



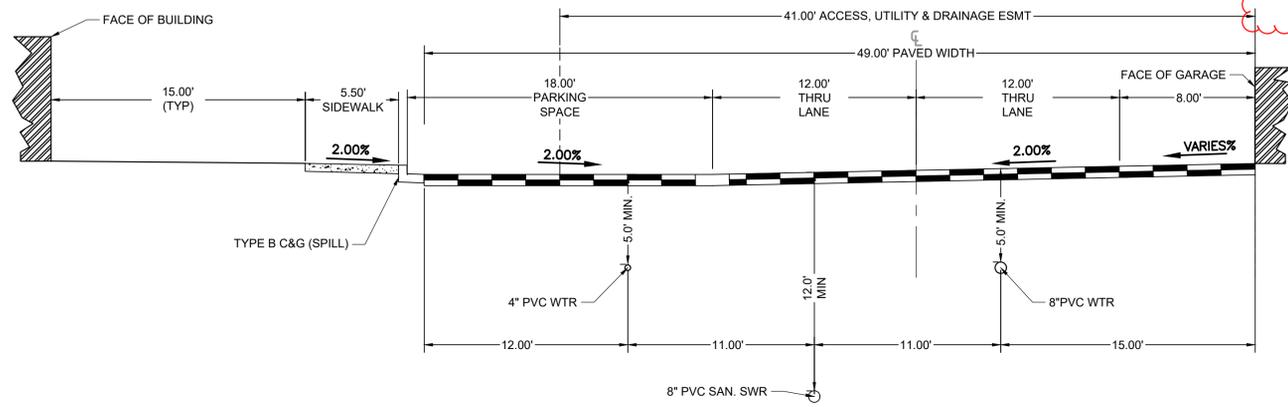


HUHN, KEN, 1/18/2022 2:43 PM

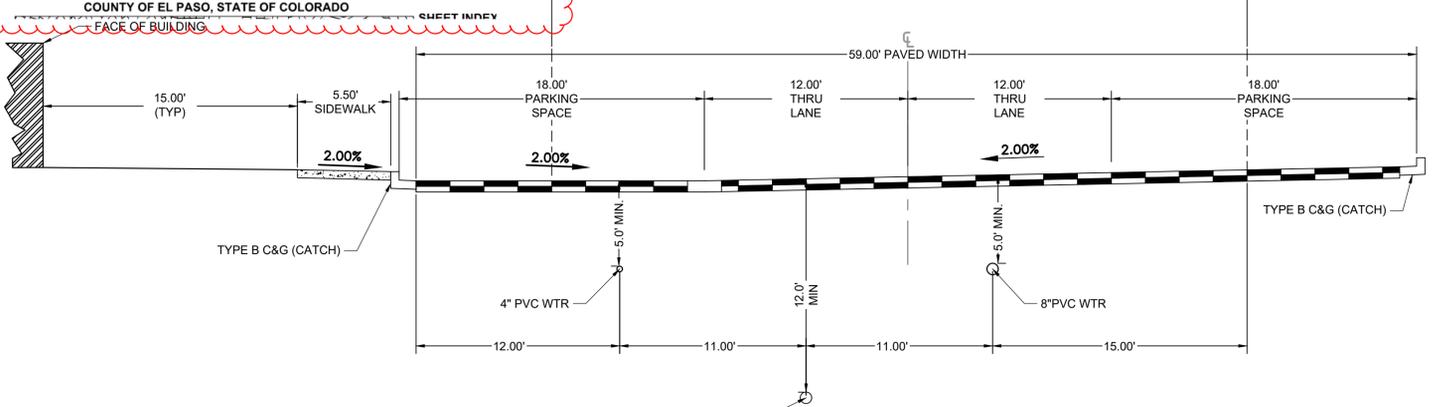
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7222 COMMERCE CENTER DR SUITE 220  
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**THE COTTAGES AT MESA RIDGE  
PUD/ PRELIMINARY PLAN**  
A PORTION OF THE NORTHEAST QUARTER OF SECTION 29, THE SOUTHEAST QUARTER  
OF SECTION 20, THE SOUTHWEST QUARTER OF SECTION 21, & THE NORTHWEST  
QUARTER OF SECTION 28 TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH P.M.  
COUNTY OF EL PASO, STATE OF COLORADO

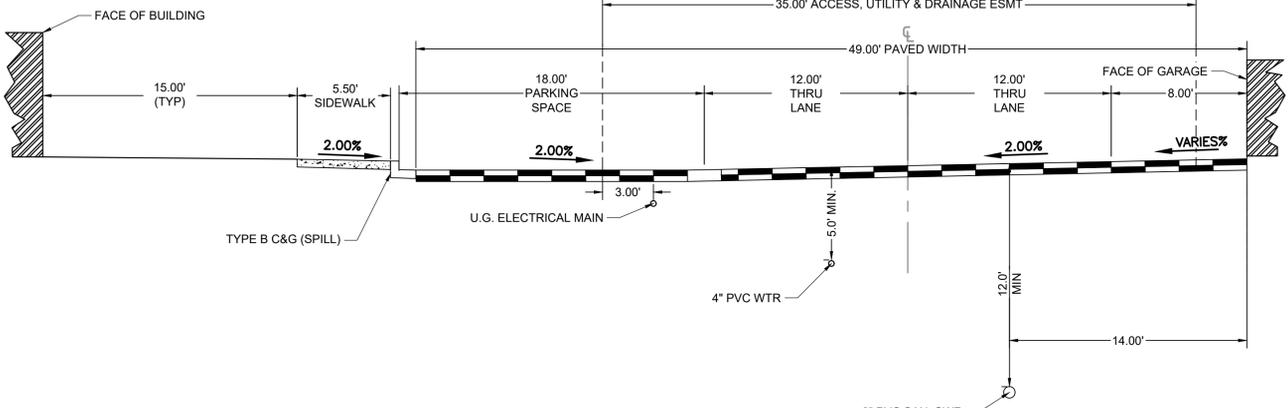
All pages  
should have  
title block



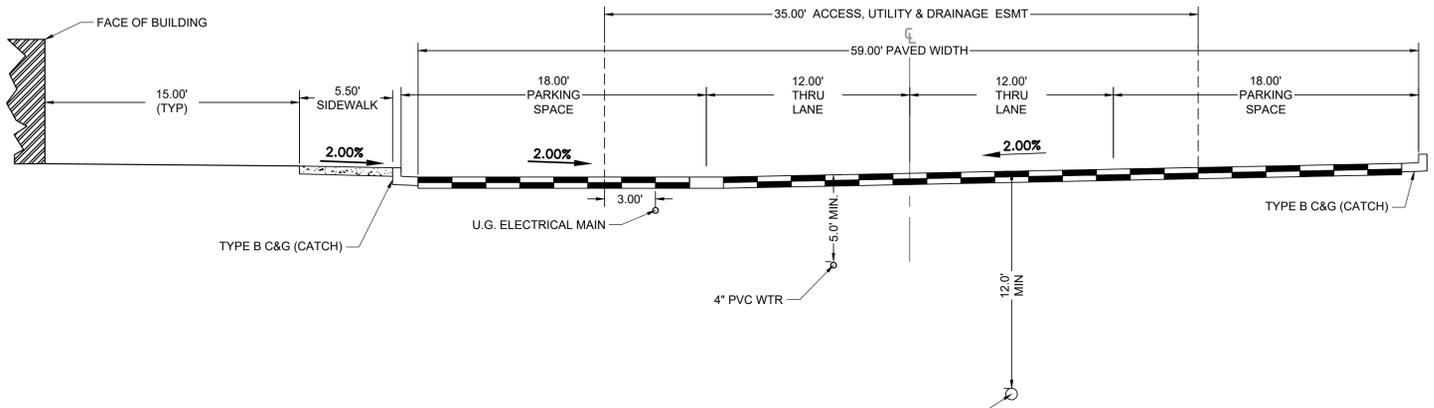
**APISHAPA HEIGHTS - W/ GARAGE TYPICAL SECTION - 1  
(PRIVATE DRIVE)**  
Driveway



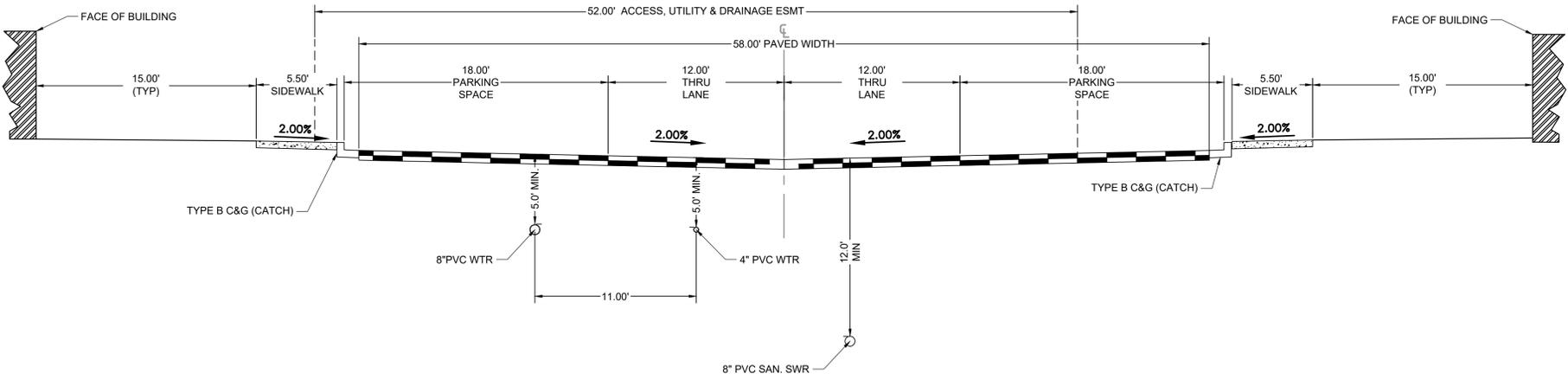
**APISHAPA HEIGHTS - TYPICAL SECTION - 2  
(PRIVATE DRIVE)**  
Driveway



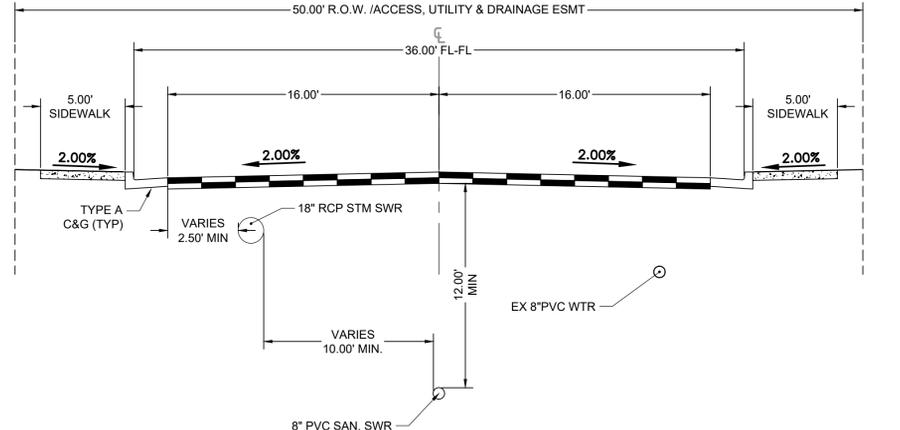
**SEGUNDO GROVE - W/ GARAGE TYPICAL SECTION - 3  
(PRIVATE DRIVE)**  
Driveway



