/A

## **C. APPROVAL CRITERIA**

In approving a variance of use, the following criteria may be considered:

- The strict application of any of the provisions of this Code would result in peculiar and exceptional practical difficulties or undue hardship.
- The proposed use is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the surrounding area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and County;
- The proposed use will be able to meet air, water, odor or noise standards established by County, State or federal regulations during construction and upon completion of the project;
- The proposed use will comply with all applicable requirements of this Code and all applicable County, State and federal regulations except those portions varied by this action;
- The proposed use will not adversely affect wildlife or wetlands;
- The applicant has addressed all off-site impacts;
- The site plan for the proposed variance of use will provide for adequate parking, traffic circulation, open space, fencing, screening, and landscaping; and/or

- Sewer, water, storm water drainage, fire protection, police protection, and roads will be available and adequate to serve the needs of the proposed variance of use as designed and proposed.

**D. LOCATION**

North: RS-20000 (Residential Suburban)	Residential
South: RS-5000 (Residential Suburban)	Residential
East: RS-20000 (Residential Suburban)	Residential
West: RS-6000 (Residential Suburban)	Vacant

**E. BACKGROUND**

The property was zoned A-4 (Agricultural) in 1984. Due to changes in the nomenclature of the El Paso County Land Development Code, the A-4 zoning district was renamed as the RR-5 (Rural Residential) zoning district. There is an existing 100 foot freestanding CMRS facility on the subject parcel.

The subject parcel is also the location of the Falcon Middle School. Schools may not need to obtain a building permit from the local jurisdiction if they have otherwise obtained approval from the State Board of Education. This exemption does not extend to CMRS facilities located on the same property as a school. The existing 100 foot tall freestanding CMRS facility was constructed around the same time as the school but was not approved by El Paso County prior to being constructed.

The existing tower no longer has the structural capacity for additional carriers. The applicant is proposing to remove this existing tower and replace it with a 100 foot tall freestanding CMRS facility designed to allow for additional co-location. The proposed tower would meet all setback requirements. Should the variance of use request be approved, a site development plan will be required prior to authorization of a building permit to construct the tower and associated equipment.

**F. ANALYSIS**

**1. Land Development Code Analysis**

The property is currently zoned RR-5 (Residential Rural). The RR-5 zoning district is primarily rural residential in nature. There is an existing approximately 100 foot tall freestanding CMRS facility on the subject parcel. Section 5.2.19 of the Code allows for a CMRS facility to exceed the allowed height of the zoning district up to 120 feet in height. The proposed tower will replace the existing tower, which has become a part of the visual landscape in the area.

**2. Zoning Compliance**

The property is within the RR-5 (Residential Rural) zoning district, which does not allow for a freestanding CMRS facility. Only if the variance of use and site development plan are approved will the proposed CMRS facility be allowed and authorized for construction.

### 3. Policy Plan Analysis

Consistency with the El Paso County Policy Plan (1998) is not a required review criteria for a variance of use request. For background, the El Paso County Policy Plan (1998) has a dual purpose; it serves as a guiding document concerning broader land use planning issues, and provides a framework to tie together the more detailed sub-area elements of the County master plan. Relevant policies are as follows:

***Policy 6.3.8*** *Recognize the need and allow for the reasonable accommodation of adequate amounts of land with sufficient infrastructure for land uses of a heavy industrial nature and/or considered to be “locally undesirable” within all subareas of the County provided the adequate facilities and services will be available. Consider the environmental, visual and land use compatibility impacts and incorporate, where possible, buffering and screening techniques to address compatibility with surrounding uses.*

***Goal 7.1*** *Reasonably accommodate unique and special uses which provide value to the greater community and which can be made consistent with surrounding uses.*

***Policy 7.1.2*** *Consider future combined impact of potential additional land use requests when considering individual applications for special or unique land uses.*

***Goal 7.5*** *Allow for towers, transmission lines, and related facilities that provide a benefit to County residents in a manner which balances considerations of economics, equity, and environmental sensitivity and provides equitable compensation to private land owners for impacts caused by these facilities.*

A tower is identified as one of several uses listed in the Policy Plan that may be considered “ancillary to traditional land uses” (General Policies page 45). Other “ancillary uses” identified in the Plan include institutional uses, mining operations, agriculture-oriented business, and outdoor recreational facilities. The Plan recognizes the difficulties in siting these types of special or unique land uses. These uses can sometimes be considered “locally undesirable” and can be controversial in nature. The Plan also recognizes that “the location of these lines and facilities is often governed by geographic factors such as the need to respond to topography, make linear connections or serve defined areas” (Minimizing Impacts of Towers, Transmission Facilities and Related Facilities Page 50).

As demonstrated in the applicant’s coverage maps, there is no coverage for T-Mobile subscribers in the vicinity of the proposed tower. The proposed tower will

provide coverage for T-Mobile's customers and allow for co-location of other carriers. The applicant has submitted photo simulations to demonstrate the potential visual impact to surrounding parcels. The proposed 100 foot tall freestanding CMRS facility will be visible to most surrounding parcels in the vicinity. Attempts at a stealth design for a facility of this height are not practical.

Should the Board of County Commissioners determine the freestanding CMRS facility provides a benefit to County residents in a manner which balances considerations of economics, equity, and environmental sensitivity, consistency with the Plan could be found.

#### **4. Small Area Plan Analysis**

The property is within the Falcon/Peyton Small Area Master Plan (2008). The surrounding area has been developed as residential suburban lots with lot sizes averaging one-half acre in size. The Plan does not include any discussion or recommendations specific to commercial towers or other similar uses.

#### **5. Other Master Plan Elements**

The El Paso County Wildlife Habitat Descriptors (1996) identifies the property as having a low wildlife impact potential. The proposed freestanding CMRS facility is not expected to have an impact upon the wildlife in the area.

The Master Plan for Mineral Extraction (1996) identifies potential upland deposits in the area of the subject property. A mineral rights certification was prepared by the applicant indicating that, upon researching the records of El Paso County, no severed mineral rights exist.

### **G. PHYSICAL SITE CHARACTERISTICS**

#### **1. Hazards**

No physical hazards were identified in the review of the variance of use.

#### **2. Wildlife**

The El Paso County Wildlife Habitat Descriptors (1996) identifies the property as having a low wildlife impact potential. The proposed freestanding CMRS facility is not expected to have an impact upon the wildlife in the area.

#### **3. Floodplain**

As indicated on FEMA Flood Insurance Rate Map (FIRM) panel number 08041C0575F, the tower lease area is located entirely outside of the current 100-year regulatory floodplain.

#### **4. Drainage And Erosion**

The property is located within the Falcon drainage basin. Since the property is not being platted with this application, drainage and bridge fees are not applicable. A drainage report was not required since the proposed freestanding CMRS facility is anticipated to have no significant drainage impact.

#### **5. Transportation**

The property is accessed via Towner Avenue. A traffic impact study was not required and the County road impact fee does not apply to this request because the variance of use is not expected to generate 100 more daily vehicle trips than the property would be expected to generate currently. If the variance is approved, the applicant will be required to obtain an access permit.

### **H. SERVICES**

#### **1. Water**

The existing school is served by Paint Brush Hills Metropolitan District for water. There is no need for additional water as the proposed freestanding CMRS facility is to be unmanned.

#### **2. Sanitation**

The existing school is served by Paint Brush Hills Metropolitan District for sanitation. There is no need for additional sanitation as the proposed freestanding CMRS facility is to be unmanned.

#### **3. Emergency Services**

The parcel is located within the Falcon Fire Protection District. The District was sent a referral and has no outstanding comments.

#### **4. Utilities**

Mountain View Electrical Association will serve the freestanding CMRS facility.

#### **5. Metropolitan Districts**

The property is within the Paint Brush Hills Metropolitan District. The district was sent a referral and did not respond.

#### **6. Parks/Trails**

There are no planned parks/trails on the subject parcel. No park fees or land dedication in lieu of fees are required for this application.

#### **7. Schools**

The property is located within Falcon School District No. 49. No school fees or land dedication in lieu of fees are required with this application.

### **I. APPLICABLE RESOLUTIONS: See attached**

## **J. STATUS OF MAJOR ISSUES**

There are no outstanding issues.

## **K. CONDITIONS AND NOTATIONS**

Should the Board of County Commissioners find that the request meets the criteria for approval outlined in 5.3.4 (Variance of Use) of the El Paso County Land Development Code (2016), staff recommends the following conditions and notations:

### **CONDITIONS**

1. Approval is limited to the one (1) freestanding CMRS facility 100 feet in height as discussed and depicted in the applicant's letter of intent and site plan drawings.
2. The freestanding CMRS facility shall remain designed to allow for co-location of other antennae.
3. Any subsequent co-location or additional antenna on the Freestanding CMRS Facility other than that shown on the site plan shall be subject to administrative review, and if it is the opinion of the Planning and Community Development Director it constitutes a substantial increase in the size of the Freestanding CMRS Facility , it shall be subject to review and approval by the Board of County Commissioners. The Variance of Use approval for the tower also includes giving the Planning and Community Development Director the authority to administratively approve minor modifications and a non-substantial increase in the size of the tower as provided by the Nationwide Collocation Agreement, as amended.
4. Prior to authorization of a building permit, a guarantee of financial surety shall be provided to El Paso County for the removal of the tower in the event of abandonment.
5. The freestanding CMRS facility shall not be lighted except in accordance with the requirements of the Federal Aviation Administration (FAA).
6. The tower shall be painted and maintained in a suitable color to fit the natural surroundings, as determined by the Planning and Community Development Department.

## **NOTATIONS**

1. Variance of Use approval includes conditions of approval and the accompanying site plan and elevation drawings. No substantial expansion, enlargement, intensification or modification shall be allowed except upon reevaluation and public hearing as specified in the El Paso County Land Development Code.
2. The Board of County Commissioners may consider revocation and/or suspension if zoning regulations and/or Variance of Use conditions/standards are being violated, preceded by notice and public hearing.
3. If the Variance of Use is discontinued or abandoned for two (2) years or longer, the Variance of Use shall be deemed abandoned and of no further force and effect.

## **L. PUBLIC COMMENT AND NOTICE**

The Planning and Community Development Department notified 41 adjoining property owners on November 14, 2017, for the Planning Commission meeting. Notification for the Board of County Commissioners' hearing was done on December 5, 2017. Responses will be provided at the hearing.

