

# URBAN COLLECTION AT PALMER VILLAGE

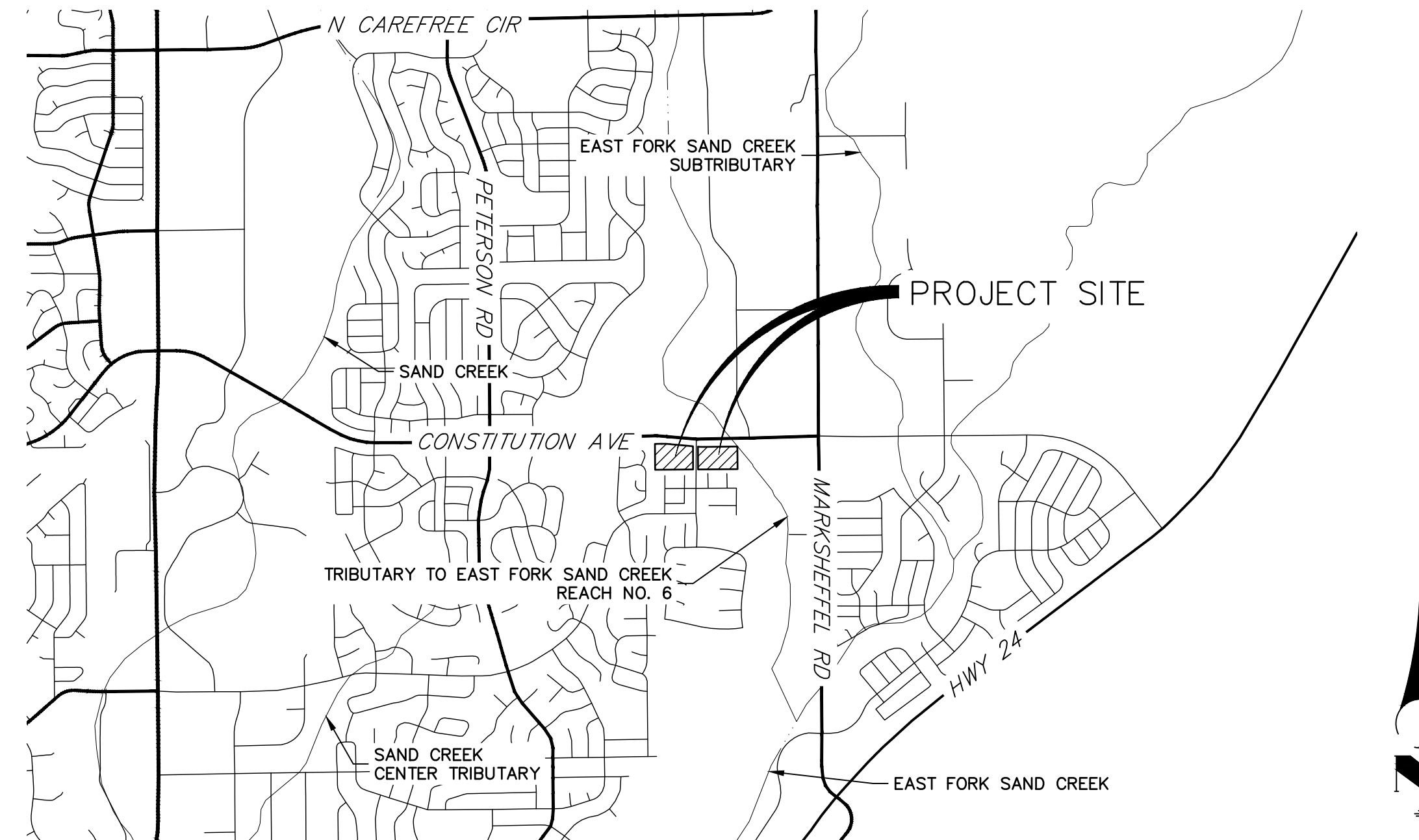
A PORTION OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M. OF

## EL PASO COUNTY, COLORADO CONSTRUCTION DOCUMENTS

PCD Filing No:  
SF-20-028

### ABBREVIATIONS

AC	ACRE	INT	INTERSECTION
AD	ALGEBRAIC DIFFERENCE	INV	INVERT
AH	AHEAD	IRR	IRRIGATION
ARCH	ARCHITECT	KB	KICK (THRUST) BLOCK
ASCE	AMERICAN SOCIETY OF CIVIL ENGINEERS	LB	LOAD
ASSY	ASSEMBLY	LE	LANDSCAPE EASEMENT
AVE	AVENUE	LF	LINEAR FOOT
BB	BOX BASE	LN	LANE
BK	BACK	LOMR	LETTER OF MAP REVISION
BNDY	BOUNDARY	LP	LOW POINT
BOP	BOTTOM OF PIPE	LS	LUMP SUM
BOV	BLOW OFF VALVE	LT	LEFT
BFV	BUTTERFLY VALVE	MAX	MAXIMUM
BLVD	BOULEVARD	M/D	MOISTURE DENSITY
BW	BOTTOM OF WALL	MDDP	MASTER DEVELOPMENT
C&G	CURB & GUTTER	MD	MANHOLE
CATV	CABLE TELEVISION	MIN	MINIMUM
CB	CATCH BASIN	MS	MOUNTABLE SIDEWALK
CBC	CONCRETE BOX CULVERT	N	NORTH
CDOT	COLORADO DEPARTMENT OF TRANSPORTATION	NRCP	NON-REINFORCED CONCRETE PIPE
CDS	CUL-DE-SAC	ODP	OFFICIAL DEVELOPMENT PLAN
CF	CUBIC FOOT	OHE	OVERHEAD ELECTRIC
CFS	CUBIC FEET PER SECOND	OHU	OVERHEAD UTILITY
CIP	COMPLETE IN PLACE	PC	POINT OF CURVATURE
CL	CENTER LINE	PCC	POINT OF COMPOUND CURVATURE
GLOMR	CONDITIONAL LETTER OF MAP REVISION	PCR	POINT OF CURB RETURN
CLR	CLEAR	PDP	PRELIMINARY DEVELOPMENT PLAN
CMP	CORRUGATED METAL PIPE	PE	PROFESSIONAL ENGINEER
CO	CLEAN OUT	PI	POINT OF INTERSECTION
COCS	CITY OF COLORADO SPRINGS	PKWY	PARKWAY
CONC	CONCRETE	PL	PROPERTY LINE
CR	CIRCLE	PR	PROPOSED
CSP	CORRUGATED STEEL PIPE	PRC	POINT OF REVERSE CURVATURE
CSJ	COLORADO SPRINGS UTILITIES	PT	POINT OF TANGENCY
CT	COURT	PV	PLUG VALVE
CTRB	CONCRETE THRUST REDUCER BLOCK	PVC	POLYVINYL CHLORIDE
CY	CUBIC YARD	R	RADIUS
DBPS	DRAINAGE BASIN PLANNING STUDY	RCBC	REINFORCED CONCRETE BOX CULVERT
DE	DRAINAGE EASEMENT	RCP	REINFORCED CONCRETE PIPE
DIA	DIAMETER	RD	ROAD
DIP	DUCTILE IRON PIPE	ROW	RIGHT OF WAY
DR	DRIVE	RT	RIGHT
DRC	DESIGN REVIEW COMMITTEE	S	SOUTH
DU	DWELLING UNITS	STE	STEEL
DY	DAY	SAN	SANITARY SEWER
E	EAST	SF	SQUARE FOOT
EA	EACH	ST	STREET
EGL	ENERGY GRADE LINE	STA	STATION
EL	ELEVATION	STM	STORM SEWER
ELEC	ELECTRIC	SY	SQUARE YARD
EOA	EDGE OF ASPHALT	SY-IN	SQUARE YARD INCH
EPC	EL PASO COUNTY	TB	THRUST BLOCK
ERCP	ELLIPTICAL RCP	TBC	TOP BACK OF CURB
ESMT	EASEMENT	TBW	TOP BACK OF WALK
EST	ESTIMATE	TEL	TELEPHONE
EX	EXISTING	TN	TON
FDP	FINAL DEVELOPMENT PLAN	TOA	TOP OF ASPHALT
FDR	FINAL DRAINAGE REPORT	TOB	TOP OF BOX
FES	FLARED END SECTION	TOC	TOP OF CURB OR CONCRETE
FF	FINISHED FLOOR ELEVATION	TOF	TOP OF FOUNDATION
FG	FINISHED GRADE	TOP	TOP OF PIPE
FH	FIRE HYDRANT	TW	TOP OF WALL
FL	FLOWLINE	TYP	TYPICAL
FIL	FILING	UDFCD	URBAN DRAINAGE AND FLOOD CONTROL DISTRICT
FO	FIBER OPTIC CABLE	UE	UTILITY EASEMENT
GB	GRADE BREAK	U&DE	UTILITY & DRAINAGE EASEMENT
GE	GAS EASEMENT	UGE	UNDERGROUND ELECTRIC SYSTEM
GIS	GEOGRAPHIC INFORMATION SYSTEM	VCP	VITRIFIED CLAY PIPE
GL	GAS LINE	VPC	VERTICAL POINT OF CURVATURE
GPS	GLOBAL POSITIONING SYSTEM	VPI	VERTICAL POINT OF INTERSECTION
GV	GATE VALVE	VPT	VERTICAL POINT OF TANGENCY
HBP	HOT BITUMINOUS PAVEMENT	VTC	VEHICLE TRACKING CONTROL
HC	HANDICAP	W	WEST
HDC	HIGH DEFLECTION COUPLING	WL	WATER LINE
HDPE	HIGH DENSITY POLYETHYLENE	WM	WATER MAIN
HGL	HYDRAULIC GRADE LINE	WRD	WATER RESOURCES DEPARTMENT
HMA	HOT MIX ASPHALT	WS	WATER SURFACE
HOA	HOME OWNERS ASSOCIATION	WSE	WATER SURFACE ELEVATION
HP	HIGH POINT	WTR	WATER
HR	HOURLY	YR	YEAR
I	INLET		
IE	IRRIGATION EASEMENT		



VICINITY MAP  
SCALE: 1"=2000'

### SHEET INDEX

- 1 - COVER SHEET
- 2 - LEGEND & NOTES
- 3 - TYPICAL SECTIONS
- 4-5 - HORIZONTAL CONTROL PLAN
- 6-14 - STREET IMPROVEMENT PLANS
- 15 - CURB RAMP DETAILS
- 16-17 - STREET NAME AND REGULATORY SIGN PLANS
- 18-23 - STORM PLANS
- 24-31 - PERMANENT BMP PLANS
- 32 - DETAILS

### BASIS OF BEARING

BEARINGS SHOWN HEREON ARE REFERENCED TO THE NORTH LINE OF NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST, ASSUMED TO BEAR NORTH 89°09'25" EAST BETWEEN THE MONUMENTS SHOWN HEREON.

### BENCHMARK

FIMS MONUMENT SR06 IS A 2 INCH DIAMETER ALUMINUM CAP ON TOP OF THE SOUTH CURB OF PONY TRACKS DRIVE, APPROXIMATELY 850 FEET EASTERLY OF THE CENTERLINE OF PETERSON ROAD, 125 FEET EASTERLY OF THE EAST CURB OF BANKSIDE DRIVE, AND 10 FEET EASTERLY OF AN ELECTRICAL VAULT.

ELEVATION = 6523.04 (NGVD 29)

### CONTACTS:

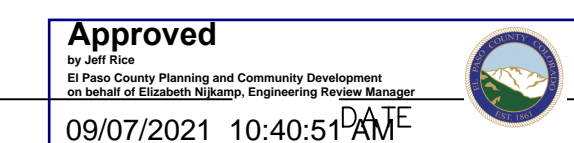
OWNER/DEVELOPER	MDC HOLDINGS - RICHMOND AMERICAN HOMES 4350 S. MONACO STREET DENVER, CO 80237 JASON POCK P~(720)-977-3827
ENGINEER/SURVEYOR	JR ENGINEERING, LLC ATTN: GLENN D. ELLIS 5475 TECH CENTER DRIVE, SUITE 235 COLORADO SPRINGS, CO 80919 P~(719) 593-2593
FIRE PROTECTION DISTRICT	FALCON FIRE PROTECTION DISTRICT 730 OLD MERIDIAN ROAD PEYTON, CO 80851 TRENT HARWIG P~(719) 495-4050
WATER AND SEWER DISTRICT	CHEROKEE METRO DISTRICT 6250 PALMER PARK BLVD COLORADO SPRINGS, CO 80915 CONTACT: KEVIN BROWN P~(719) 322-4339
JURISDICTION	EL PASO COUNTY PCD P~(719)-520-6300  EL PASO COUNTY DPW P~(719)-520-6460

### EL PASO COUNTY STATEMENT

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

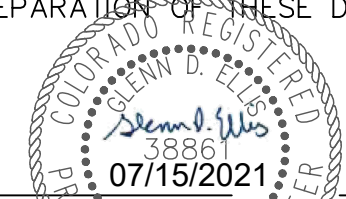


JENNIFER IRVINE, P.E.

COUNTY ENGINEER/ECM ADMINISTRATOR

### ENGINEER'S STATEMENT

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.



GLENN ELLIS P.E.  
38861  
COLORADO P.E. 38861  
FOR AND ON BEHALF OF JR ENGINEERING, LLC  
DATE



### OWNER/DEVELOPER STATEMENT

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN AND ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

Jason J.W. Pock  
JASON POCK  
7-16-2021  
DATE

MDC HOLDINGS - RICHMOND AMERICAN HOMES  
4359 S. MONACO STREET  
DENVER, CO 80237

### NOTE

- BASED ON ELEVATION DATA, THE APPLICANT WILL NEED TO FILE FEDERAL AVIATION ADMINISTRATION (FAA) FORM 7460-1 "NOTICE OF PROPOSED CONSTRUCTION OR ALTERATION" FOR ANY NEW VERTICAL DEVELOPMENT AT THIS SITE, INCLUDING TEMPORARY CONSTRUCTION EQUIPMENT, AND PROVIDE FAA DOCUMENTATION TO THE AIRPORT BEFORE THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES; FAA'S WEBSITE (HTTPS://OEA.AAA.FAA.GOV/OEAAA/EXTERNAL/PORTAL.JSP).

