

URBAN COLLECTION AT PALMER VILLAGE

A PORTION OF THE NORTHWEST QUARTER OF SECTION 5 TOWNSHIP 14 SOUTH, RANGE 65 WEST OF SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO

FINAL GRADING PLANS

CONTACTS:

OWNER/DEVELOPER MDC HOLDINGS – RICHMOND AMERICAN HOMES
4350 S. MONACO STREET
DENVER, CO 80237
JASON POCK
P~(720)–977–3827

ENGINEER/SURVEYOR JR ENGINEERING, LLC
ATTN: GLENN D. ELLIS
5475 TECH CENTER DRIVE, SUITE 235
COLORADO SPRINGS, CO 80919
P~(719) 593–2593

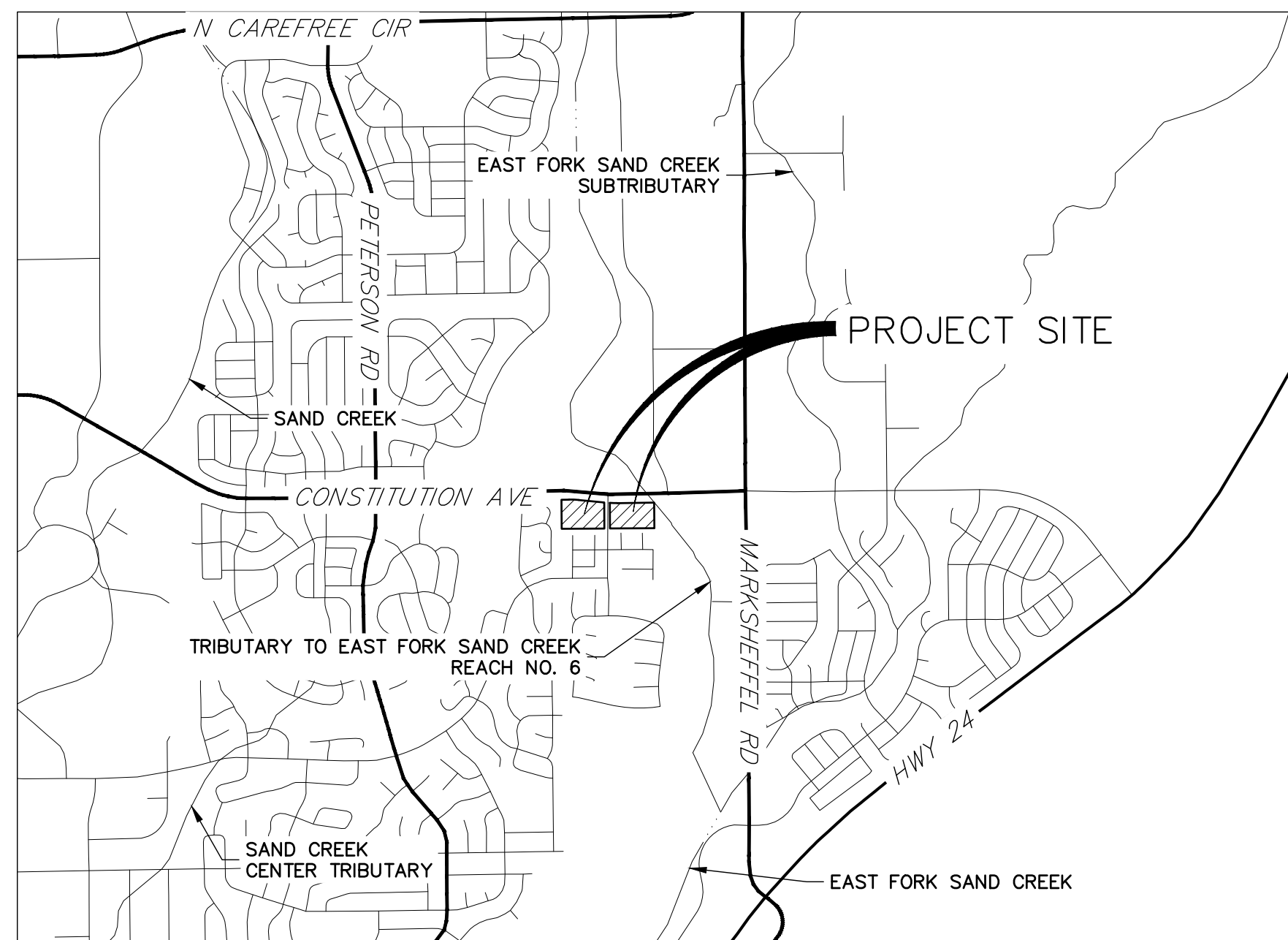
FIRE PROTECTION DISTRICT FALCON FIRE PROTECTION DISTRICT
730 OLD MERIDIAN ROAD
PEYTON, CO 80831
TRENT HALWIG
P~(719) 495–4050

WATER AND SEWER DISTRICT CHEROKEE METRO DISTRICT
6250 PALMER PARK BLVD
COLORADO SPRINGS, CO 80915
CONTACT: KEVIN BROWN
P~(719) 372–4339

JURISDICTION EL PASO COUNTY
CONTACT: RAD DICKSON
EMAIL: RADDICKSON@ELPASOCO.COM
P~(719)–520–6447

Change to:
El Paso County PCD
(719) 520-6300

El Paso County DPW
(719) 520-6460



VICINITY MAP
SCALE: 1"=1000'

SHEET INDEX

- 1 – COVER SHEET
- 2 – LEGEND
- 3 TO 6 – GRADING PLAN

Engineering Review
12/30/2020 12:28:40 PM
dsdrice
JeffRice@elpasoco.com
(719) 520-7877
EPC Planning & Community
Development Department

Provide cross-sections of swales.

BASIS OF BEARING

BEARINGS SHOWN HEREON ARE REFERENCED TO THE NORTH LINE OF NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST, ASSUMED TO BEAR NORTH 89°09'25" EAST BETWEEN THE MONUMENTS SHOWN HEREON.

BENCHMARK

FIMS MOUNUMENT SR06 IS A 2 INCH DIAMETER ALUMINUM CAP ON TOP OF THE SOUTH CURB OF PONY TRACKS DRIVE, APPROXIMATELY 850 FEET EASTERLY OF THE CENTERLINE OF PETERSON ROAD, 125 FEET EASTERLY OF THE EAST CURB OF BANKSIDE DRIVE, AND 10 FEET EASTERLY OF AN ELECTRICAL VAULT.

ELEVATION = 6523.04 (NGVD 29)

EL PASO COUNTY STATEMENT

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

JENNIFER IRVINE, P.E. DATE
COUNTY ENGINEER/ECM ADMINISTRATOR

OWNER/DEVELOPER STATEMENT

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH ALL OF THE REQUIREMENTS SPECIFIED IN THE PLANS AND SPECIFICATIONS.