## **M. ATTACHMENTS**

Vicinity Map  
Letter of Intent  
Site Development Plan  
Coverage Maps  
Planning Commission Resolution  
Board of County Commissioners Resolution



# El Paso County Parcel Information

File Name: VA-17-006

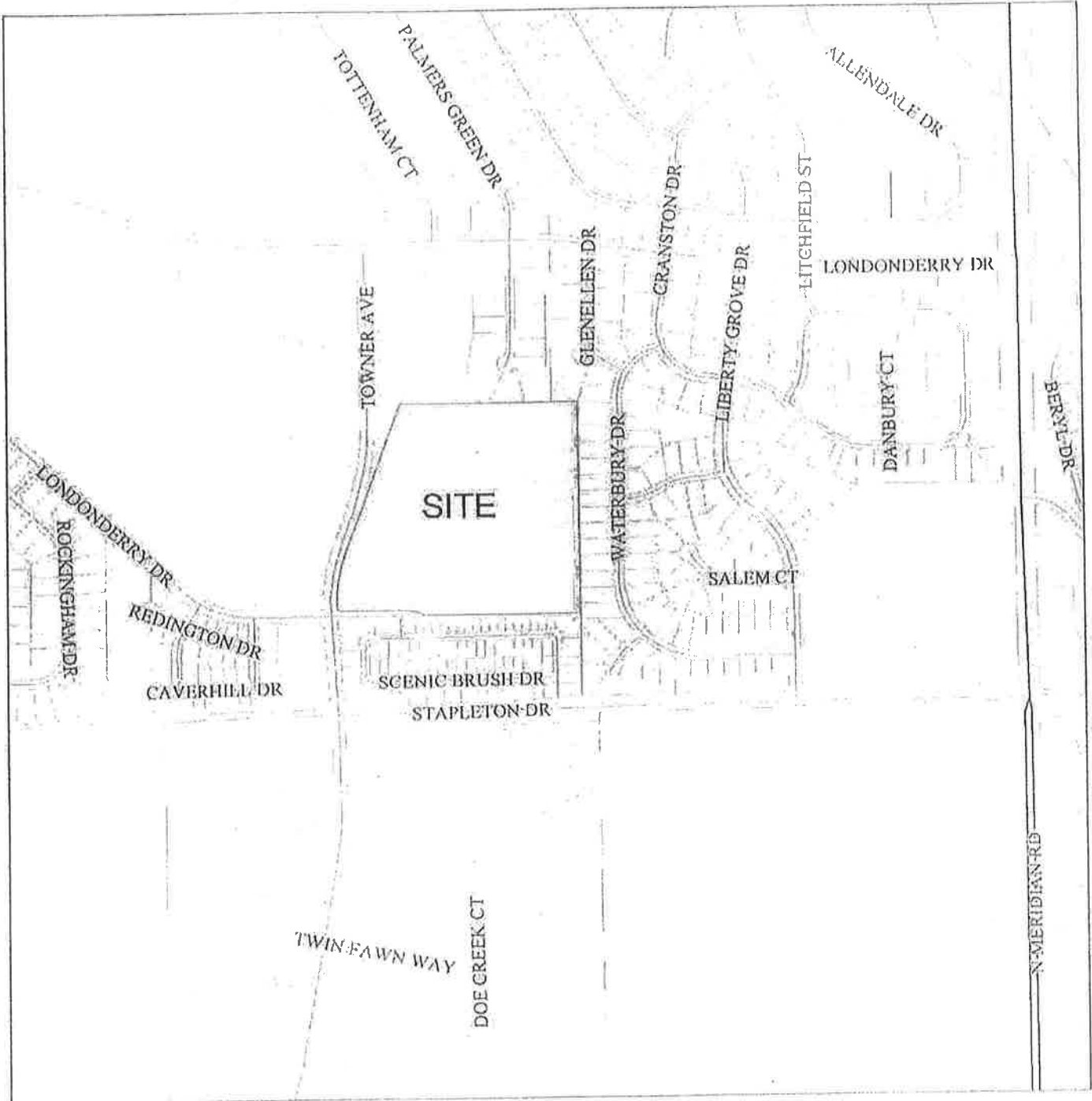
Zone Map No:

PARCEL	NAME
5225300002	FALCON SCHOOL DISTRICT NO 49

ADDRESS	CITY	STATE
10850 R WOODMEN RD	PEYTON	CO

ZIP	ZIPLAS
80831	8127

Date: November 14, 2017



Please report any parcel discrepancies to:  
 El Paso County Assessor  
 1675 W Garden of the Gods Rd  
 Colorado Springs, CO 80907  
 (719) 570-6000



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10/29/2017

**Letter of Intent****Applicant on behalf of property and tower owner:**

Centerline Solutions  
16035 Table Mtn. Pkwy, Golden, CO 80403  
Darren Hunter 913-634-1245  
[dhunter@centerlinesolutions.com](mailto:dhunter@centerlinesolutions.com)

**Property Owner:**

Falcon School District No 49  
10850 E. Woodmen Rd., Peyton, CO 80831  
Jim Rohr 719-495-1166

**Tower Owner:**

Vertical Bridge  
750 Park of Commerce Dr., Ste. 200, Boca Raton, FL 33478  
Matthew Grugan 678-488-1866

Re: Proposed CMRS Facility at Falcon Middle School 9675 Towner Ave. Peyton, CO 80831. The lot size is 39.08 acres and the property is zoned RR-5.

To whom it may concern,

In an effort to improve telecommunications quality and capacity, Vertical Bridge has identified the above-named property for which it desires to replace an existing monopole light standard with a new 100' telecommunications facility to service Peyton, CO and the surrounding areas of El Paso County. The proposed site is located near the intersection of Towner Ave. and Stapleton Drive on property owned by Falcon School District No 49. This site will provide wireless coverage to the steady-growing population of residents in this vicinity as well as provide improved E911 services to the area.

It was determined by T-Mobile that they need a site located in this area to meet the objectives noted above. We studied the area and identified the subject property, Falcon Middle School, as an ideal location for servicing the community's wireless needs and the coverage objectives of T-Mobile. There are (4) existing 100' light poles at the sports field and we are proposing to collocate on one of them by replacing a pole with one that is structurally capable of carrying antennas. Although the current code only allows for light poles up to 80' tall, we are replacing the pole with one that is 100' to be consistent with the other poles on the property. Our tower will be designed to allow for two additional carriers to collocate. We are not increasing the height of the pole and we are utilizing an existing access road to the site. Another carrier (Sprint) has a similar installation on one of the other light poles but their tower is not designed for collocation and the lower centerline below Sprint's antennas would have a significant impact on the coverage objections of T-Mobile as noted in their Site justification and Coverage Map documents. Vertical Bridge has leased .009 acres of land with the school district to replace the pole. The closest residence to the proposed structure is approximately 415'. This structure is not located on a ridgeline and does not obstruct any views to significant landforms or impact scenic viewsheds from any residence. The entire structure will be made of non-reflective galvanized steel (same as the existing tower) and the equipment compound will be screened with a 7' tall wooden fence.



16035 Table Mountain Pkwy.  
Golden, CO 80403  
303-993-3293

The site will be unmanned and will require electrical and telephone and/or fiber optic services if available. It will not require potable water or wastewater services. There were no other existing towers or structures with similar height within the search ring that meet the objectives for T-Mobile to collocate on. The existing Sprint tower is currently at 102% structural capacity. Additional details regarding our proposed tower location are noted below:

- 20'x20' Tower Lease Area totaling 400 S.F.
- Proposed 20'x20' wooden fenced compound to secure the tower and equipment
- Proposed 15' wide access road to the property's existing access road
- Proposed tower shall meet the code requirements under Section 6.2.3.B.3(b) and (c):
  - (b) Cut-Off Angle - The cut-off angle from a lighting source that illuminates an outdoor recreational use may exceed 90 degrees provided the light source is shielded to prevent light and glare from spilling to adjacent residential properties.
  - (c) Hours of Use - Exterior lighting for an outdoor recreational use shall be extinguished no later than 10:00 p.m. or immediately after the conclusion of the final event of the day, whichever is later.

Respectfully,

*Darren Hunter*

Darren Hunter  
913-634-1245  
Centerline Solutions, Inc. on behalf of Vertical Bridge  
& Falcon School District No 49, Property Owner

## Zoning Code Standards and Criteria

### Section 5.2.19 (B) 7 - Standards for Freestanding CMRS Facilities

#### (a) Financial Assurance

Prior to commencing construction of a CMRS facility, the owner of a freestanding CMRS facility shall be required to provide the County with adequate financial assurance to cover removal of the facility if abandoned. The form of financial assurance shall be approved by the DSD Director. Vertical Bridge will provide the required financial assurance.

#### (b) Minimum Setbacks for Freestanding CMRS Facilities

##### (i) Located Within 250 Feet of Residential Zoning District

A freestanding CMRS facility located within 250 feet of any property zoned for residential use shall be set back from any residential property line one foot of distance for every foot of facility height (as measured from grade elevation), plus an additional 10 feet. The location of the tower meets these requirements. The nearest residential property line is approximately 320'.

##### (ii) Located Over 250 Feet from Residential Zoning District

A freestanding CMRS facility located greater than 250 feet from property zoned for residential use shall meet the minimum setback requirements for structures and structures of the underlying zoning district and located in a manner to contain any freefall or icefall on the same property. NA

#### (c) Maximum Height for Freestanding CMRS Facilities

A freestanding CMRS facility, including antennae, shall not exceed the maximum structure height limit in the zoning district unless otherwise specifically authorized as a part of the special use approval. In no case shall a freestanding CMRS facility exceed 120 feet in height. The proposed tower is 100' tall.

#### (d) Design Standards for Freestanding CMRS Facilities

A freestanding CMRS facility shall adhere to the following design standards to minimize impacts:

##### (i) Compatible with Surrounding Area

A freestanding CMRS facility shall be designed to be compatible with surrounding buildings and structures and existing or planned uses in the area, subject to any applicable FAA regulations. The proposed tower is replacing an existing tower of similar height with a new tower of greater structural capacity. The tower will comply with all FAA regulations.

##### (ii) Existing Vegetation

Existing land forms, vegetation and structures shall be used to screen the facility from view and blend in with the surrounding environment, to the extent practicable. Existing vegetation shall be preserved or enhanced, where feasible. There is no existing vegetation to preserve.

##### (iii) Landscaping

The facility shall be landscaped in accordance with the requirements of Chapter 6. The proposed compound is located approximately 320' from the nearest residence with a view to its location. As noted in section 6.2.2 (G) (1) (e) Landscaping is site

## Zoning Code Standards and Criteria

specific. If landscaping is required by the DSD Director please include them as a condition of approval.

(iv) **Equipment Storage Shelters**

All equipment storage shelters shall be located within the lease area for the CMRS facility. No equipment storage shelter shall exceed 15 feet in height. Equipment storage shelters shall be grouped as closely together as practical, so as to minimize impact on adjoining properties. We comply with all aspects of this section.

(v) **No Lighting**

The facility antennae shall not be lighted unless required by the FAA and authorized by the permit or approval. The tower will not be lit.

(iv) **Dangerous Equipment and Attractive Nuisance**

Any equipment that could be dangerous to persons or wildlife shall be adequately fenced. The attractive nuisance potential shall be minimized through fencing and methods to discourage unauthorized climbing. We are proposing an 7' tall wooden fence.

(v) **Dish Diameter Limited**

The diameter of a microwave dish antenna shall not exceed 4 feet. Vertical Bridge and all tower carriers shall comply with this requirement.

### Section 5.3.4 (C) - Criteria for Variance of Use

In approving a variance of use, the following criteria may be considered:

- The strict application of any of the provisions of this Code would result in peculiar and exceptional practical difficulties or undue hardship. There is no practical way to improve the structural capacity of the existing monopole to allow for the installation of T-Mobile's antennas.
- The proposed use is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the surrounding area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and County; The proposed tower is replacing an existing pole of similar height. The tower is not detrimental to the surrounding area nor the future development of the area. And it is not detrimental to the health, safety and welfare of the inhabitants of the area and County.
- The proposed use will be able to meet air, water, odor or noise standards established by County, State or federal regulations during construction and upon completion of the project; The proposed tower will comply will all the noted regulations.
- The proposed use will comply with all applicable requirements of this Code and all applicable County, State and federal regulations except those portions varied by this action; The proposed use will comply will all the noted regulations.
- The proposed use will not adversely affect wildlife or wetlands; The use will not affect any wetlands or wildlife.

## Zoning Code Standards and Criteria

- The applicant has addressed all off-site impacts; There are no off-site impacts caused by the tower.
- The site plan for the proposed variance of use will provide for adequate parking, traffic circulation, open space, fencing, screening, and landscaping; and/or The proposed use allows for parking at the access gate to the compound. There is no traffic circulation to be concerned with. There are no open space requirements to address. The site will be fenced with an 7' tall wooden fence.
- Sewer, water, storm water drainage, fire protection, police protection, and roads will be available and adequate to serve the needs of the proposed variance of use as designed and proposed. There is no sewer or water needs on site. The site drainage, fire protection and roads are adequate to serve the needs of the proposed variance.



