

URBAN COLLECTION AT PALMER VILLAGE

A PORTION OF THE NORTHWEST QUARTER OF SECTION 5 TOWNSHIP 14 SOUTH, RANGE 65 WEST OF SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO

FINAL GRADING PLANS

PCD FILING NO: SF-20-028

CONTACTS:

OWNER/DEVELOPER
MDC HOLDINGS – RICHMOND AMERICAN HOMES
4350 S. MONACO STREET
DENVER, CO 80237
JASON POCK
P~(720)-977-3827

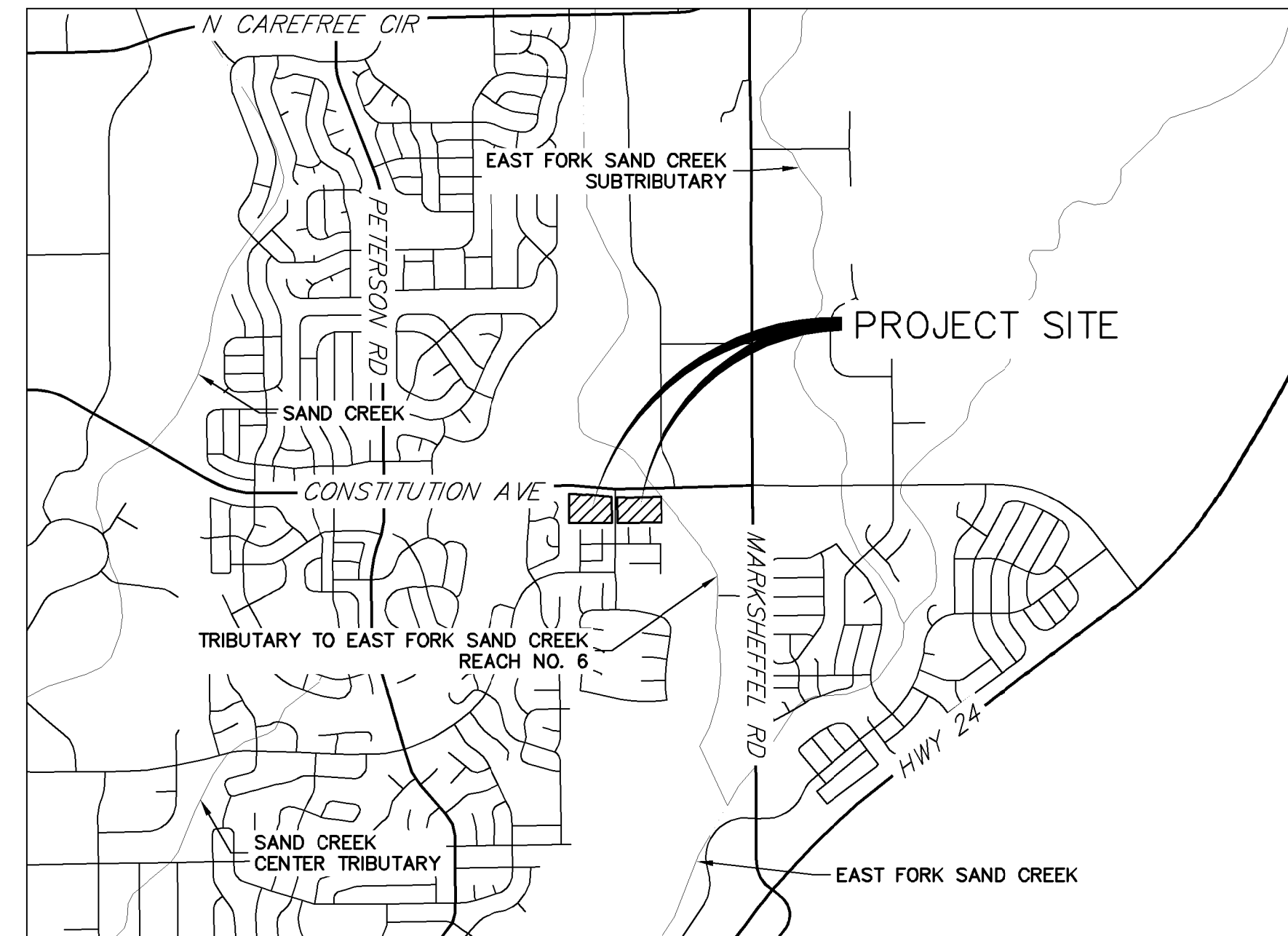
ENGINEER/SURVEYOR
JR ENGINEERING, LLC
ATTN: GLENN D. ELLIS
5475 TECH CENTER DRIVE, SUITE 235
COLORADO SPRINGS, CO 80919
P~(719) 593-2593

FIRE PROTECTION DISTRICT
FALCON FIRE PROTECTION DISTRICT
730 OLD MERIDIAN ROAD
PEYTON, CO 80831
TRENT HARWIG
P~(719) 495-4050

WATER AND SEWER DISTRICT
CHEROKEE METRO DISTRICT
6250 PALMER PARK BLVD
COLORADO SPRINGS, CO 80915
CONTACT: KEVIN BROWN
P~(719) 322-4339

JURISDICTION
EL PASO COUNTY PCD
P~(719)-520-6300

EL PASO COUNTY DPW
P~(719)-520-6460



VICINITY MAP
SCALE: 1"=1000'

SHEET INDEX

- 1 - COVER SHEET
- 2 - LEGEND
- 3 - SWALE CROSS SECTIONS
- 4-7 - GRADING PLAN

BASIS OF BEARING

BEARINGS SHOWN HEREON ARE REFERENCED TO THE NORTH LINE OF NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST, ASSUMED TO BEAR NORTH 89°09'25" EAST BETWEEN THE MONUMENTS SHOWN HEREON.

BENCHMARK

FIMS MOUNUMENT SR06 IS A 2 INCH DIAMETER ALUMINUM CAP ON TOP OF THE SOUTH CURB OF PONY TRACKS DRIVE, APPROXIMATELY 850 FEET EASTERLY OF THE CENTERLINE OF PETERSON ROAD, 125 FEET EASTERLY OF THE EAST CURB OF BANKSIDE DRIVE, AND 10 FEET EASTERLY OF AN ELECTRICAL VAULT.