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USE AS DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR  
RICHMOND AMERICAN HOMES  
4350 S. MONACO STREET  
DENVER, CO 80237  
(720) 977-3827  
JASON.POCK@MDC.H.COM

J.R. ENGINEERING  
A Westman Company  
Central 303-740-9888 • Colorado Springs 719-588-2593  
Fort Collins 970-491-9888 • www.jrengineering.com

BY	DATE	REVISION	No.	N/A	N/A	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
						01/29/21	APL	APL	

URBAN COLLECTION AT  
PALMER VILLAGE  
COVER SHEET  
CONSTRUCTION DOCUMENTS

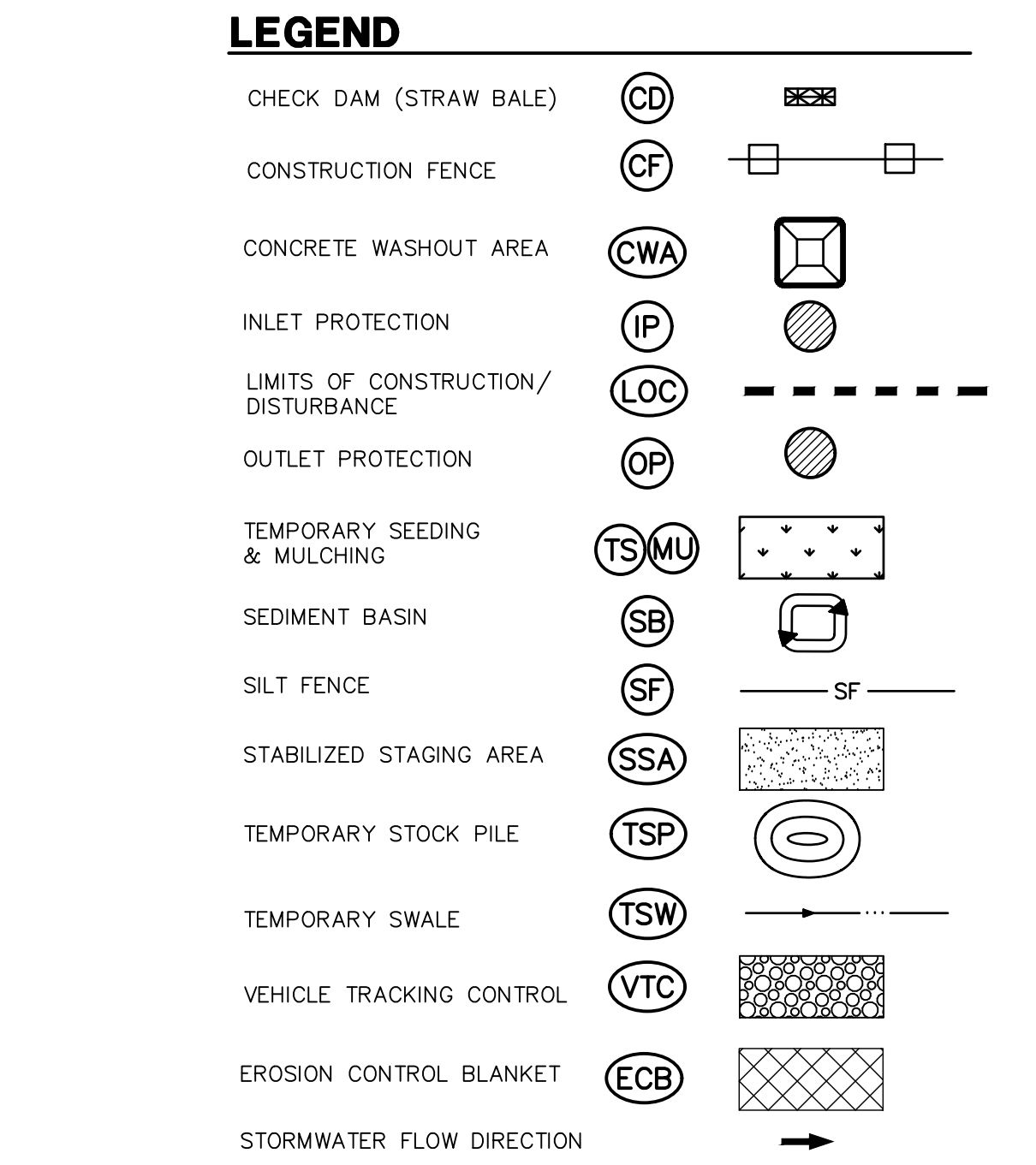
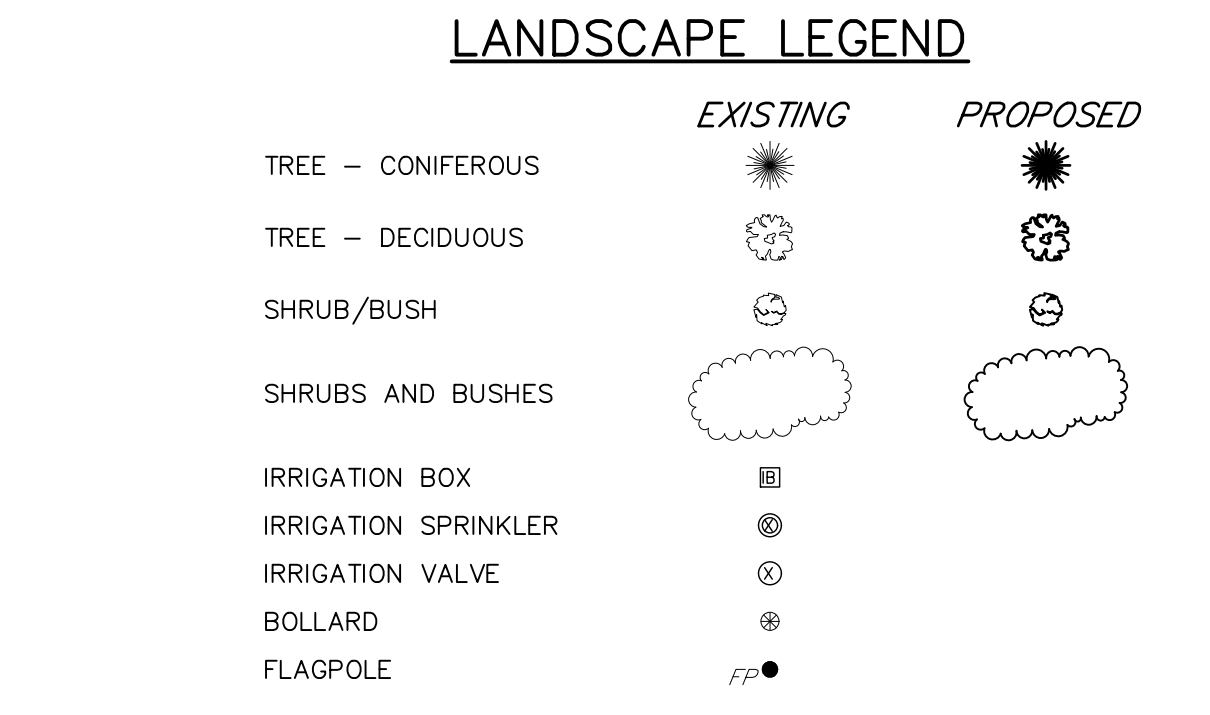
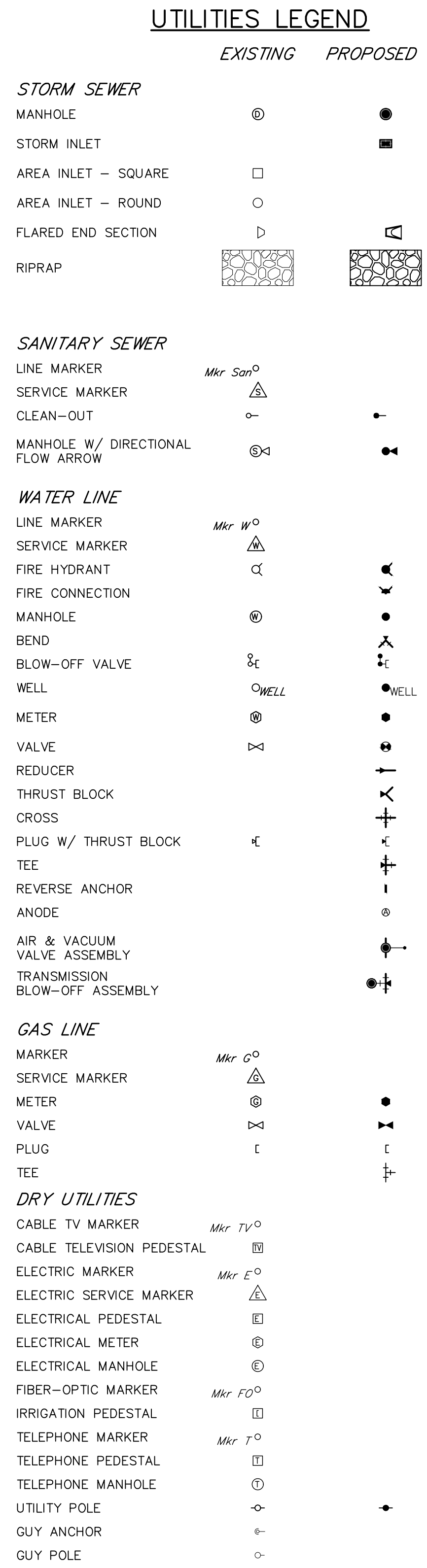
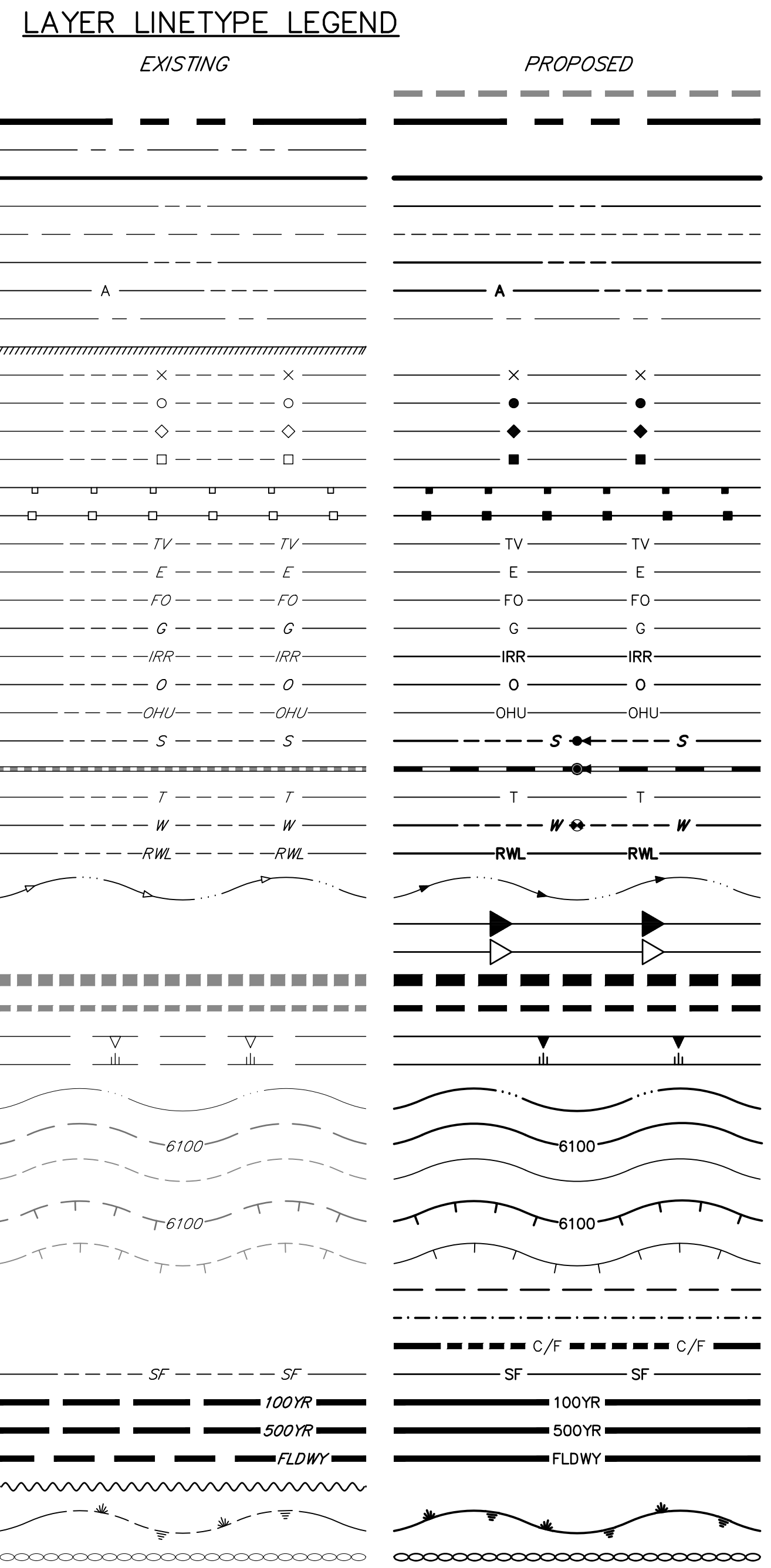
SHEET 1 OF 32

JOB NO. 25149.01

**STANDARD NOTES FOR EL PASO COUNTY CONSTRUCTION PLANS**

- ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD NOTIFICATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
- CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOIL AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
  - EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
  - CITY OF COLORADO SPRINGS/ EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
  - COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS AND BRIDGE CONSTRUCTION
  - CDOT M&S STANDARDS
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSIONS OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
- CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
- CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- SIGHT VISIBILITY TRIANGLES ARE IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED IN SIGHT TRIANGLES.
- SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS AND MUTCD CRITERIA.
- CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
- THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.