NEW SITE  
BUILD

T-MOBILE SITE NAME: FALCON MIDDLE SCHOOL  
 VERTICAL BRIDGE SITE NAME: FALCON MIDDLE SCHOOL  
 T-MOBILE SITE NUMBER: DN04672B  
 VERTICAL BRIDGE SITE NUMBER: US-CO-5054  
 SITE ADDRESS: 9675 TOWNER AVENUE  
 PEYTON, CO 80831  
 SITE TYPE: LIGHTPOLE

**T-Mobile**  
 1234 Denver Ave.  
 Suite 100-1001

**INFINIGY**  
 FROM ERC TO INFINIGY  
 The Infinito by address  
 10000 E. Harvard Ave.  
 Suite 100-1001  
 Denver, CO 80231

**verticalbridge**  
 1234 Denver Ave.  
 Suite 100-1001  
 Denver, CO 80231

**PROFESSIONAL ENGINEER**  
 CHRISTOPHER L. WARRIOR  
 47849  
 COLORADO LICENSED PROFESSIONAL ENGINEER

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NO.	DATE	BY	DESCRIPTION
1	08/11/14	AW	ISSUED FOR PERMIT
2	08/11/14	AW	ISSUED FOR PERMIT
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FALCON MIDDLE SCHOOL  
 9675 TOWNER AVENUE  
 PEYTON, CO 80831

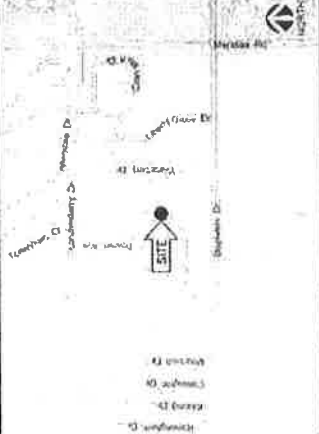
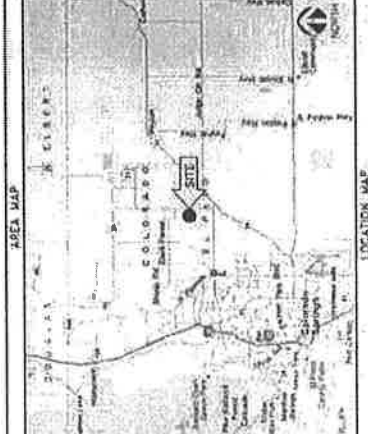
TITLE SHEET &  
 PROJECT DATA  
 T-1

SHEET NOS.	DRAWING INDEX	SHEET TITLE	REV
T-1		TITLE SHEET & PROJECT DATA	3
EM-1		T-MOBILE SPECIFICATIONS	3
LS-1		LAND SURVEY	4
LS-2		LAND SURVEY	4
LS-3		LAND SURVEY	4
LS-4		LAND SURVEY	4
EM-1		EMERGENCY SIGNAL SITE PLAN	2
EM-2		EMERGENCY SIGNAL SITE PLAN	2
EM-3		EMERGENCY SIGNAL SITE PLAN	2
EM-4		EMERGENCY SIGNAL SITE PLAN	2
EM-5		EMERGENCY SIGNAL SITE PLAN	2
EM-6		EMERGENCY SIGNAL SITE PLAN	2
EM-7		EMERGENCY SIGNAL SITE PLAN	2
EM-8		EMERGENCY SIGNAL SITE PLAN	2
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EM-26		EMERGENCY SIGNAL SITE PLAN	2
EM-27		EMERGENCY SIGNAL SITE PLAN	2
EM-28		EMERGENCY SIGNAL SITE PLAN	2
EM-29		EMERGENCY SIGNAL SITE PLAN	2
EM-30		EMERGENCY SIGNAL SITE PLAN	2

**PROJECT DESCRIPTION**  
 THESE PLANS HAVE BEEN DEVELOPED FOR THE INSTALLATION OF AN UNMANNED TELECOMMUNICATION & PUBLIC UTILITY FACILITY, CONSISTING OF NEW TOWER, ANTENNA, AND CABLES, WITHIN AN EXISTING COMPOUND (NO WATER OR SEWER IS REQUIRED), IN ACCORDANCE WITH THE SCOPE OF WORK PROVIDED BY VERTICAL BRIDGE & T-MOBILE. ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2014 NATIONAL ELECTRICAL CODE (NEC) AND ALL OTHER APPLICABLE CODES. STRUCTURAL ANALYSIS PREPARED BY REGISTERED STRUCTURAL ENGINEER. STRUCTURAL ANALYSIS MUST INCLUDE SEISMIC, WIND, AND DEAD LOADS.

T-MOBILE PROPOSES TO INSTALL THE FOLLOWING:  
 • INSTALL (1) NEW ANTENNA MOUNT, (2) NEW COAX, (3) NEW WIRE, (4) NEW T-MOBILE HYBRID CABLES  
 • INSTALL (2) NEW 10-POLE HYBRID CABLES  
 • INSTALL (1) NEW 10-POLE SITE SUPPORT CABLE (1) NEW STACKED SLEEVES (2) NEW COAX ON NEW 10-POLE STEEL EQUIPMENT PLATFORM WITHIN 20'x20' EASE AREA  
 • INSTALL (1) NEW GPS UNIT WITH (1) NEW 1/2" COAX CABLE  
 • INSTALL (2) NEW UNDERGROUND CONDUITS  
 • INSTALL (1) NEW DOORHOUSE

**APPLICABLE CODES**  
 ALL WORK SHALL BE PERFORMED AND MATERIALS INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AND ALL APPLICABLE LOCAL ORDINANCES. ALL WORK SHALL BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THESE CODES.  
 1. INTERNATIONAL BUILDING CODE (IBC)  
 2. TIA-222-G OR LATEST EDITION  
 3. 2014 NATIONAL ELECTRICAL CODE (NEC)  
 4. ANY OTHER NATIONAL, STATE, OR LOCAL APPLICABLE CODES  
 5. CC BUILDING CODE  
 6. LOCAL BUILDING CODE  
 7. CITY/COUNTY ORDINANCES



**SITE INFORMATION**  
 APPLICABLE: T-MOBILE  
 2302 DELAWARE STREET  
 DENVER, CO 80218  
 CONTACT: 2500 W. 86TH AVENUE  
 (303) 313-8336  
 TOWER OWNER: VERTICAL BRIDGE  
 2500 W. 86TH AVENUE DRIVE, SITE 200  
 DENVER, CO 80231  
 VERTICAL BRIDGE, INC.  
 (781) 483-1846  
 LATTITUDE (NAD83): 38° 58' 21.9286" N  
 LONGITUDE (NAD83): 104° 51' 14.1717" W  
 COUNTY: EL PASO

**ISSUING JURISDICTIONS**  
 EL PASO COUNTY  
 EDWARDS COMPANY, INC.  
 TBO

**TELECO. PROVIDER:**  
 TBO

**T-MOBILE.COM**  
 9675 TOWNER AVENUE  
 PEYTON, CO 80831







**TOPOGRAPHIC SURVEY**  
**VERTICAL BRIDGE SITE NO. US-CO-5054**  
**SITUATED IN THE SOUTHWEST QUARTER OF SECTION 25,**  
**TOWNSHIP 12 SOUTH, RANGE 65 WEST OF THE 6TH P.M.**  
**COUNTY OF EL PASO, STATE OF COLORADO**

**COMPARISON OF RECORDS:**  
 A comparison of the records of the Survey of the Southwest Quarter of Section 25, Township 12 South, Range 65 West of the 6th P.M., County of El Paso, State of Colorado, with the records of the Survey of the Southwest Quarter of Section 25, Township 12 South, Range 65 West of the 6th P.M., County of El Paso, State of Colorado, made on the 15th day of August, 1925, shows that the records of the Survey of the Southwest Quarter of Section 25, Township 12 South, Range 65 West of the 6th P.M., County of El Paso, State of Colorado, are correct and conform to the records of the Survey of the Southwest Quarter of Section 25, Township 12 South, Range 65 West of the 6th P.M., County of El Paso, State of Colorado.

**DESCRIPTION OF THE SURVEY:**  
 The Survey of the Southwest Quarter of Section 25, Township 12 South, Range 65 West of the 6th P.M., County of El Paso, State of Colorado, was made on the 15th day of August, 1925, and shows that the records of the Survey of the Southwest Quarter of Section 25, Township 12 South, Range 65 West of the 6th P.M., County of El Paso, State of Colorado, are correct and conform to the records of the Survey of the Southwest Quarter of Section 25, Township 12 South, Range 65 West of the 6th P.M., County of El Paso, State of Colorado.

**CONCLUSIONS:**  
 The Survey of the Southwest Quarter of Section 25, Township 12 South, Range 65 West of the 6th P.M., County of El Paso, State of Colorado, is correct and conforms to the records of the Survey of the Southwest Quarter of Section 25, Township 12 South, Range 65 West of the 6th P.M., County of El Paso, State of Colorado.

**REMARKS:**  
 The Survey of the Southwest Quarter of Section 25, Township 12 South, Range 65 West of the 6th P.M., County of El Paso, State of Colorado, was made on the 15th day of August, 1925, and shows that the records of the Survey of the Southwest Quarter of Section 25, Township 12 South, Range 65 West of the 6th P.M., County of El Paso, State of Colorado, are correct and conform to the records of the Survey of the Southwest Quarter of Section 25, Township 12 South, Range 65 West of the 6th P.M., County of El Paso, State of Colorado.

**ADDITIONAL NOTES:**  
 The Survey of the Southwest Quarter of Section 25, Township 12 South, Range 65 West of the 6th P.M., County of El Paso, State of Colorado, was made on the 15th day of August, 1925, and shows that the records of the Survey of the Southwest Quarter of Section 25, Township 12 South, Range 65 West of the 6th P.M., County of El Paso, State of Colorado, are correct and conform to the records of the Survey of the Southwest Quarter of Section 25, Township 12 South, Range 65 West of the 6th P.M., County of El Paso, State of Colorado.

**ADDITIONAL NOTES:**  
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**ADDITIONAL NOTES:**  
 The Survey of the Southwest Quarter of Section 25, Township 12 South, Range 65 West of the 6th P.M., County of El Paso, State of Colorado, was made on the 15th day of August, 1925, and shows that the records of the Survey of the Southwest Quarter of Section 25, Township 12 South, Range 65 West of the 6th P.M., County of El Paso, State of Colorado, are correct and conform to the records of the Survey of the Southwest Quarter of Section 25, Township 12 South, Range 65 West of the 6th P.M., County of El Paso, State of Colorado.



**LAND SURVEY**  
 Sheet Number  
**LS1**

Item	DESC	Discipline	By
1	DS/VE	Survey	AM
2	RT/18	Electronics	JW
3	10/17	AN/LAM	MC
4	10/25/17	Admin Change	TD

**PROJECT INFORMATION:**  
 SITE NAME: FALCON MIDDLE SCHOOL  
 SITE ADDRESS: 9675 TOWNER AVENUE  
 PEYTON, COLORADO 80831  
 VERTICAL BRIDGE SITE NUMBER: US-CO-5054