ELEVATION = 6523.04 (NGVD 29)

NOTE

1. BASED ON ELEVATION DATA, THE APPLICANT WILL NEED TO FILE FEDERAL AVIATION ADMINISTRATION (FAA) FORM 7460-1 "NOTICE OF PROPOSED CONSTRUCTION OR ALTERATION" FOR ANY NEW VERTICAL DEVELOPMENT AT THIS SITE, INCLUDING TEMPORARY CONSTRUCTION EQUIPMENT, AND PROVIDE FAA DOCUMENTATION TO THE AIRPORT BEFORE THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES; FAA'S WEBSITE (HTTPS://OEA.AAA.FAA.GOV/OEA.AAA/EXTERNAL/PORTAL.JSP).



Know what's below.
Call before you dig.

OWNER/DEVELOPER STATEMENT

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH ALL OF THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN.

Jason J.W. Pock 7-16-2021
JASON POCK DATE

MDC HOLDINGS – RICHMOND AMERICAN HOMES
4359 S. MONACO STREET
DENVER, CO 80237

EL PASO COUNTY STATEMENT

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

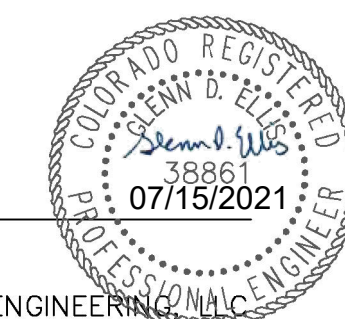
JENNIFER IRVINE, P.E. DATE

COUNTY ENGINEER/ECM ADMINISTRATOR

ENGINEER'S STATEMENT

THIS GRADING AND EROSION CONTROL PLAN WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. SAID PLAN HAS BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR GRADING AND EROSION CONTROL PLANS. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARING THIS PLANS.

GLENN ELLIS P.E.
COLORADO P.E. 38861 DATE
FOR AND ON BEHALF OF JR ENGINEERING

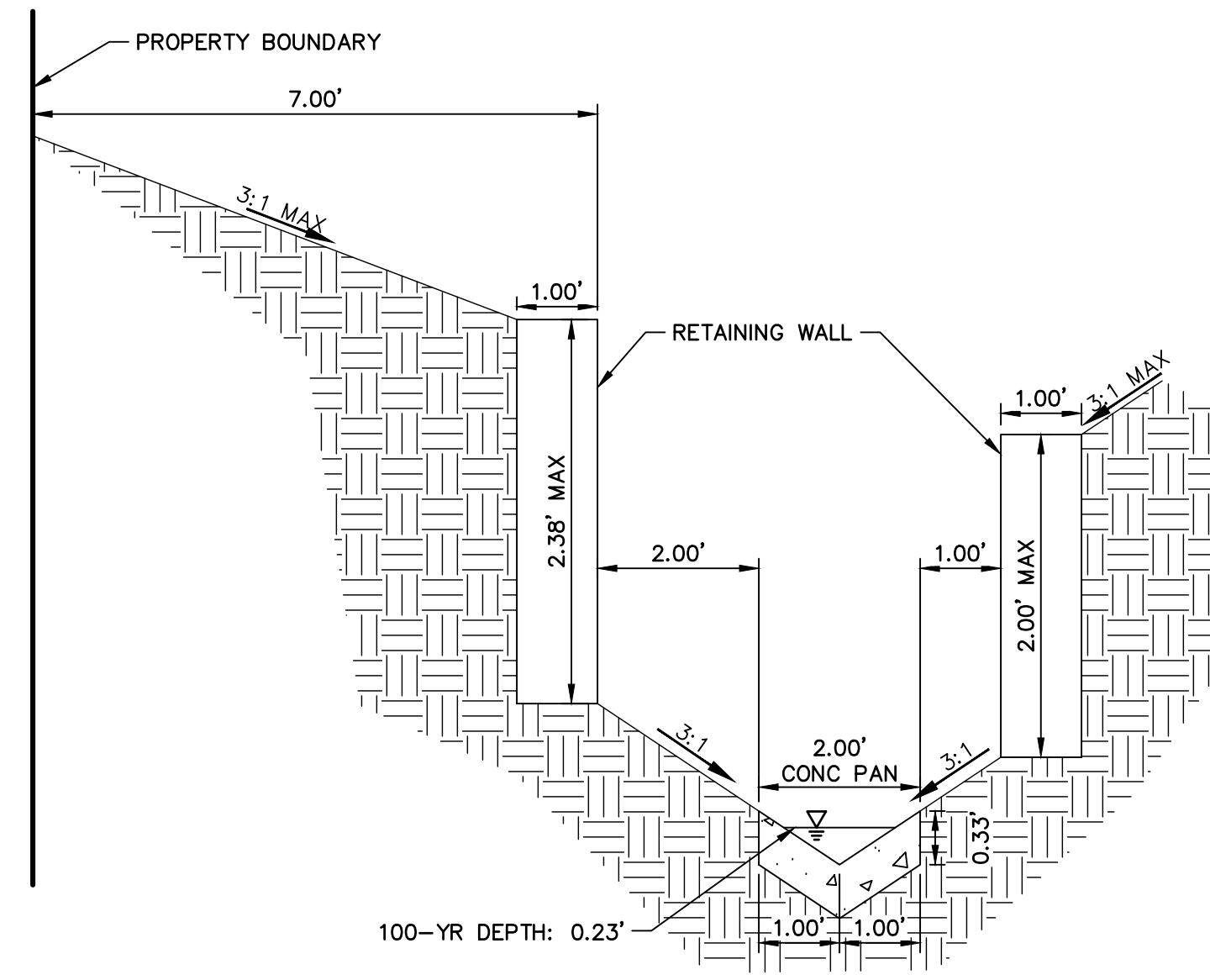


UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USES DESIGNATED BY WRITTEN AUTHORIZATION.