- PHASE LINE
- MATCH LINE
- SECTION LINE
- BOUNDARY LINE
- PROPERTY LINE
- EASEMENT LINE
- RIGHT OF WAY
- R.O.W. A LINE
- CENTERLINE
- CITY LIMITS
- WIRE FENCE
- CHAIN LINK FENCE
- WOOD FENCE
- MASONRY FENCE
- GUARDRAIL
- CONC. BARRIER
- CABLE TV
- ELECTRIC
- FIBER OPTIC
- GAS MAIN
- IRRIGATION MAIN
- OIL/PETRO. MAIN
- OVERHEAD UTILITY
- SANITARY SEWER
- STORM DRAIN
- TELEPHONE
- WATER MAIN
- RAW WATER LINE
- SWALE/WATERWAY FLOWLINE
- DIVERSION DITCH
- DIVERSION CHANNEL
- MAJOR DRAINAGE BASIN
- MINOR DRAINAGE BASIN
- TOP OF SLOPE
- TOE OF SLOPE
- EDGE OF WATER
- INDEX CONTOUR
- INTERMEDIATE CONTOUR
- DEPRESSION CONT. (INDEX)
- DEPRESSION CONT. (INTER)
- TOP OF CUTS
- TOE OF FILLS
- CUT AND FILL LINE
- SILT FENCE
- 100 YEAR FLOODPLAIN
- 500 YEAR FLOODPLAIN
- FLOODWAY
- BASE FLOOD ELEVATION
- EDGE OF WETLANDS
- STONE WALL



UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USE, THESE DRAWINGS ARE DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR  
**RICHMOND AMERICAN HOMES**  
4350 S. MONACO STREET  
DENVER, CO 80237  
(720) 977-3827  
JASON.FOCK@AMDCH.COM

**J.R. ENGINEERING**  
A Westman Company  
Central 303-740-9383 • Colorado Springs 719-583-2593  
Fort Collins 970-491-9888 • www.jrengineering.com

H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY	No.	REVISION	BY DATE	
								N/A	N/A
		01/29/21	APL	APL					

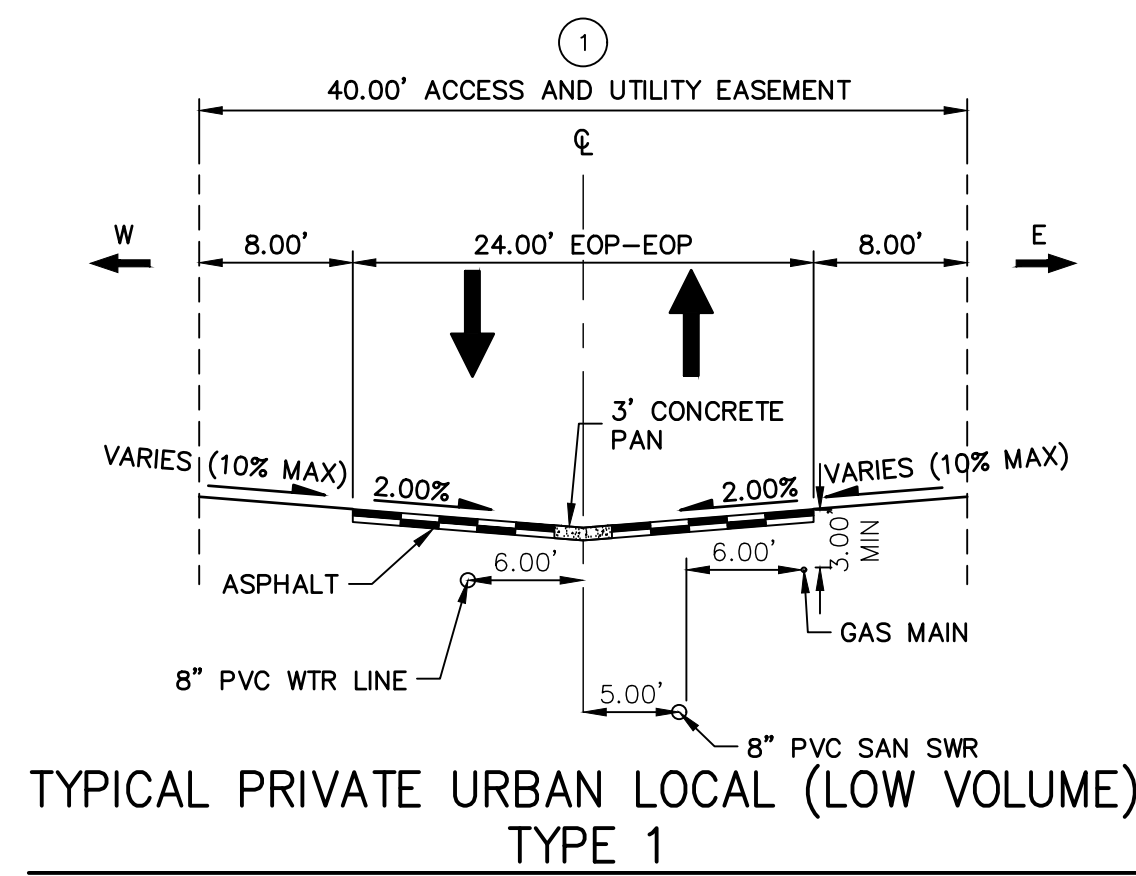
URBAN COLLECTION AT PALMER VILLAGE  
LEGEND & NOTES  
CONSTRUCTION DOCUMENTS



**ENGINEER'S STATEMENT**  
PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING

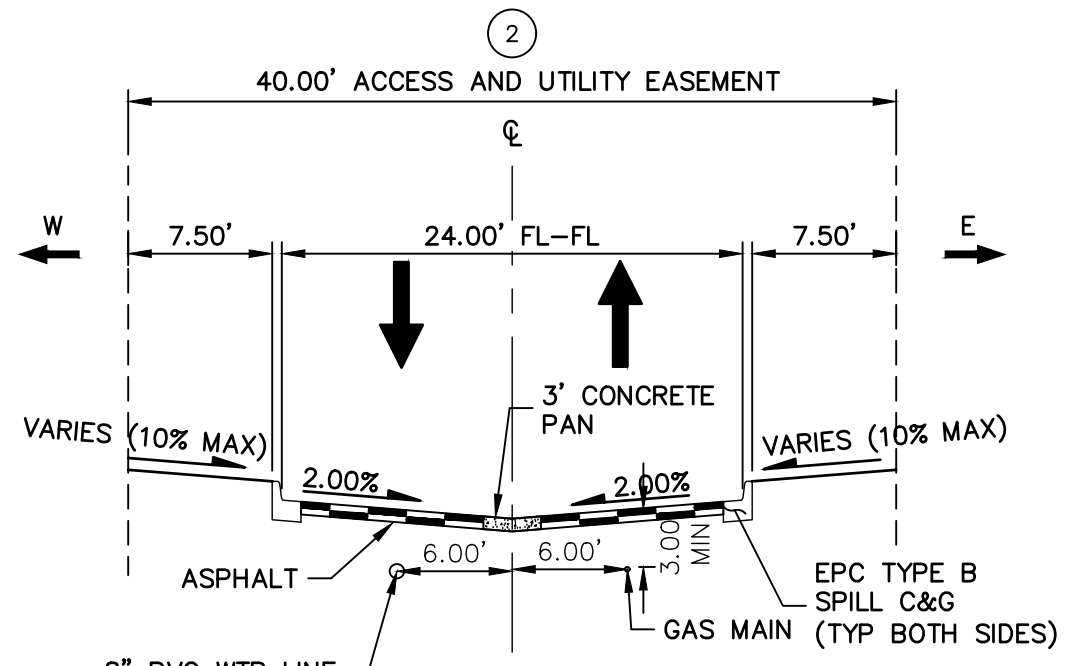
GLENN D. ELLIS, P.E.  
COLORADO P.E. 38861  
FOR AND ON BEHALF OF JR ENGINEERING

07/15/2021 DATE



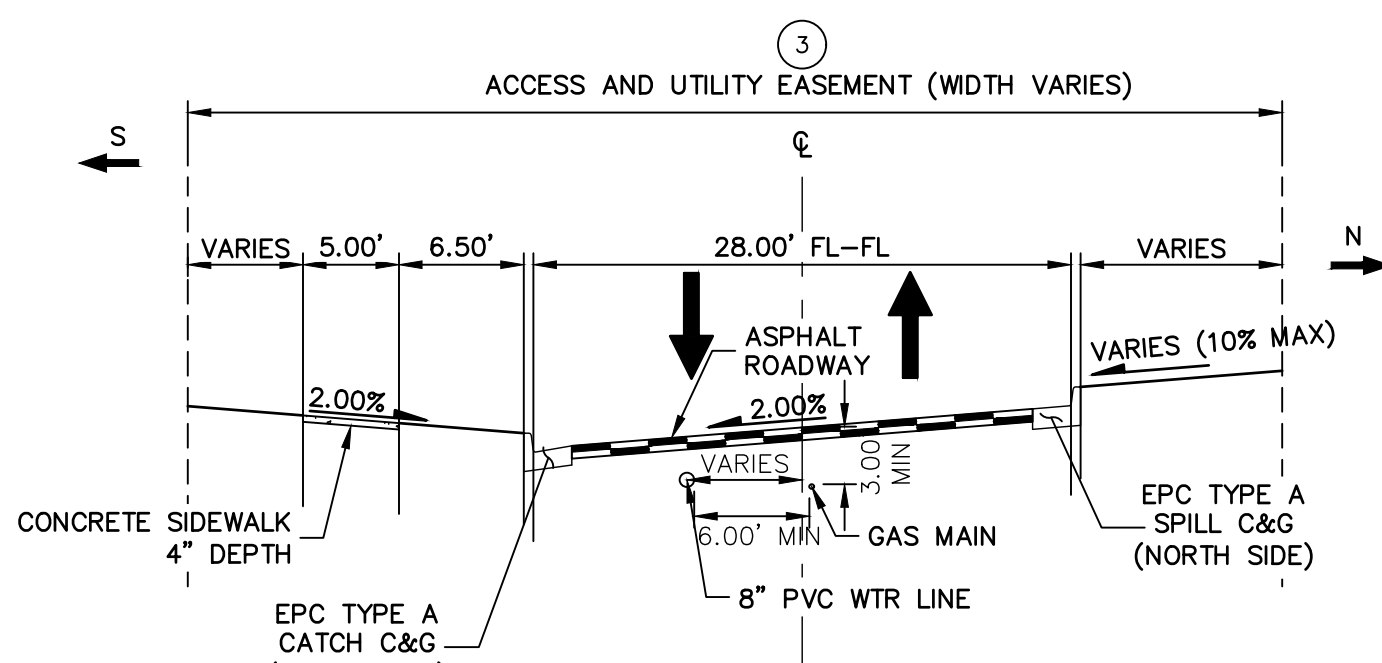
**TYPICAL PRIVATE URBAN LOCAL (LOW VOLUME) TYPE 1**

POSTED/DESIGN SPEED LIMIT = 20 MPH  
ROADS: WAYFARING TREE HEIGHTS, FOUNTAIN GRASS GROVE, SERVICEBERRY GROVE, VANHOUTTE VIEW, BLUE AVENA VIEW, PURPLE FOUNTAIN POINT



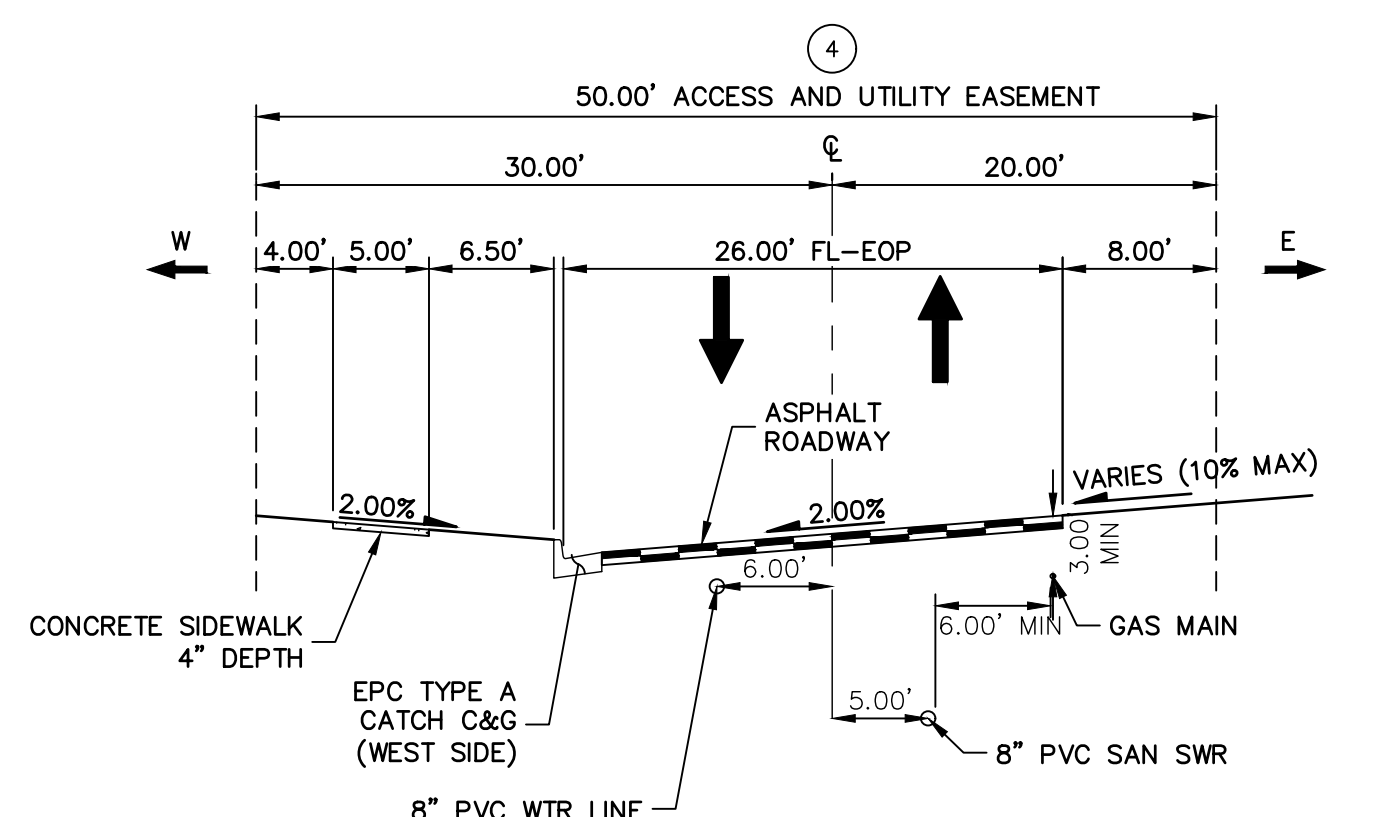
**TYPICAL PRIVATE URBAN LOCAL (LOW VOLUME) TYPE 2**

POSTED/DESIGN SPEED LIMIT = 20 MPH  
ROADS: VANHOUTTE VIEW (EMERGENCY VEHICLE ACCESS)