CREATED BY: CWB/PT  
 DATE: 10/25/17

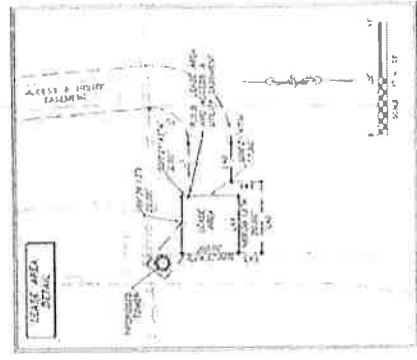
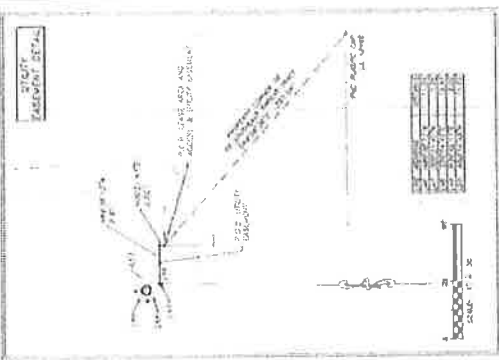
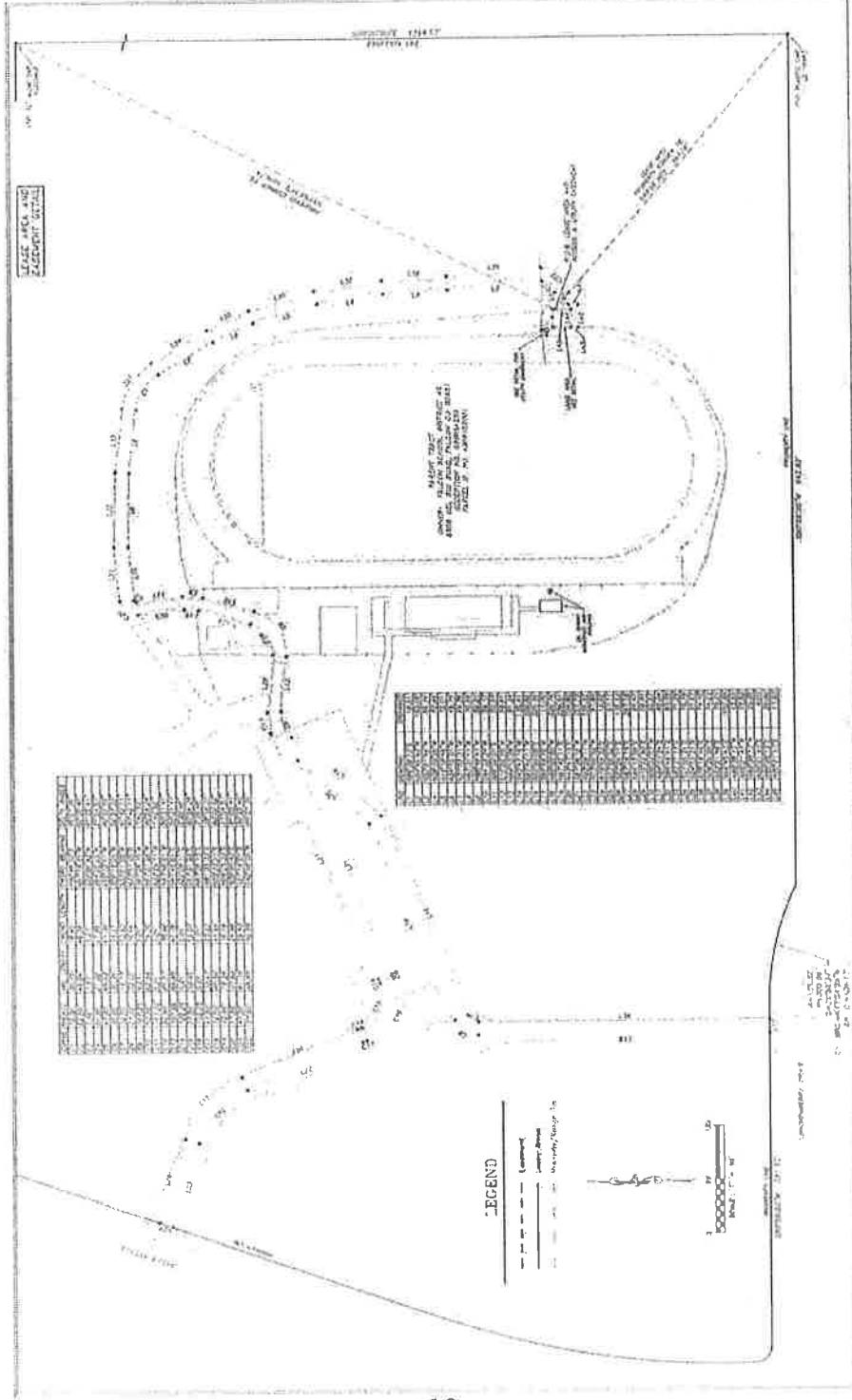
**vertical bridge**

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 1001 218119  
 WINDSOR, CO 80550  
 303.426.4224

**DAVEY LAND SURVEYING**  
 1001 218119  
 WINDSOR, CO 80550



TOPOGRAPHIC SURVEY  
 VERTICAL BRIDGE SITE NO. US-CO-5054  
 SITUATED IN THE SOUTHWEST QUARTER OF SECTION 25,  
 TOWNSHIP 12 SOUTH, RANGE 65 WEST OF THE 6TH P.M.  
 COUNTY OF EL PASO, STATE OF COLORADO



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 FORT WORTH, TEXAS 76114  
 (817) 341-1174  
 WWW.VERTBRIDGE.COM

**INFINIGY8**

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 FORT WORTH, TEXAS 76114  
 (817) 341-1174  
 WWW.INFINIGY.COM

---

**PROJECT INFORMATION:**

Item	Date	Description	By
1	08/18	Survey	JW
2	01/17/18	Examination/Update	JW
3	12/21/17	As-Built	JW
4	12/26/17	Address Change	JW

**PROJECT INFORMATION:**

SITE NAME: FALCON MIDDLE SCHOOL  
 SITE ADDRESS: 9875 TOWNER AVENUE  
 PEYTON, COLORADO 80601  
 VERTICAL BRIDGE SITE NUMBER: US-CO-5054

Scale: 1" = 40'

**LAND SURVEY**

Scale: 1" = 40'

**LS3**

AV RD RD RD









**T-Mobile**  
 222 Delaware Drive  
 Denver, CO 80219

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 1251 Federal Blvd, Suite 301  
 Denver, CO 80202  
 Phone: 303.733.1133  
 Fax: 303.733.4835

**vertical bridge**  
 750 First & Commercial Drive  
 Suite 100  
 Denver, CO 80202  
 Phone: 303.733.1133



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REVISION	DESCRIPTION	DATE	BY

VERTICAL BRIDGE SITE NAME  
**FALCON MIDDLE SCHOOL**

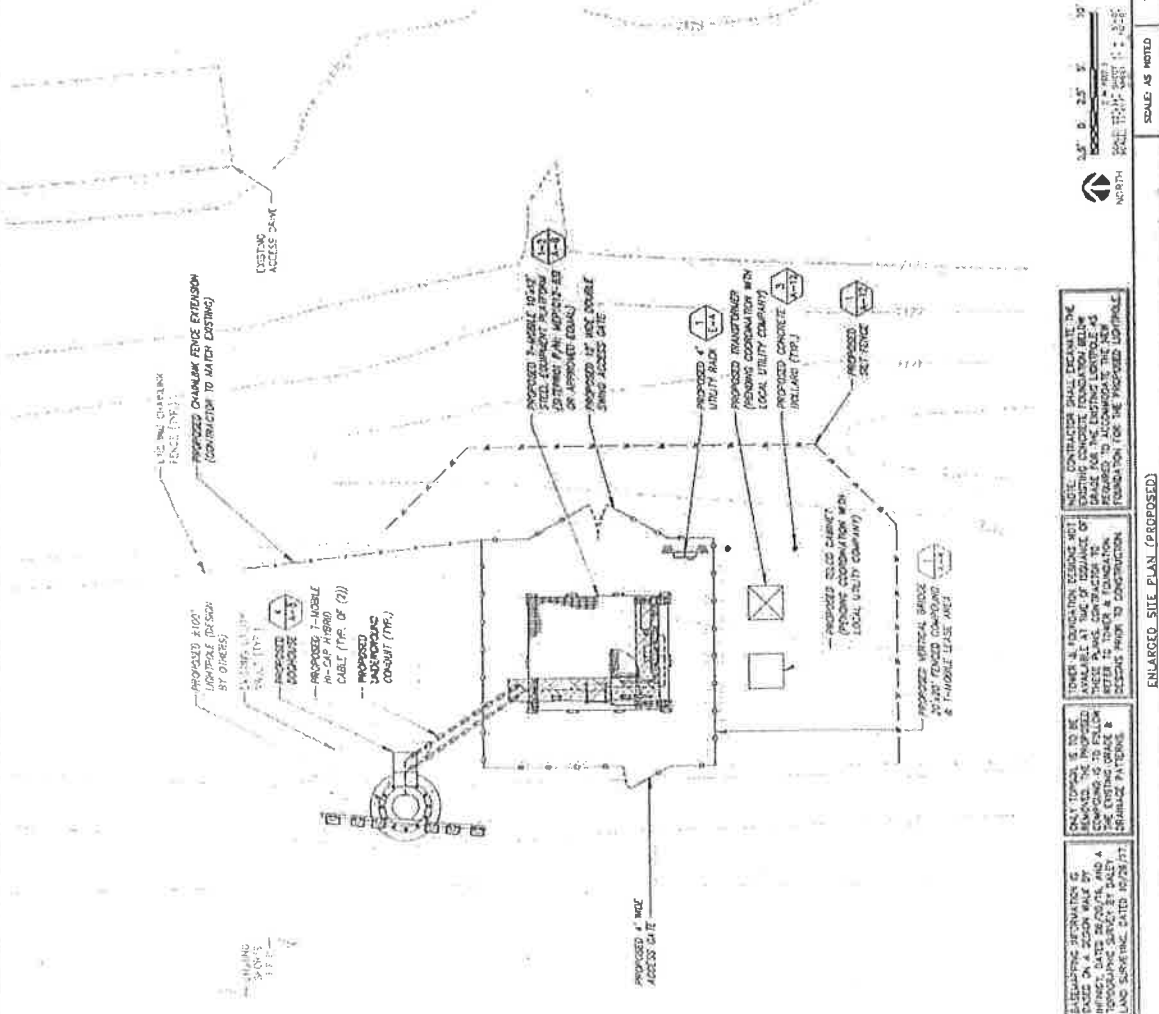
PROJECT NUMBER  
**DN246729**

PROJECT LOCATION  
**US-CO-5054**

SITE OWNER  
**9672 TOW-NEER AVENUE  
 PEYTON, CO 80821**

PROJECT DESCRIPTION  
**ENLARGED SITE  
 PLAN (PROPOSED)**

SHEET NUMBER  
**A-4**



SCALE AS NOTED  
 1  
 2  
 NO SCALE

NOTE: CONTRACTOR SHALL EXAMINE THE EXISTING CONDUIT FOUNDATION BELOW THESE PLANS. CONTRACTOR TO VERIFY THE LOCATION OF EXISTING CONDUIT FOUNDATION FOR THE PROPOSED UTILITIES.

THESE UTILITIES ARE TO BE INSTALLED AT THE LOCATION OF THESE PLANS. CONTRACTOR TO VERIFY THE LOCATION OF EXISTING CONDUIT FOUNDATION FOR THE PROPOSED UTILITIES.

THESE UTILITIES ARE TO BE INSTALLED AT THE LOCATION OF THESE PLANS. CONTRACTOR TO VERIFY THE LOCATION OF EXISTING CONDUIT FOUNDATION FOR THE PROPOSED UTILITIES.