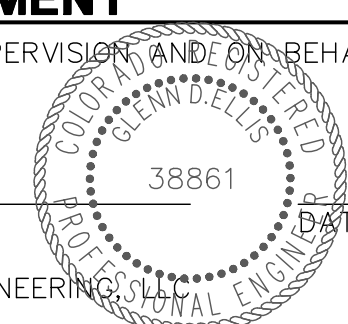
JASON POCK DATE

MDC HOLDINGS – RICHMOND AMERICAN HOMES
4350 S. MONACO STREET
DENVER, CO 80237

ENGINEER'S STATEMENT

PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING

GLENN D. ELLIS, P.E.
COLORADO P.E. 38861
FOR AND ON BEHALF OF JR ENGINEERING



Know what's below.
Call before you dig.

URBAN COLLECTION AT PALMER VILLAGE COVER SHEET FINAL GRADING PLANS	BY	DATE	No. REVISION	H-SCALE V-SCALE	N/A N/A	DATE 10/28/20	DESIGNED BY MCS	DRAWN BY MCS	CHECKED BY	SHEET 1 OF 6	JOB NO. 25149.01	UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USES DESIGNATED BY WRITTEN AUTHORIZATION.
	PREPARED FOR	MDC HOLDINGS RICHMOND AMERICAN HOMES 4350 S. MONACO STREET JASON POCK (720) 977-3827 JASON.POCK@MDC.H.COM										J.R. ENGINEERING A Westman Company Central 303-740-9888 • Colorado Springs 719-583-2593 Fort Collins 970-491-9888 • www.jrengineering.com

LAYER LINETYPE LEGEND

Table with columns for EXISTING and PROPOSED linetypes. Rows include PHASE LINE, MATCH LINE, SECTION LINE, BOUNDARY LINE, PROPERTY LINE, EASEMENT LINE, RIGHT OF WAY, R.O.W. A LINE, CENTERLINE, CITY LIMITS, WIRE FENCE, CHAIN LINK FENCE, WOOD FENCE, MASONRY FENCE, GUARDRAIL, CONC. BARRIER, CABLE TV, ELECTRIC, FIBER OPTIC, GAS MAIN, IRRIGATION MAIN, OIL/PETRO. MAIN, OVERHEAD UTILITY, SANITARY SEWER, STORM DRAIN, TELEPHONE, WATER MAIN, RAW WATER LINE, SWALE/WATERWAY FLOWLINE, DIVERSION DITCH, DIVERSION CHANNEL, MAJOR DRAINAGE BASIN, MINOR DRAINAGE BASIN, TOP OF SLOPE, TOE OF SLOPE, EDGE OF WATER, INDEX CONTOUR, INTERMEDIATE CONTOUR, DEPRESSION CONT. (INDEX), DEPRESSION CONT. (INTER), TOP OF CUTS, TOE OF FILLS, CUT AND FILL LINE, SILT FENCE, 100 YEAR FLOODPLAIN, 500 YEAR FLOODPLAIN, FLOODWAY, BASE FLOOD ELEVATION, EDGE OF WETLANDS, STONE WALL.

UTILITIES LEGEND

Table with columns for EXISTING and PROPOSED symbols. Rows include STORM SEWER (MANHOLE, STORM INLET, AREA INLET - SQUARE, AREA INLET - ROUND, FLARED END SECTION, RIPRAP), SANITARY SEWER (LINE MARKER, SERVICE MARKER, CLEAN-OUT, MANHOLE W/ DIRECTIONAL FLOW ARROW), WATER LINE (LINE MARKER, SERVICE MARKER, FIRE HYDRANT, FIRE CONNECTION, MANHOLE, BEND, BLOW-OFF VALVE, WELL, METER, VALVE, REDUCER, THRUST BLOCK, CROSS, PLUG W/ THRUST BLOCK, TEE, REVERSE ANCHOR, ANODE, AIR & VACUUM VALVE ASSEMBLY, TRANSMISSION BLOW-OFF ASSEMBLY), GAS LINE (MARKER, SERVICE MARKER, METER, VALVE, PLUG, TEE), DRY UTILITIES (CABLE TV MARKER, CABLE TELEVISION PEDESTAL, ELECTRIC MARKER, ELECTRIC SERVICE MARKER, ELECTRICAL PEDESTAL, ELECTRICAL METER, ELECTRICAL MANHOLE, FIBER-OPTIC MARKER, IRRIGATION PEDESTAL, TELEPHONE MARKER, TELEPHONE PEDESTAL, TELEPHONE MANHOLE, UTILITY POLE, GUY ANCHOR, GUY POLE), MISC. UTILITIES (VENT PIPE, TEST HOLE DESIGNATOR).

TRAFFIC LEGEND

Table with columns for EXISTING and PROPOSED symbols. Rows include PARKING METER, TRAFFIC SIGNAL BOX, TRAFFIC SIGNAL POLE, TRAFFIC SIGNAL, BARRICADE, GUARD RAIL POST, IMPACT ATTENUATOR, BRIDGE STYLE HIGHWAY SIGN POST, CANTILEVER STYLE HIGHWAY SIGN POST, RAILROAD MARKER/SIGN, STREET LIGHT, STREET LIGHT - SINGLE, STREET LIGHT - DOUBLE, LUMINAIRE, ALTERNATE LUMINAIRE, SIGNAL MAST ARM W/ LUMINAIRE, PEDESTAL POLE FOUNDATION, TRAFFIC SIGNAL POLE, ROUND PULL BOX, MEDIUM PULL BOX, LARGE PULL BOX (20X33X15), SIGNAL HEAD WITHOUT BACK PLATE, SIGNAL HEAD WITH BACK PLATE, PEDESTRIAN SIGNAL HEAD, VIDEO IMAGE DETECTOR, OPTICOM DETECTOR, VEHICLE DETECTION ZONE.

LANDSCAPE LEGEND

Table with columns for EXISTING and PROPOSED symbols. Rows include TREE - CONIFEROUS, TREE - DECIDUOUS, SHRUB/BUSH, SHRUBS AND BUSHES, IRRIGATION BOX, IRRIGATION SPRINKLER, IRRIGATION VALVE, BOLLARD, FLAGPOLE.

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USE AS DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR: MDC HOLDINGS, RICHMOND AMERICAN HOMES, 4350 S. MONACO STREET, DENVER, CO 80237, ATTN: JASON POCK, 720-977-3827.

J.R. ENGINEERING, A Western Company, Centennial 303-740-9888, Colorado Springs 719-588-2583, Fort Collins 970-491-9888, www.jrengineering.com.

Table for revision tracking with columns: BY, DATE, NO., REVISION.