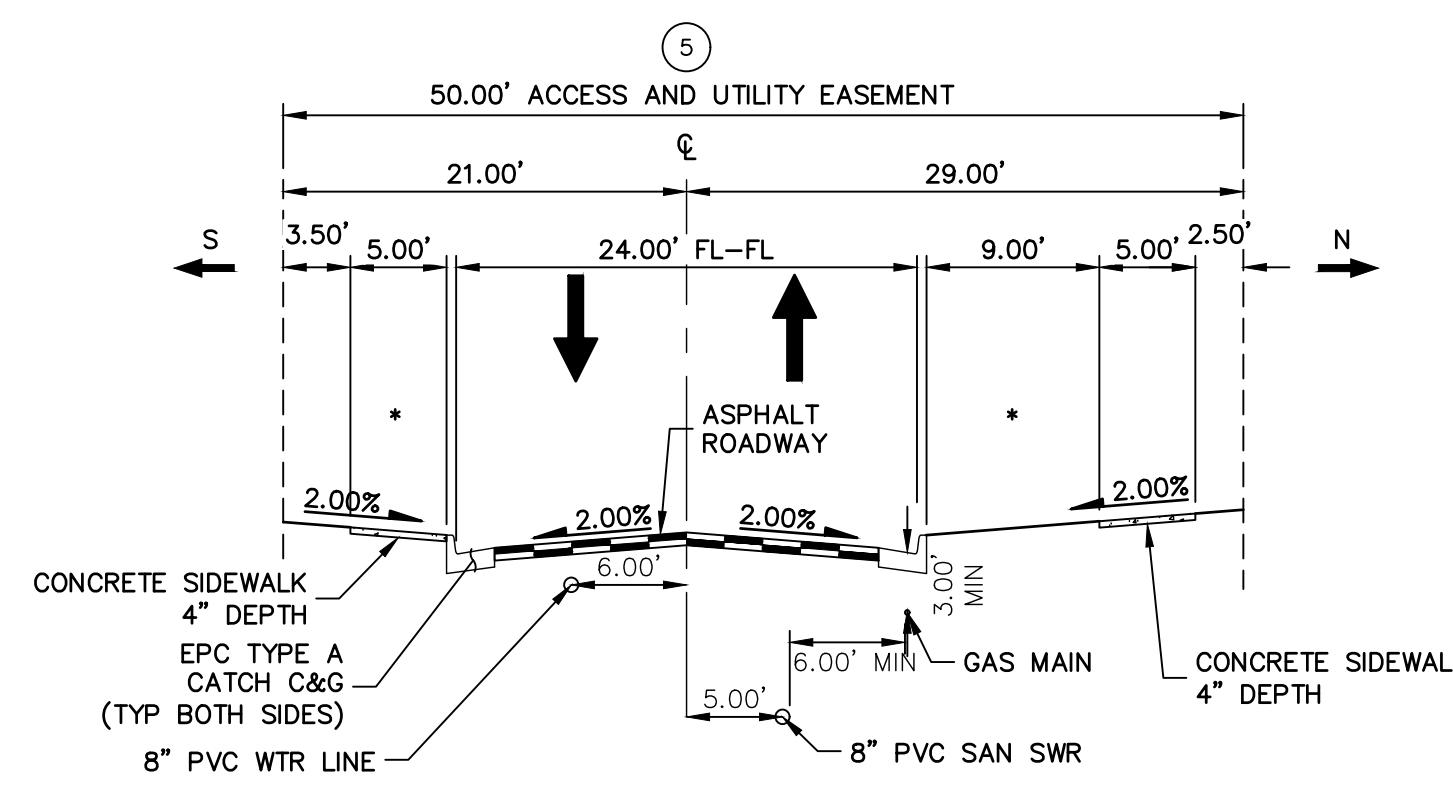
**TYPICAL PRIVATE URBAN LOCAL (LOW VOLUME) TYPE 3**

POSTED/DESIGN SPEED LIMIT = 20 MPH  
ROADS: FOUNTAIN GRASS GROVE (ENTRANCE)



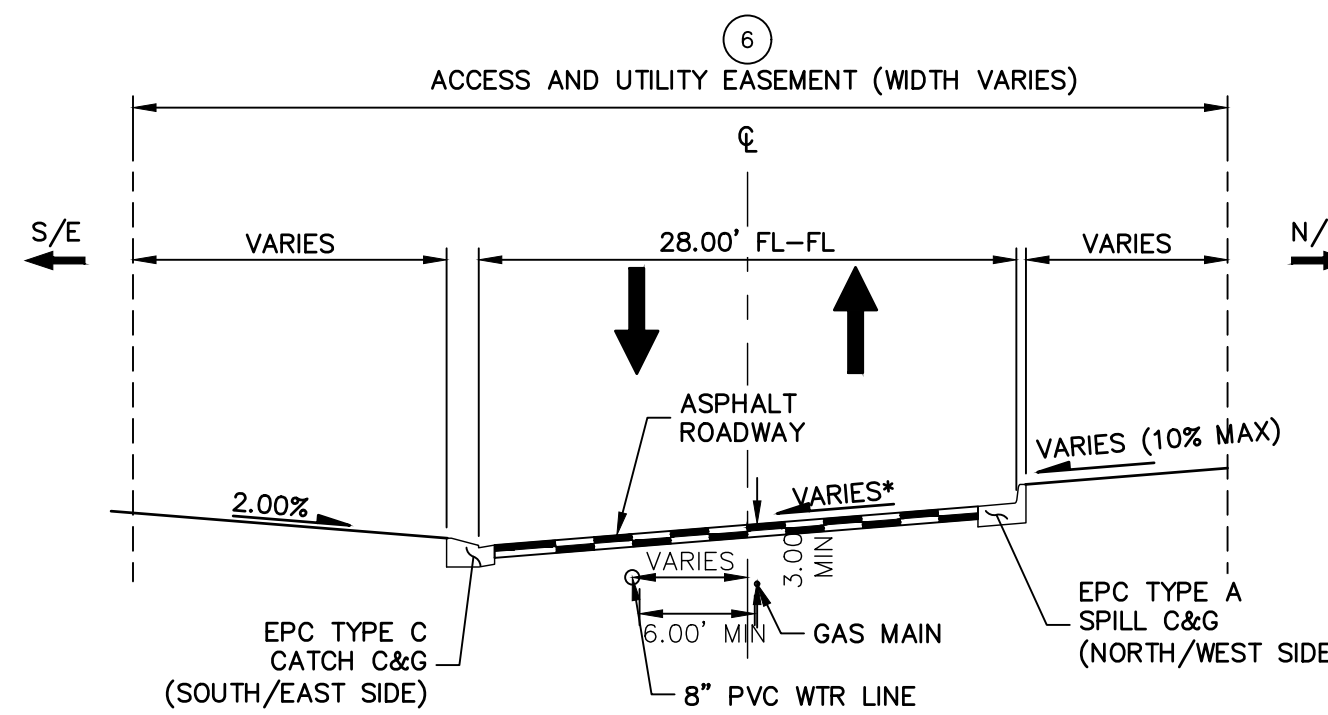
**TYPICAL PRIVATE URBAN LOCAL (LOW VOLUME) TYPE 4**

POSTED/DESIGN SPEED LIMIT = 20 MPH  
ROADS: FOUNTAIN GRASS GROVE (WEST SIDE)



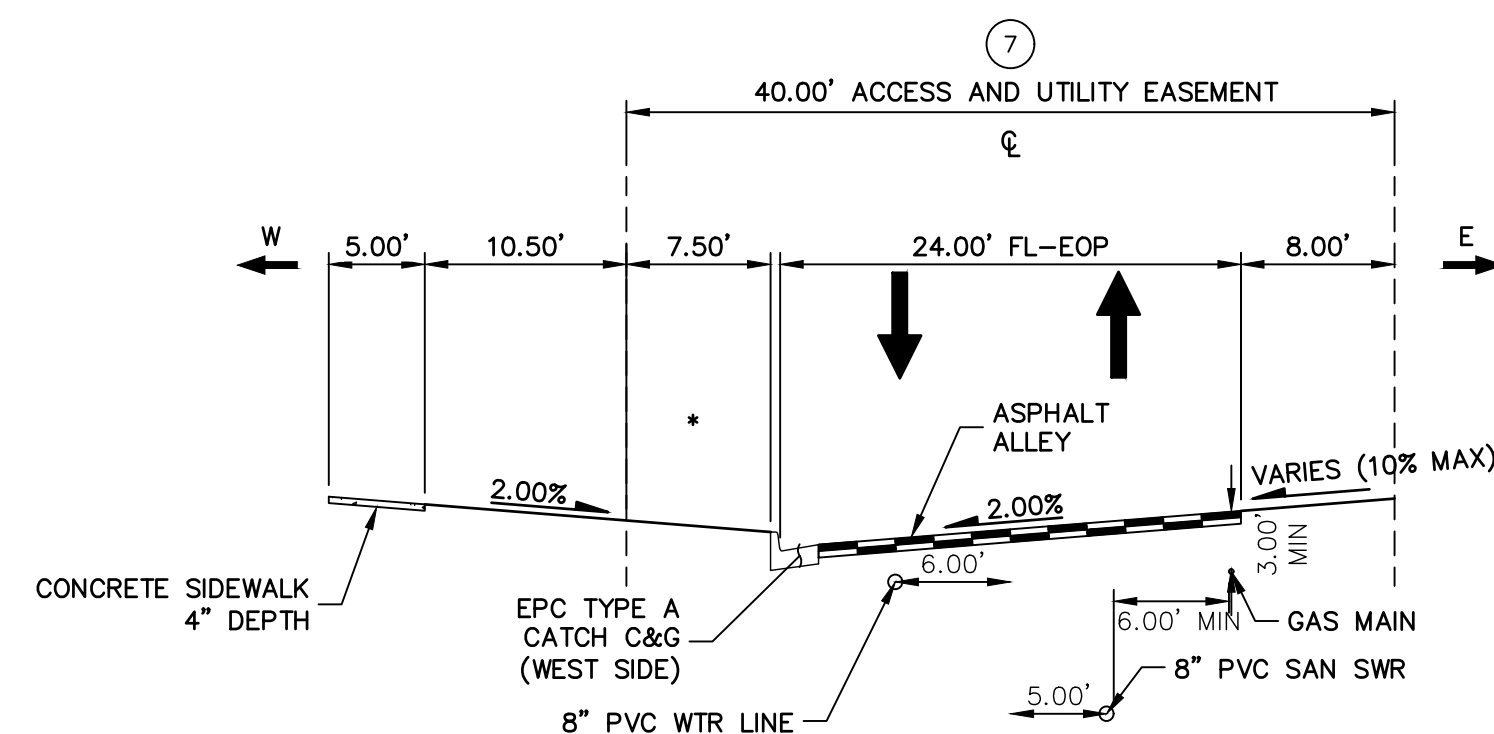
**TYPICAL PRIVATE URBAN LOCAL (LOW VOLUME) TYPE 5**

POSTED/DESIGN SPEED LIMIT = 20 MPH  
ROADS: WAYFARING TREE HEIGHTS, BLUE AVENA VIEW



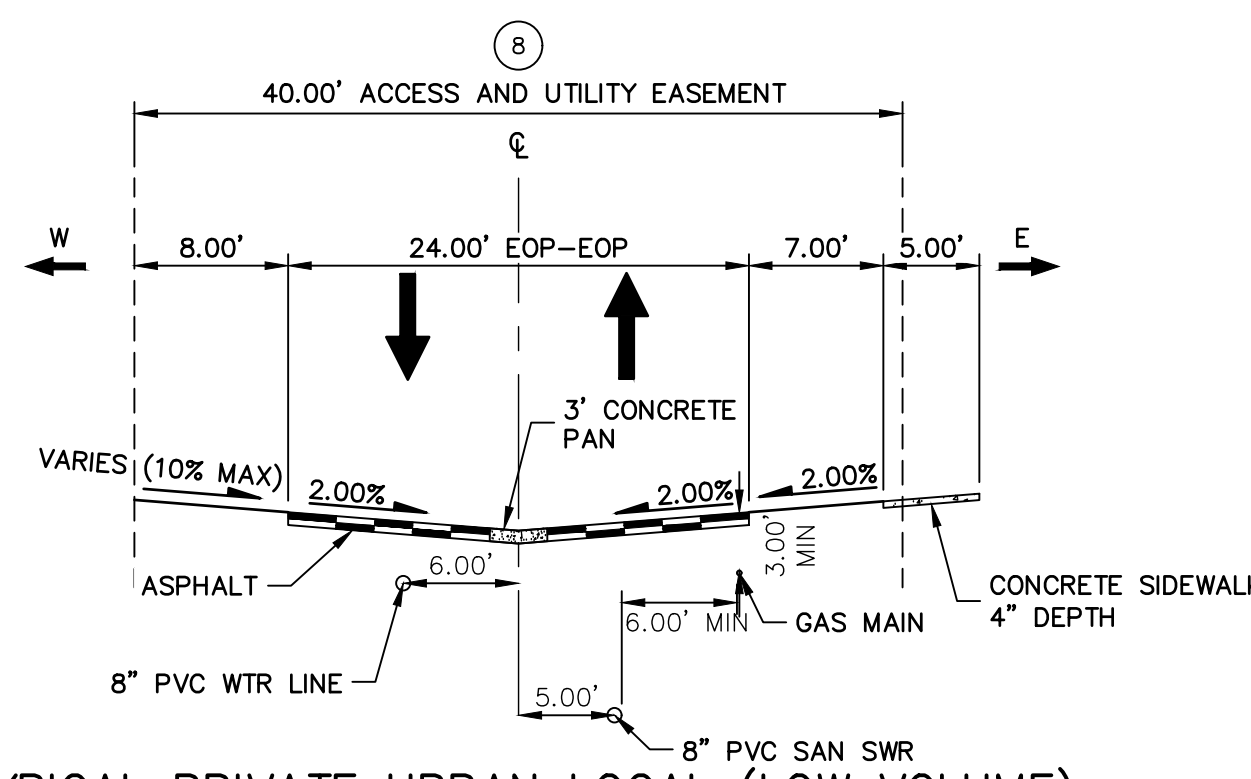
**TYPICAL PRIVATE URBAN LOCAL (LOW VOLUME) TYPE 6**

POSTED/DESIGN SPEED LIMIT = 20 MPH  
ROADS: FOUNTAIN GRASS GROVE (WEST SIDE)



**TYPICAL PRIVATE URBAN LOCAL (LOW VOLUME) TYPE 7**

POSTED/DESIGN SPEED LIMIT = 20 MPH  
ROADS: FOERSTER GRASS VIEW



**TYPICAL PRIVATE URBAN LOCAL (LOW VOLUME) TYPE 8**

POSTED/DESIGN SPEED LIMIT = 20 MPH  
ROADS: SERVICEBERRY GROVE

**TYPICAL SECTIONS NOTES**

1. SEE SHEET 6 TO 14 FOR LOCATIONS OF TYPICAL SECTIONS.

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR  
**RICHMOND AMERICAN HOMES**  
4350 S. MONACO STREET  
DENVER, CO 80237  
(720) 977-3827  
JASON.FOCK@MDCH.COM

**J.R. ENGINEERING**  
A Westman Company  
Central 303-740-9888 • Colorado Springs 719-588-2583  
Fort Collins 970-491-9888 • www.jrengineering.com