ENLARGED SITE PLAN (PROPOSED)



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 Denver, CO 80231

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 Denver, CO 80211  
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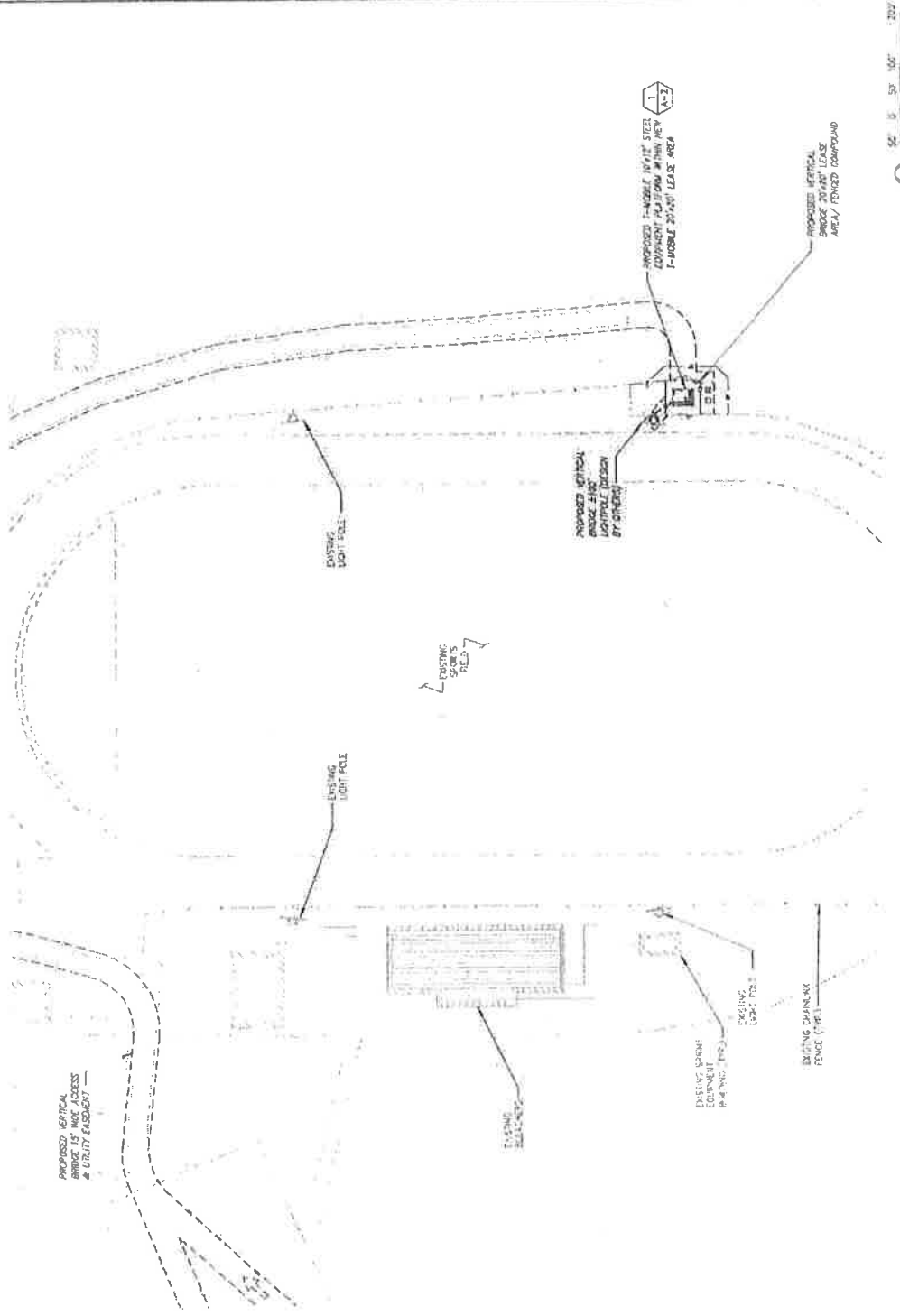
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**FALCON MIDDLE SCHOOL**  
 9675 TOWNIER AVENUE  
 PEYTON, CO 80831

**STAKING PLAN**  
 SHEET NUMBER  
**A-5**

INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE AND IS NOT TO BE RELEASED TO THE PUBLIC WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

PROPOSED VERTICAL BRIDGE 15' WIDE ACCESS & UTILITY EASEMENT  
 PROPOSED VERTICAL BRIDGE 20' WIDE LEASE AREA, FENCED COMPOUND  
 PROPOSED VERTICAL BRIDGE 15' WIDE EASEMENT, FENCED 20' WIDE LEASE AREA



SCALE: AS NOTED  
 1" = 50'

OVERALL SITE PLAN (PROPOSED)

**T-Mobile**  
 3233 University Blvd  
 Denver, CO 80202

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 10000 E. Harvard Ave.  
 Suite 1000  
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 Fax: 303.751.1120

**verticalbridge**  
 3300 W. 1st Avenue, Suite 100  
 Denver, CO 80202  
 Phone: 303.733.1000  
 Fax: 303.733.1002



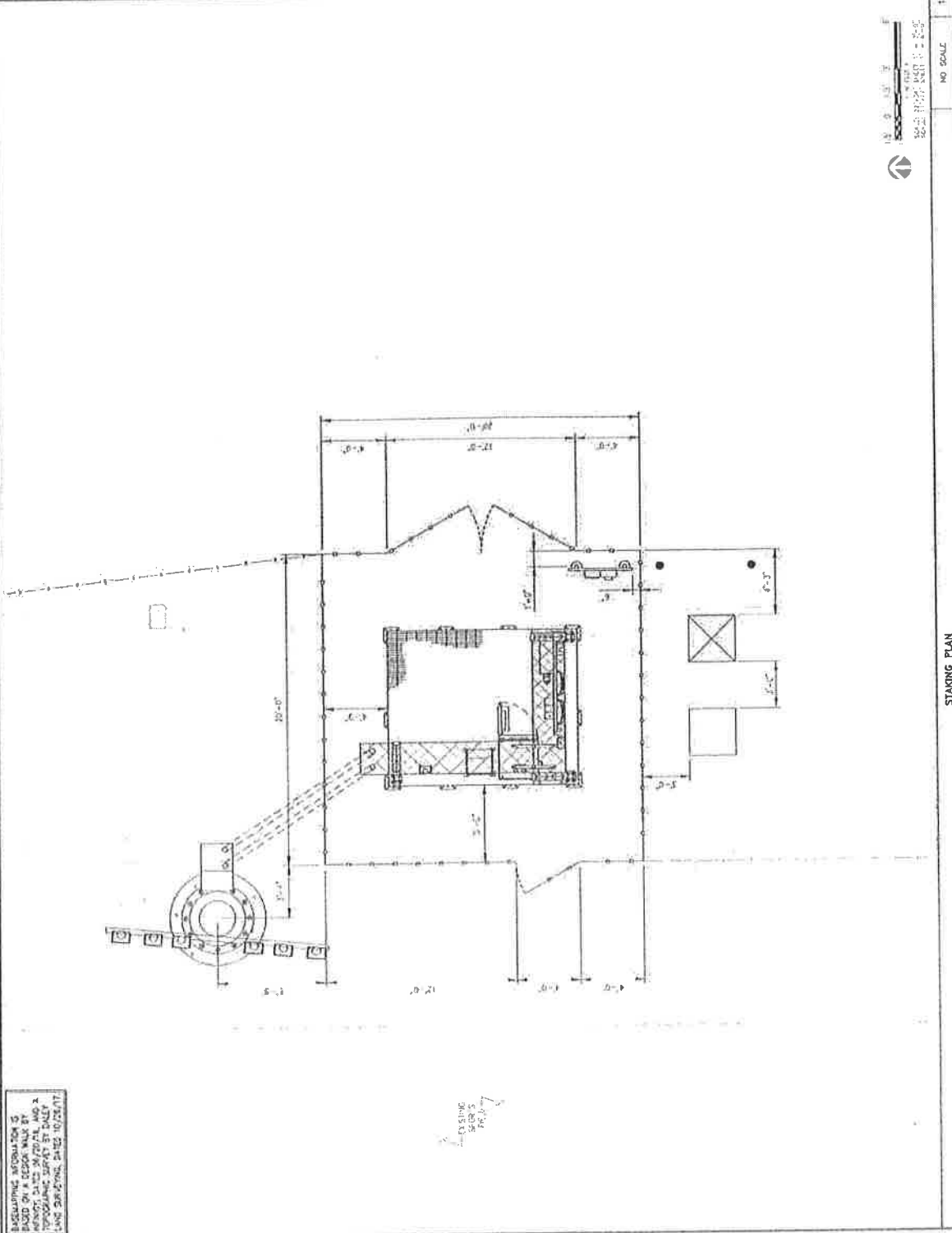
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REVISION	DESCRIPTION	DATE	BY	CHK

REGIONAL BRIDGE DIVISION  
**FALCON MIDDLE SCHOOL**  
 PROJECT NO. 10-0000000-0000-0000

DND046729  
 UIC-CO-5054  
 9675 TOWNER AVENUE  
 PEYTON, CO 80831

ENLARGED STAKING PLAN  
 SHEET NUMBER: **A-4**

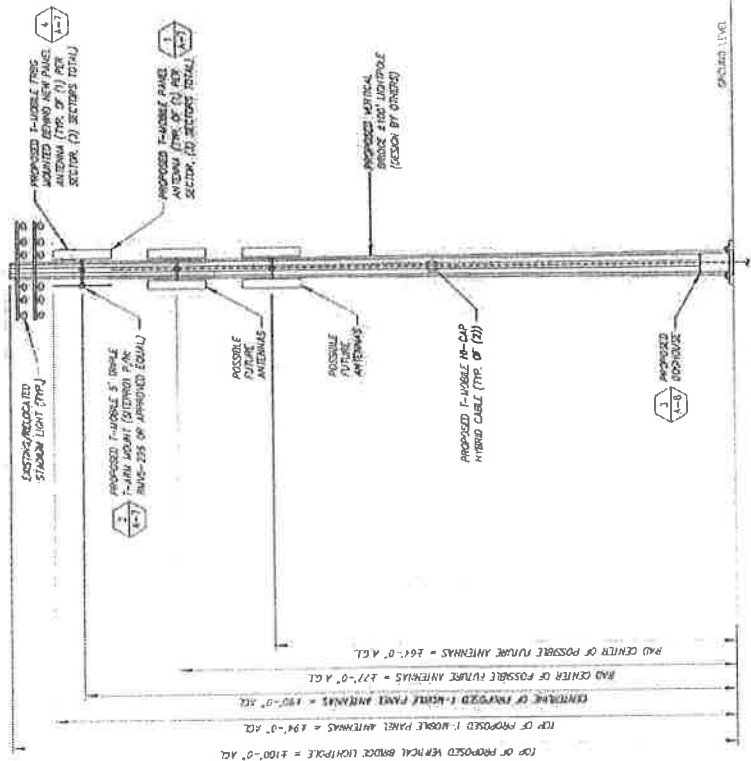


ALL DIMENSIONS ARE BASED ON THE 2008 SURVEY DATA AND THE 2008 TOPOGRAPHIC MAP BY DAVID L. HANSEN, P.E., DATED 08/20/08. ANY CHANGES TO THESE DIMENSIONS SHALL BE INDICATED BY A RED LINE OR DIMENSION.

EXISTING  
 SEWER  
 10-0-0

UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.

TOP OF FOUNDATION SECTIONS NOT AVAILABLE AT TIME OF ISSUANCE OF THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.