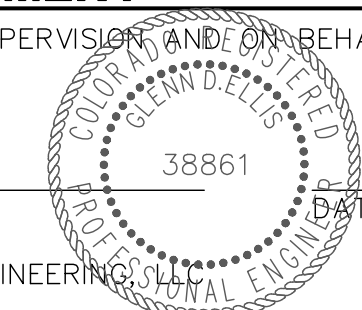
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URBAN COLLECTION AT PALMER VILLAGE, LEGEND, FINAL GRADING PLANS, SHEET 2 OF 6, JOB NO. 25149.01.



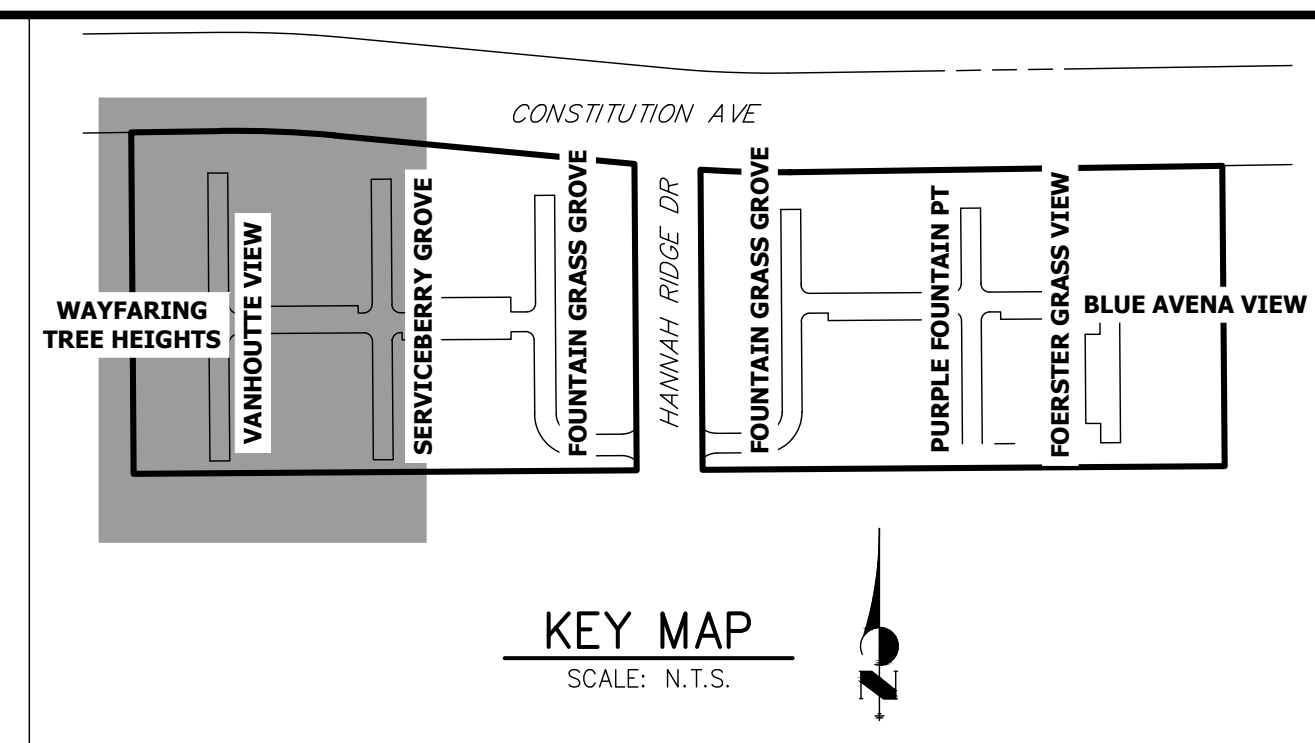
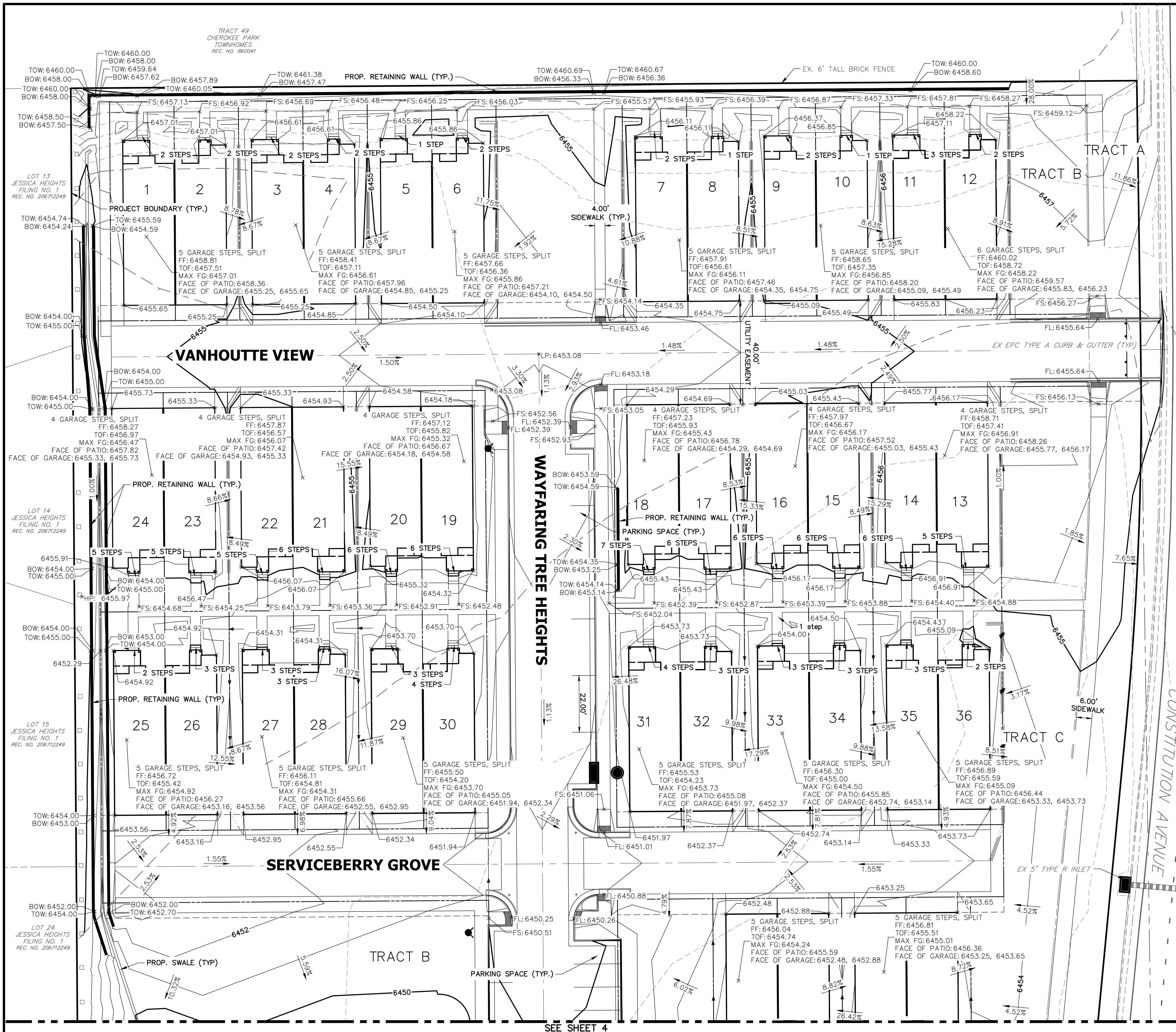
ENGINEER'S STATEMENT

PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING

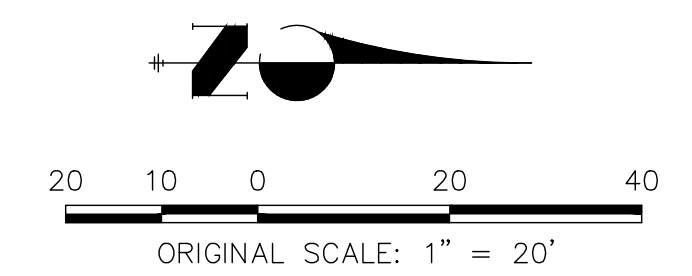
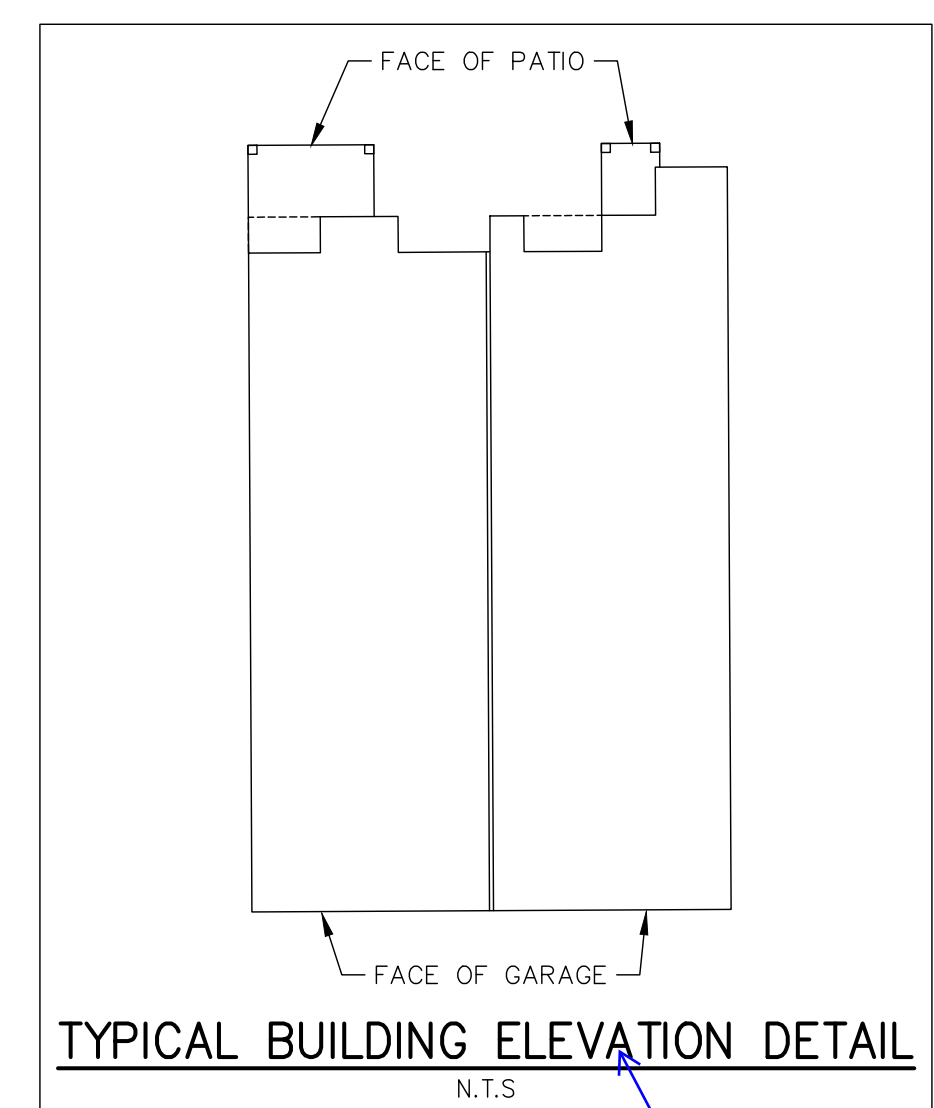