**SEGUNDO GROVE - TYPICAL SECTION - 4  
(PRIVATE LOCAL)**  
Driveway



**WAHATOYA POINT - TYPICAL SECTION - 5  
(PRIVATE DRIVE)**  
Driveway



**LANDOVER LANE - TYPICAL SECTION  
(PUBLIC LOCAL - CITY OF FOUNTAIN)**

PSD FILE NO: PUDSP-2111

DRAWN BY: NQJ JOB DATE: 1/18/2022  
APPROVED: KMH JOB NUMBER: 200541  
CAD DATE: 1/18/2022  
CAD FILE: J:\2020\200541\CAD\Drawings\CDevelopment\Plan\Cover

NO.	DATE	BY	REVISION DESCRIPTION

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THE COTTAGES AT MESA RIDGE  
GOODWIN KNIGHT  
EL PASO COUNTY, COLORADO



PUD/ PRELIMINARY PLAN  
TYPICAL STREET SECTIONS

# THE COTTAGES AT MESA RIDGE PUD/ PRELIMINARY PLAN

A PORTION OF THE NORTHEAST QUARTER OF SECTION 29, THE SOUTHEAST QUARTER OF SECTION 20, THE SOUTHWEST QUARTER OF SECTION 21, & THE NORTHWEST QUARTER OF SECTION 28 TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH P.M.  
COUNTY OF EL PASO, STATE OF COLORADO

## LEGEND

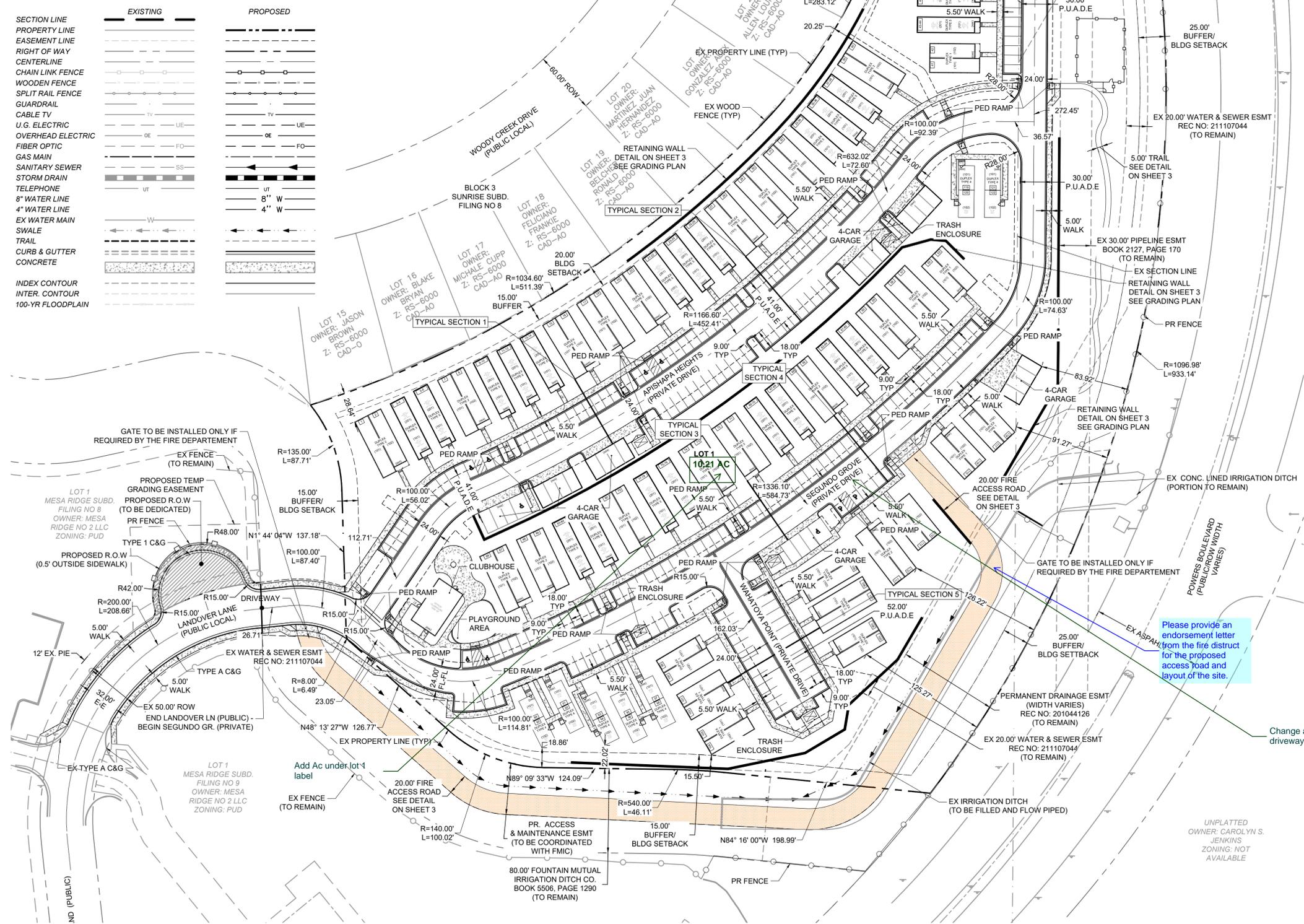
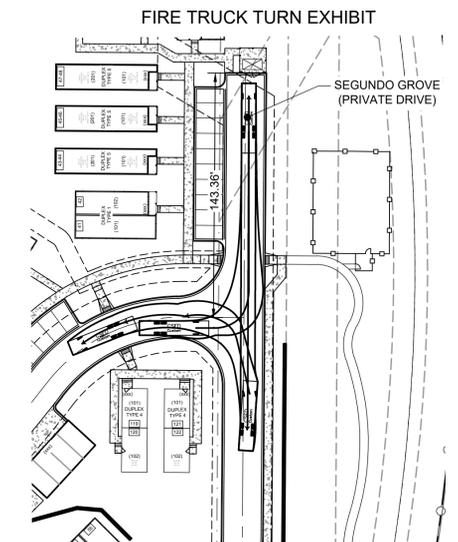
	EXISTING	PROPOSED
SECTION LINE		
PROPERTY LINE		
EASEMENT LINE		
RIGHT OF WAY		
CENTERLINE		
CHAIN LINK FENCE		
WOODEN FENCE		
SPLIT RAIL FENCE		
GUARDRAIL		
CABLE TV		
U.G. ELECTRIC		
OVERHEAD ELECTRIC		
FIBER OPTIC		
GAS MAIN		
SANITARY SEWER		
STORM DRAIN		
TELEPHONE		
8" WATER LINE		
4" WATER LINE		
EX WATER MAIN		
SWALE		
TRAIL		
CURB & GUTTER		
CONCRETE		
INDEX CONTOUR		
INTER CONTOUR		
100-YR FLOODPLAIN		

## SITE PLAN NOTES:

- SEE SHEET 5 FOR EXISTING AND PROPOSED UTILITIES.
- SEE SHEET 7 FOR EXISTING AND PROPOSED CONTOURS.

## NATURAL FEATURES, HAZARD & CONSTRAINTS PLAN NOTES:

- NO GEOLOGICAL HAZARDS IDENTIFIED
- NO FLOODPLAIN
- THE TOPOGRAPHY IN THE STUDY AREA HAS BEEN ALTERED OVER TIME BY LAND USE, MOST NOTABLY BY CONSTRUCTION OF THE DITCH, ROADWAY, AND HOUSING DEVELOPMENTS. IN RECENT YEARS, STAGING AND STOCKPILING ASSOCIATED WITH CONSTRUCTION ACTIVITIES HAS RESULTED IN SIGNIFICANT CHANGES.
- THE ONLY HYDROLOGIC FEATURE MAPPED IN THE STUDY AREA IS THE FOUNTAIN DITCH, WHICH IS A CONCRETE-LINED IRRIGATION STRUCTURE UNLIKELY TO HAVE JURISDICTIONAL STATUS UNDER THE CLEAN WATER ACT. DRAINAGE FEATURES FORMED BY SURFACE FLOWS AND A SMALL AREA SUPPORTING SOME HYDROPHYTIC PLANT SPECIES WERE OBSERVED, BUT NONE MET THE CRITERIA TO BE MAPPED AS WETLANDS OR WATER BODIES.
- SOILS WITHIN THE STUDY AREA ARE MAPPED AS NELSON-TASSEL FINE SANDY LOAMS, 3 TO 18 PERCENT SLOPES AND STONEHAM SANDY LOAM, 3 TO 8 PERCENT SLOPES (NRCS 2021B). LAND USE IN THE STUDY AREA HAS LIKELY ALTERED MANY OF THE CHARACTERISTICS OF THE TOPSOIL.
- THE VEGETATION WITHIN THE STUDY AREA REPRESENTS AN ALTERED STATE FROM THE REFERENCE CONDITION FOR THE LOCAL AREA. WHILE SOME NATIVE GRASSES AND FORBS OCCUR, MUCH OF THE STUDY AREA IS DOMINATED BY NATURALIZED GRASSES AND WEEDY FORBS.
- THE WILDFIRE RISK AND EXPECTED WILDFIRE INTENSITY IN THE STUDY AREA ARE MODERATE. THE SURFACE FUELS CONSIST OF GRASSES AND FEW SHRUBS. THE STUDY AREA HAS ACCESS FOR EMERGENCY VEHICLES AND THE ADJACENT ROADWAYS PROVIDE SIGNIFICANT FUEL BREAKS.



Please provide an endorsement letter from the fire district for the proposed access road and layout of the site.

Change all "drive" to "driveway"

this should be Sheet 2...[is]the heart of the PUD plan set

UNPLATTED OWNER: CAROLYN S. JENKINS ZONING: NOT AVAILABLE



PSD FILE NO: PUDSP-2111

DRAWN BY: NQJ JOB DATE: 1/17/2022  
 APPROVED: KMH JOB NUMBER: 200541  
 CAD DATE: 1/18/2022  
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THE COTTAGES AT MESA RIDGE  
 GOODWIN KNIGHT  
 EL PASO COUNTY, COLORADO