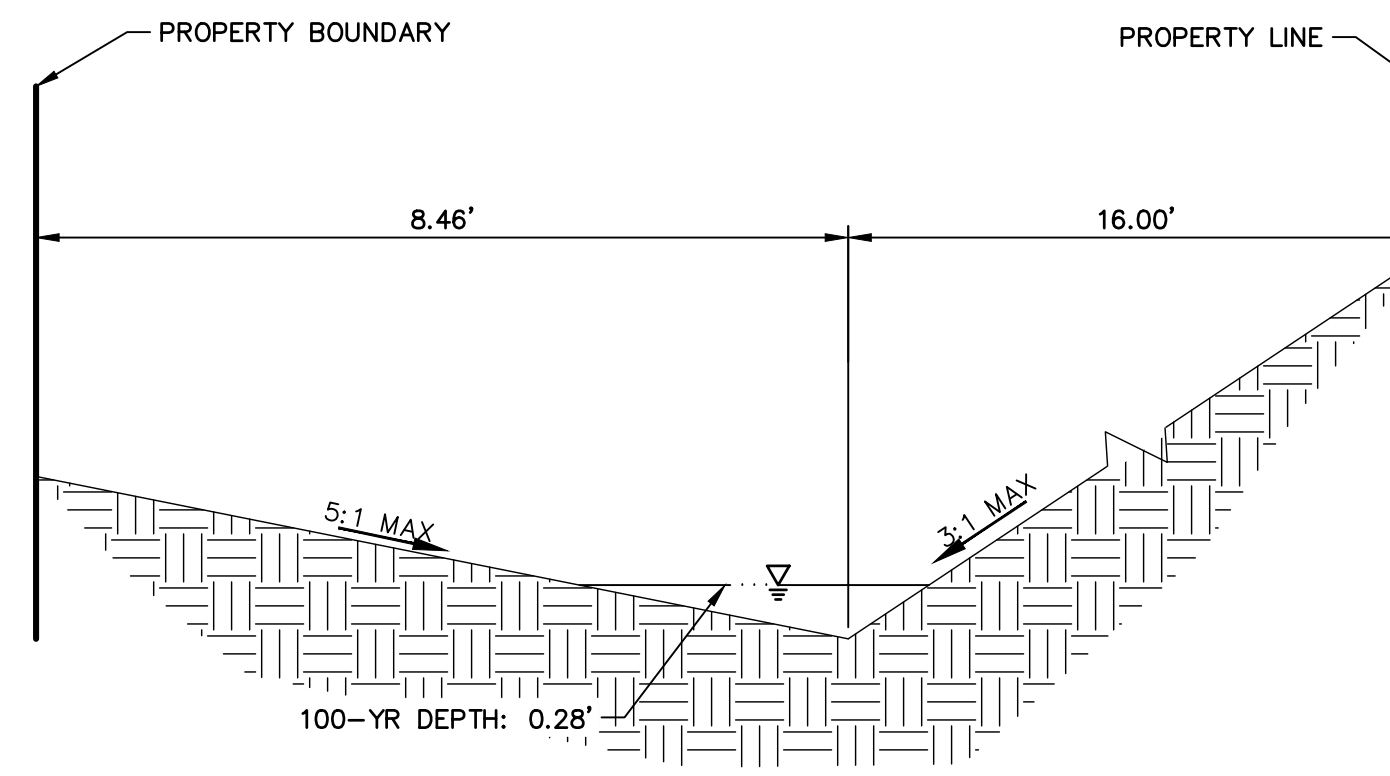
PREPARED FOR
MDC HOLDINGS
RICHMOND AMERICAN HOMES
4350 S. MONACO STREET
JASON POCK
(720) 977-3827
JASON.POCK@MDC.H.COM

J.R. ENGINEERING
A Westman Company
Central 303-740-9883 • Colorado Springs 719-593-2593
Fort Collins 970-491-9888 • www.jrengineering.com

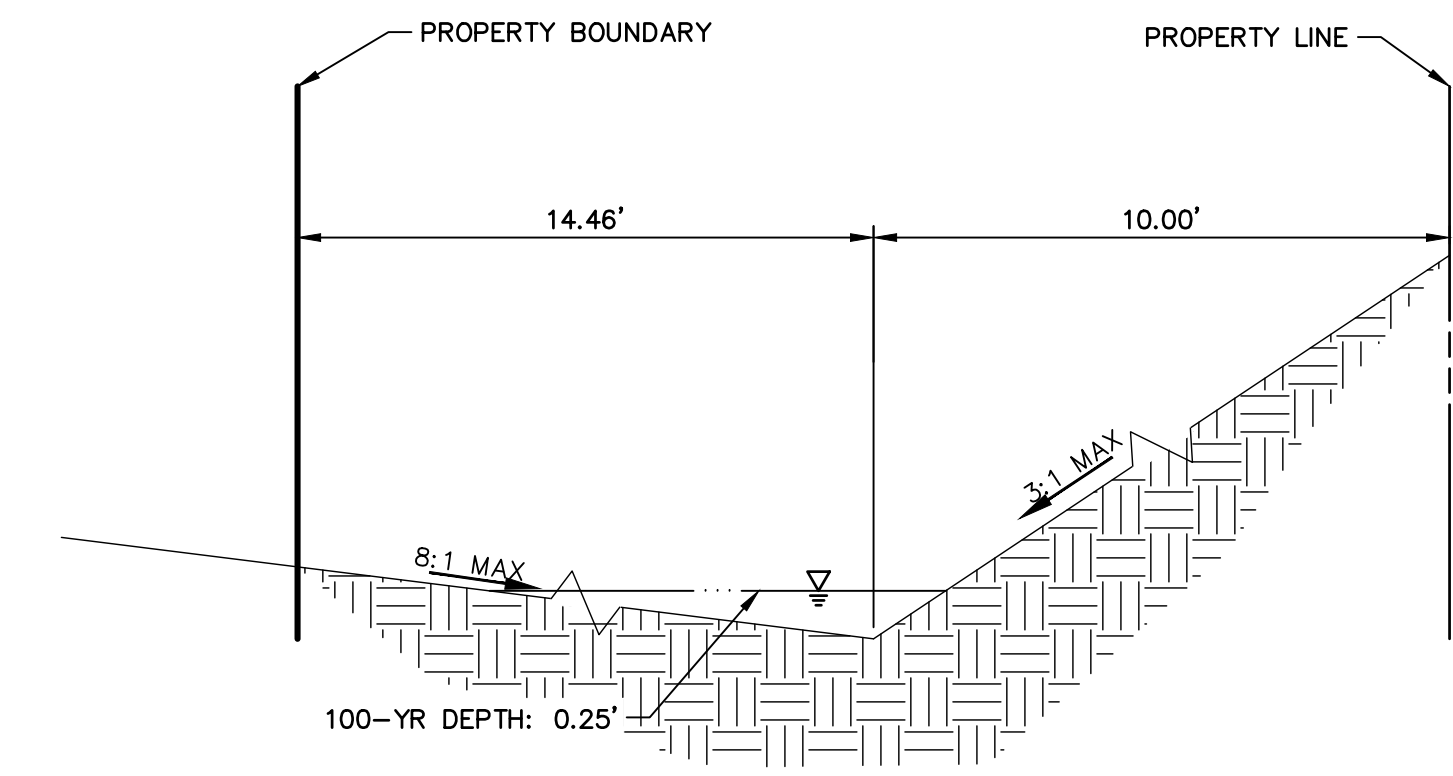
BY	DATE	No.	REVISION	H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY	URBAN COLLECTION AT PALMER VILLAGE COVER SHEET FINAL GRADING PLANS
										SHEET 1 OF 7
										JOB NO. 25149.01