GLENN D. ELLIS, P.E., COLORADO P.E. 38861, FOR AND ON BEHALF OF JR ENGINEERING

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- NOTES**
- ELEVATIONS ARE FINAL GRADE UNLESS OTHERWISE NOTED.
 - ALL PROPOSED ROADS ARE PRIVATE UNLESS OTHERWISE NOTED.
 - PROPOSED TYPICAL BUILDING ELEVATION DETAIL ON SHEET 3.
 - ALL EXTERIOR WALKWAYS WITH 3 STEPS OR MORE WILL REQUIRE A HANDRAIL, SEE DETAIL ON SHEET 4.
 - REFER TO WATER CONSTRUCTION PLANS BY JR ENGINEERING FOR PROPOSED POTABLE WATER DESIGN.
 - REFER TO SANITARY SEWER PLAN & PROFILE PLANS BY JR ENGINEERING FOR PROPOSED SANITARY SEWER DESIGN.
 - REFER TO UTILITY SERVICE PLANS BY JR ENGINEERING FOR PROPOSED SERVICE CONNECTIONS DESIGN.
 - REFER TO CONSTRUCTION DOCUMENTS BY JR ENGINEERING FOR PROPOSED STREET IMPROVEMENT PLANS, STORM SEWER DESIGN, AND PERMANENT BMP PLANS.
- FS = FINISHED SURFACE
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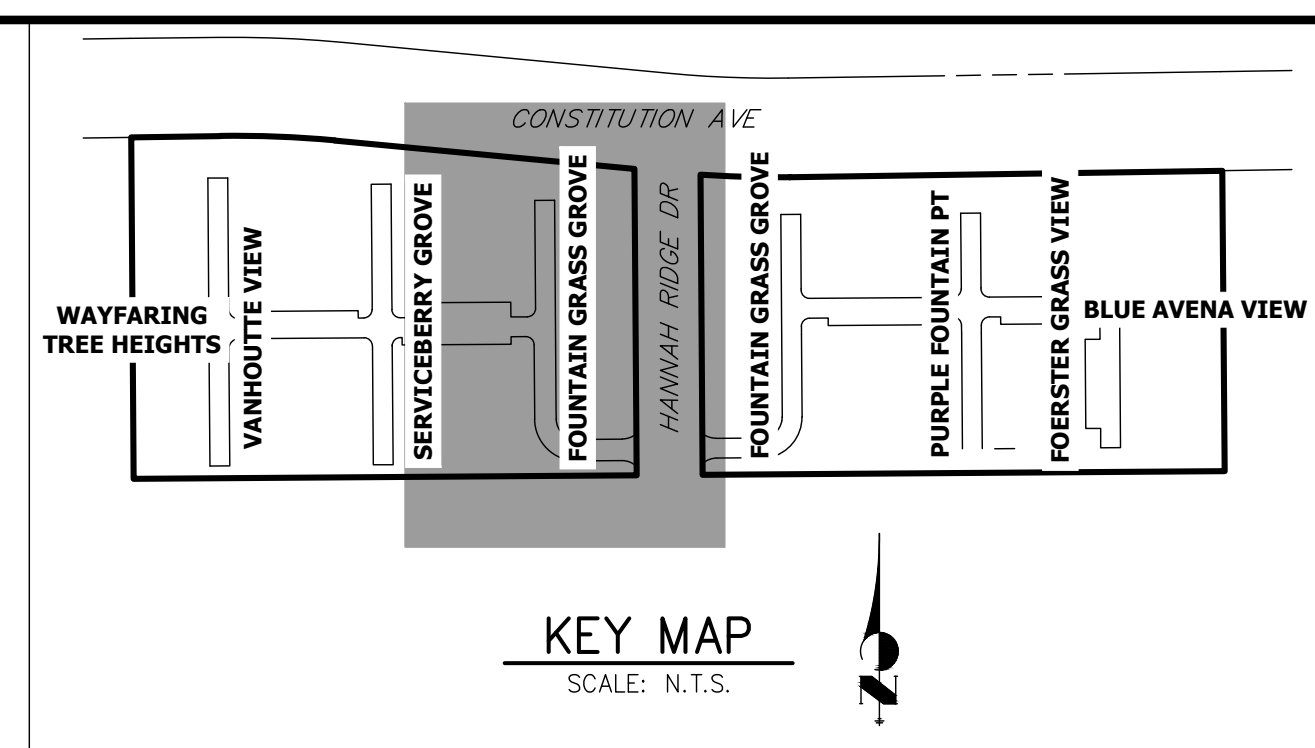
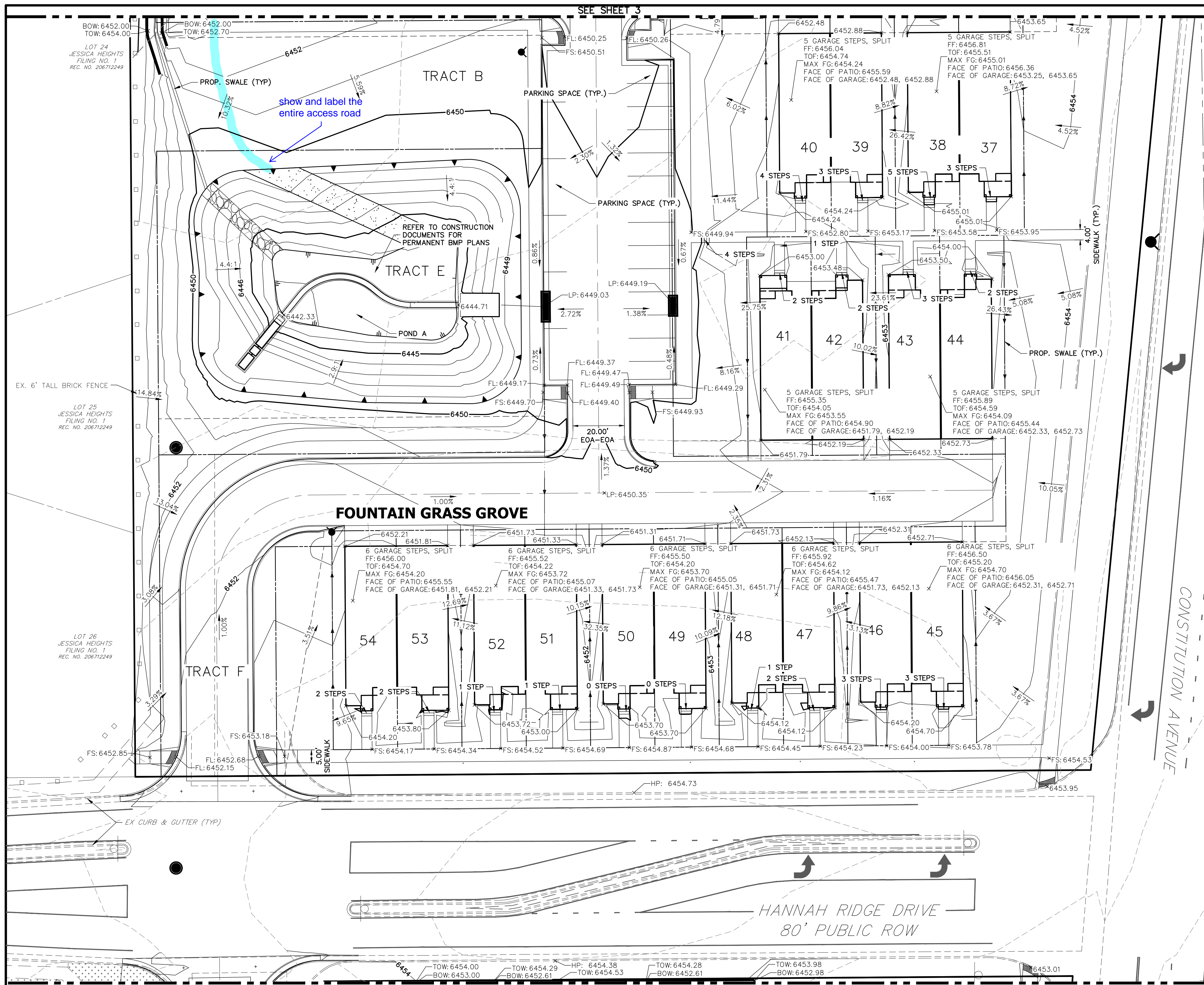