PROPOSED TOWER ELEVATION

NO SCALE

1

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NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMITTING	11/11/11	WJ
2	ISSUED FOR CONSTRUCTION	11/11/11	WJ
3	ISSUED FOR CONSTRUCTION	11/11/11	WJ
4	ISSUED FOR CONSTRUCTION	11/11/11	WJ

FALCON MIDDLE SCHOOL

DN: 74472B

US-CO-0054

9675 TOMMYER AVENUE  
PETERSON, CO 80831

PROPOSED TOWER  
ELEVATION

A-7

**T-Mobile**  
 2022 Denver, CO 80218

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 780 Colorado Blvd #200  
 Westminster, CO 80039  
 Phone: (303) 426-2211  
 Fax: (303) 426-2214

**verticalbridge**  
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 Westminster, CO 80039  
 Phone: (303) 426-2211  
 Fax: (303) 426-2214



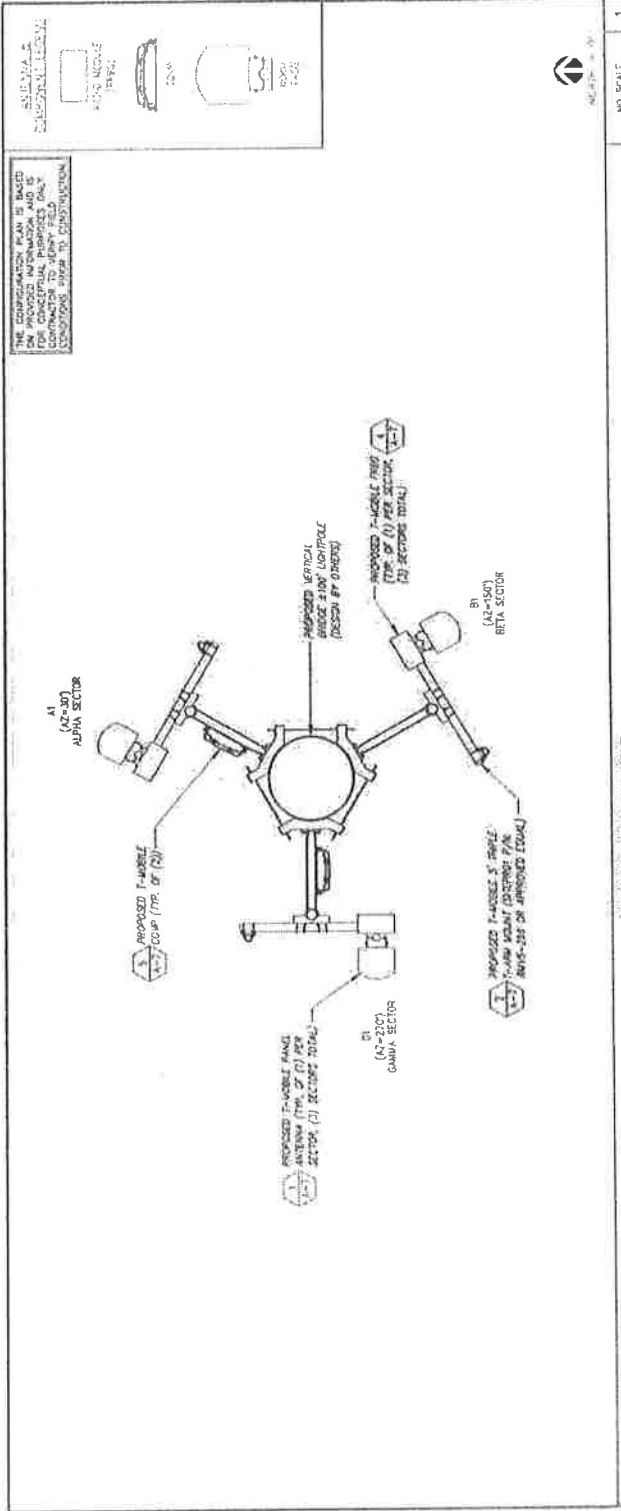
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PROJECT NAME	DATE	BY	REV.
FALCON MIDDLE SCHOOL	08/14/2018	CS	1
MOBILE #			
D50346739			
ARTIST/ENGINEER			
US-CO-3054			

9635 TOWNER AVENUE  
 FAYTON, CO 80831

**ANTENNA LAYOUT & LOADING CHART**

**A-8**



**PROPOSED ANTENNA LAYOUT**

NO SCALE

SECTOR	ANTENNA MODEL #	SECTOR	HEIGHT (FEET)	TYPE (CYCLES)	AZIMUTH (DEGREES)	SECTOR	HEIGHT (FEET)	TYPE (CYCLES)
ALPHA	PROPOSED MOBILE BAND ANTENNA (TP, OF (1) PER SECTOR (3) SECTORS TOTAL)	ALPHA	307	1	307	ALPHA	307	1
BETA	PROPOSED MOBILE BAND ANTENNA (TP, OF (1) PER SECTOR (3) SECTORS TOTAL)	BETA	1507	1	1507	BETA	1507	1
GAMMA	PROPOSED MOBILE BAND ANTENNA (TP, OF (1) PER SECTOR (3) SECTORS TOTAL)	GAMMA	2307	1	2307	GAMMA	2307	1
DELTA	PROPOSED MOBILE BAND ANTENNA (TP, OF (1) PER SECTOR (3) SECTORS TOTAL)	DELTA	307	1	307	DELTA	307	1

NOTE: CABLE LENGTHS ARE BASED ON PROVIDED INFORMATION. CONFIRMATION TO VERIFY REQUIRED CABLE LENGTHS PRIOR TO CONSTRUCTION.

**PROPOSED ANTENNA LAYOUT**

NO SCALE













**FF-Mobile**  
1323 New 84th Drive  
Golden, CO 80215

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Denver, CO 80231  
Phone: 303-555-2000



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PROJECT NUMBER	DATE	BY
1323 NEW 84TH DRIVE	10/15/15	RJW
CLIENT	PROJECT	LOCATION
FF-Mobile	Vertical Bridge	Golden, CO

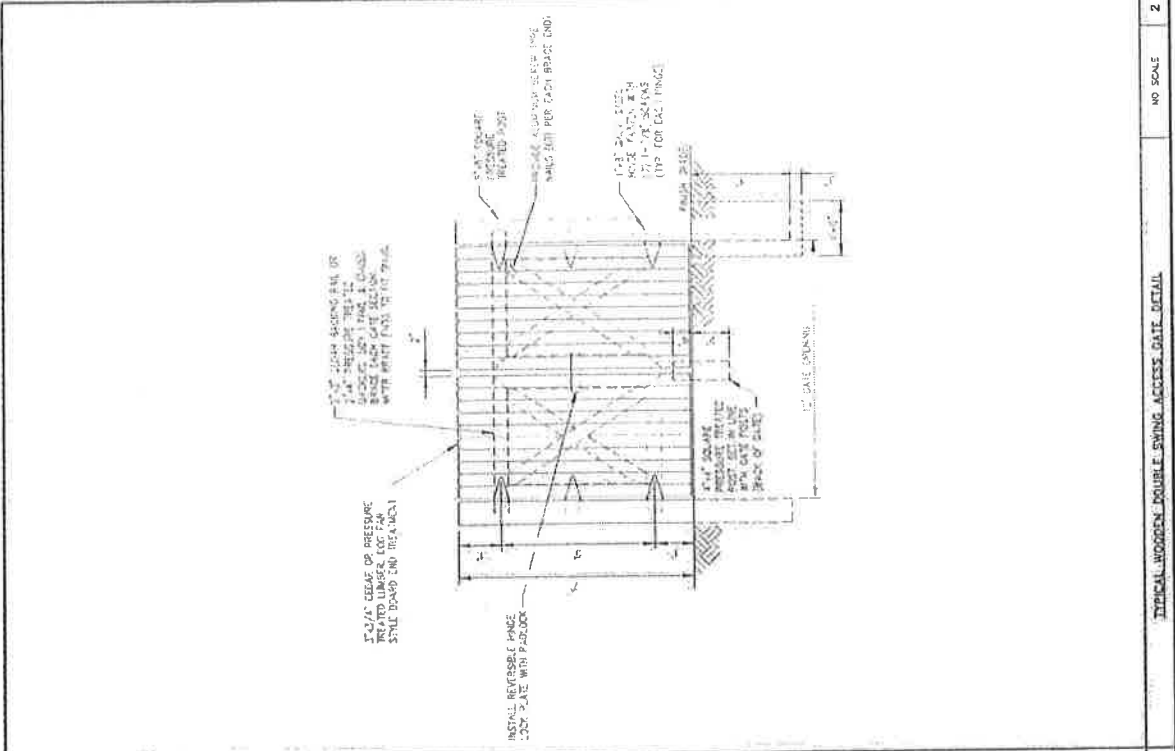
**FALCON MIDDLE SCHOOL**  
1323 NEW 84TH DRIVE  
GOLDEN, CO 80215

DN-14-72R

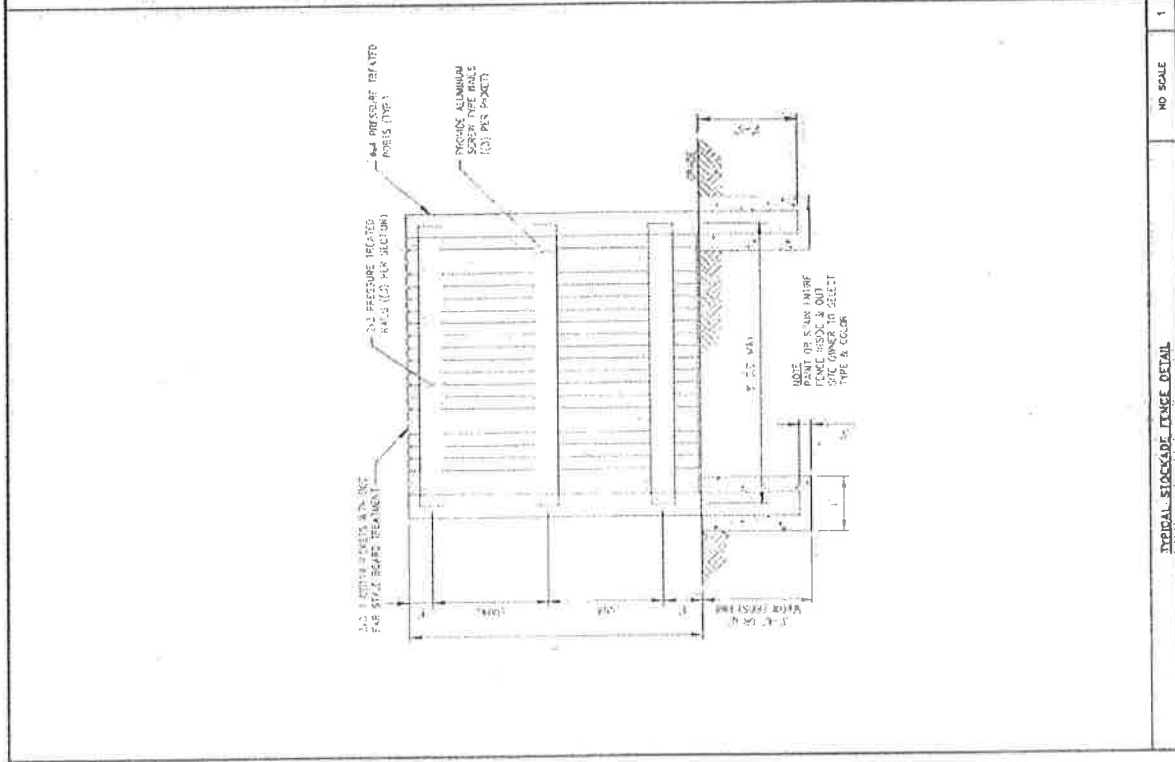
US-CO-5084

9675 TOWNER AVENUE  
PEYTON, CO 80831

FENCE DETAILS  
SHEET NUMBER  
**A-14**



TYPICAL WOODEN DOUBLE SWING ACCESS GATE DETAIL  
NO SCALE 2



TYPICAL BLOCK OF FENCE DETAIL  
NO SCALE 1

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REVISION	DESCRIPTION	DATE	BY

**FALCON MIDDLE SCHOOL**  
 9675 TOWER AVENUE  
 PEYTON, CO 80831

**CIVIL DETAILS**

**A-15**

**SILT FENCE DETAIL**

**NO SCALE**

**1**

**NOTES:**

- POSTS: STEEL BARS 1 OR 2 TYPE
- FENCE: WOVEN WIRE 14 GA. 6" X 6" MESH OPENING
- FILTER CLOTH: FILTER X, WEAIR 100% STABILIZED THIN OR APPROVED EQUIV.
- PRE-FABRICATED UNIT, CLOPP 49 EQUIV. OR APPROVED EQUIV.

**NOTE:**

- ALL SILT FENCE MATERIALS MUST BE LISTED ON THE CURRENT STATES "DOT" QUALIFIED PRODUCTS LIST.
- SEE DRAWING FOR LOCATION OF FENCE.
- INSTALL FENCE, INCLUDING FABRIC.

**ROLLBAR DETAIL**

**NO SCALE**

**3**

**ROCK CONSTRUCTION ENTRANCE DETAIL**

**NO SCALE**

**2**

**NOTES:**

- ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK AS CONSTRUCTION PROGRESSES.
- THE END OF EACH CONSTRUCTION DAY, ALL EXCESS ROCK DISPOSED ON MAJOR HIGHWAYS SHALL BE RETURNED AND RETURNED TO THE CONSTRUCTION SITE.