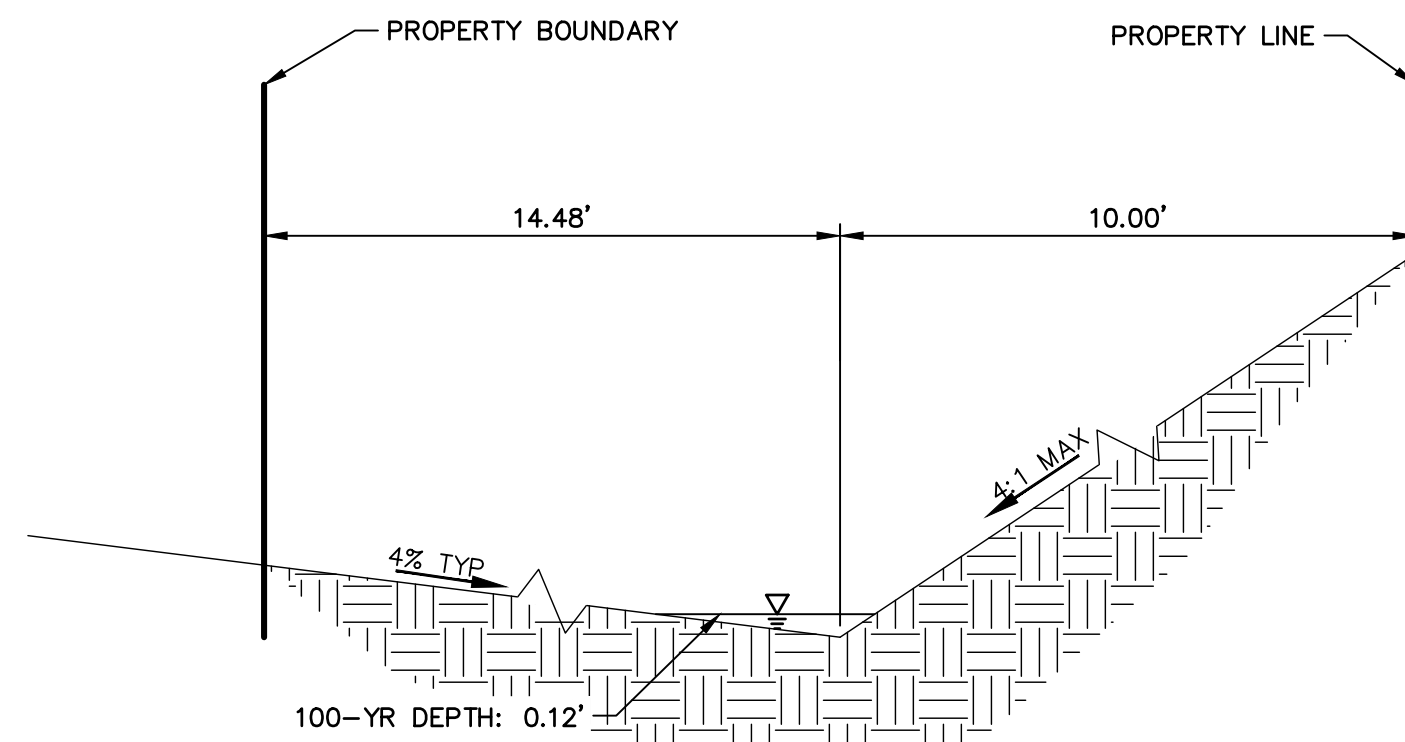
A SWALE A-A SECTION
SCALE: 1"=2' (HOR), 1"=1' (VERT)



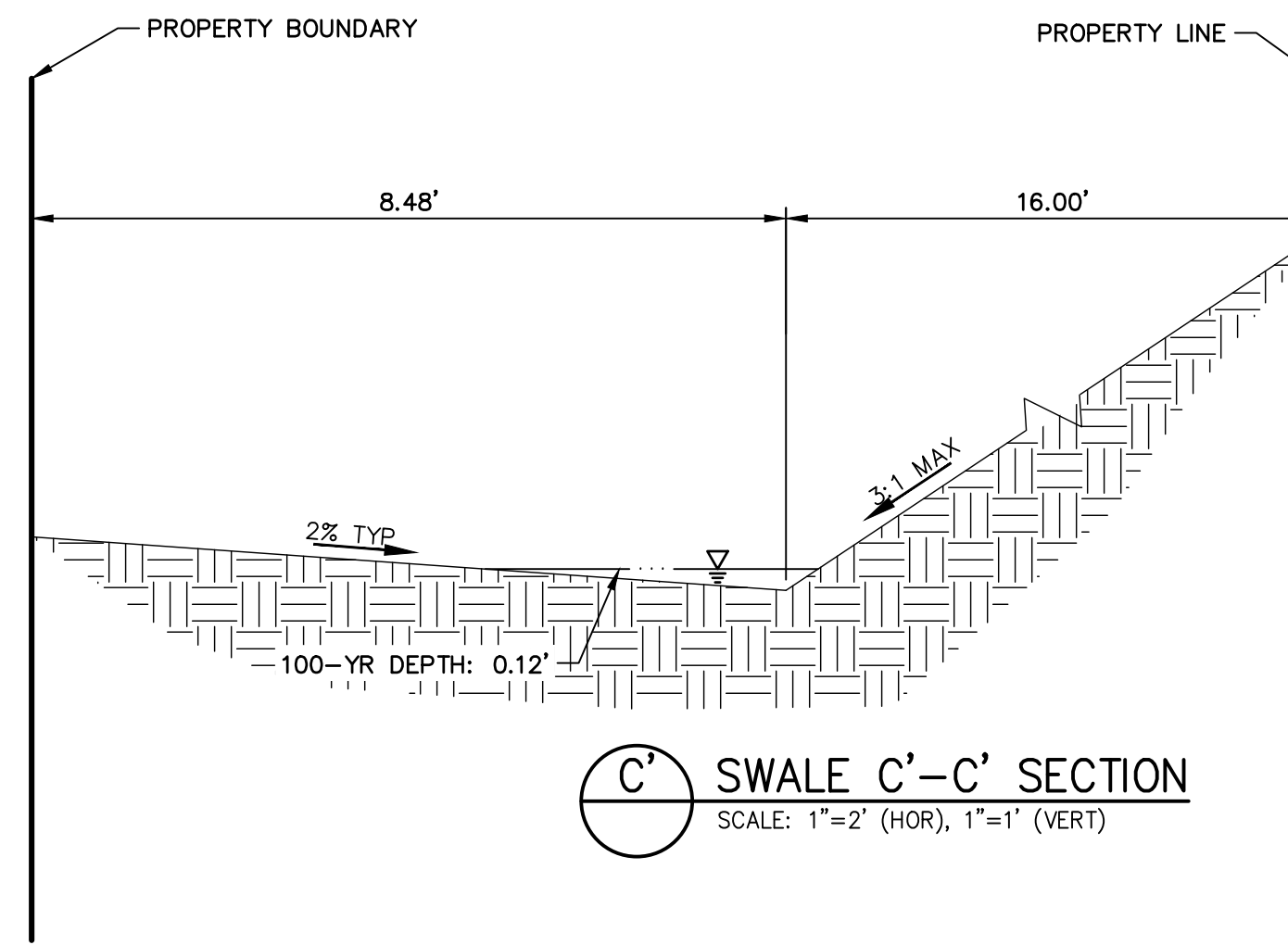
B SWALE B-B SECTION
SCALE: 1"=2' (HOR), 1"=1' (VERT)