PUD DEVELOPMENT PLAN  
 SITE PLAN

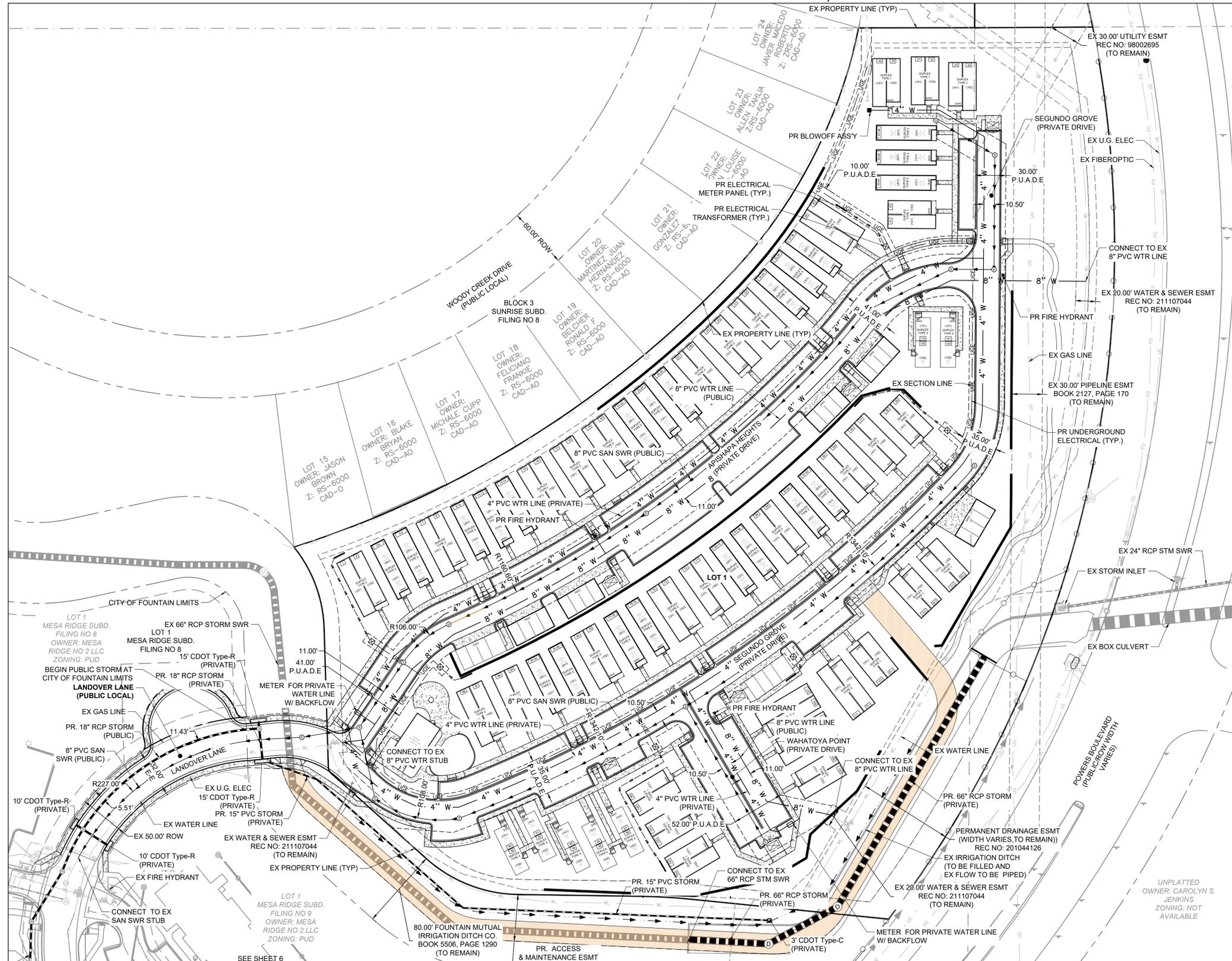
SHEET SP 4

# THE COTTAGES AT MESA RIDGE PUD/ PRELIMINARY PLAN

A PORTION OF THE NORTHEAST QUARTER OF SECTION 29, THE SOUTHEAST QUARTER OF SECTION 20, THE SOUTHWEST QUARTER OF SECTION 21, & THE NORTHWEST QUARTER OF SECTION 28 TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH P.M.  
COUNTY OF EL PASO, STATE OF COLORADO

## LEGEND

	EXISTING	PROPOSED
SECTION LINE	---	---
PROPERTY LINE	---	---
EASEMENT LINE	---	---
RIGHT OF WAY	---	---
CENTERLINE	---	---
CHAIN LINK FENCE	---	---
WOODEN FENCE	---	---
SPLIT RAIL FENCE	---	---
GUARDRAIL	---	---
CABLE TV	---	---
U.G. ELECTRIC	---	---
OVERHEAD ELECTRIC	---	---
FIBER OPTIC	---	---
GAS MAIN	---	---
SANITARY SEWER	---	---
STORM DRAIN	---	---
TELEPHONE	---	---
8" WATER LINE	---	---
4" WATER LINE	---	---
EX WATER MAIN	---	---
SWALE	---	---
TRAIL	---	---
CURB & GUTTER	---	---
CONCRETE	---	---
INDEX CONTOUR	---	---
INTER. CONTOUR	---	---
100-YR FLOODPLAIN	---	---



PSD FILE NO: PUDSP-2111

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 CAD FILE: J:\2020\200541\CAD\DWG\C\Development Plan\Utility\_Plan

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THE COTTAGES AT MESA RIDGE  
 GOODWIN KNIGHT  
 EL PASO COUNTY, COLORADO

PUD DEVELOPMENT PLAN  
 PRELIMINARY UTILITY PLAN

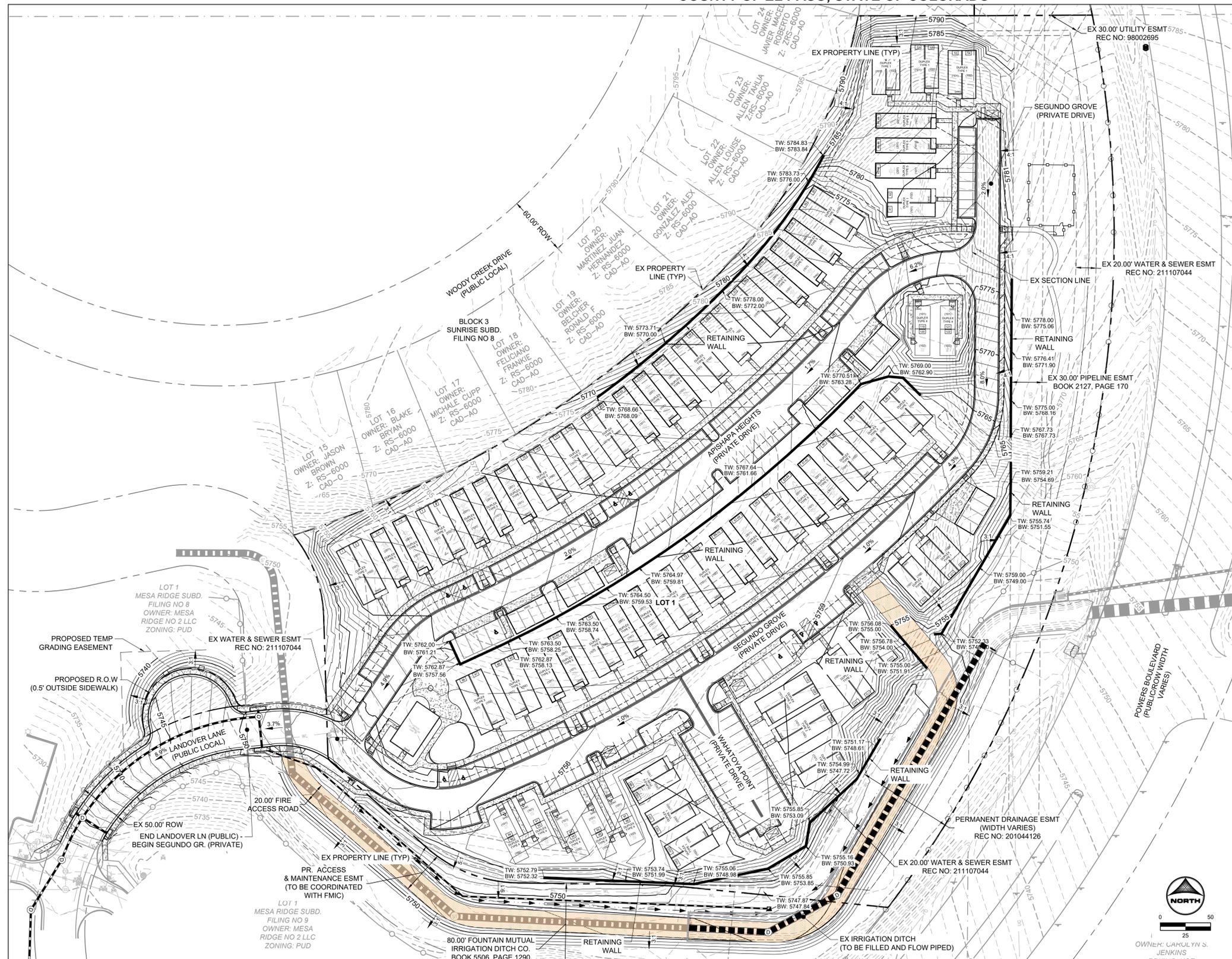
SHEET  
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COUNTY OF EL PASO, STATE OF COLORADO

HUHN, KEN, 1/18/2022 2:45 PM



	EXISTING	PROPOSED
SECTION LINE		
PROPERTY LINE		
EASEMENT LINE		
RIGHT OF WAY		
CENTERLINE		
CHAIN LINK FENCE		
WOODEN FENCE		
SPLIT RAIL FENCE		
GUARDRAIL		
CABLE TV		
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OVERHEAD ELECTRIC		
FIBER OPTIC		
GAS MAIN		
SANITARY SEWER		
STORM DRAIN		
TELEPHONE		
8" WATER LINE		
4" WATER LINE		
EX WATER MAIN		
SWALE		
TRAIL		
CURB & GUTTER		
CONCRETE		
INDEX CONTOUR		
INTER. CONTOUR		
100-YR FLOODPLAIN		



PSD FILE NO: PUDSP-2111

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 APPROVED: KMH      JOB NUMBER: 200541  
 CAD DATE: 1/18/2022  
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**THE COTTAGES AT MESA RIDGE**  
 GOODWIN KNIGHT  
 EL PASO COUNTY, COLORADO

PUD/ PRELIMINARY PLAN  
 PRELIMINARY GRADING PLAN

SHEET  
 GR  
 7

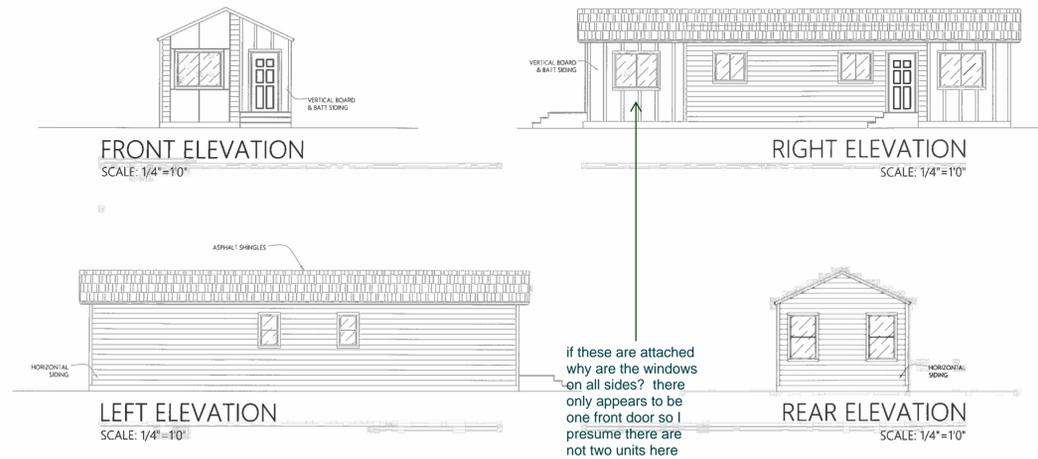
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COUNTY OF EL PASO, STATE OF COLORADO

All pages should have title block

label these so the match the elevation names

CRAFTSMAN ELEVATION

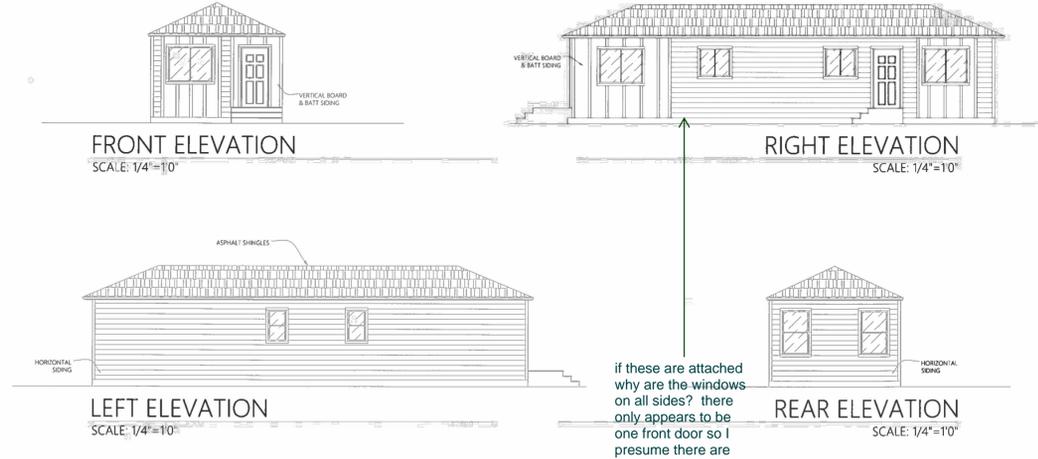
Can you label the units front door - these look like a single family unit not two-family.