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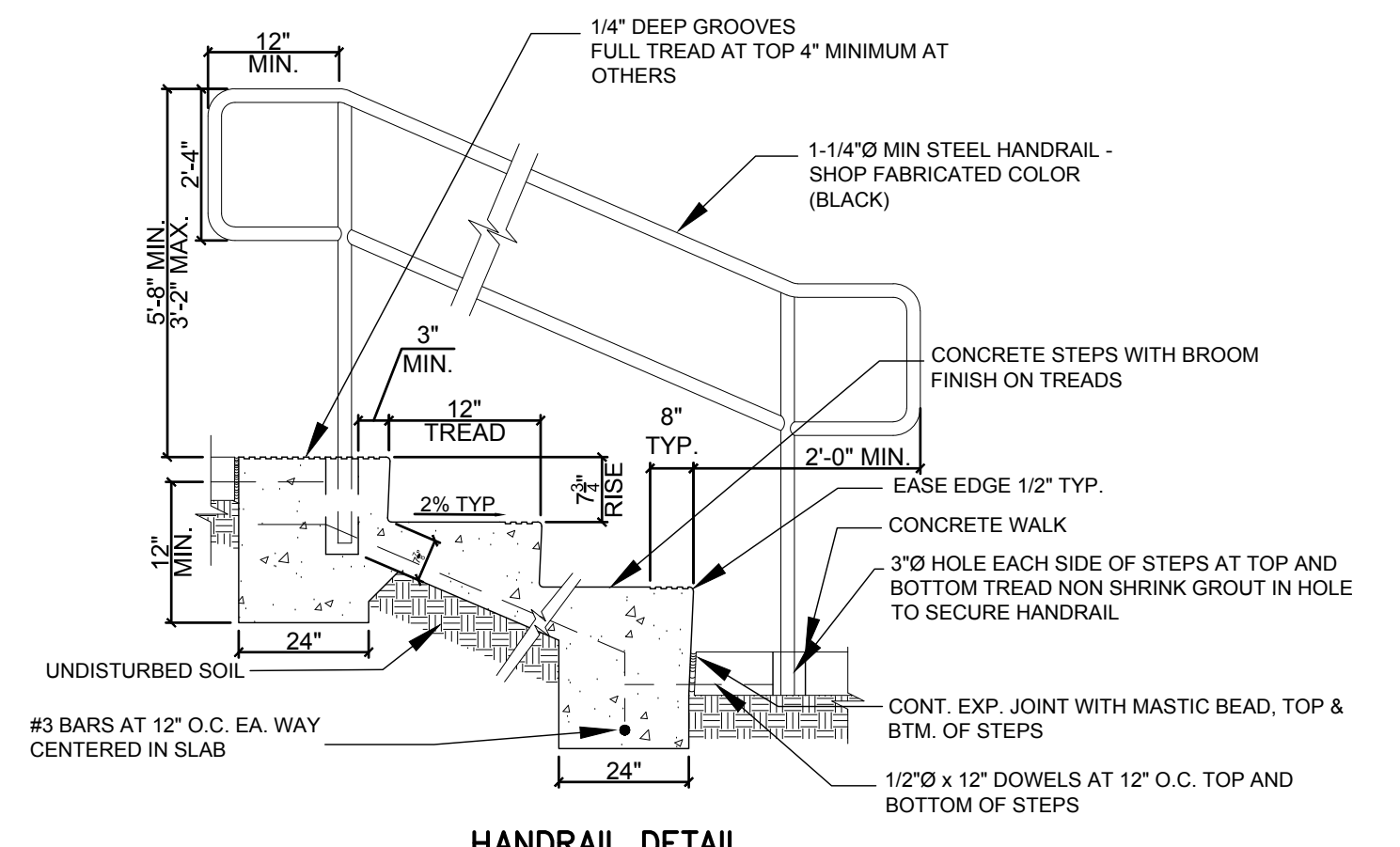
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38861

PREPARED FOR MDC HOLDINGS RICHMOND AMERICAN HOMES 4350 S. MONACO STREET DENVER, CO 80237 ATTN: JASON POCK 720-977-3827	UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USE AND DESIGNATED BY WRITTEN AUTHORIZATION.
FINAL GRADING PLANS	SHEET 3 OF 6
JOB NO. 25149.01	DATE
H-SCALE 1"=20' V-SCALE 1"=2' DATE 10/28/20 DESIGNED BY MCS DRAWN BY MCS CHECKED BY	NO. REVISION BY DATE