B' SWALE B'-B' SECTION
SCALE: 1"=2' (HOR), 1"=1' (VERT)



C SWALE C-C SECTION
SCALE: 1"=2' (HOR), 1"=1' (VERT)



C' SWALE C'-C' SECTION
SCALE: 1"=2' (HOR), 1"=1' (VERT)

SWALE SECTION NOTES

1. ALL SWALE SECTIONS ARE FACING UPSTREAM (WEST).
2. SEE LANDSCAPE PLANS BY OTHERS FOR PROPOSED SURFACE MATERIAL.

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USE AS DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR
MDC HOLDINGS
RICHMOND AMERICAN HOMES
4350 S. MONACO STREET
DENVER, CO 80237
ATTN: JASON FOCK
720-977-3827

J.R. ENGINEERING
A Westman Company
Central 303-740-9888 • Colorado Springs 719-583-2583
Fort Collins 970-491-9888 • www.jrengineering.com

BY	DATE	No.	REVISION

H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
1" = 2'	1" = 1'	01/26/21	RPD	RPD	

URBAN COLLECTION AT PALMER VILLAGE	SWALE CROSS SECTIONS	FINAL GRADING PLANS
SHEET 3 OF 7	JOB NO. 25149.01	

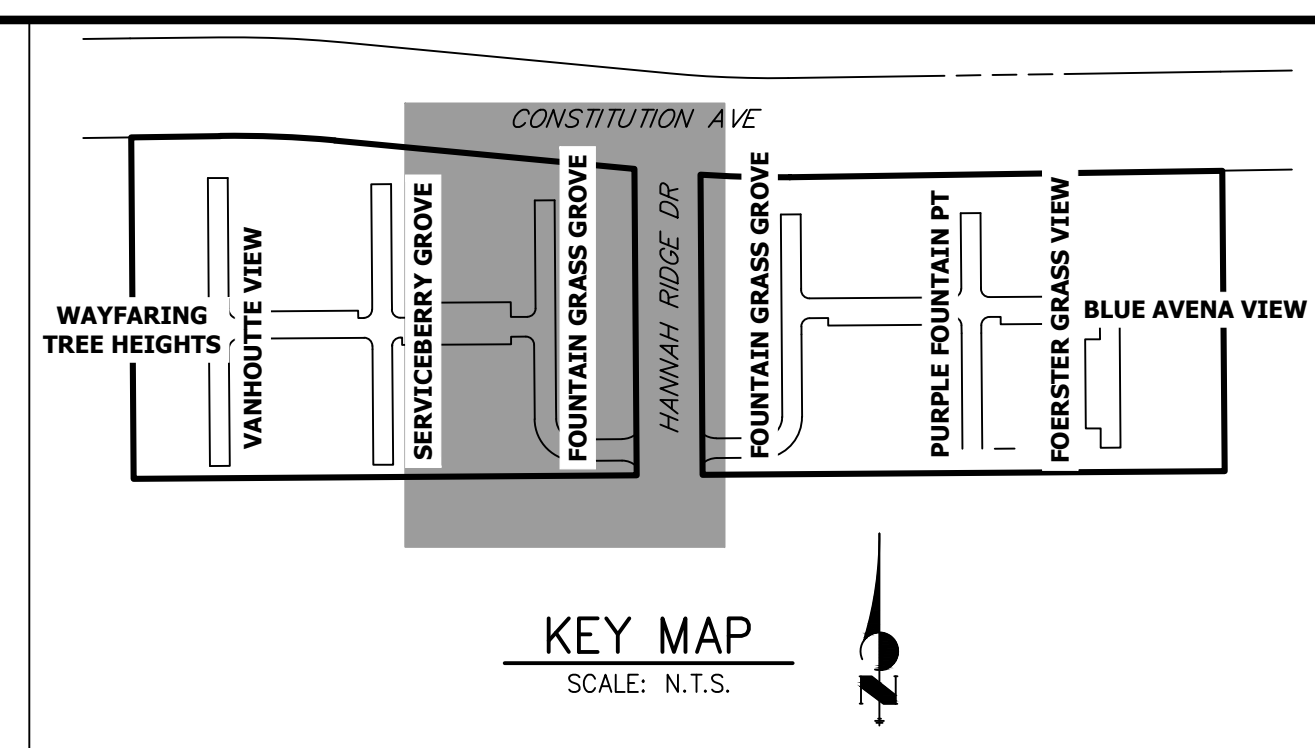
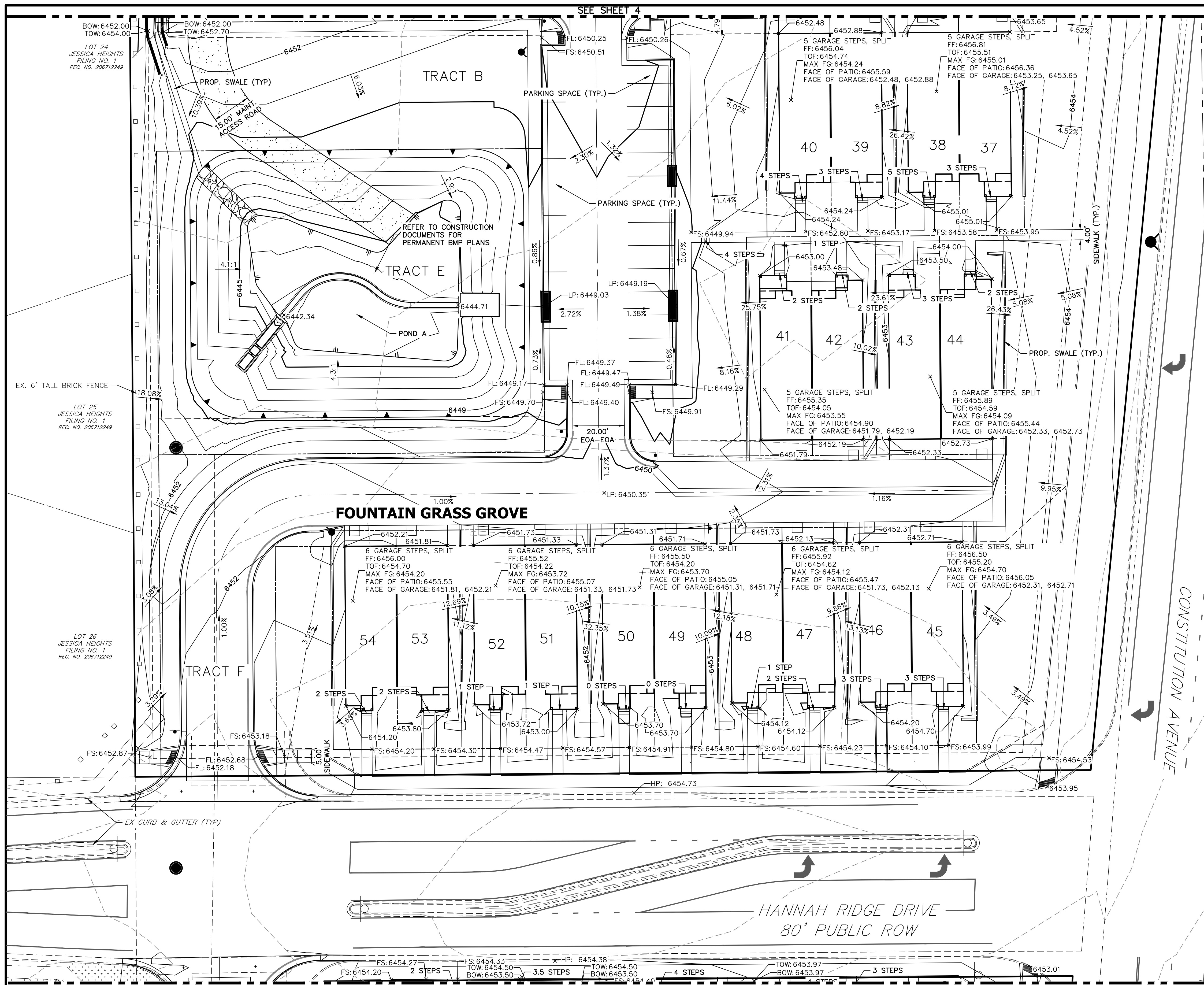