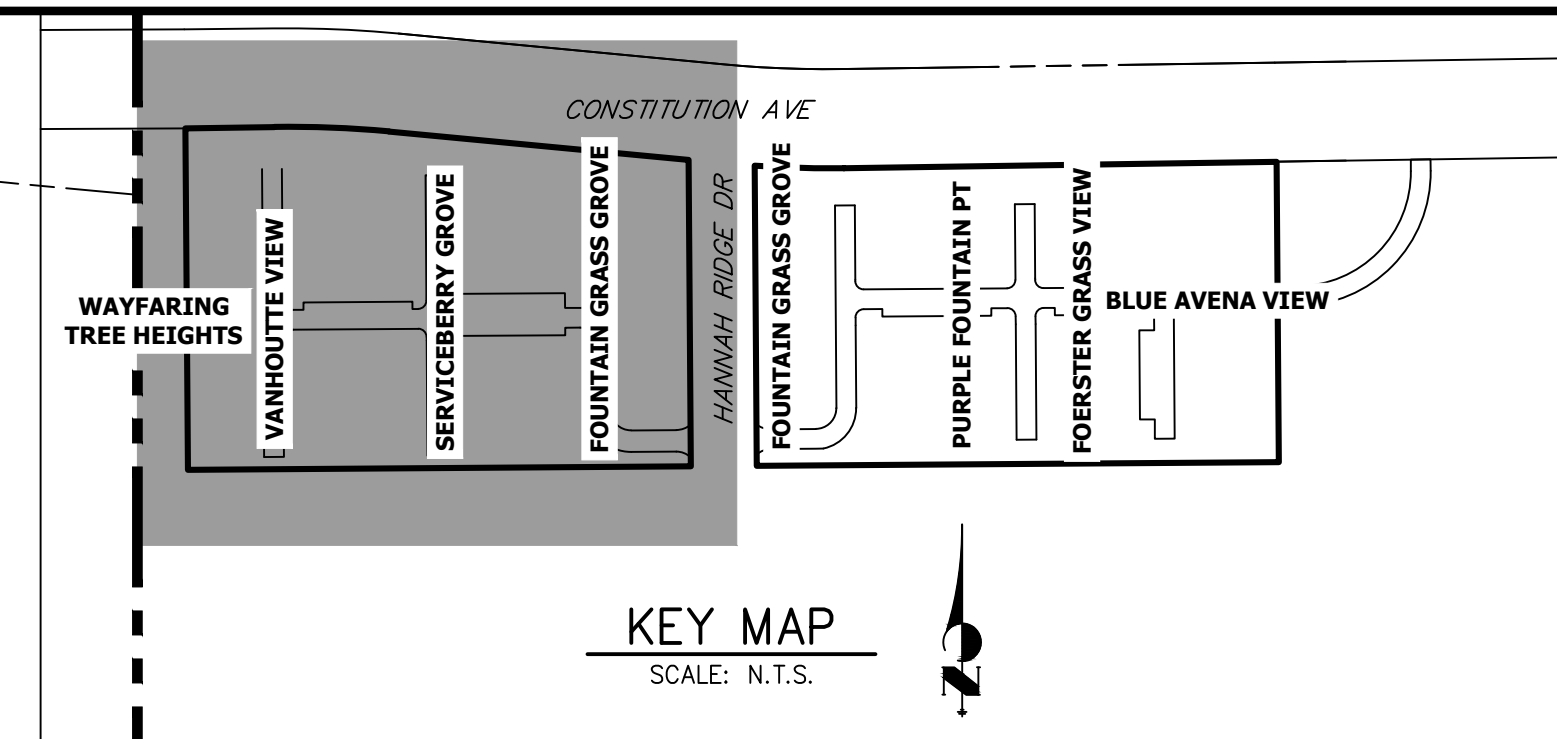
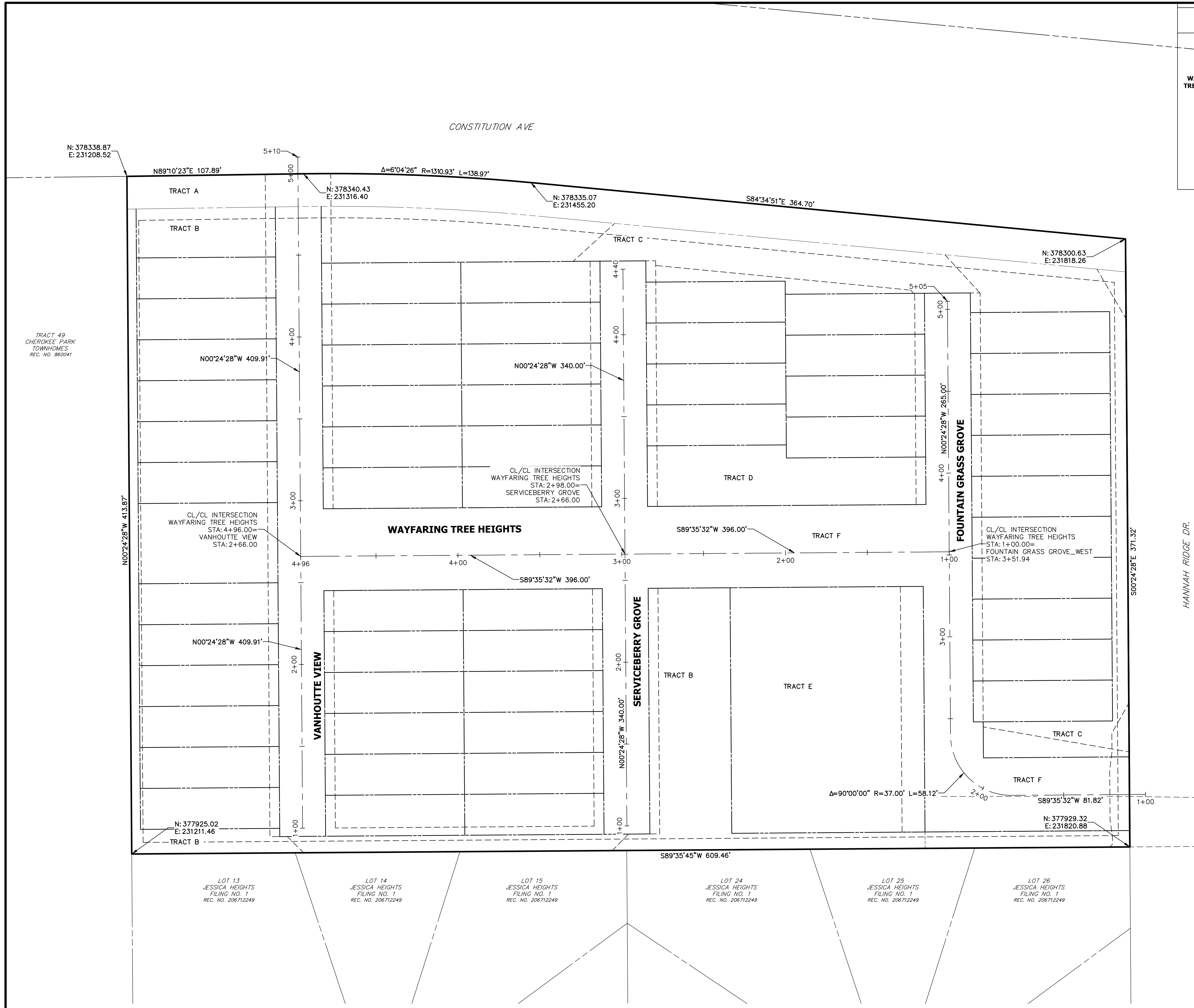
BY	DATE	REVISION

H-SCALE	N/A	V-SCALE	N/A	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
				01/29/21	APL	APL	

URBAN COLLECTION AT PALMER VILLAGE  
TYPICAL SECTIONS  
CONSTRUCTION DOCUMENTS



**ENGINEER'S STATEMENT**  
PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING  
GLENN D. ELLIS, P.E.  
COLORADO P.E. 38861  
DATE 07/15/2021  
FOR AND ON BEHALF OF JR ENGINEERING



**811**  
Know what's below.  
Call before you dig.

UNLESS SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USE FOR THE PURPOSES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR  
**RICHMOND AMERICAN HOMES**  
4350 S. MONACO STREET  
DENVER, CO 80237  
(720) 977-3827  
JASON.FOCK@MDC.H.COM

**J.R. ENGINEERING**  
A Westman Company  
Central 303-740-9888 • Colorado Springs 719-588-2583  
Fort Collins 970-491-9888 • www.jrengineering.com

No.	REVISION	BY	DATE

**ENGINEER'S STATEMENT**  
PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING

GLENN D. ELLIS, P.E.  
COLORADO P.E. 38861  
FOR AND ON BEHALF OF JR ENGINEERING

DATE: 07/15/2021

**URBAN COLLECTION AT PALMER VILLAGE**  
HORIZONTAL CONTROL PLAN  
CONSTRUCTION DOCUMENTS

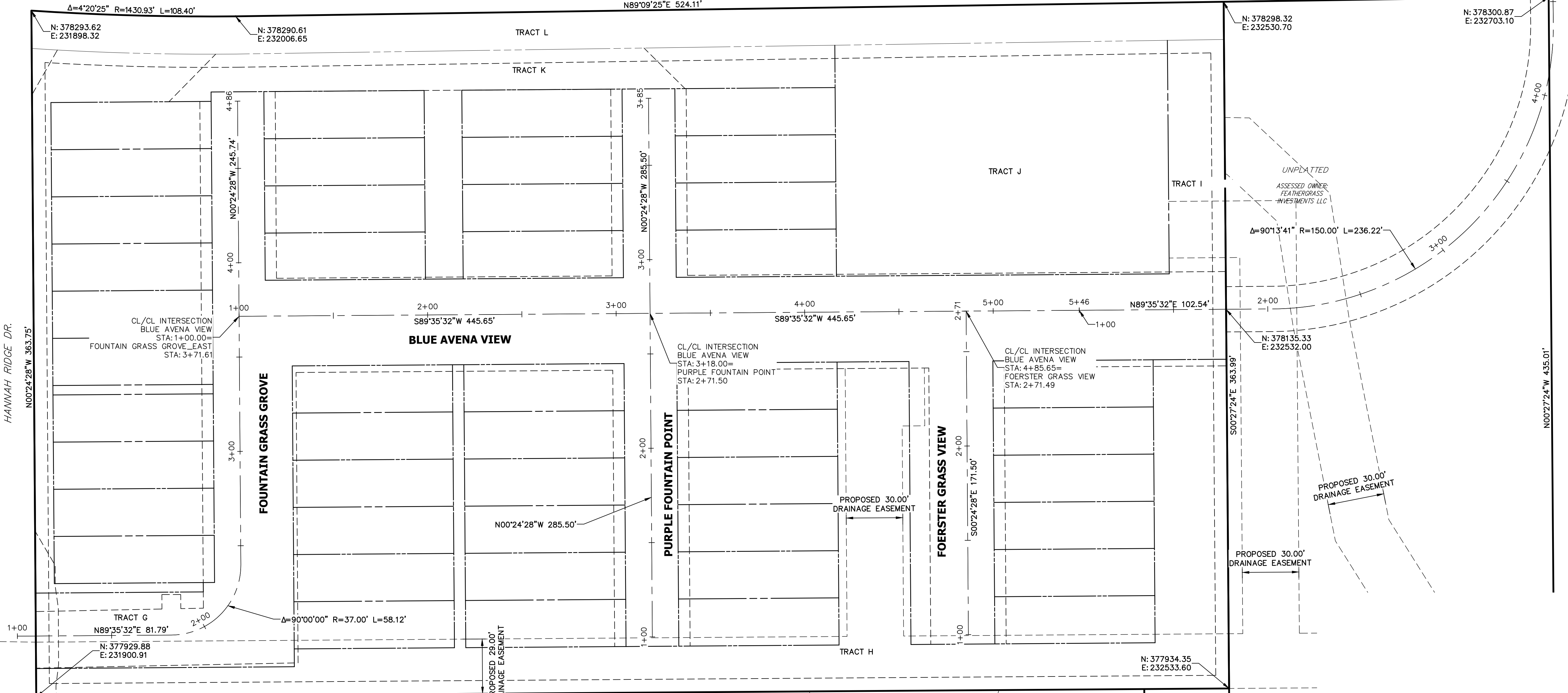
SHEET 4 OF 32  
JOB NO. 25149.01

SF-20-028 EPC 9/7/2021

SEE SHEET 4

HANNAH RIDGE DR.

N00°24'28"W 363.75'



Δ=4°20'25" R=1430.93' L=108.40'

N89°09'25"E 524.11'

N: 378298.32  
E: 232530.70

N: 378300.87  
E: 232703.10

N: 378293.62  
E: 231898.32

N: 378290.61  
E: 232006.65

N: 378135.33  
E: 232532.00

N: 377934.35  
E: 232533.60

N: 377929.88  
E: 231900.91

LOT 98  
JESSICA HEIGHTS  
FILING NO. 1  
REC. NO. 206712249

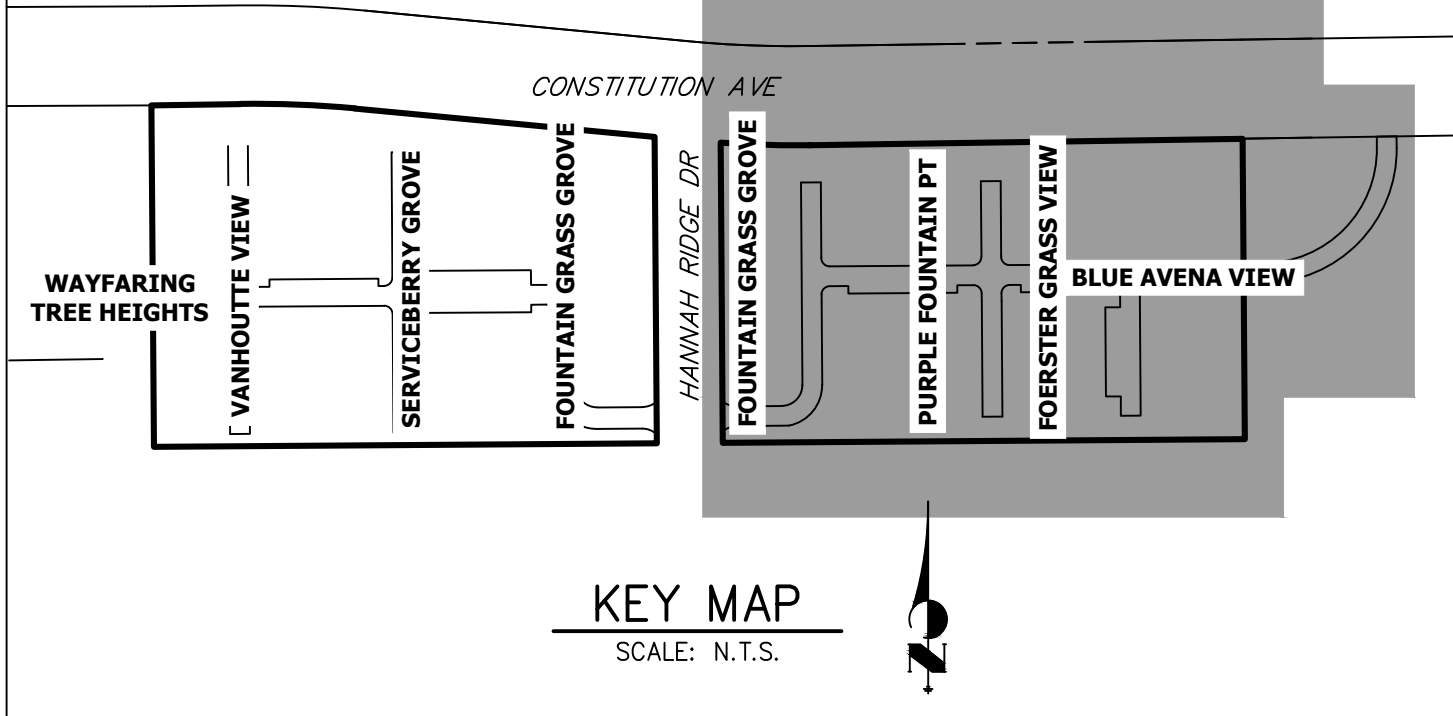
LOT 97  
JESSICA HEIGHTS  
FILING NO. 1  
REC. NO. 206712249

LOT 96  
JESSICA HEIGHTS  
FILING NO. 1  
REC. NO. 206712249

LOT 87  
JESSICA HEIGHTS  
FILING NO. 1  
REC. NO. 206712249

LOT 86  
JESSICA HEIGHTS  
FILING NO. 1  
REC. NO. 206712249

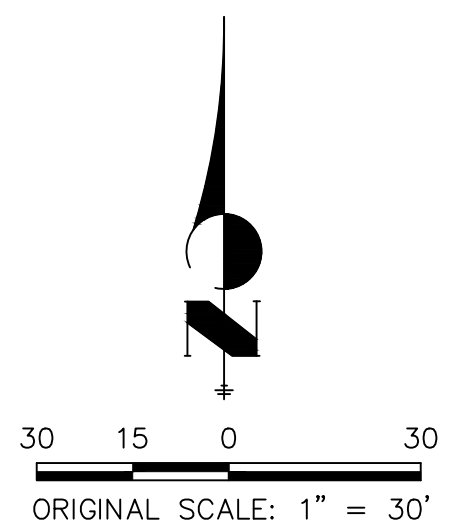
LOT 85  
JESSICA HEIGHTS  
FILING NO. 1  
REC. NO. 206712249



KEY MAP  
SCALE: N.T.S.