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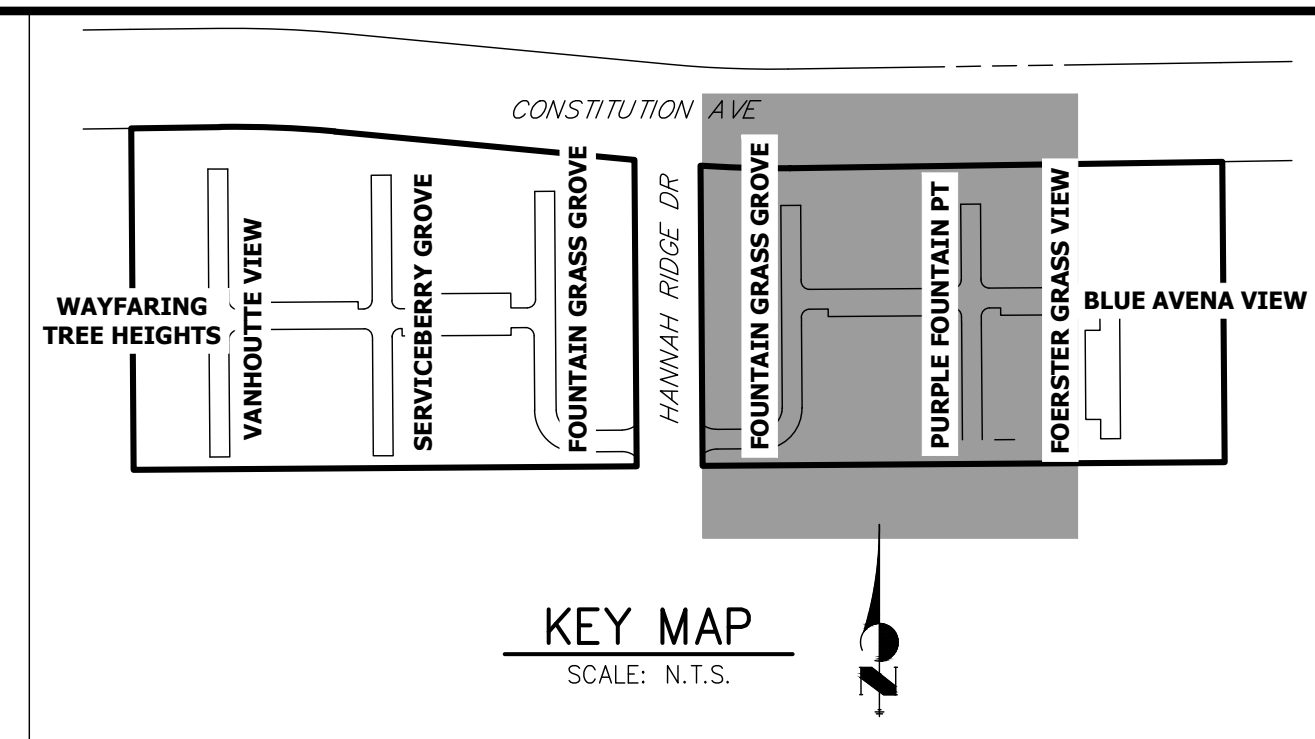
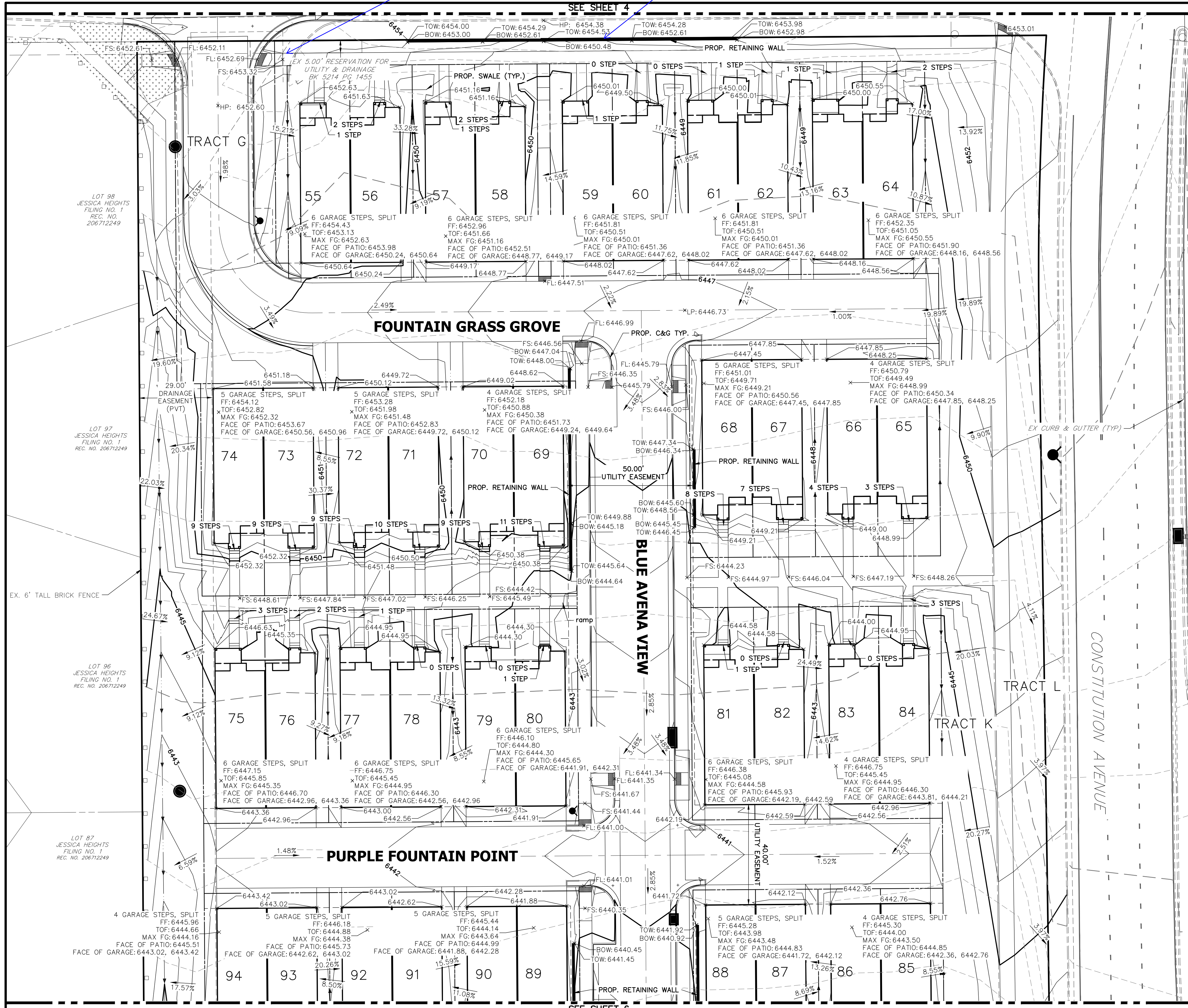


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	J.R. ENGINEERING A Westman Company Central 303-740-9888 • Colorado Springs 719-588-2593 Fort Collins 970-491-9888 • www.jrengineering.com
BY	DATE
No.	REVISION
H-SCALE 1" = 20'	V-SCALE 1" = 2'
DESIGNED BY MCS	DATE 10/28/20
DRAWN BY MCS	CHECKED BY
URBAN COLLECTION AT PALMER VILLAGE GRADING PLAN	
FINAL GRADING PLANS	
SHEET 4 OF 6	JOB NO. 25149.01

See CD redlines about public sidewalk. Handrail will be required.



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 A Westcon Company

 Centennial 303-740-9888 • Colorado Springs 719-588-2593
 Fort Collins 970-491-9888 • www.jrengineering.com