ENGINEER'S STATEMENT

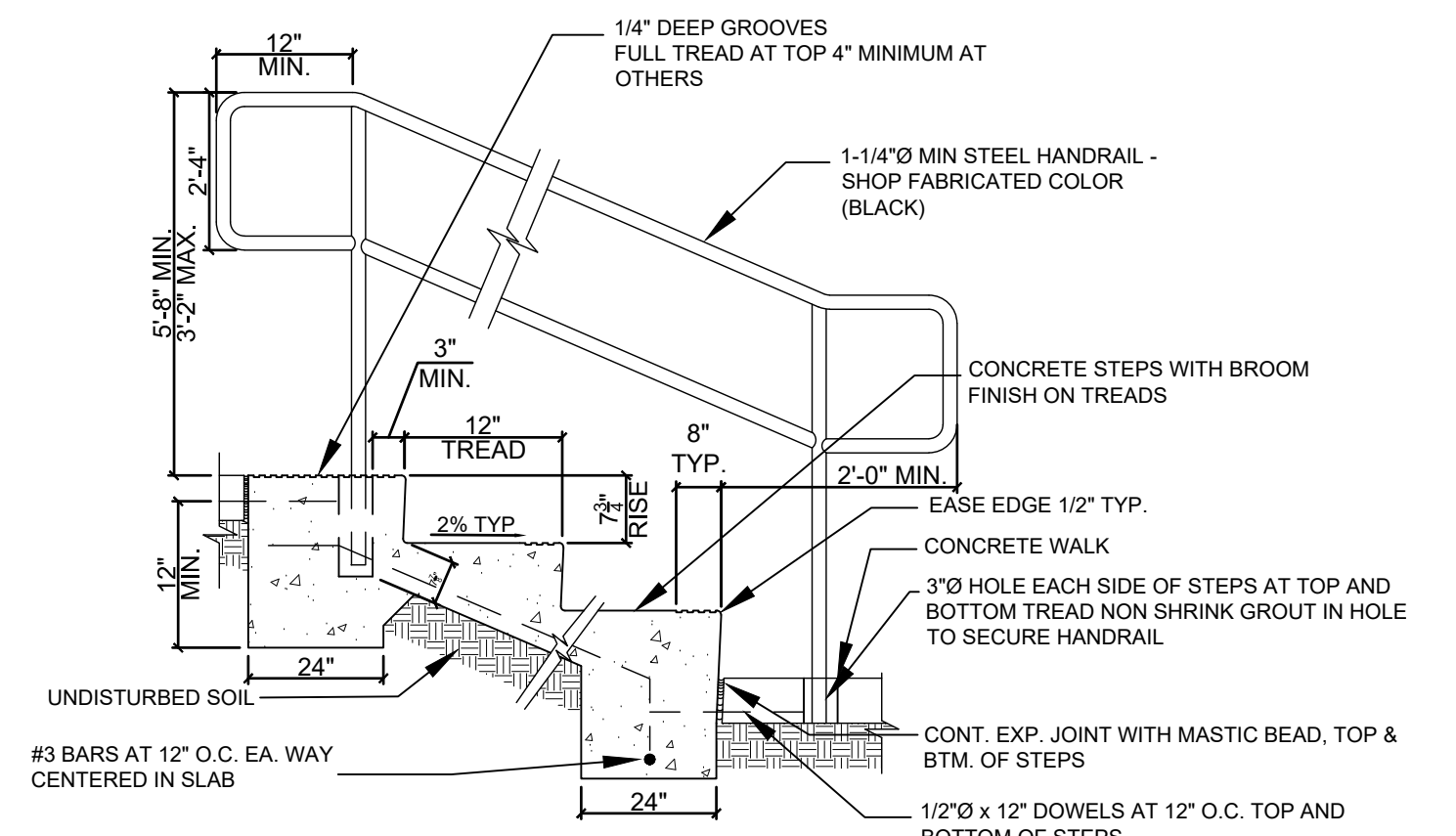
PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING

GLENN D. ELLIS, P.E.
COLORADO P.E. 38861
FOR AND ON BEHALF OF JR ENGINEERING, INC.