Know what's below.  
Call before you dig.



UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR  
**RICHMOND AMERICAN HOMES**  
4350 S. MONACO STREET  
DENVER, CO 80237  
(720) 977-3827  
JASON.FOCK@MDCCH.COM

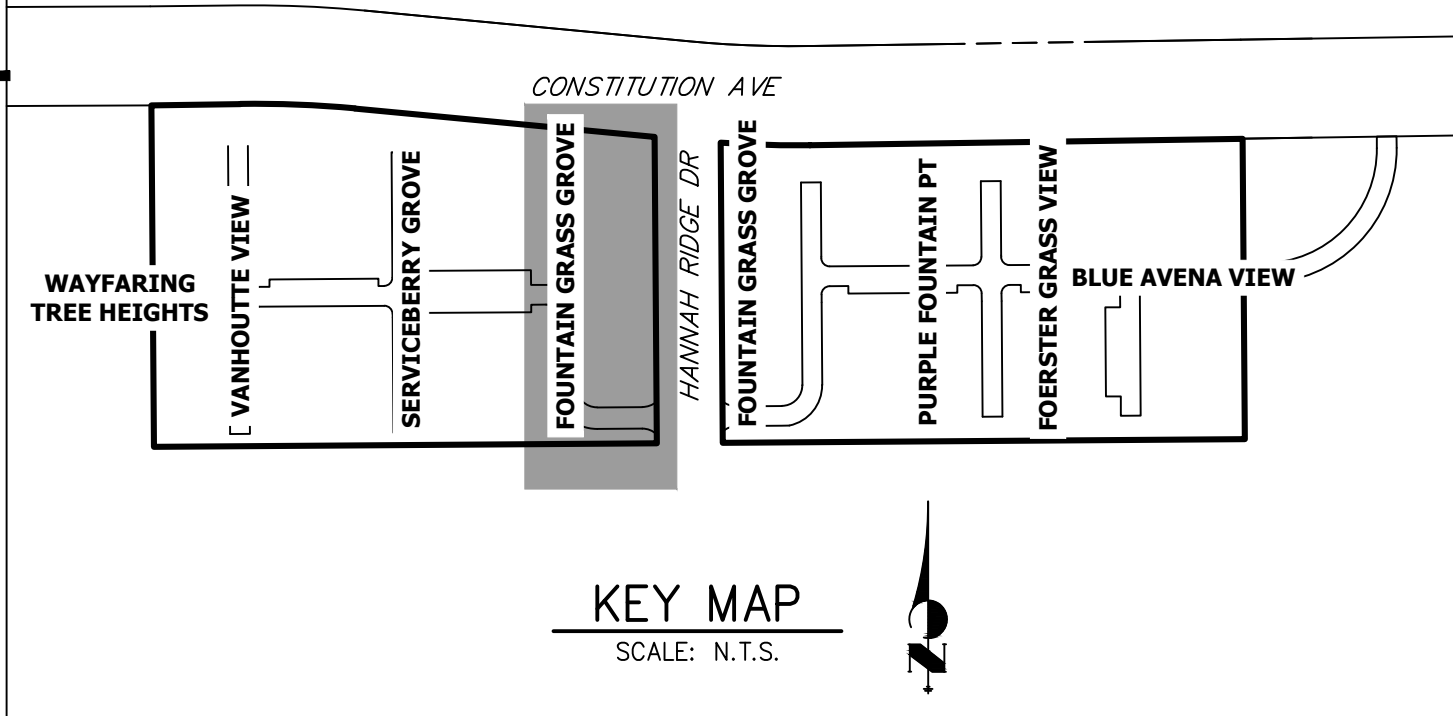
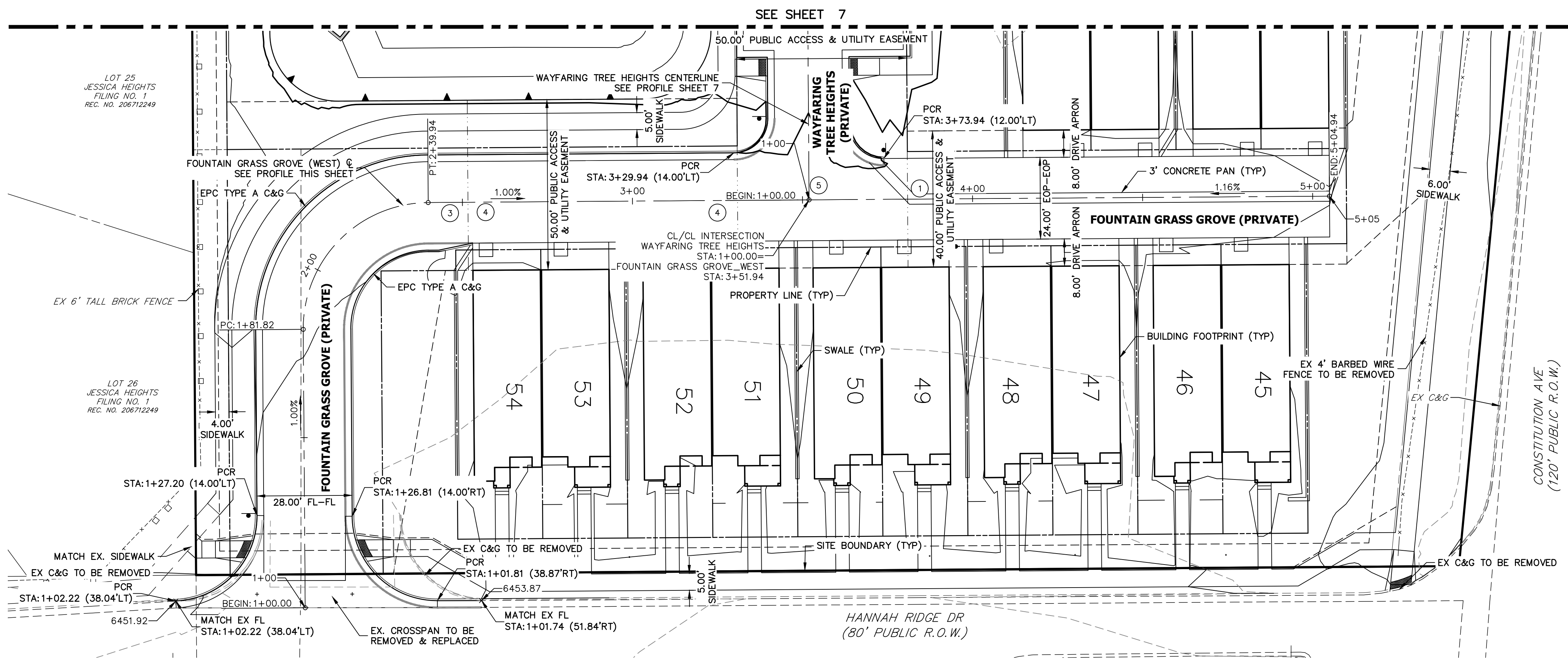
**J.R. ENGINEERING**  
A Westman Company  
Central 303-740-8888 • Colorado Springs 719-588-2583  
Fort Collins 970-491-9888 • www.jrengineering.com

NO.	REVISION	BY	DATE

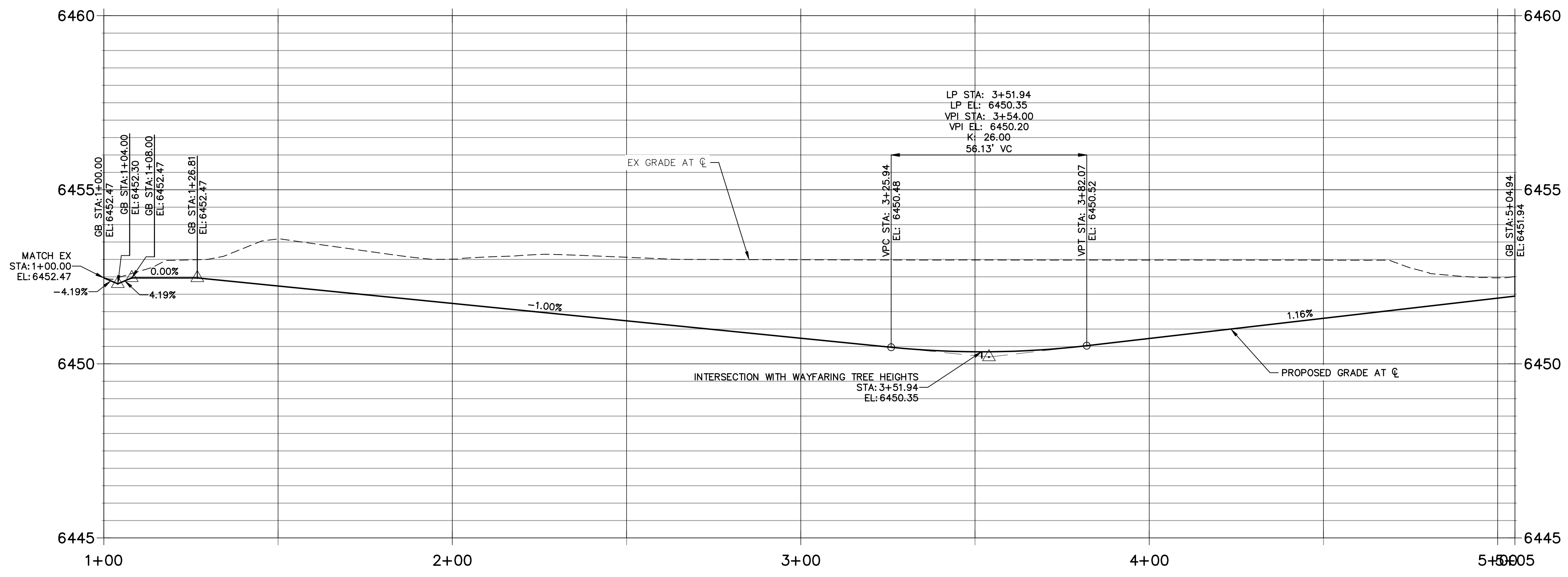
**ENGINEER'S STATEMENT**  
PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING  
GLENN D. ELLIS, P.E.  
COLORADO P.E. 38861  
FOR AND ON BEHALF OF JR ENGINEERING, LLC  
DATE: 07/15/2021



URBAN COLLECTION AT  
PALMER VILLAGE  
HORIZONTAL CONTROL PLAN  
CONSTRUCTION DOCUMENTS  
SHEET 5 OF 32  
JOB NO. 25149.01



**FOUNTAIN GRASS GROVE\_WEST PROFILE  
STA 1+00.00 TO 5+04.94**

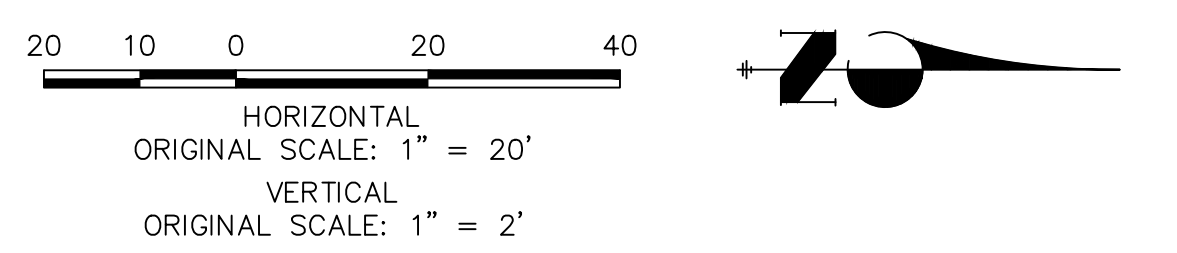


- NOTES**
1. ALL SIDEWALK CURB RAMPS ARE TO BE INSTALLED PER ADA AND EL PASO COUNTY CRITERIA. SEE DETAIL SHEET 32.
  2. SEE SHEET 3 FOR TYPICAL SECTION.
  3. SEE SHEET 15 FOR CURB RAMP DETAILS.
  4. ALL PROPOSED ROADS ARE PRIVATE UNLESS OTHERWISE NOTED.
  5. REFER TO WATER CONSTRUCTION PLANS BY JR ENGINEERING FOR PROPOSED POTABLE WATER DESIGN.
  6. REFER TO WASTEWATER CONSTRUCTION PLANS BY JR ENGINEERING FOR PROPOSED SANITARY SEWER DESIGN.
  7. REFER TO UTILITY SERVICE PLANS BY JR ENGINEERING FOR PROPOSED SERVICE CONNECTIONS DESIGN.
  8. REFER TO SEE SHEETS 18-23 FOR PROPOSED STORM SEWER DESIGN.
  9. REFER TO SEE SHEETS 24-31 FOR PROPOSED POND DESIGN.
  10. WHERE CURB AND GUTTER TERMINATES AT ALLEYS, OR AT A NEW CROSS-SECTION, TAPER FROM 6" TO 0" WITHIN 5'.