KEY STRUCTURES logo  
COMPANY: KEY STRUCTURES  
ADDRESS: 319 LOCKHEAD ST, PUEBLO MEMORIAL AIRPORT INDUSTRIAL COMPLEX, PUEBLO, COLORADO  
FACTORY INFORMATION: 04 3544  
CONTACT INFORMATION: (778) 988-5190 (778) 283-4485  
MODEL: STUDIO DUPLEX  
MODEL: DUPLEX TYPE 4  
APPROVAL: [ ]  
AUTHOR: [ ]  
DRAWN: KS DESIGN  
DATE: 5/25/21  
REVISION: STUDIO00R1  
SHEET NAME: E1.2  
SHEET CONTENTS: EXTERIOR ELEVATIONS  
SERIES: 04 OF 20  
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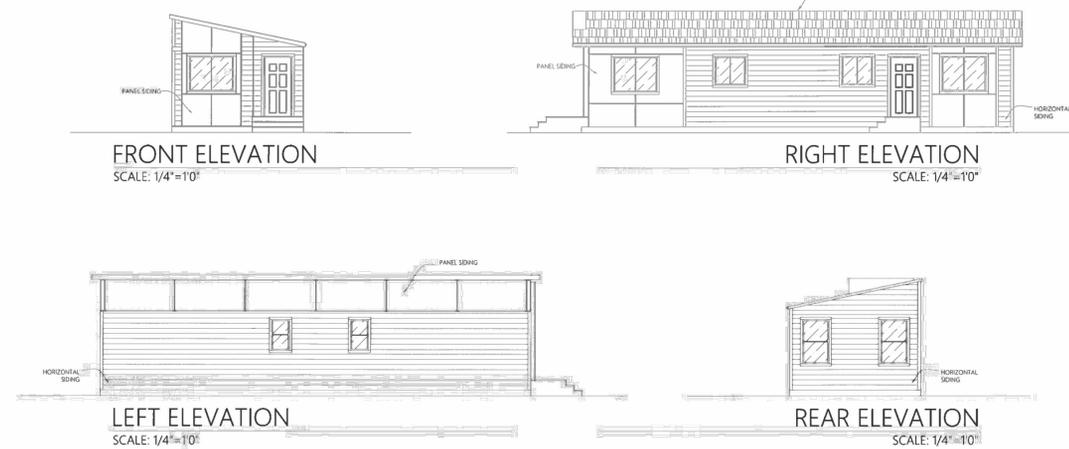
FARMHOUSE ELEVATION

Can you label the units front door - these look like a single family unit not two-family.



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CONTACT INFORMATION: (778) 988-5190 (778) 283-4485  
MODEL: STUDIO DUPLEX  
MODEL: DUPLEX TYPE 4  
APPROVAL: [ ]  
AUTHOR: [ ]  
DRAWN: KS DESIGN  
DATE: 5/25/21  
REVISION: STUDIO00R1  
SHEET NAME: E1.3  
SHEET CONTENTS: EXTERIOR ELEVATIONS  
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MODERN ELEVATION



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CONTACT INFORMATION: (778) 988-5190 (778) 283-4485  
MODEL: STUDIO DUPLEX  
MODEL: DUPLEX TYPE 4  
APPROVAL: [ ]  
AUTHOR: [ ]  
DRAWN: KS DESIGN  
DATE: 5/25/21  
REVISION: STUDIO00R1  
SHEET NAME: E1.1  
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Table with 4 columns: NO., DATE, BY, REVISION DESCRIPTION. Contains one row with a revision description.

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THE COTTAGES AT MESA RIDGE  
GOODWIN KNIGHT  
EL PASO COUNTY, COLORADO

GOODWIN KNIGHT logo  
SITE DEVELOPMENT PLAN  
ELEVATIONS - DUPLEX TYPE 4

SHEET EL 8

State of Colorado  
Division of Housing  
July 17, 2021  
APPROVED PLANS  
Subject to field inspection

Can you label the units front door - these look like a single family unit not two-family.

There are 2 farmhouse elevations in the set...

### FARMHOUSE ELEVATION

FRONT ELEVATION  
SCALE: 1/4"=10"

RIGHT ELEVATION  
SCALE: 1/4"=10"

LEFT ELEVATION  
SCALE: 1/4"=10"

REAR ELEVATION  
SCALE: 1/4"=10"

if these are attached why are the windows on all sides? there only appears to be one front door so I presume there are not two units here

COMPANY: KEY STRUCTURES  
ADDRESS: 393 LOCKWOOD ST. PUEBLO METROGARDEN AIRPORT INDUSTRIAL COMPLEX PUEBLO, COLORADO  
FACTORY INFORMATION: DP 3544  
CONTACT INFORMATION: (719) 733-3700  
MODEL: 1BR DUPLEX  
MODEL: DUPLEX TYPE 1  
APPROVAL:  
AUTHOR: KS DESIGN  
DRAWN: KS DESIGN  
DATE: 6/2/21  
REVISION: BR020481  
SHEET NAME: E1.2  
SHEET COMMENTS: EXTERIOR ELEVATIONS  
SERIES: 04 OF 20  
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Can you label the units front door - these look like a single family unit not two-family.

### MODERN ELEVATION

FRONT ELEVATION  
SCALE: 1/4"=10"

RIGHT ELEVATION  
SCALE: 1/4"=10"

LEFT ELEVATION  
SCALE: 1/4"=10"

REAR ELEVATION  
SCALE: 1/4"=10"

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AUTHOR: KS DESIGN  
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### CRAFTSMAN ELEVATION

FRONT ELEVATION  
SCALE: 1/4"=10"

RIGHT ELEVATION  
SCALE: 1/4"=10"

LEFT ELEVATION  
SCALE: 1/4"=10"

REAR ELEVATION  
SCALE: 1/4"=10"

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CONTACT INFORMATION: (719) 733-3700  
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APPROVAL:  
AUTHOR: KS DESIGN  
DRAWN: KS DESIGN  
DATE: 6/2/21  
REVISION: BR020481  
SHEET NAME: E1.1  
SHEET COMMENTS: EXTERIOR ELEVATIONS  
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APPROVED: KEN	JOB NUMBER: 200541	0 [ ] 1"
CAD DATE: 1/18/2022		IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.
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GOODWIN KNIGHT  
EL PASO COUNTY, COLORADO



SITE DEVELOPMENT PLAN  
ELEVATIONS - DUPLEX TYPE 1

SHEET  
EL

9

State of Colorado  
Division of Housing  
June 17, 2021  
APPROVED PLANS  
Subject to field inspection

2 elevations named craftsman?

## CRAFTSMAN ELEVATION

FRONT ELEVATION  
SCALE: 1/4"=10'

RIGHT ELEVATION  
SCALE: 1/4"=10'

LEFT ELEVATION  
SCALE: 1/4"=10'

REAR ELEVATION  
SCALE: 1/4"=10'

if these are attached why are the windows on all sides? there only appears to be one front door so I presume there are not two units here

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FACTORY INFORMATION: E# 1544  
CONTACT INFORMATION: (781) 733-3700  
MODEL: 2BR DUPLEX  
MODEL: DUPLEX TYPE 2  
APPROVAL:  
AUTHOR: KS DESIGN  
DRAWN: KS DESIGN  
DATE: 5-21-21  
REVISION: 280202021  
SHEET NAME: E1.1  
SHEET CONTENTS: EXTERIOR ELEVATIONS  
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State of Colorado  
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June 17, 2021  
APPROVED PLANS  
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3rd elevation w same name.

## FARMHOUSE ELEVATION

FRONT ELEVATION  
SCALE: 1/4"=10'

RIGHT ELEVATION  
SCALE: 1/4"=10'

LEFT ELEVATION  
SCALE: 1/4"=10'

REAR ELEVATION  
SCALE: 1/4"=10'

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MODEL: DUPLEX TYPE 2  
APPROVAL:  
AUTHOR: KS DESIGN  
DRAWN: KS DESIGN  
DATE: 5-21-21  
REVISION: 280202021  
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2cd Modern Name Elevation

## MODERN ELEVATION

FRONT ELEVATION  
SCALE: 1/4"=10'

RIGHT ELEVATION  
SCALE: 1/4"=10'

LEFT ELEVATION  
SCALE: 1/4"=10'

REAR ELEVATION  
SCALE: 1/4"=10'

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APPROVAL:  
AUTHOR: KS DESIGN  
DRAWN: KS DESIGN  
DATE: 5-21-21  
REVISION: 280202021  
SHEET NAME: E1.3  
SHEET CONTENTS: EXTERIOR ELEVATIONS  
SERIES: 05 OF 20  
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PSD FILE NO: PUDSP-2111

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CAD FILE: J:\2020\200541\CAD\DWG\CDevelopment Plan\Elevations		

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THE COTTAGES AT MESA RIDGE  
GOODWIN KNIGHT  
EL PASO COUNTY, COLORADO



SITE DEVELOPMENT PLAN  
ELEVATIONS - DUPLEX TYPE 2

SHEET  
EL  
10

all elevations should have dimensions: unit a unit b doors labeled; each unity type should have its own elevation

### CRAFTSMAN ELEVATION

**FRONT ELEVATION**  
SCALE: 1/4"=10"

**RIGHT ELEVATION**  
SCALE: 1/4"=10"

**LEFT ELEVATION**  
SCALE: 1/4"=10"

**REAR ELEVATION**  
SCALE: 1/4"=10"

**KEY STRUCTURES**

COMPANY: 319 LOCKWOOD ST. PUEBLO METROPOLITAN AIRPORT INDUSTRIAL COMPLEX PUEBLO, COLORADO

FACTORY INFORMATION: 04 544

CONTACT INFORMATION: (719) 733-3700

MODEL: 2-STORY DUPLEX

MODEL: DUPLEX TYPE 5

APPROVAL:

AUTHOR: KES DESIGN  
DATE: 2/20/2022  
REVISION: 2/27/2022 R1

SHEET NAME: E1.1

SHEET CONTENTS: EXTERIOR ELEVATIONS

SERIES: 04 OF 28

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### FARMHOUSE ELEVATION

**FRONT ELEVATION**  
SCALE: 1/4"=10"

**RIGHT ELEVATION**  
SCALE: 1/4"=10"

**LEFT ELEVATION**  
SCALE: 1/4"=10"

**REAR ELEVATION**  
SCALE: 1/4"=10"

**KEY STRUCTURES**

COMPANY: 319 LOCKWOOD ST. PUEBLO METROPOLITAN AIRPORT INDUSTRIAL COMPLEX PUEBLO, COLORADO

FACTORY INFORMATION: 04 544

CONTACT INFORMATION: (719) 733-3700

MODEL: 2-STORY DUPLEX

MODEL: DUPLEX TYPE 5

APPROVAL:

AUTHOR: KES DESIGN  
DATE: 2/20/2022  
REVISION: 2/27/2022 R1

SHEET NAME: E1.2

SHEET CONTENTS: EXTERIOR ELEVATIONS

SERIES: 05 OF 28

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### MODERN ELEVATION

**FRONT ELEVATION**  
SCALE: 1/4"=10"

**RIGHT ELEVATION**  
SCALE: 1/4"=10"

**LEFT ELEVATION**  
SCALE: 1/4"=10"

**REAR ELEVATION**  
SCALE: 1/4"=10"

**KEY STRUCTURES**

COMPANY: 319 LOCKWOOD ST. PUEBLO METROPOLITAN AIRPORT INDUSTRIAL COMPLEX PUEBLO, COLORADO

FACTORY INFORMATION: 04 544

CONTACT INFORMATION: (719) 733-3700

MODEL: 2-STORY DUPLEX

MODEL: DUPLEX TYPE 5

APPROVAL:

AUTHOR: KES DESIGN  
DATE: 2/20/2022  
REVISION: 2/27/2022 R1

SHEET NAME: E1.3

SHEET CONTENTS: EXTERIOR ELEVATIONS

SERIES: 06 OF 28

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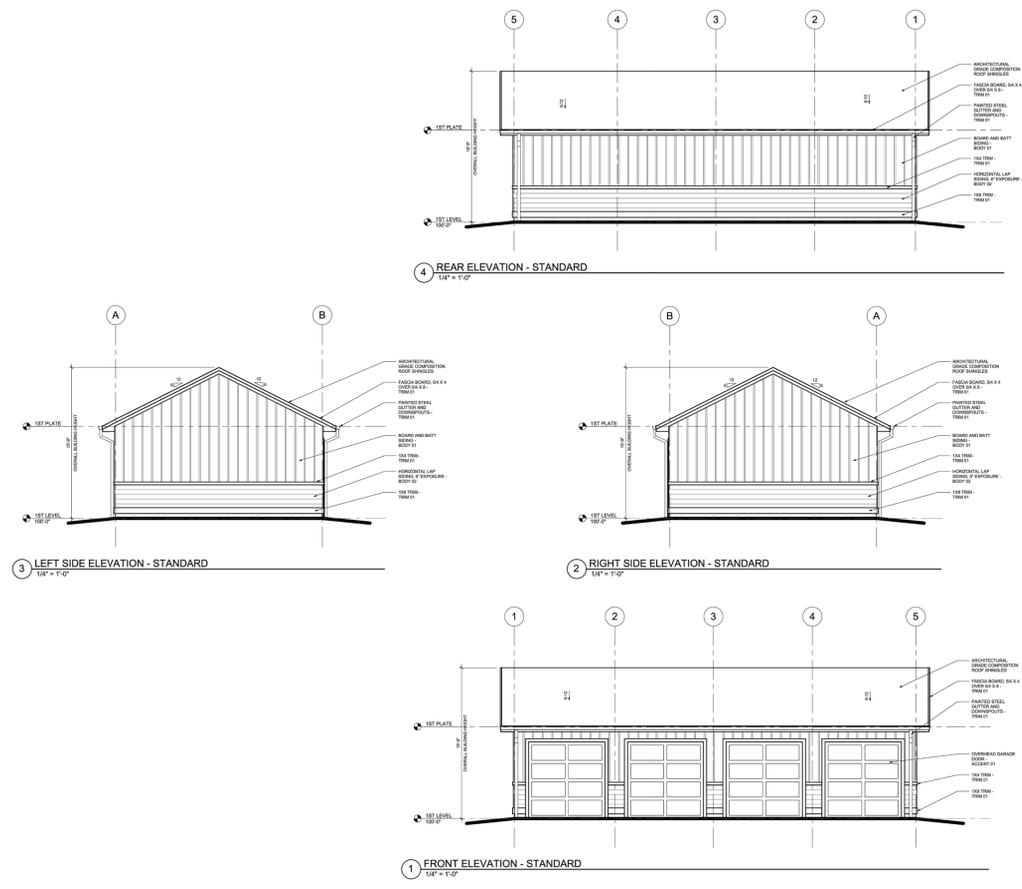
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THE COTTAGES AT MESA RIDGE  
GOODWIN KNIGHT  
EL PASO COUNTY, COLORADO

SITE DEVELOPMENT PLAN  
ELEVATIONS - DUPLEX TYPE 5

SHEET EL 11



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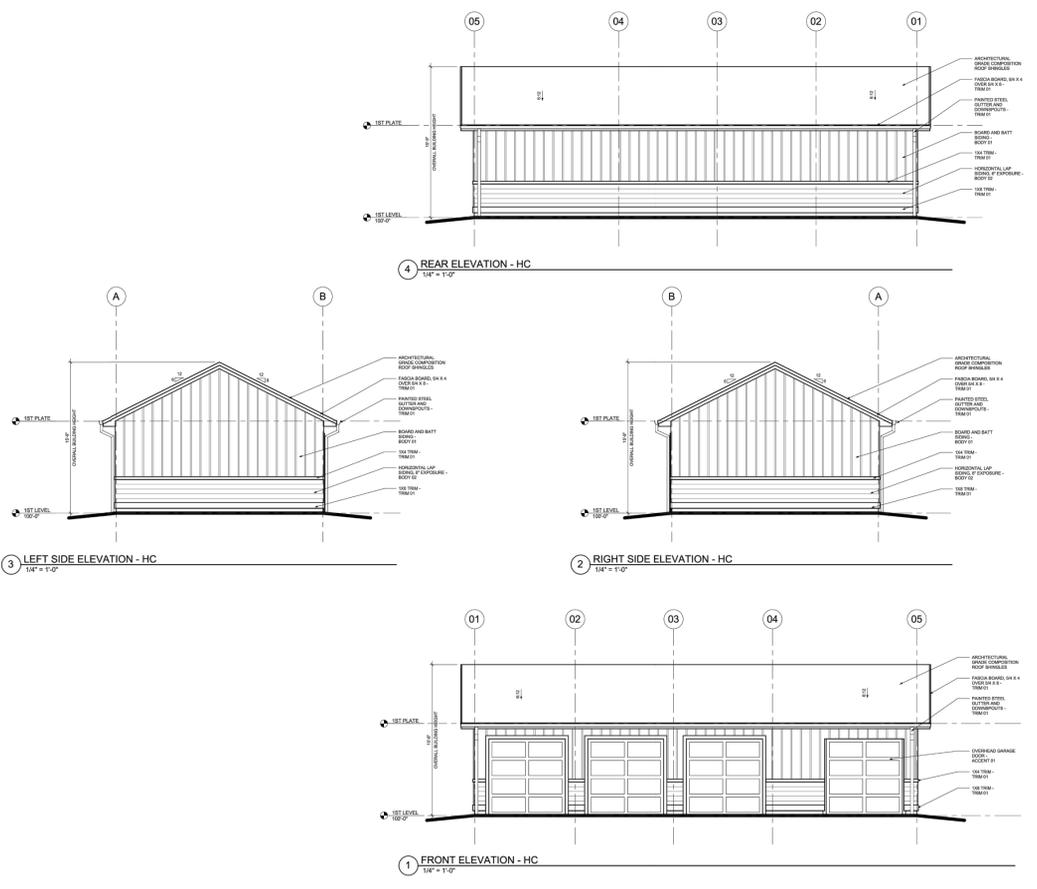
5975 S. Quebec Street  
Suite 200  
Centennial, CO 80111

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**GOODWIN KNIGHT 4-BAY DETACHED GARAGE**

DRAWN BY: CW  
CHECKED BY: CW  
ISSUE DATE: 01/12/2020  
REVISIONS:

STANDARD GARAGE ELEVATIONS  
**A3.10**



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**GOODWIN KNIGHT 4-BAY DETACHED GARAGE**

DRAWN BY: CW  
CHECKED BY: CW  
ISSUE DATE: 01/12/2020  
REVISIONS:

HANDICAP GARAGE ELEVATIONS  
**A3.11**

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THE COTTAGES AT MESA RIDGE  
GOODWIN KNIGHT  
EL PASO COUNTY, COLORADO

PSD FILE NO: PUDSP-2111  
SITE DEVELOPMENT PLAN  
ELEVATIONS - GARAGE

HUHN, KEN, 1/18/2022 2:46 PM

GENERAL LANDSCAPE PLAN NOTES:

\*A FINAL LANDSCAPE AND IRRIGATION PLAN SHALL BE SUBMITTED AND REVIEWED CONCURRENT WITH BUILDING PERMIT SUBMITTAL AND APPROVED PRIOR TO ISSUANCE OF A BUILDING PERMIT.

- 1. LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF OWNER.
2. CURRENT OWNER WILL BE RESPONSIBLE FOR ALL INITIAL LANDSCAPE IMPROVEMENTS. AFTER INITIAL INSTALLATION, IT WILL BE THE RESPONSIBILITY OF THE OWNER TO MAINTAIN ALL LANDSCAPE AREAS.
3. LANDSCAPE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SERVICES NECESSARY TO FURNISH AND INSTALL LANDSCAPE ELEMENTS AND PLANTINGS AS SPECIFIED HEREIN AND AS SHOWN ON THESE PLANS.
4. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT LANDSCAPE ARCHITECT'S APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REVISE PLANT LIST AS DEEMED NECESSARY.
5. ALL PLANT LOCATIONS ARE APPROXIMATE. ADJUST AS NECESSARY TO AVOID CONFLICTS.
6. QUANTITIES OF MATERIALS SHOWN ON THE PLANTING PLAN TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT MATERIAL SCHEDULE. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES ON THE PLANTING PLAN.
7. CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE WORK. UTILITIES HAVE BEEN SHOWN ON PLAN FOR ROUGH LOCATION OF SERVICES. LOCATE EXACT UTILITY LOCATIONS BY CONTACTING \*CALL BEFORE YOU DIG\* AT (800) 922-1987 OR 811. CONTRACTOR WILL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE HE MAY CAUSE TO UTILITIES.
8. REMOVE ALL RUBBISH, EQUIPMENT, AND MATERIAL AND LEAVE THE AREA IN A NEAT, CLEAN CONDITION EACH DAY. MAINTAIN PAVED AREAS UTILIZED FOR HAULING EQUIPMENT AND MATERIALS BY OTHER TRADES IN A CLEAN AND UNOBSTRUCTED CONDITION AT ALL TIMES.
9. STORAGE OF ANY MATERIALS, BUILDINGS, VEHICLES OR EQUIPMENT, FENCING AND WARNING SIGNS SHALL BE MAINTAINED THROUGHOUT THE SITE WORK AND CONSTRUCTION PERIODS BY THE CONTRACTOR.
10. ALL INTERNAL LANDSCAPE AND OPEN SPACE AREAS SHALL BE OWNED AND MAINTAINED BY OWNER AFTER INITIAL INSTALLATION.
11. STREET TREES, STREETScape IMPROVEMENTS, AND VEGETATION WITHIN THE COUNTY ROW SHALL BE MAINTAINED BY THE CURRENT PROPERTY OWNER.
12. ACCESSIBLE ROUTES, INCLUDING RAMPS AND SIDEWALKS, WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PER THE COUNTY'S STANDARD DRAWINGS AND SPECIFICATIONS. COUNTY'S INSPECTOR WILL HAVE THE FINAL AUTHORITY ON ACCEPTING THE PRIVATE IMPROVEMENTS.

IRRIGATION: County does not require irrigation plans, nor do we review them. Just a note stating how you will establish and maintain the plants on this plan...

- 1. AN IRRIGATION PLAN SHALL BE SUBMITTED AND REVIEWED CONCURRENT WITH BUILDING PERMIT SUBMITTAL AND APPROVED PRIOR TO ISSUANCE OF A BUILDING PERMIT.
A. ALL SHRUBS AND TREES SHALL BE DRIP IRRIGATED. ALL TREES LOCATED WITHIN SEEDING AREAS SHALL BE WATERED BY A DRIP VALVE.
B. ALL NATIVE LOW GROW SEEDING SHALL BE TEMPORARILY IRRIGATED UNTIL ESTABLISHMENT. A PERMANENT IRRIGATION SYSTEM SHALL BE REQUIRED FOR DETENTION SEEDING.