- NOTES**
- ELEVATIONS ARE FINAL GRADE UNLESS OTHERWISE NOTED.
 - ALL PROPOSED ROADS ARE PRIVATE UNLESS OTHERWISE NOTED.
 - PROPOSED TYPICAL BUILDING DETAIL ON SHEET 4.
 - ALL EXTERIOR WALKWAYS WITH 3 STEPS OR MORE WILL REQUIRE A HANDRAIL, SEE DETAIL ON SHEET 5.
 - REFER TO WATER CONSTRUCTION PLANS BY JR ENGINEERING FOR PROPOSED POTABLE WATER DESIGN.
 - REFER TO SANITARY SEWER PLAN & PROFILE PLANS BY JR ENGINEERING FOR PROPOSED SANITARY SEWER DESIGN.
 - REFER TO UTILITY SERVICE PLANS BY JR ENGINEERING FOR PROPOSED SERVICE CONNECTIONS DESIGN.
 - REFER TO CONSTRUCTION DOCUMENTS BY JR ENGINEERING FOR PROPOSED STREET IMPROVEMENT PLANS, STORM SEWER DESIGN, AND PERMANENT BMP PLANS.
- FS = FINISHED SURFACE
 - FG = FINISHED GRADE
 - TOW = TOP OF WALL
 - BOW = BOTTOM OF WALL



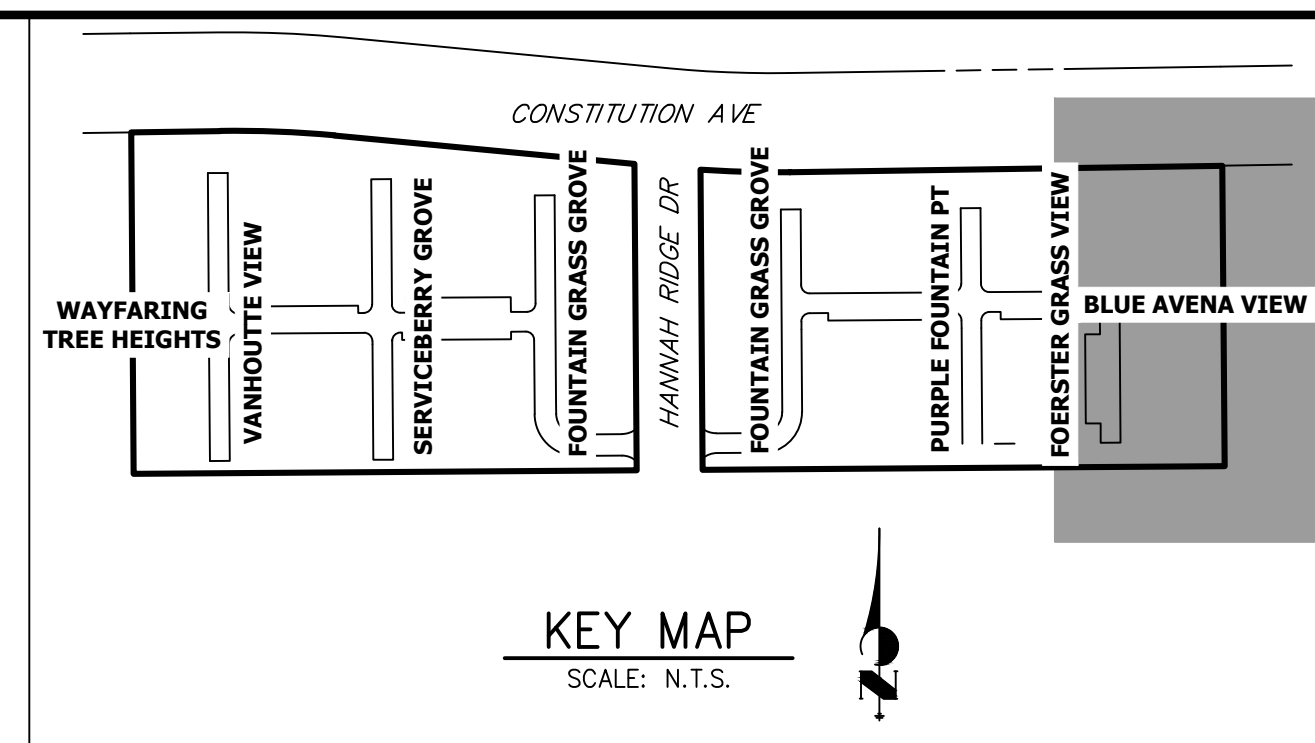
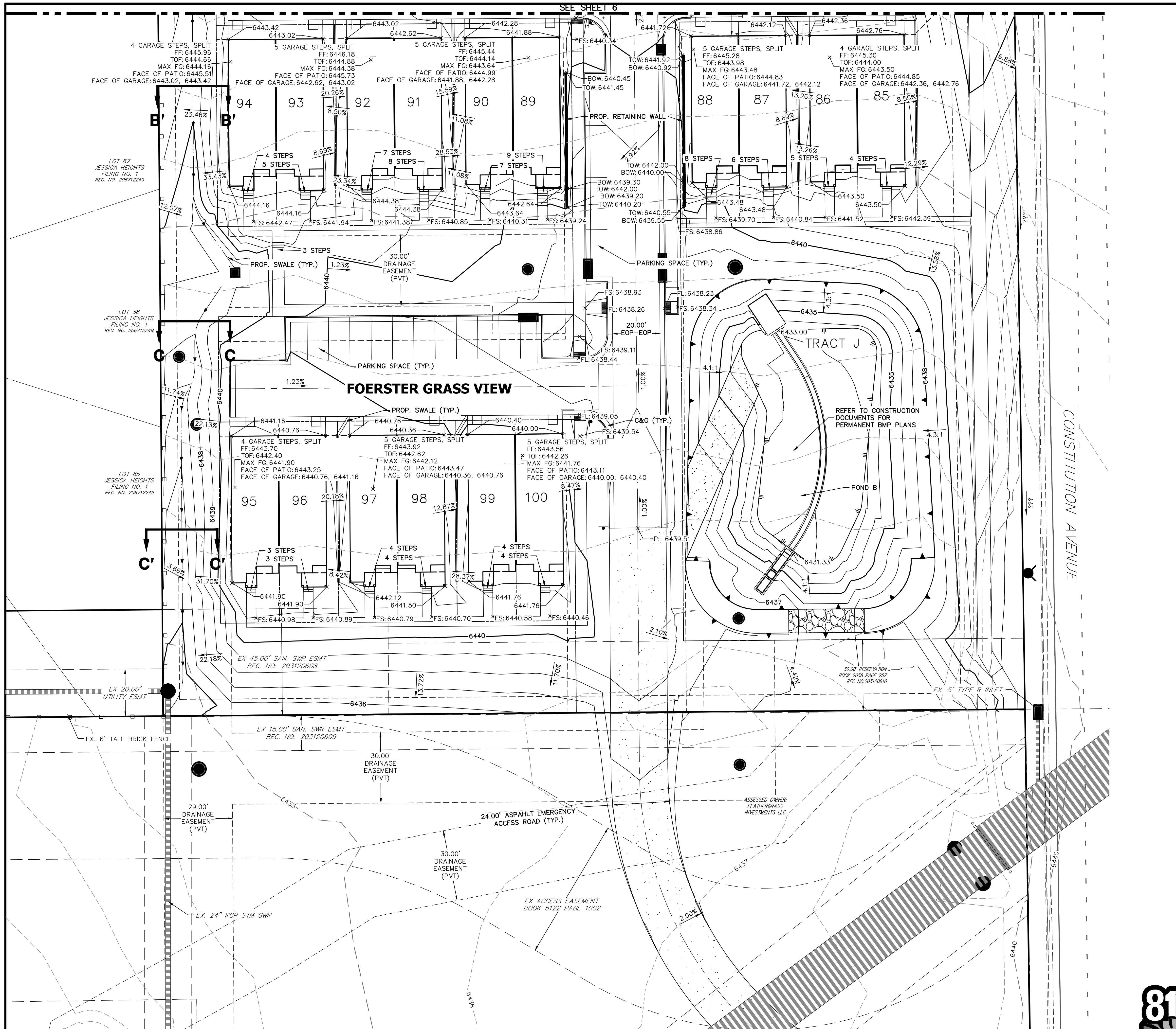
ENGINEER'S STATEMENT
 PREPARED UNDER MY DIRECT SUPERVISION, AND ON BEHALF OF JR ENGINEERING