**CURB TYPE LEGEND**

CATCH C&G	=====
SPILL C&G	=====
EX C&G	-----

CROSS SECTION DESIGNATION (SEE SHEET 3)



**ENGINEER'S STATEMENT**  
 PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING

GLENN D. ELLIS, P.E.  
 COLORADO P.E. 38861  
 FOR AND ON BEHALF OF JR ENGINEERING

07/15/2021 DATE

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR  
**RICHMOND AMERICAN HOMES**  
 4350 S. MONACO STREET  
 DENVER, CO 80237  
 (720) 977-3827  
 JASON.FOCK@MDCM.COM

**J.R. ENGINEERING**  
 A Westman Company  
 Centennial 300-740-9888 • Colorado Springs 719-588-2583  
 Fort Collins 970-491-9888 • www.jrengineering.com

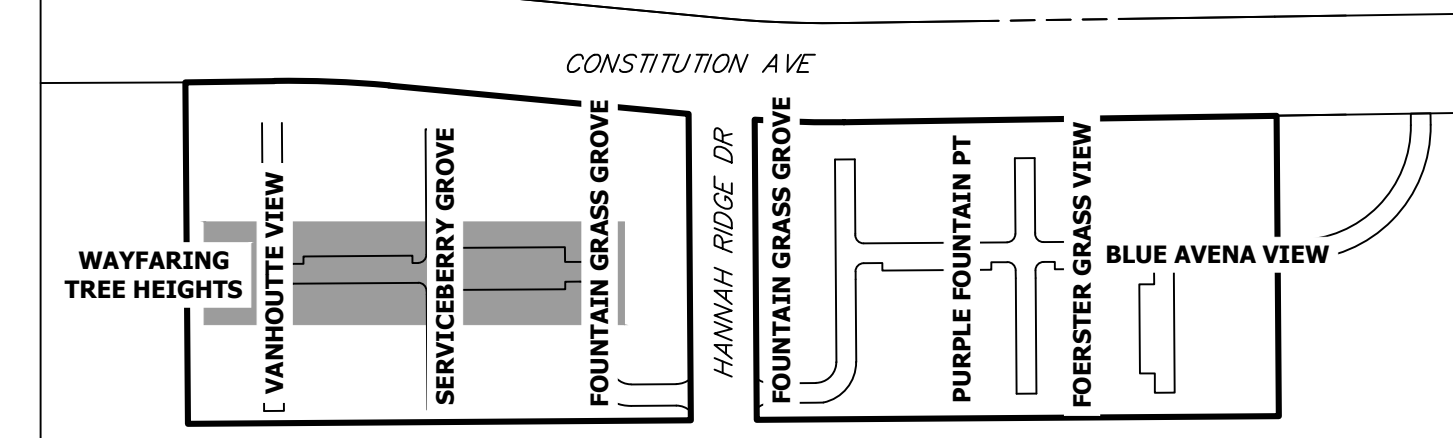
BY	DATE	REVISION

URBAN COLLECTION AT PALMER VILLAGE  
 STREET IMPROVEMENT PLANS  
 FOUNTAIN GRASS GROVE (WEST)  
 CONSTRUCTION DOCUMENTS

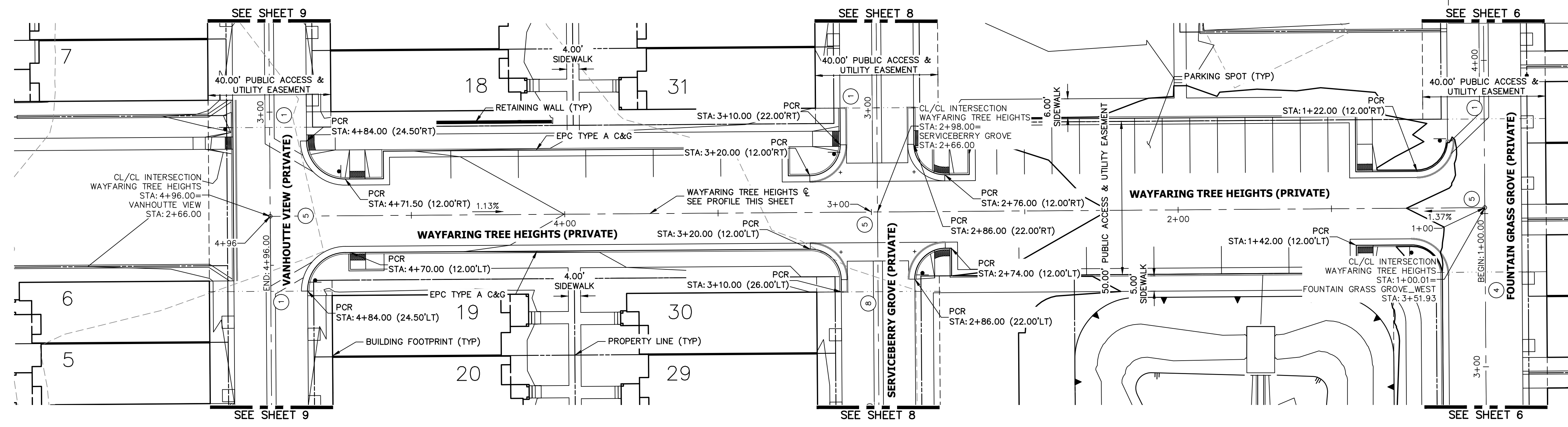
SHEET 6 OF 32  
 JOB NO. 25149.01



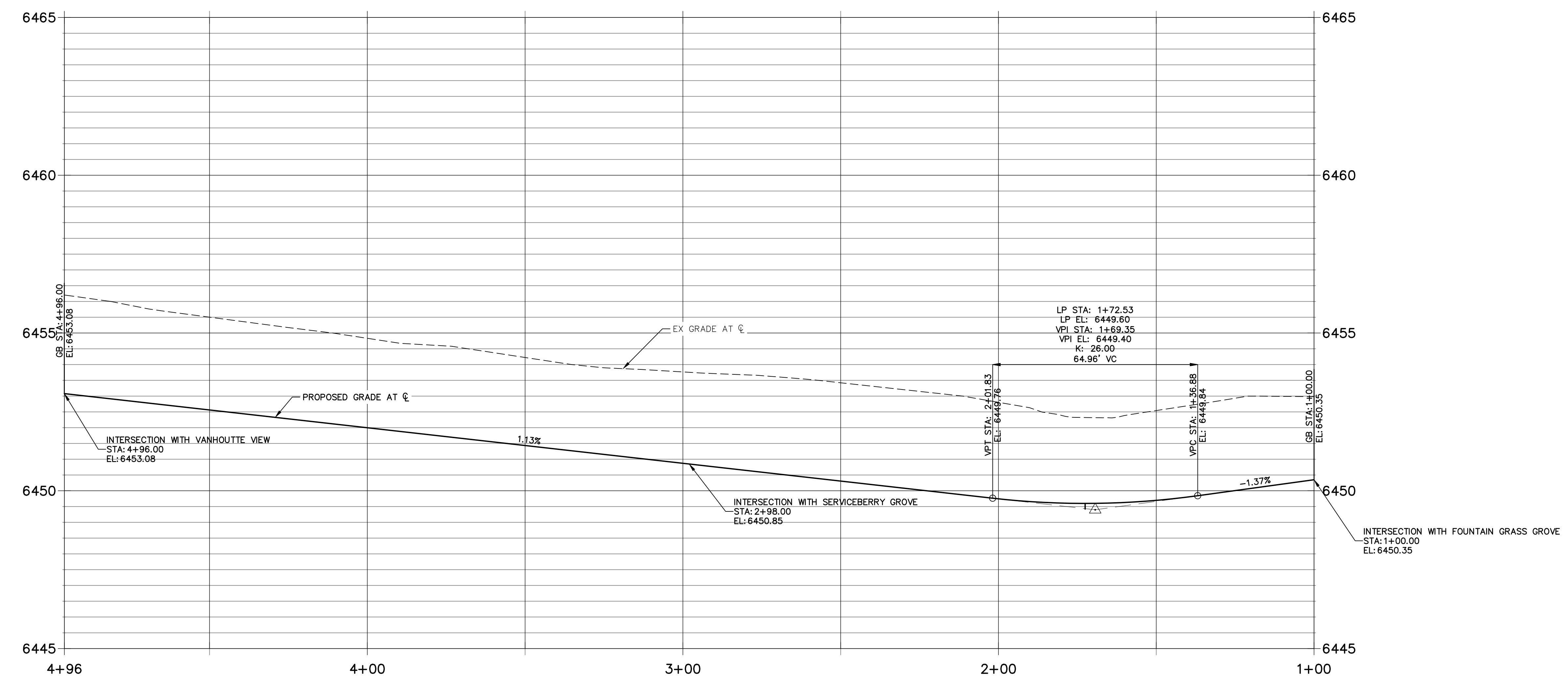
Know what's below.  
Call before you dig.



KEY MAP  
SCALE: N.T.S.

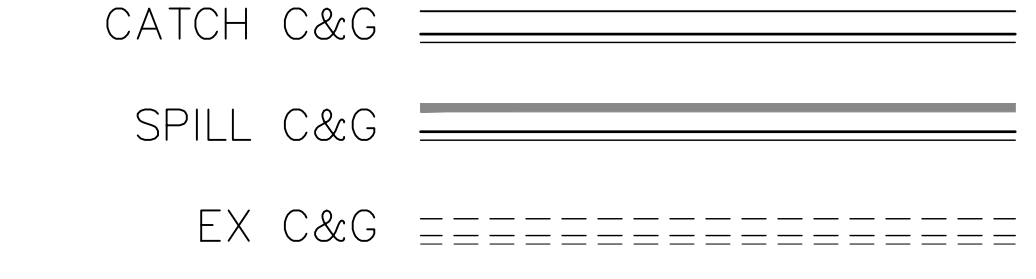


**WAYFARING TREE HEIGHTS PROFILE  
STA 1+00.00 TO 4+96.00**

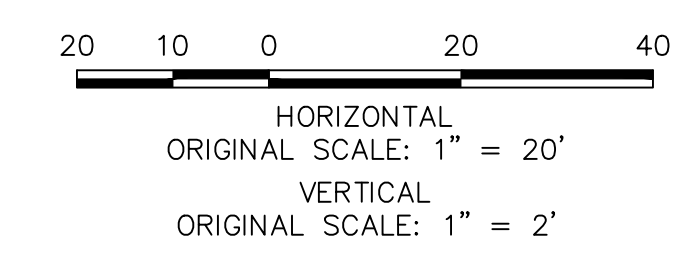


- NOTES**
1. ALL SIDEWALK CURB RAMP ARE TO BE INSTALLED PER ADA AND EL PASO COUNTY CRITERIA. SEE DETAIL SHEET 32.
  2. SEE SHEET 3 FOR TYPICAL SECTION.
  3. SEE SHEET 15 FOR CURB RAMP DETAILS.
  4. ALL PROPOSED ROADS ARE PRIVATE UNLESS OTHERWISE NOTED.
  5. REFER TO WATER CONSTRUCTION PLANS BY JR ENGINEERING FOR PROPOSED POTABLE WATER DESIGN.
  6. REFER TO WASTEWATER CONSTRUCTION PLANS BY JR ENGINEERING FOR PROPOSED SANITARY SEWER DESIGN.
  7. REFER TO UTILITY SERVICE PLANS BY JR ENGINEERING FOR PROPOSED SERVICE CONNECTIONS DESIGN.
  8. REFER TO SEE SHEETS 18-23 FOR PROPOSED STORM SEWER DESIGN.
  9. REFER TO SEE SHEETS 24-31 FOR PROPOSED POND DESIGN.
  10. WHERE CURB AND GUTTER TERMINATES AT ALLEYS, OR AT A NEW CROSS-SECTION, TAPER FROM 6" TO 0" WITHIN 5'.

**CURB TYPE LEGEND**



CROSS SECTION DESIGNATION (SEE SHEET 3)



**ENGINEER'S STATEMENT**  
 PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING

GLENN D. ELLIS, P.E.  
 COLORADO P.E. 38861  
 FOR AND ON BEHALF OF JR ENGINEERING

DATE: 07/15/2021

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE AGENCIES, JR ENGINEERING APPROVES THEIR USES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR  
**RICHMOND AMERICAN HOMES**  
 4350 S. MONACO STREET  
 DENVER, CO 80237  
 (720) 977-3827  
 JASON.FOCK@MDC.H.COM

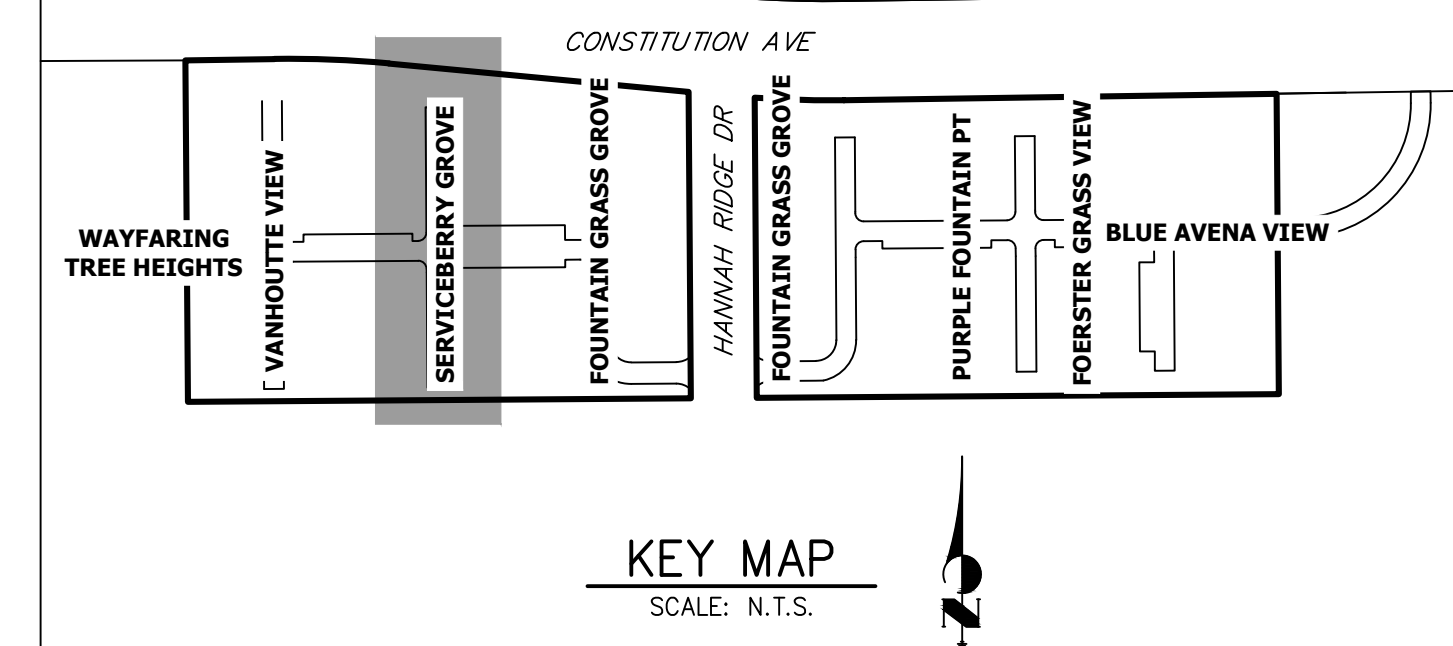
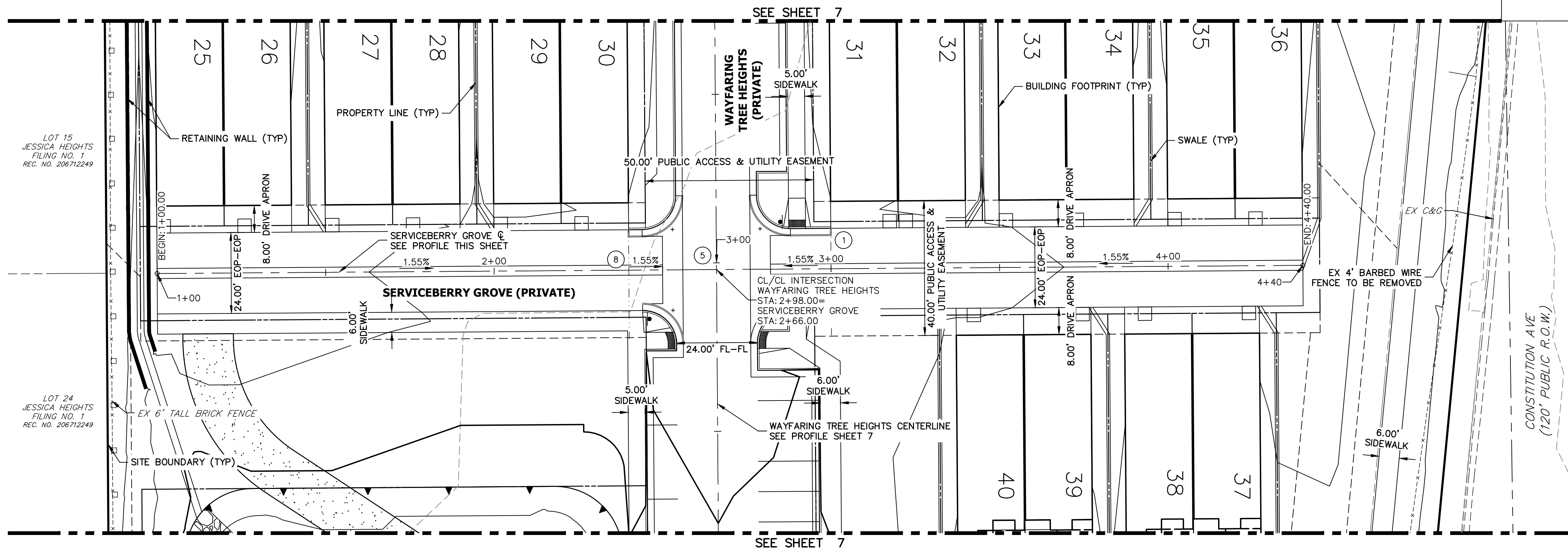
**J.R. ENGINEERING**  
 A Westman Company  
 Centennial 300-740-9888 • Colorado Springs 719-588-2583  
 Fort Collins 970-491-9888 • www.jrengineering.com