SHRUB/TREE PLANTING NOTES:

- 1. OWNER AND OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT AT ANY TIME OR PLACE PRIOR TO FINAL ACCEPTANCE OF WORK, ANY AND ALL PLANTS WHICH, IN THEIR OPINION, FAIL TO MEET THE REQUIREMENTS OF THE SPECIFICATIONS.
2. ALL TREE AND SHRUB LOCATIONS ARE APPROXIMATE; ADJUST AS NECESSARY TO AVOID CONFLICTS. PLANTING LOCATIONS OF SHRUBS, GRASSES AND PERENNIALS AS SPECIFIED. OBTAIN OWNERS REPRESENTATIVE'S APPROVAL OF LOCATIONS PRIOR TO PLANTING TREES AND SHRUBS.
3. ALL PLANT MATERIAL SHALL BE WELL-FORMED AND DEVELOPED IN GOOD CONDITION, HEALTHY AND DISEASE FREE, AND BE TYPICAL OF THE SPECIES.
4. PLANTS SHALL COMPLY IN ALL APPLICABLE RESPECTS WITH ACCEPTABLE STANDARDS SET FORTH IN THE COLORADO NURSERY ACT OF 1965 - TITLE 35, ARTICLE 25, CRS 1974 (SEE LANDSCAPE THE NURSERY ACT).
5. AT THE COMPLETION OF PLANTING OPERATIONS ALL PLANTS SHALL BE INSPECTED BY THE OWNER AND OWNERS' REPRESENTATIVE. CONTRACTOR SHALL REPLACE IMMEDIATELY ANY PLANTS NOT IN HEALTHY AND VIGOROUS CONDITION AT THAT TIME AT NO EXPENSE TO THE OWNER. ANY PLANT NOT IN HEALTHY CONDITION DURING THE WARRANTY PERIOD SHALL BE REPLACED AS PER THE ORIGINAL SPECIFICATIONS, AT NO CHARGE TO THE OWNER.
6. PLANTS ARE TO BE SELECTED AND SIZED AS SHOWN ON THE PLANT SCHEDULE.
7. PLANTS BED RECEIVING MULCH ARE TO BE FREE OF WEEDS AND GRASS. TREAT BEDS WITH A PRE-EMERGENT HERBICIDE PRIOR TO PLANTING AND MULCH PLACEMENT. APPLY IN ACCORDANCE WITH STANDARD TRADE PRACTICE. DO NOT APPLY HERBICIDE IN PERENNIAL BEDS.
8. POROUS WEED BARRIER FABRIC, AS NOTED IN THE SPECIFICATIONS, SHALL BE INSTALLED WHERE NOTED IN THE DETAILS.
9. USE TRIANGULAR SPACING IN ALL GROUND COVER AND PERENNIAL BEDS.
10. ALL WORK ON TREES TO REMAIN, INCLUDING CROWN AND ROOT PRUNNING SHALL BE PERFORMED BY A TREE SERVICE LICENSED BY THE CITY FORESTER.
11. THE CONTRACTOR SHALL PROVIDE WATER, WATERING DEVICES, AND LABOR NEEDED TO IRRIGATE PLANT MATERIALS UNTIL AUTOMATIC IRRIGATION SYSTEM IS OPERATIONAL AND ACCEPTED. THE CONTRACTOR SHALL SUPPLY ENOUGH WATER TO MAINTAIN THE PLANT'S HEALTHY CONDITION BASED ON SEASONAL CONSIDERATIONS.

County and we dont have a forester...

SODDING & SEEDING:

- 1. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EXISTING EROSION CONTROL MEASURES DURING THE DURATION OF WORK ON-SITE.
2. ALL PROPOSED TURF AND PLANTING AREAS ARE TO BE ROTO-TILLED TO A DEPTH OF 8". FINE GRADE, AND REMOVE ALL CONSTRUCTION DEBRIS AND ROCKS OVER 1" IN DIAMETER FROM THE SITE.
3. AFTER TILLING APPLY SOIL AMENDMENTS & FERTILIZERS TO ALL TURF AND PLANTING AREAS. GRADE SHALL BE ADJUSTED FOR SOD THICKNESS. ALL FINISH GRADING SHALL BE PERFORMED BY LANDSCAPE CONTRACTOR.
4. FINE GRADE SOD AREAS TO ELIMINATE IRREGULARITIES ON THE SURFACE. ROLL OR PERFORM ADDITIONAL FINE GRADING.
5. ALL AREAS TO BE SEEDDED SHALL BE TILLED AS SPECIFIED AND THEN HARROWED, RAKED OR ROLLED TO PRODUCE A FIRM SEED BED FOR PLANTING. IMPORTED TOPSOIL MAY BE REQUIRED TO PROVIDE AN ACCEPTABLE PLANTING MEDIUM. LARGE ROCKS (1" DIAMETER) AND DEBRIS THAT MAY IMPEDE SEEDING SHALL BE CLEARED FROM THE SITE. ANY REQUIRED EROSION CONTROL FEATURES (E.G., WATER BARS, BERMS, BASINS, TURNOUTS) SHALL BE CONSTRUCTED PRIOR TO SEEDING. SITES THAT ARE NOT ADEQUATELY PREPARED PRIOR TO SEEDING (E.G., COMPACTED SOIL, INSUFFICIENT TOPSOIL, ROCKY, ERODED SURFACE, ETC.) SHALL BE REJECTED.
6. ALL SPECIFIED SEED MIXES SHALL CONSIST OF CERTIFIED SEE VARIETIES THAT ARE FREE OF NOXIOUS WEEDS AND HAVE BEEN TESTED FOR PURITY AND GERMINATION WITHIN SIX MONTHS OF THE PLANTING DATE. CERTIFICATION LABELS WHICH INDICATE THE SPECIES, PURITY, GERMINATION, WEED CONTENT, ORIGIN, AND TEST DATE SHALL BE SUBMITTED FOR ALL SEED MATERIALS.
7. SEEDING SHALL OCCUR DEPENDING ON THE PROJECT SCHEDULE, IT IS PREFERABLE THAT SEEDING OCCUR DURING THE FALL (SEPTEMBER-NOVEMBER) OR SPRING (MARCH-MAY) TO MAXIMIZE PLANTING SUCCESS. IF THE PROJECT SCHEDULED DOES NOT COINCIDE WITH THE PREFERRED SEEDING PERIODS, OR THERE ARE UNSUITABLE SITE CONDITIONS (I.E. FROZEN GROUND), THEN SOIL STABILIZATION AND/OR STORM WATER BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED TO STABILIZE THE AREA UNTIL THE NEXT APPROPRIATE SEEDING DATE.
9. ANY SEEDING CONDUCTED OUTSIDE THE PREFERRED MONTHS SHALL BE APPROVED BY THE OWNER. SEEDING METHOD: DRILL SEEDING OR BROADCAST SEEDING SHALL BE USED FOR REVEGETATION, AS OUTLINED BELOW, THE SIZE AND SLOPE OF THE DISTURBED AREA SHALL DETERMINE WHICH SEEDING METHOD(S) IS APPROPRIATE AND ACCEPTABLE. WHERE FEASIBLE, RANGELAND DRILL SEEDING COMBINED WITH A COVER OF CRIMPED HAY MULCH OR HYDRO-MULCH IS THE REQUIRED METHOD.
9.1 SLOPES LESS THAN 3:1 - SEED SHALL BE PLANTED USING A RANGELAND DRILL WITH A SMALL SEED/LEGUME BOX AND AN AGITATOR BOX FOR FLUFFY OR BULKY SEED. SEED ROWS SHALL BE SPACED 7-10 INCHES APART, AND PLANTED TO 0.5 TO 0.75 INCHES DEEP. THE DRILL SHALL HAVE DOUBLE-DISL FURROW OPENERS WITH DEPTH BANDS AND PACKER WHEELS. SEEDING SHALL BE ACCOMPLISHED USING BI-DIRECTIONAL DRILLING AND FOLLOWING THE SLOPE CONTOUR. THE DRILL EQUIPMENT SHALL BE CALIBRATED EACH DAY OR WHENEVER THERE IS A CHANGE IN THE SEED MIX TO ENSURE PROPER SEED DISTRIBUTION AND RATE.
9.2 SLOPES GREATER THAN 3:1 OR AREAS LESS THAN 0.10 ACRE - SEED SHALL BE BROADCAST BY HAND, MECHANICAL SPREADER, OR HYDRO-SEEDING EQUIPMENT. BROADCAST SEEDER AREAS SHALL BE RAKED OR HARROWED TO INCORPORATE THE SEED INTO THE SOIL AT A DEPTH NOT EXCEEDING 0.75 INCHES.
9.2.1 FOR AREAS LARGER THAN 0.1 ACRE-HYDRO-SEEDING SHALL BE USED. THE SEED SHALL NOT BE TANK MIXED WITH THE HYDRO-MULCH AND BROADCAST.
9.2.2 BROADCAST SEEDING SHALL BE AVOIDED WHEN WIND SPEED EXCEEDS 15 MILES PER HOUR.
10. MULCHING: WEED-FREE NATIVE HAY, WEED-FREE STRAW, OR VIRGIN WOOD FIBER HYDRO-MULCH SHALL BE USED TO CONTROL EROSION AND PROMOTE SEE GERMINATION AND PLANT ESTABLISHMENT. NATIVE HAY, STRAW, OR HYDRO-MULCH SHALL BE APPLIED AT 2,000 POUNDS/ACRE ON SLOPES LESS THAN 3:1. ON STEEPER SLOPES, A MULCHING RATE OF 2,500 POUNDS/ACRE SHALL BE USED.
11. NATIVE HAY OR STRAW SHALL BE CRIMPED INTO THE SOIL TO A DEPTH OF AT LEAST 3 INCHES, AND SHALL PROTRUDE ABOVE THE GROUND AT LEAST 3 INCHES. AN ORGANIC TACKIFIER SHALL BE USED TO HOLD THE HAY OR STRAW IN PLACE IF THE CRIMPING RESULTS ARE INSUFFICIENT. HYDRO-MULCH SHALL BE APPLIED USING A COLOR DYE AND THE MANUFACTURER RECOMMENDED RATE OF AN ORGANIC TACKIFIER.
12. FINE GRADE SEED TO ELIMINATE IRREGULARITIES ON THE SURFACE. ROLL OR PERFORM ADDITIONAL FINE GRADING. SEED AREAS BY MEANS OF APPROVED BROADCAST OR HYDRAULIC-TYPE SPREADERS. DO NOT SEED DURING WINDY WEATHER. MULCH SEEDER AREAS WITH WOOD CELLULOSE FIBER MULCH WITHIN 24 HOURS OF SEEDING. APPLY MULCH TACKIFIER AT RATE RECOMMENDED BY MANUFACTURER'S RECOMMENDATIONS.
13. SUPPLEMENTAL IRRIGATION SHALL NORMALLY NOT BE NECESSARY OR REQUIRED IF THE SEEDING IS ACCOMPLISHED DURING THE PREFERRED PLANTING PERIODS. HOWEVER, IF A WATER HOOK-UP IS AVAILABLE A SPRINKLER SYSTEM MAY BE USED TO PROMOTE A RAPID PLANT ESTABLISHMENT. GENERALLY, WATERING AT 0.75-1.0 INCHES/WEEK IS RECOMMENDED DURING THE APRIL-OCTOBER GROWING SEASON DEPENDING ON NATURAL RAINFALL. THE USE OF WATER TRUCKS FOR IRRIGATION IS PROHIBITED DUE TO TRAFFIC IMPACTS ON THE SEEDER AREAS AND TYPICAL POOR WATER DISTRIBUTION OBSERVED WITH THIS TYPE OF WATERING.
14. APPROVAL OF SEEDER TURF AREAS SHALL BE BASED UPON THE SEED PROCEDURES GUARANTEED SEEDING GERMINATION RATE FOR A ONE SQUARE FOOT AREA. IF GUARANTEED GERMINATION RATE IS NOT ACHIEVED, THE CONTRACTOR SHALL OVERSEED UNTIL THE GERMINATION RATE IS ACHIEVED. REVEGETATION SHALL HAVE AT LEAST 3 NATIVE GRASS SEEDLINGS/SQUARE FOOT AND NO BARE AREAS EXCEEDING ONE SQUARE METER AFTER THE SECOND GROWING SEASON. FOR DRILL SEEDER AREAS, PLANTING ROWS SHALL BE NOTICEABLE BY THE END OF THE FIRST FULL GROWING SEASON. IF A PARTIAL OR TOTAL SEEDING FAILURE IS APPARENT AFTER THE SECOND GROWING SEASON, POORLY VEGETATED AREAS SHALL BE RESEED IN THE SAME MANNER DESCRIBED ABOVE. APPROPRIATE SITE PREPARATION PRACTICES SHALL BE USED TO CREATE A SUITABLE SEEDBED FOR PLANTING, BUT ANY ESTABLISHED NATIVE VEGETATION SHALL BE UNDISTURBED TO THE EXTENT POSSIBLE. AREAS THAT ERODE BEFORE GERMINATION AND ESTABLISHMENT CAN OCCUR SHALL BE REPAIRED AND IMMEDIATELY RESEED DURING THE SAME SEASON.