**T-Mobile**  
 13300 E. Harvard Ave.  
 Denver, CO 80231

PLANS PREPARED BY  
**INFINIGY**  
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 AND CONSTRUCTION  
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 DENVER, CO 80202  
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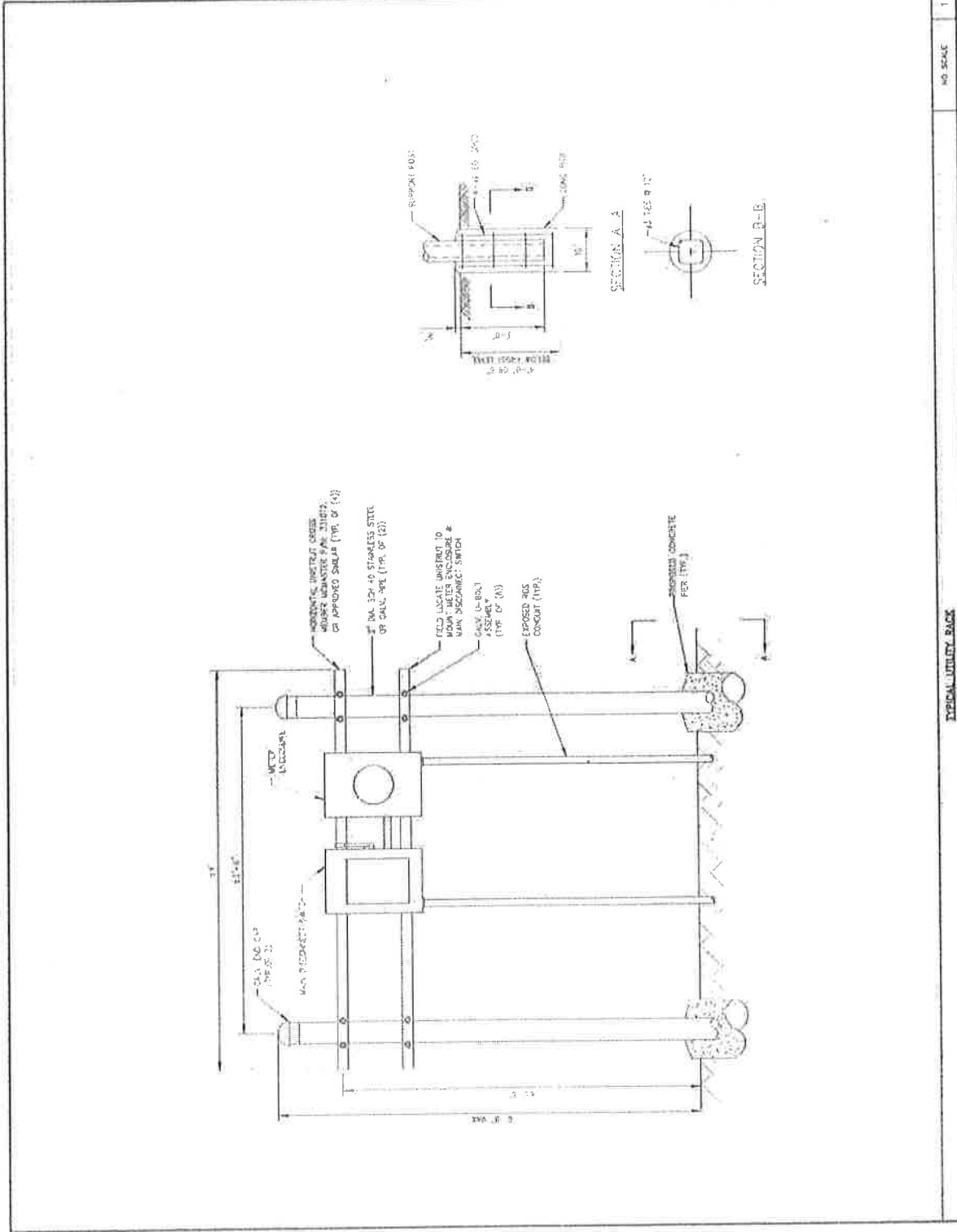
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NO.	DESCRIPTION	DATE	BY	CHK.
1	ISSUED FOR CONSTRUCTION	10/11/11	JL	JL
2	ISSUED FOR PERMITS	10/11/11	JL	JL
3	ISSUED FOR RECORD	10/11/11	JL	JL

PROJECT: **FALCON MIDDLE SCHOOL**  
 SHEET NO.: **DN04077B**

PROJECT ADDRESS:  
**9676 TOWNNER AVENUE  
 PEYTON, CO 80831**

**UTILITY RACK DETAIL**  
 SHEET NUMBER: **E-4**



NO. SCALE: **1**













18400 East 22<sup>nd</sup> Avenue  
Aurora, CO 80011

## T-Mobile Site DN04672B RF Justification

T-Mobile is requesting to install wireless telecommunication equipment on a light pole located at 9755 Towner Ave. in Peyton, CO 80831. T-Mobile is proposing tower height of 100' AGL (90' antenna height) in order to provide coverage in the residential and public areas noted below & to have continuous coverage between existing sites.

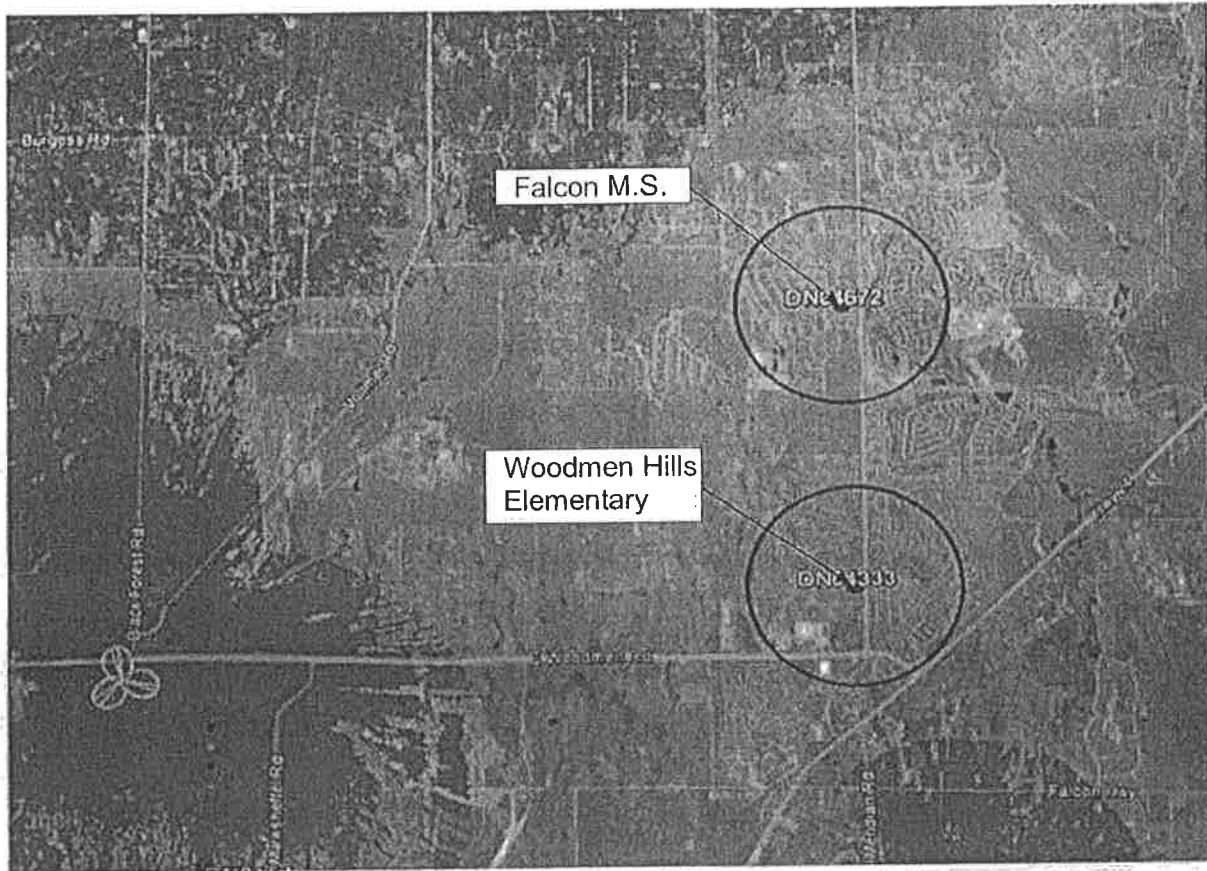
### Residential areas:

- Meridian Rd (from Londonderry Dr. to Woodmen Hills Dr.)
- Stapleton Dr. (from Meridian Ranch Blvd to Raygor Rd)
- Londonderry Dr. (West)
- Towner Ave (from Woodmen Hills Dr. to Londonderry Dr.)
- South Rex Rd (from Squawbush Loop to Meridian Rd)

### Official and Public buildings:

- Falcon Middle School
- Antler Creek Golf Course

TMO coverage without DN04672B (Falcon MS) and DN04333A (Woodmen Hills ES)



Currently, T-Mobile does not have existing coverage within 5 miles of the proposed location.

TMO proposed coverage with DN04672B (Falcon MS) and DN04333A (Woodmen Hills ES)



The coverage prediction map above demonstrates the need for this height. Currently, T-Mobile does not have existing coverage within 5 miles of the proposed location. T-Mobile's intent is to have continuous coverage from Woodmen Hills E.S. to Falcon M.S.

The colored pink shade shows "In-Building Residential" quality coverage from a potential site located at Woodmen Hills Elementary School.

The green colored shade shows additional "In-Building Residential" quality coverage with antennas at 90' and the yellow shade coverage at the same location with antennas at 78'

## TMO proposed coverage with DN04672B (Falcon MS) and DN04333A (Woodmen Hills ES) Zoomed



There is improvement in coverage and service quality around the proposed site and in all areas listed above. We have continuous coverage between future sites.

Because this is a dense residential community the number of homes benefiting from quality coverage is reduced significantly with height limitations. Additional height would be required to completely fill in these gaps, but T-Mobile engineers believe the 100' tower request will be a good compromise, allowing for better indoor coverage for our customers.

Reducing the height to 78' will have a significant impact in the new coverage foot print. There will be no continuity in the coverage along Meridian Dr. and between our 2 new sites, residential areas as follow will remain without coverage:

- 1 mile along Meridian Rd
- ½ mile along Towner Ave
- 1 mile along Stapleton Dr.
- Squawbush Loop and Indian Pain Trial
- Litchfield St, Cranston Dr., Beryl Dr., Moorcroft Dr.

Commissioner Gioia moved that the following Resolution be adopted:

**BEFORE THE PLANNING COMMISSION  
OF THE COUNTY OF EL PASO  
STATE OF COLORADO  
RESOLUTION NO. VA-17-006**

WHEREAS, Falcon School District No. 49 did file an application with the Planning and Community Development Department of El Paso County for approval of a variance of use within the RR-5 (Residential Rural) zoning district to permit a 100 foot tall freestanding commercial mobile radio service facility (CMRS) where such use is not permitted; and

WHEREAS, a public hearing was held by this Commission on December 5, 2017; and

WHEREAS, based on the evidence, testimony, exhibits, presentation and comments of the El Paso County Planning and Community Development Department and other County representatives, comments of public officials and agencies, comments from all interested persons, comments by the general public, and comments by the Planning Commission Members during the hearing, this Commission finds as follows:

1. That the application was properly submitted for consideration by the Planning Commission.
2. That proper posting, publication and public notice were provided as required by law for the hearing before the Planning Commission.
3. That the hearing before the Planning Commission was extensive and complete, that all pertinent facts, matters and issues were submitted and that all interested persons and the general public were heard at that hearing.
4. That all exhibits were received into evidence.
5. That the proposed land use does not permit the use of any area containing a commercial mineral deposit in a manner which would interfere with the present or future extraction of such deposit by an extractor.
6. That the proposed variance of use conforms to Chapter 5, Use and Dimensional Standards, Section 5.3.4, Variance of Use, of the El Paso County Zoning Resolutions.