GLENN D. ELLIS, P.E.
 COLORADO P.E. 38861
 FOR AND ON BEHALF OF JR ENGINEERING, L.L.C.

07/15/2021 DATE

PREPARED FOR	MDC HOLDINGS RICHMOND AMERICAN HOMES 4350 S. MONACO STREET DENVER, CO 80237 ATTN: JASON POCK 720-977-3827
	J.R. ENGINEERING A Westman Company Central 303-740-9888 • Colorado Springs 719-583-2593 Fort Collins 970-491-9888 • www.jrengineering.com
UNLESS SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USE DESIGNATED BY WRITTEN AUTHORIZATION.	
BY	DATE
No.	REVISION
H-SCALE 1"=20'	DESIGNED BY MCS
V-SCALE 1"=2'	DATE 01/26/21
DESIGNED BY MCS	DRAWN BY MCS
DESIGNED BY	CHECKED BY
URBAN COLLECTION AT PALMER VILLAGE	GRADING PLAN
FINAL GRADING PLANS	
SHEET 5	OF 7
JOB NO.	25149.01

SEE SHEET 6



- NOTES**
- ELEVATIONS ARE FINAL GRADE UNLESS OTHERWISE NOTED.
 - ALL PROPOSED ROADS ARE PRIVATE UNLESS OTHERWISE NOTED.
 - PROPOSED TYPICAL BUILDING DETAIL ON SHEET 4.
 - ALL EXTERIOR WALKWAYS WITH 3 STEPS OR MORE WILL REQUIRE A HANDRAIL, SEE DETAIL ON SHEET 5.
 - REFER TO WATER CONSTRUCTION PLANS BY JR ENGINEERING FOR PROPOSED POTABLE WATER DESIGN.
 - REFER TO SANITARY SEWER PLAN & PROFILE PLANS BY JR ENGINEERING FOR PROPOSED SANITARY SEWER DESIGN.
 - REFER TO UTILITY SERVICE PLANS BY JR ENGINEERING FOR PROPOSED SERVICE CONNECTIONS DESIGN.
 - REFER TO CONSTRUCTION DOCUMENTS BY JR ENGINEERING FOR PROPOSED STREET IMPROVEMENT PLANS, STORM SEWER DESIGN, AND PERMANENT BMP PLANS.
- FS = FINISHED SURFACE
 - FG = FINISHED GRADE
 - TOW = TOP OF WALL
 - BOW = BOTTOM OF WALL

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USE ONLY AS DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR
MDC HOLDINGS
 RICHMOND AMERICAN HOMES
 4350 S. MONACO STREET
 DENVER, CO 80237
 ATTN: JASON POCK
 720-977-3827

J.R. ENGINEERING
 A Westman Company
 Centennial 300-740-9888 • Colorado Springs 719-588-2593
 Fort Collins 970-491-9888 • www.jrengineering.com

BY	DATE	NO.	REVISION

H-SCALE	1" = 20'
V-SCALE	1" = 2'
DATE	01/26/21
DESIGNED BY	MCS
DRAWN BY	MCS
CHECKED BY	

URBAN COLLECTION AT
 PALMER VILLAGE
 GRADING PLAN
 FINAL GRADING PLANS



ENGINEER'S STATEMENT
 PREPARED UNDER MY DIRECT SUPERVISION, AND ON BEHALF OF JR ENGINEERING

GLENN D. ELLIS, P.E.
 COLORADO P.E. 38861
 FOR AND ON BEHALF OF JR ENGINEERING, L.L.C.

07/15/2021 DATE