THE COTTAGES AT MESA RIDGE PUD/ PRELIMINARY PLAN

A PORTION OF THE NORTHEAST QUARTER OF SECTION 29, THE SOUTHEAST QUARTER OF SECTION 20, THE SOUTHWEST QUARTER OF SECTION 21, & THE NORTHWEST QUARTER OF SECTION 28 TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH P.M. COUNTY OF EL PASO, STATE OF COLORADO

All pages should have title block

PLANT LIST

Table with columns: CANOPY TREES, EVERGREEN TREES, ORNAMETAL TREES, SHRUBS\*, GRASSES\*, PERENNIALS\*. Includes plant names, keys, heights, widths, sizes, and conditions.

\*NOT SHOWN ON THIS PRELIMINARY PLAN. ALL PLANTING DETAILS WILL BE PROVIDED ON FINAL LANDSCAPE PLAN

SEEDING SPECIFICATIONS

PAWNEE BUTTES SEED INC.
NATIVE SEEDING
PBSI LOW GROW NATIVE SEED MIX
25% ARIZONA FESCUE
25% SANDBERG BLUEGRASS
25% ROCKY MOUNTAIN FESCUE
25% BIG BLUEGRASS (SHERMAN)

SEEDING RATE: 5LBS/1,000 SQ. FT.

ORDINANCE LANDSCAPE REQUIREMENTS

Table with columns: INTERNAL LANDSCAPING, LANDSCAPE BUFFERS/SETBACKS. Includes site area, minimum landscape area, and various requirements.

these should be two separate line items the zone boundary for the SF (north boundary) 15 req 20 provided; and the MF (SW boundary) 15 req /15 provided

complete this - this is the plan you will plant and it is recorded as a part of the PUD zoning.

please align this category

can yo make these font larger so they are legible after recording?

HR GREEN Xref: xgt-1-ARCH D01: xv-dgn; xv-rw; xv-ub; xc-dgn; xc-rw; xc-urf; xl-dgn

Project information: DRAWN BY: JK, JOB DATE: 12/16/2021, APPROVED: JFR, JOB NUMBER: 200541, CAD DATE: 1/18/2022, CAD FILE: J:2020\200541\CAD\Draws\CDevelopment Plan\Landscape\_Plan

Revision table with columns: NO., DATE, BY, REVISION DESCRIPTION

HRGreen logo and contact information: 7222 COMMERCE CENTER DR SUITE 220, COLORADO SPRINGS CO 80919, PHONE: 719.300.4140 TOLL FREE: 800.728.7805

THE COTTAGES AT MESA RIDGE GOODWIN KNIGHT EL PASO COUNTY, COLORADO

PSD FILE NO: PUDSP-2111 PUD/ PRELIMINARY PLAN LANDSCAPE COVER SHEET

SHEET L.01 13



HUHN, KEN, 1/18/2022 2:47 PM

**THE COTTAGES AT MESA RIDGE  
PUD/ PRELIMINARY PLAN**  
A PORTION OF THE NORTHEAST QUARTER OF SECTION 29, THE SOUTHEAST QUARTER OF SECTION 20, THE SOUTHWEST QUARTER OF SECTION 21, & THE NORTHWEST QUARTER OF SECTION 28 TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH P.M. COUNTY OF EL PASO, STATE OF COLORADO

All pages should have title block

Add the fence details here please or to the previous landscape sheet

add the missing items below please to this sheet

- 6 Location and dimension of the all property lines, rights-of-way, and all existing and proposed easements
- 7 Location and classification of all existing and proposed internal and adjacent roadway(s).

- 12 Sight distance triangles, and any plantings, signs, walls, structures, or other visual obstructions within the triangles where applicable.

At Public road and driveway

15' LANDSCAPE BUFFER

15' LANDSCAPE BUFFER

WATER & SEWER EASEMENT (REC. NO. 211707044, TC #22)

add

10' LANDSCAPE BUFFER

15' LANDSCAPE BUFFER

15 is required for the zone boundary

Dimension all setbacks and landscape buffers once at each property line

add label for ER access road- is this gated? if so show gate or chain detail

15' LANDSCAPE BUFFER

15- is correct

repeat labels

POWERS BOULEVARD (PUBLIC RIGHT-OF-WAY (M/R)) (BOOK 6788 PAGE 531)

PERMANENT DRAINAGE EASEMENT (REC. No. 201044126, TC #9 & #20)

PERMANENT DRAINAGE EASEMENT (REC. No. 201044126, TC #9 & #20)

delete the word preliminary this is the plan



PSD FILE NO: PUDSP-2111

DRAWN BY: JTK JOB DATE: 12/16/2021  
 APPROVED: JFR JOB NUMBER: 200541  
 CAD DATE: 1/18/2022  
 CAD FILE: J:\2020\200541\CAD\DWG\CI\Development Plan\Landscape\_Plan

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**THE COTTAGES AT MESA RIDGE**  
 GOODWIN KNIGHT  
 EL PASO COUNTY, COLORADO

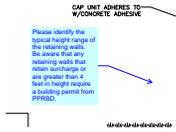


PUD/ PRELIMINARY PLAN  
 PRELIMINARY LANDSCAPE PLAN

SHEET L.02 14

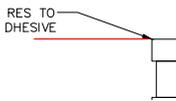
# PUD Development Plan\_V2.pdf Markup Summary 2-14-2022

Daniel Torres (5)

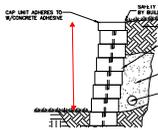


**Subject:** Callout  
**Page Label:** [2] 2 General Notes & Details  
**Author:** Daniel Torres  
**Date:** 2/10/2022 9:32:48 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Please identify the typical height range of the retaining walls. Be aware that any retaining walls that retain surcharge or are greater than 4 feet in height require a building permit from PPRBD.



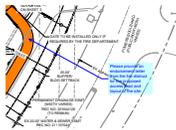
**Subject:** Line  
**Page Label:** [2] 2 General Notes & Details  
**Author:** Daniel Torres  
**Date:** 2/10/2022 9:23:27 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**



**Subject:** Arrow  
**Page Label:** [2] 2 General Notes & Details  
**Author:** Daniel Torres  
**Date:** 2/10/2022 9:24:14 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**



**Subject:** Highlight  
**Page Label:** [2] 2 General Notes & Details  
**Author:** Daniel Torres  
**Date:** 2/10/2022 10:06:20 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**



**Subject:** Callout  
**Page Label:** [4] 4 Site Plan  
**Author:** Daniel Torres  
**Date:** 2/10/2022 12:15:11 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Please provide an endorsement letter from the fire district for the proposed access road and layout of the site.

dspdparsons (79)



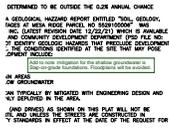
**Subject:** Callout  
**Page Label:** [1] 1 Cover  
**Author:** dsdparsons  
**Date:** 2/10/2022 12:55:26 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

no- its two-family dwelling - single family indicates lots are being platted and this is a horizontal apartment complex one lot for rent not for purchase



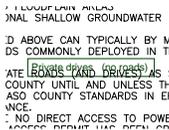


**Subject:** Owner Certification  
**Page Label:** [2] 2 General Notes & Details  
**Author:** dsdparsons  
**Date:** 2/10/2022 12:41:37 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**



**Subject:** Text Box  
**Page Label:** [2] 2 General Notes & Details  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:03:25 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Add to note :mitigation for the shallow groundwater is Slap-on-grade foundations. Floodplains will be avoided.



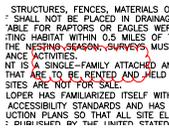
**Subject:** Text Box  
**Page Label:** [2] 2 General Notes & Details  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:03:47 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Private drives (no roads)



**Subject:** Text Box  
**Page Label:** [2] 2 General Notes & Details  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:03:58 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

PLAN



**Subject:** Cloud  
**Page Label:** [2] 2 General Notes & Details  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:04:22 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**



**Subject:** Callout  
**Page Label:** [2] 2 General Notes & Details  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:05:01 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

two-dwelling attached manufactured home development



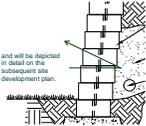
**Subject:** Road Impact  
**Page Label:** [2] 2 General Notes & Details  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:06:16 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

The Subdivider(s) agrees on behalf of him/herself and any developer or builder successors and assignees that Subdivider and/or said successors and assigns shall be required to pay traffic impact fees in accordance with the El Paso County Road Impact Fee Program Resolution (Resolution No. 19-474), or any amendments thereto, at or prior to the time of building permit submittals. The fee obligation, if not paid at final plat recording, shall be documented on all sales documents and on plat notes to ensure that a title search would find the fee obligation before sale of the property.



**Subject:** Callout  
**Page Label:** [2] 2 General Notes & Details  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:06:49 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Use exact note please



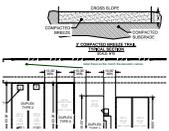
**Subject:** Callout  
**Page Label:** [2] 2 General Notes & Details  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:08:11 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

and will be depicted in detail on the subsequent site development plan.



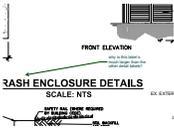
**Subject:** Text Box  
**Page Label:** [2] 2 General Notes & Details  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:10:51 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

CGS COMMENT TO ADD TO General note 3 of the PUD/Preliminary Plan should include all hazards and constraints to development including shallow bedrock.



**Subject:** Callout  
**Page Label:** [2] 2 General Notes & Details  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:24:09 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

label these so they match the elevation names



**Subject:** Callout  
**Page Label:** [2] 2 General Notes & Details  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:51:00 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

why is this label s much larger than the other detail labels?