7. That for the above-stated and other reasons, the proposed variance of use is in the best interest of the health, safety, morals, convenience, order, prosperity and welfare of the citizens of El Paso County, and

WHEREAS, pursuant to Section 5.3.4 of the El Paso County Land Development Code, as amended, in approving this variance of use, the Planning Commission considered one or more of the following criteria:

1. The strict application of any of the provisions of the Land Development Code would result in peculiar and exceptional practical difficulties or undue hardship on either the owner or the contract purchaser of the property;
2. The proposed use is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the surrounding area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County;
3. The proposed use will be able to meet air, water, odor or noise standards established by County, State or Federal regulations during construction and upon completion of the project;
4. The proposed use will comply with all applicable requirements of the Land Development Code and all applicable County, State and Federal regulations except those portions varied by this action;
5. The proposed use will not adversely affect wildlife or wetlands;
6. The applicant has addressed all off-site impacts;
7. The site plan for the proposed variance of use will provide for adequate parking, traffic circulation, open space, fencing, screening, and landscaping; and/or
8. Sewer, water, storm water drainage, fire protection, police protection, and roads will be available and adequate to serve the needs of the proposed variance of use as designed and proposed.

NOW, THEREFORE, BE IT RESOLVED that the application of Falcon School District No. 49 for a variance of use within the RR-5 (Residential Rural) zoning district to permit a 100 foot tall freestanding commercial mobile radio service facility (CMRS) where such is not a permitted use for the following described unincorporated area of El Paso County be approved:

The following Real Property situate in the County of El Paso and State of Colorado, to-wit:

That portion of the Southwest Quarter of Section 25, in Township 12 South, Range 65 West of the 6<sup>th</sup> P.M.; Beginning at a point in said Southwest Quarter which point lies North 78°05'25" West, said bearing and all others in this description are on the Colorado Coordinate System - Central Zone, a distance of 2,785.22 feet from the Southeast corner of Section 25; thence South 90° West, a distance of 1,563.72 feet; thence North 19°55'32" East, a distance of

1,398.28 feet; thence North 90° East, a distance of 1,087.19 feet; thence South 00° East, a distance of 1,314.57 feet to the point of beginning and containing 40.0 acres more or less.

LESS AND EXCEPT that portion of property conveyed to El Paso County, an Colorado organized County from El Paso School District No. 49, F/K/A Consolidated School District No. 49 by Correction Deed dated July 11, 2003 and recorded July 14, 2003 in Instrument No. 203160367.

AND BEING a portion of the same property conveyed to Consolidated School District No. 49 from Latigo Ranch, a limited partnership by Warranty Deed dated February 06, 1975 and recorded February 11, 1975 in Deed Book 2732, Page 860.

AND BE IT FURTHER RESOLVED that the Planning Commission recommends the following condition(s) and notation(s) shall be placed upon this recommendation:

#### **CONDITIONS**

1. Approval is limited to the one (1) freestanding CMRS facility 100 feet in height as discussed and depicted in the applicant's letter of intent and site plan drawings.
2. The freestanding CMRS facility shall remain designed to allow for co-location of other antennae.
3. Any subsequent co-location or additional antenna on the Freestanding CMRS Facility other than that shown on the site plan shall be subject to administrative review, and if it is the opinion of the Planning and Community Development Director it constitutes a substantial increase in the size of the Freestanding CMRS Facility, it shall be subject to review and approval by the Board of County Commissioners. The Variance of Use approval for the tower also includes giving the Planning and Community Development Director the authority to administratively approve minor modifications and a non-substantial increase in the size of the tower as provided by the Nationwide Collocation Agreement, as amended.
4. Prior to authorization of a building permit, a guarantee of financial surety shall be provided to El Paso County for the removal of the tower in the event of abandonment.
5. The freestanding CMRS facility shall not be lighted except in accordance with the requirements of the Federal Aviation Administration (FAA).
6. The tower shall be painted and maintained in a suitable color to fit the natural surroundings, as determined by the Planning and Community Development Department.

**NOTATIONS**

1. Variance of Use approval includes conditions of approval and the accompanying site plan and elevation drawings. No substantial expansion, enlargement, intensification or modification shall be allowed except upon reevaluation and public hearing as specified in the El Paso County Land Development Code.
  2. The Board of County Commissioners may consider revocation and/or suspension if zoning regulations and/or Variance of Use conditions/standards are being violated, preceded by notice and public hearing.
  3. If the Variance of Use is discontinued or abandoned for two (2) years or longer, the Variance of Use shall be deemed abandoned and of no further force and effect.
- AND BE IT FURTHER RESOLVED that this Resolution and recommendations be forwarded to the El Paso County Board of County Commissioners for its consideration.

Commissioner Lucia-Treese seconded the adoption of the foregoing Resolution.

The roll having been called, the vote was as follows:

Commissioner Egbert	aye
Commissioner Creely	aye
Commissioner Gioia	aye
Commissioner Curry	aye
Commissioner Lucia-Treese	aye
Commissioner Mastin	aye
Commissioner Dillon	aye

The Resolution was adopted by a vote of 7 to 0 by the Planning Commission of the County of El Paso, State of Colorado.

DATED: December 5, 2017

RESOLUTION NO. 18-

BOARD OF COUNTY COMMISSIONERS  
COUNTY OF EL PASO, STATE OF COLORADO

APPROVE VARIANCE OF USE TO PERMIT A 100 FOOT TALL  
FREESTANDING COMMERCIAL MOBILE RADIO SERVICE FACILITY (CMRS)  
(VA-17-006)

WHEREAS, Falcon School District No. 49 did file an application with the Planning and Community Development Department of El Paso County for approval of a variance of use within the RR-5 (Residential Rural) zoning district to permit a 100 foot tall freestanding commercial mobile radio service facility (CMRS) where such is not permitted for property located within the unincorporated area of the County, more particularly described in Exhibit A, which is attached hereto and incorporated by this reference; and

WHEREAS, a public hearing was held by the El Paso County Planning Commission on December 5, 2017, upon which date the Planning Commission did by formal resolution recommend approval of the subject variance of use Woodmen Hills Tower; and

WHEREAS, a public hearing was held by this Board on January 9, 2018; and

WHEREAS, based on the evidence, testimony, exhibits, recommendations of the El Paso County Planning Commission, presentation and comments of the El Paso County Planning and Community Development Department and other County representatives, comments of public officials and agencies, comments from all interested persons, comments by the general public, and comments by the County Commissioners during the hearing, this Board finds as follows:

1. That the application for the variance of use was properly submitted for consideration by the Board of County Commissioners.
2. That proper posting, publication and public notice were provided as required by law for the hearings before the Planning Commission and the Board of County Commissioners.
3. That the hearings before the Planning Commission and Board of County Commissioners were extensive and complete, that all pertinent facts, matters and issues were submitted, and that all interested persons and the general public were heard at those hearings.
4. That all exhibits were received into evidence.

5. That the proposed land use does permit the use of any area containing a commercial mineral deposit in a manner which would interfere with the present or future extraction of such deposit by an extractor.
6. That for the above-stated and other reasons, the proposed variance of use is in the best interest of the health, safety, morals, convenience, order, prosperity and welfare of the citizens of El Paso County.

WHEREAS, pursuant to Section 5.3.4 of the El Paso County Land Development Code, as amended, in approving this variance of use, the Board of County Commissioners considered one or more of the following criteria:

1. The strict application of any of the provisions of the Land Development Code would result in peculiar and exceptional practical difficulties or undue hardship on either the owner or the contract purchaser of the property;
2. The proposed use is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the surrounding area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County;
3. The proposed use will be able to meet air, water, odor or noise standards established by County, State or Federal regulations during construction and upon completion of the project;
4. The proposed use will comply with all applicable requirements of the Land Development Code and all applicable County, State, and Federal regulations except those portions varied by this action;
5. The proposed use will not adversely affect wildlife or wetlands;
6. The applicant has addressed all off-site impacts;
7. The site plan for the proposed variance of use will provide for adequate parking, traffic circulation, open space, fencing, screening, and landscaping; and/or
8. Sewer, water, storm water drainage, fire protection, police protection, and roads will be available and adequate to serve the needs of the proposed Variance of Use as designed and proposed.

NOW, THEREFORE, BE IT RESOLVED the Board of County Commissioners of El Paso County, Colorado, hereby approves the application by Falcon School District No. 49 for a variance of use to allow a 100 foot tall freestanding commercial mobile radio service facility (CMRS) within the RR-5 (Residential Rural) zoning district where such is not a permitted use for the unincorporated

area of El Paso County as described in Exhibit A, which is attached hereto and incorporated herein by this reference;

BE IT FURTHER RESOLVED the following conditions and notations shall be placed upon this approval:

**CONDITIONS**

1. Approval is limited to the one (1) freestanding CMRS facility 100 feet in height as discussed and depicted in the applicant's letter of intent and site plan drawings.
2. The freestanding CMRS facility shall remain designed to allow for co-location of other antennae.
3. Any subsequent co-location or additional antenna on the Freestanding CMRS Facility other than that shown on the site plan shall be subject to administrative review, and if it is the opinion of the Planning and Community Development Director it constitutes a substantial increase in the size of the Freestanding CMRS Facility , it shall be subject to review and approval by the Board of County Commissioners. The Variance of Use approval for the tower also includes giving the Planning and Community Development Director the authority to administratively approve minor modifications and a non-substantial increase in the size of the tower as provided by the Nationwide Collocation Agreement, as amended.
4. Prior to authorization of a building permit, a guarantee of financial surety shall be provided to El Paso County for the removal of the tower in the event of abandonment.
5. The freestanding CMRS facility shall not be lighted except in accordance with the requirements of the Federal Aviation Administration (FAA).
6. The tower shall be painted and maintained in a suitable color to fit the natural surroundings, as determined by the Planning and Community Development Department.

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**NOTATIONS**

1. Variance of Use approval includes conditions of approval and the accompanying site plan and elevation drawings. No substantial expansion, enlargement, intensification or modification shall be allowed except upon reevaluation and public hearing as specified in the El Paso County Land Development Code.
  
2. The Board of County Commissioners may consider revocation and/or suspension if zoning regulations and/or Variance of Use conditions/standards are being violated, preceded by notice and public hearing.
  
3. If the Variance of Use is discontinued or abandoned for two (2) years or longer, the Variance of Use shall be deemed abandoned and of no further force and effect.

AND BE IT FURTHER RESOLVED the record and recommendations of the El Paso County Planning Commission be adopted, except as modified herein.

DONE THIS 9<sup>th</sup> day of January, 2018, at Colorado Springs, Colorado.

BOARD OF COUNTY COMMISSIONERS  
OF EL PASO COUNTY, COLORADO

ATTEST:

By: \_\_\_\_\_  
President

By: \_\_\_\_\_  
County Clerk & Recorder

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**EXHIBIT A**

The following Real Property situate in the County of El Paso and State of Colorado, to-wit:

That portion of the Southwest Quarter of Section 25, in Township 12 South, Range 65 West of the 6<sup>th</sup> P.M.; Beginning at a point in said Southwest Quarter which point lies North 78°05'25" West, said bearing and all others in this description are on the Colorado Coordinate System - Central Zone, a distance of 2,785.22 feet from the Southeast corner of Section 25; thence South 90° West, a distance of 1,563.72 feet; thence North 19°55'32" East, a distance of 1,398.28 feet; thence North 90° East, a distance of 1,087.19 feet; thence South 00° East, a distance of 1,314.57 feet to the point of beginning and containing 40.0 acres more or less.

LESS AND EXCEPT that portion of property conveyed to El Paso County, an Colorado organized County from El Paso School District No. 49, F/K/A Consolidated School District No. 49 by Correction Deed dated July 11, 2003 and recorded July 14, 2003 in Instrument No. 203160367.

AND BEING a portion of the same property conveyed to Consolidated School District No. 49 from Latigo Ranch, a limited partnership by Warranty Deed dated February 06, 1975 and recorded February 11, 1975 in Deed Book 2732, Page 860.