BY	DATE	NO.	REVISION

URBAN COLLECTION AT
 PALMER VILLAGE
 GRADING PLAN
 FINAL GRADING PLANS

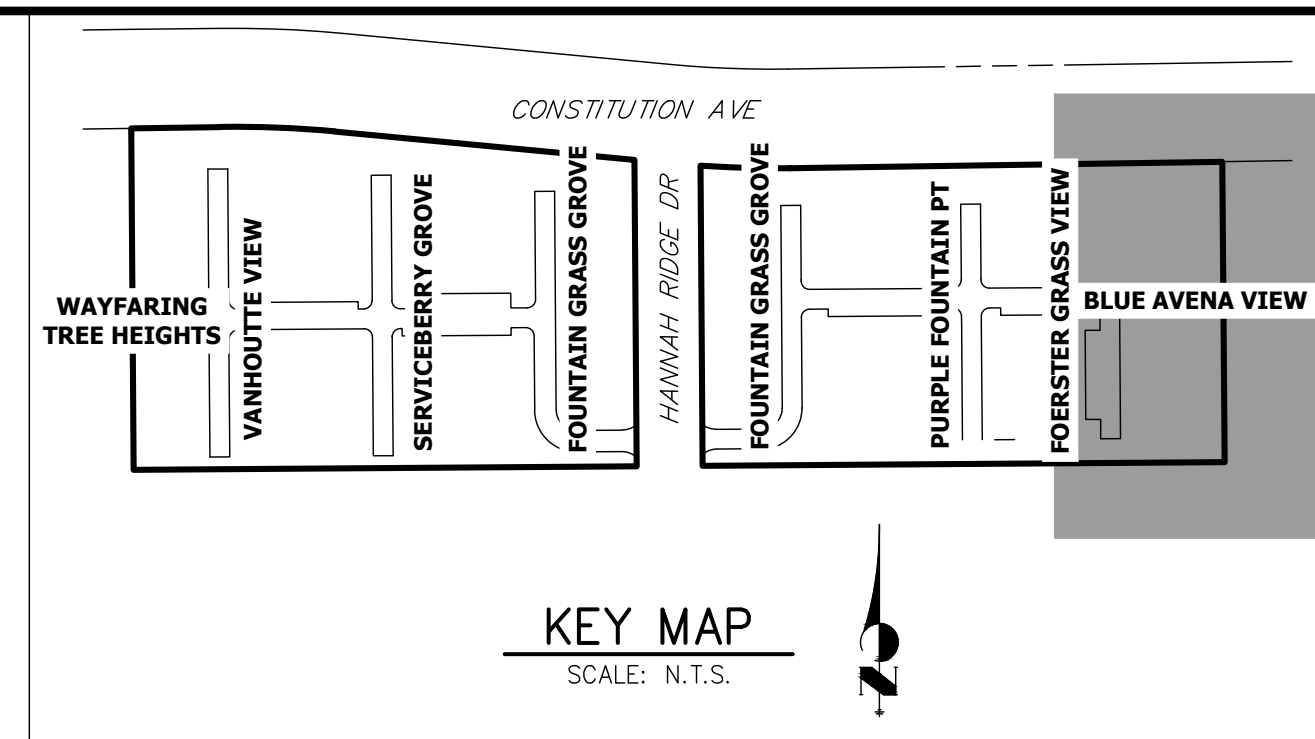


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SEE SHEET 5



NOTES

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No.	REVISION	BY	DATE

H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
1"=20'	1"=2'	10/28/20	MCS	MCS	

URBAN COLLECTION AT PALMER VILLAGE GRADING PLAN

FINAL GRADING PLANS

SHEET 6 OF 6

JOB NO. 25149.01

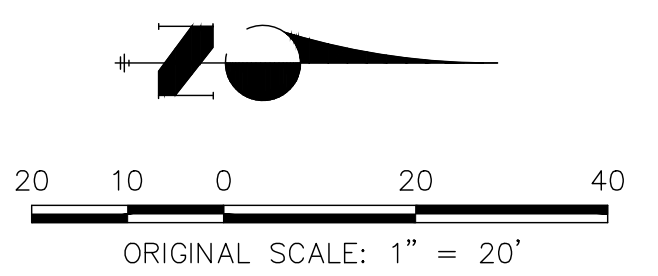
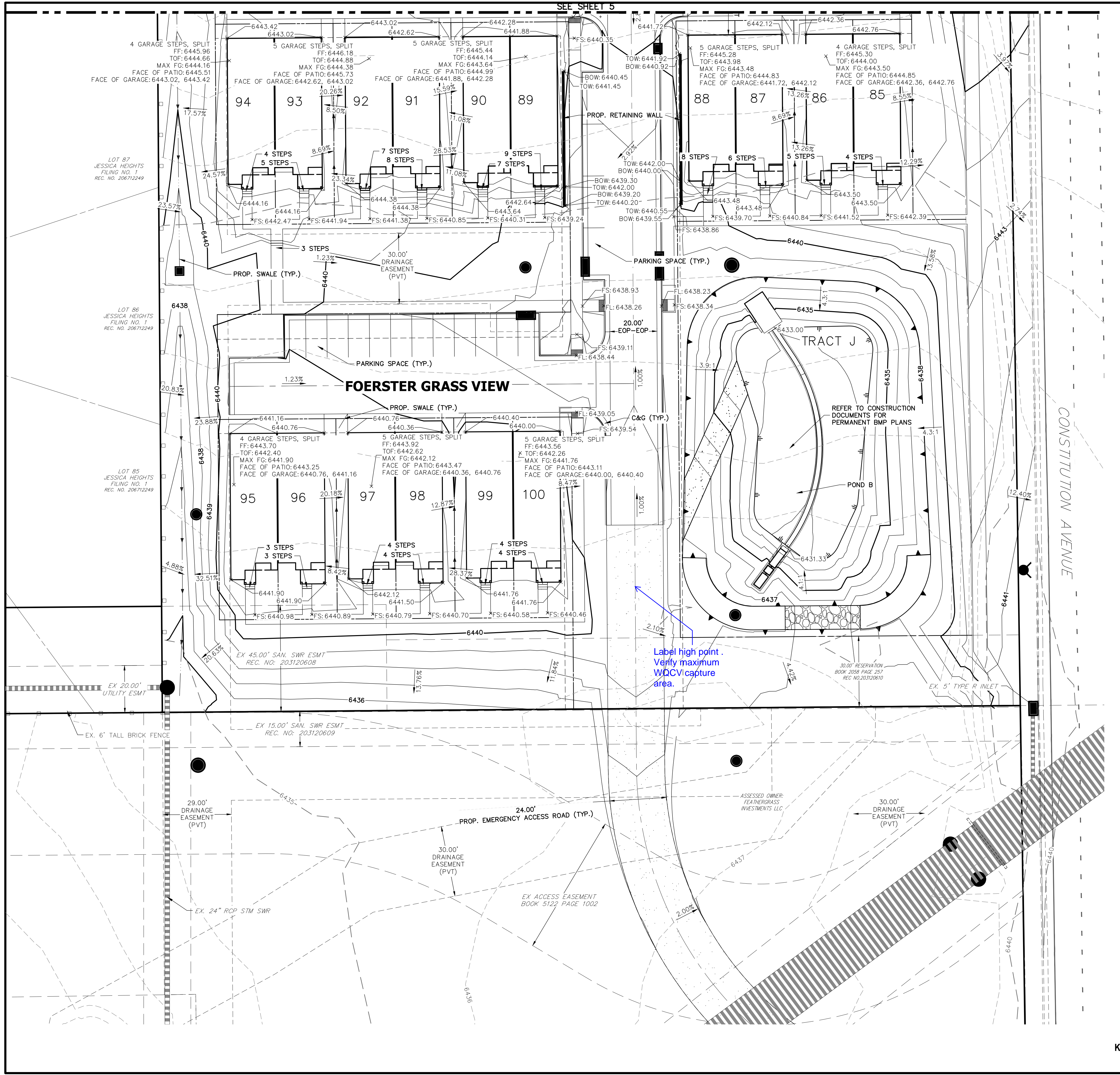


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