SECTION - 4  
Driveway

JTY & DRAINAGE ESMT

**Subject:** Text Box  
**Page Label:** [3] 3 Typical Street Sections Driveway  
**Author:** dsdparsons  
**Date:** 2/10/2022 12:25:59 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

TYPICAL S  
E LOCAL)

**Subject:** Owner Certification  
**Page Label:** [3] 3 Typical Street Sections -  
**Author:** dsdparsons  
**Date:** 2/10/2022 12:18:37 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

- TYPICAL SECTION - 2  
E DRIVE)  
Driveway

JTY & DRAINAGE ESMT

**Subject:** Text Box  
**Page Label:** [3] 3 Typical Street Sections Driveway  
**Author:** dsdparsons  
**Date:** 2/10/2022 12:26:10 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

SECTION - 3  
Driveway

**Subject:** Text Box  
**Page Label:** [3] 3 Typical Street Sections Driveway  
**Author:** dsdparsons  
**Date:** 2/10/2022 12:26:15 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

SECTION - 5  
Driveway

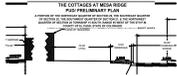
48 GREEN - COLORADO SPRINGS  
7500 COMMERCE CENTER DR SUITE 500  
COLORADO SPRINGS CO 80919  
PHONE: 719.584.1111 FAX: 719.584.1115

**Subject:** Text Box  
**Page Label:** [3] 3 Typical Street Sections Driveway  
**Author:** dsdparsons  
**Date:** 2/10/2022 12:26:19 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

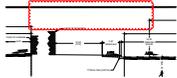
TYPICAL SECTION - 1  
Driveway

ESMT

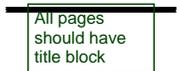
**Subject:** Text Box  
**Page Label:** [3] 3 Typical Street Sections Driveway  
**Author:** dsdparsons  
**Date:** 2/10/2022 12:26:24 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**



**Subject:** Image  
**Page Label:** [3] 3 Typical Street Sections  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:32:49 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**



**Subject:** Cloud  
**Page Label:** [3] 3 Typical Street Sections  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:32:41 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**



**Subject:** Text Box  
**Page Label:** [3] 3 Typical Street Sections  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:33:09 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

All pages should have title block



**Subject:** Callout  
**Page Label:** [4] 4 Site Plan  
**Author:** dsdparsons  
**Date:** 2/10/2022 12:48:20 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Change all "drive" to driveway"



**Subject:** Text Box  
**Page Label:** [4] 4 Site Plan  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:20:05 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

10.21 AC



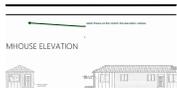
**Subject:** Callout  
**Page Label:** [4] 4 Site Plan  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:20:33 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Add Ac under lot 1 label



**Subject:** Callout  
**Page Label:** [4] 4 Site Plan  
**Author:** dsdparsons  
**Date:** 2/10/2022 5:04:25 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

this should be Sheet 2....Is the heart of the PUD plan set



**Subject:** Callout  
**Page Label:** [8] 8 Elevations - DUPLEX TYPE 4  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:24:35 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

label these so they match the elevation names



**Subject:** Callout  
**Page Label:** [8] 8 Elevations - DUPLEX TYPE 4  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:24:41 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

label these so they match the elevation names



**Subject:** Text Box  
**Page Label:** [8] 8 Elevations - DUPLEX TYPE 4  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:25:24 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Can you label the units front door - these look like a single family unit not two-family.



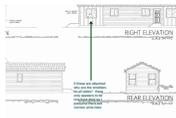
**Subject:** Text Box  
**Page Label:** [8] 8 Elevations - DUPLEX TYPE 4  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:25:57 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Can you label the units front door - these look like a single family unit not two-family.



**Subject:** Callout  
**Page Label:** [8] 8 Elevations - DUPLEX TYPE 4  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:27:08 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

if these are attached why are the windows on all sides? there only appears to be one front door so I presume there are not two units here

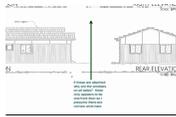


**Subject:** Callout  
**Page Label:** [8] 8 Elevations - DUPLEX TYPE 4  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:27:11 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

if these are attached why are the windows on all sides? there only appears to be one front door so I presume there are not two units here



**Subject:** Image  
**Page Label:** [8] 8 Elevations - DUPLEX TYPE 4  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:33:36 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**



**Subject:** Callout  
**Page Label:** [9] 9 Elevations - DUPLEX TYPE 1  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:23:26 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

if these are attached why are the windows on all sides? there only appears to be one front door so I presume there are not two units here



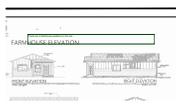
**Subject:** Text Box  
**Page Label:** [9] 9 Elevations - DUPLEX TYPE 1  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:26:05 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Can you label the units front door - these look like a single family unit not two-family.



**Subject:** Text Box  
**Page Label:** [9] 9 Elevations - DUPLEX TYPE 1  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:26:08 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Can you label the units front door - these look like a single family unit not two-family.



**Subject:** Text Box  
**Page Label:** [9] 9 Elevations - DUPLEX TYPE 1  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:26:48 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

There are 2 farmhouse elevations in the set...



**Subject:** Callout  
**Page Label:** [9] 9 Elevations - DUPLEX TYPE 1  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:27:02 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

if these are attached why are the windows on all sides? there only appears to be one front door so I presume there are not two units here



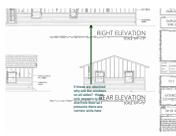
**Subject:** Callout  
**Page Label:** [10] 10 Elevations - DUPLEX TYPE 2  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:27:27 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

if these are attached why are the windows on all sides? there only appears to be one front door so I presume there are not two units here



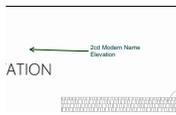
**Subject:** Callout  
**Page Label:** [10] 10 Elevations - DUPLEX TYPE 2  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:27:52 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

3rd elevation w same name.



**Subject:** Callout  
**Page Label:** [10] 10 Elevations - DUPLEX TYPE 2  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:27:58 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

if these are attached why are the windows on all sides? there only appears to be one front door so I presume there are not two units here



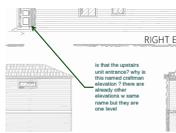
**Subject:** Callout  
**Page Label:** [10] 10 Elevations - DUPLEX TYPE 2  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:28:18 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

2cd Modern Name Elevation



**Subject:** Text Box  
**Page Label:** [10] 10 Elevations - DUPLEX TYPE 2  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:28:34 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

2 elevations named craftsman?



**Subject:** Callout  
**Page Label:** [11] 11 Elevations - DUPLEX TYPE 5  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:29:49 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

is that the upstairs unit entrance? why is this named craftman elevation ? there are already other elevations w same name but they are one level

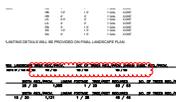
all elevations should have dimensions, unit a unit doors labeled; each unity type should have its own elevation

**Subject:** Text Box  
**Page Label:** [11] 11 Elevations - DUPLEX TYPE 5  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:30:54 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

all elevations should have dimensions; unit a unit b doors labeled; each unity type should have its own elevation

NO.	DESCRIPTION	AMOUNT	UNIT	TOTAL
1	...	...	...	...
2	...	...	...	...
3	...	...	...	...

**Subject:** Image  
**Page Label:** [13] 13 Landscape Cover Sheet  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:33:48 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**



**Subject:** Cloud  
**Page Label:** [13] 13 Landscape Cover Sheet  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:36:48 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

complete this - this is the plan you will plant and it is recorded as a part of the PUD zoning.

complete this - this is the plan you will plant and it is recorded as a part of the PUD zoning.

**Subject:** Text Box  
**Page Label:** [13] 13 Landscape Cover Sheet  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:37:19 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

FEET REQUIRED	NO. OF TRE
53 / 53	
45 / 45	

**Subject:** Cloud  
**Page Label:** [13] 13 Landscape Cover Sheet  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:37:56 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

NO. OF TREES REQ./PROV.  
please align this category  
NO. OF TREES REQ./PROV.

**Subject:** Text Box  
**Page Label:** [13] 13 Landscape Cover Sheet  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:38:12 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

please align this category

NO. OF TREES REQ./PROV.  
/ 53  
NO. OF TREES REQ./PROV.  
/ 45

**Subject:** Arrow  
**Page Label:** [13] 13 Landscape Cover Sheet  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:38:25 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

NO. OF TREES REQ.

**Subject:** Arrow  
**Page Label:** [13] 13 Landscape Cover Sheet  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:38:29 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

SINGLE FAMILY/ MULTI FAMILY  
these should be two separate line items the zone boundary for the SF (north boundary) 15 req 20 provided; and the MF (SW boundary 15 req /15 provided)

**Subject:** Text Box  
**Page Label:** [13] 13 Landscape Cover Sheet  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:46:52 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

these should be two separate line items the zone boundary for the SF (north boundary) 15 req 20 provided; and the MF (SW boundary 15 req /15 provided)

HERBICIDE PRIOR TO PLANTING AND MULCH PLACEMENT.  
DETAILS  
SERVICE LICENSED BY THE CITY FORESTER.  
3. UNLESS OTHERWISE SPECIFIED, ALL MULCH SHALL BE PLACED ON THE SOIL SURFACE.  
IF WORK ON-SITE, NOTE ALL CONSTRUCTION DEBRIS AND ROCKS OVER 1" IN

**Subject:** Cloud  
**Page Label:** [13] 13 Landscape Cover Sheet  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:39:42 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

CONTRACTOR SHALL REPLACE IF NOT IN HEALTHY CONDITION DURING PLANTING AND MULCH PLACEMENT.  
BY THE CITY FORESTER.  
THE IRRIGATION SYSTEMS ARE BASED ON SEASONAL CONSIDERATIONS.

**Subject:** Callout  
**Page Label:** [13] 13 Landscape Cover Sheet  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:39:55 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

County and we dont have a forester...



**Subject:** Text Box  
**Page Label:** [13] 13 Landscape Cover Sheet  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:41:12 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

County does not require irrigation plans, nor do we review them . Just a note stating how you will establish and maintain the plants on this plan...



**Subject:** Callout  
**Page Label:** [13] 13 Landscape Cover Sheet  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:47:24 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

can yo make these font larger so they are legible after recording?



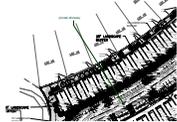
**Subject:** Image  
**Page Label:** [14] 14 Preliminary Landscape Plan  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:34:00 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

delete the word preliminary this is the plan



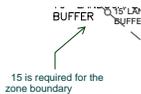
**Subject:** Callout  
**Page Label:** [14] 14 Preliminary Landscape Plan  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:34:32 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

private driveway



**Subject:** Callout  
**Page Label:** [14] 14 Preliminary Landscape Plan  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:35:13 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

15 is required for the zone boundary



**Subject:** Callout  
**Page Label:** [14] 14 Preliminary Landscape Plan  
**Author:** dsdparsons  
**Date:** 2/10/2022 5:02:02 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**



**Subject:** Callout  
**Page Label:** [14] 14 Preliminary Landscape Plan  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:44:05 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Dimension all setbacks and landscape buffers once at each property line



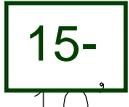
**Subject:** Text Box  
**Page Label:** [14] 14 Preliminary Landscape Plan  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:51:49 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Add the fence details here please or to the previous landscape sheet



**Subject:** Callout  
**Page Label:** [14] 14 Preliminary Landscape Plan  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:52:07 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

repeat labels



**Subject:** Text Box  
**Page Label:** [14] 14 Preliminary Landscape Plan  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:52:48 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

15-

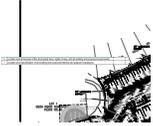


**Subject:** Cloud  
**Page Label:** [14] 14 Preliminary Landscape Plan  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:53:03 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

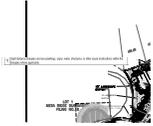


**Subject:** Callout  
**Page Label:** [14] 14 Preliminary Landscape Plan  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:53:26 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

15- is correct



**Subject:** Image  
**Page Label:** [14] 14 Preliminary Landscape Plan  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:57:23 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**



**Subject:** Image  
**Page Label:** [14] 14 Preliminary Landscape Plan  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:58:02 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**



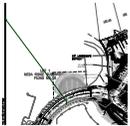
**Subject:** Callout  
**Page Label:** [14] 14 Preliminary Landscape Plan  
**Author:** dsdparsons  
**Date:** 2/10/2022 4:58:20 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

At Public road and driveway



**Subject:** Text Box  
**Page Label:** [14] 14 Preliminary Landscape Plan  
**Author:** dsdparsons  
**Date:** 2/10/2022 5:00:35 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

add the missing items below please to this sheet



**Subject:** Callout  
**Page Label:** [14] 14 Preliminary Landscape Plan  
**Author:** dsdparsons  
**Date:** 2/10/2022 5:01:04 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

add



**Subject:** Callout  
**Page Label:** [14] 14 Preliminary Landscape Plan  
**Author:** dsdparsons  
**Date:** 2/10/2022 5:01:48 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

add label for ER access road- is this gated? if so show gate or chain detail