BY	DATE	REVISION

H-SCALE 1"=20'  
 V-SCALE 1"=2'  
 DATE 01/29/21  
 DESIGNED BY RPD  
 DRAWN BY APL  
 CHECKED BY

URBAN COLLECTION AT PALMER VILLAGE  
 STREET IMPROVEMENT PLANS  
 WAYFARING TREE HEIGHTS  
 CONSTRUCTION DOCUMENTS

SHEET 7 OF 32  
 JOB NO. 25149.01



- NOTES**
1. ALL SIDEWALK CURB RAMPS ARE TO BE INSTALLED PER ADA AND EL PASO COUNTY CRITERIA-SEE DETAIL SHEET 32.
  2. SEE SHEET 3 FOR TYPICAL SECTION.
  3. SEE SHEET 15 FOR CURB RAMP DETAILS.
  4. ALL PROPOSED ROADS ARE PRIVATE UNLESS OTHERWISE NOTED.
  5. REFER TO WATER CONSTRUCTION PLANS BY JR ENGINEERING FOR PROPOSED POTABLE WATER DESIGN.
  6. REFER TO WASTEWATER CONSTRUCTION PLANS BY JR ENGINEERING FOR PROPOSED SANITARY SEWER DESIGN.
  7. REFER TO UTILITY SERVICE PLANS BY JR ENGINEERING FOR PROPOSED SERVICE CONNECTIONS DESIGN.
  8. REFER TO SEE SHEETS 18-23 FOR PROPOSED STORM SEWER DESIGN.
  9. REFER TO SEE SHEETS 24-31 FOR PROPOSED POND DESIGN.
  10. WHERE CURB AND GUTTER TERMINATES AT ALLEYS, OR AT A NEW CROSS-SECTION, TAPER FROM 6" TO 0" WITHIN 5'.

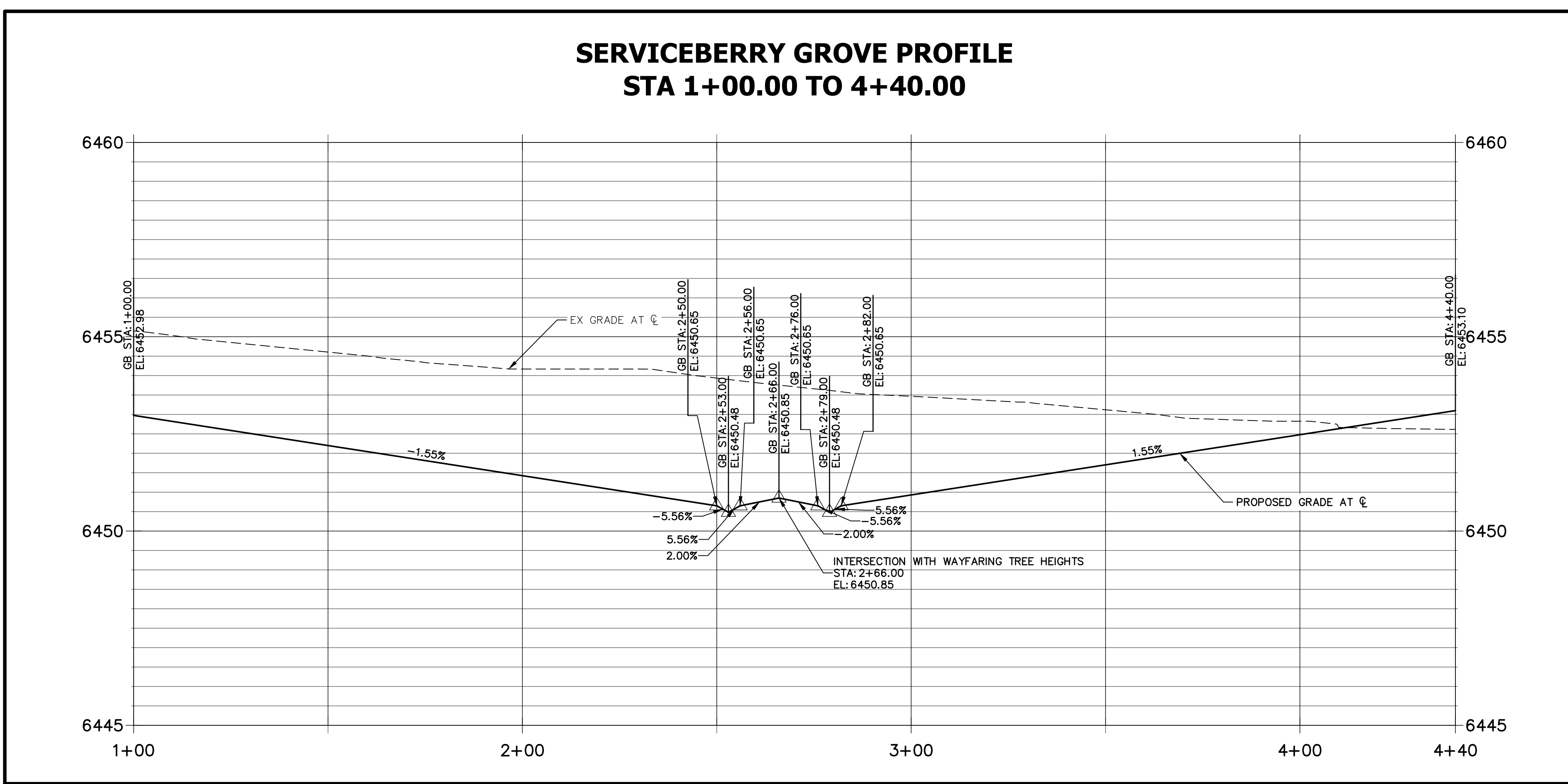
UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE AGENCIES, JR ENGINEERING APPROVES THEIR USES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR  
**RICHMOND AMERICAN HOMES**  
 4350 S. MONACO STREET  
 DENVER, CO 80237  
 (720) 977-3827  
 JASON.FOCK@MDCCH.COM

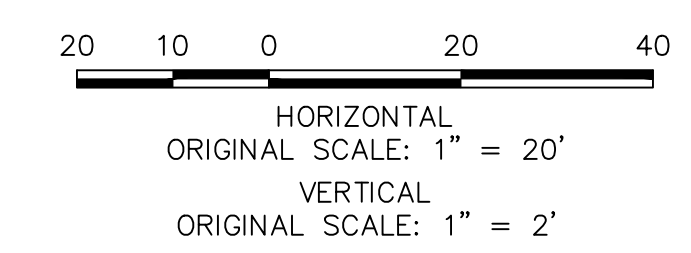
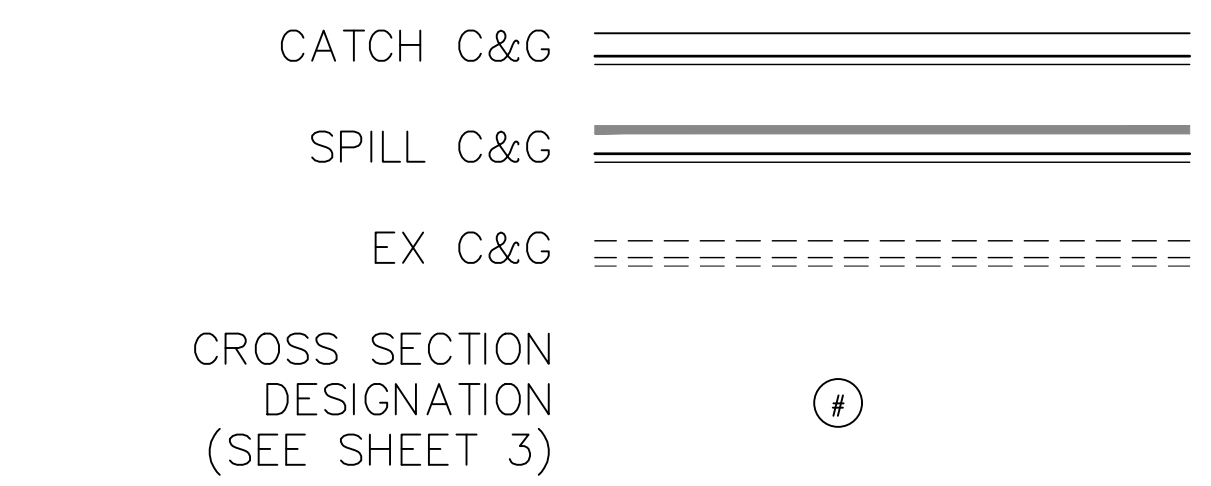
**J.R. ENGINEERING**  
 A Westman Company  
 Centennial 300-740-9888 • Colorado Springs 719-588-2583  
 Fort Collins 970-491-9888 • www.jrengineering.com

No.	REVISION	BY	DATE

**SERVICEBERRY GROVE PROFILE  
 STA 1+00.00 TO 4+40.00**



**CURB TYPE LEGEND**



**ENGINEER'S STATEMENT**  
 PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING

GLENN D. ELLIS, P.E.  
 COLORADO P.E. 38861  
 FOR AND ON BEHALF OF JR ENGINEERING

07/15/2021 DATE

URBAN COLLECTION AT PALMER VILLAGE  
 STREET IMPROVEMENT PLANS  
 SERVICEBERRY GROVE  
 CONSTRUCTION DOCUMENTS

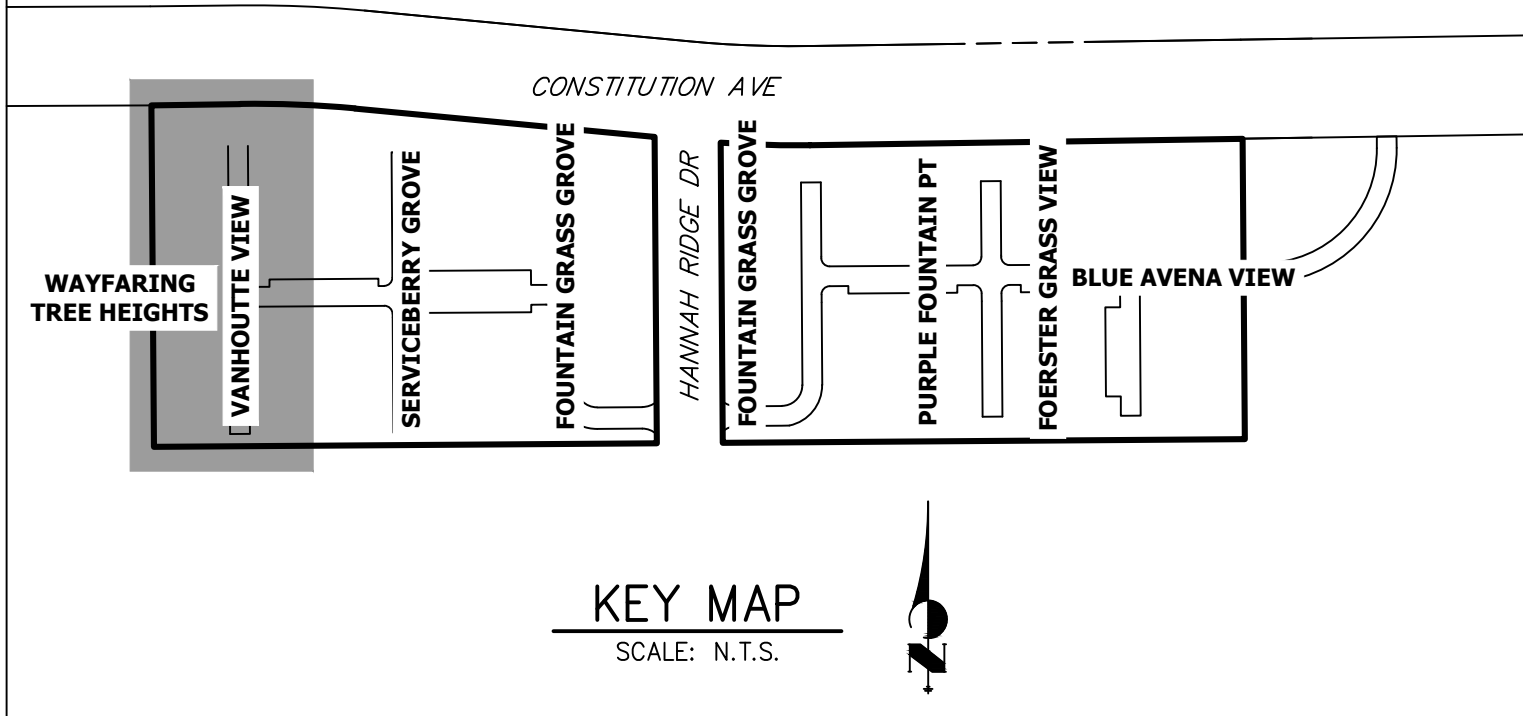
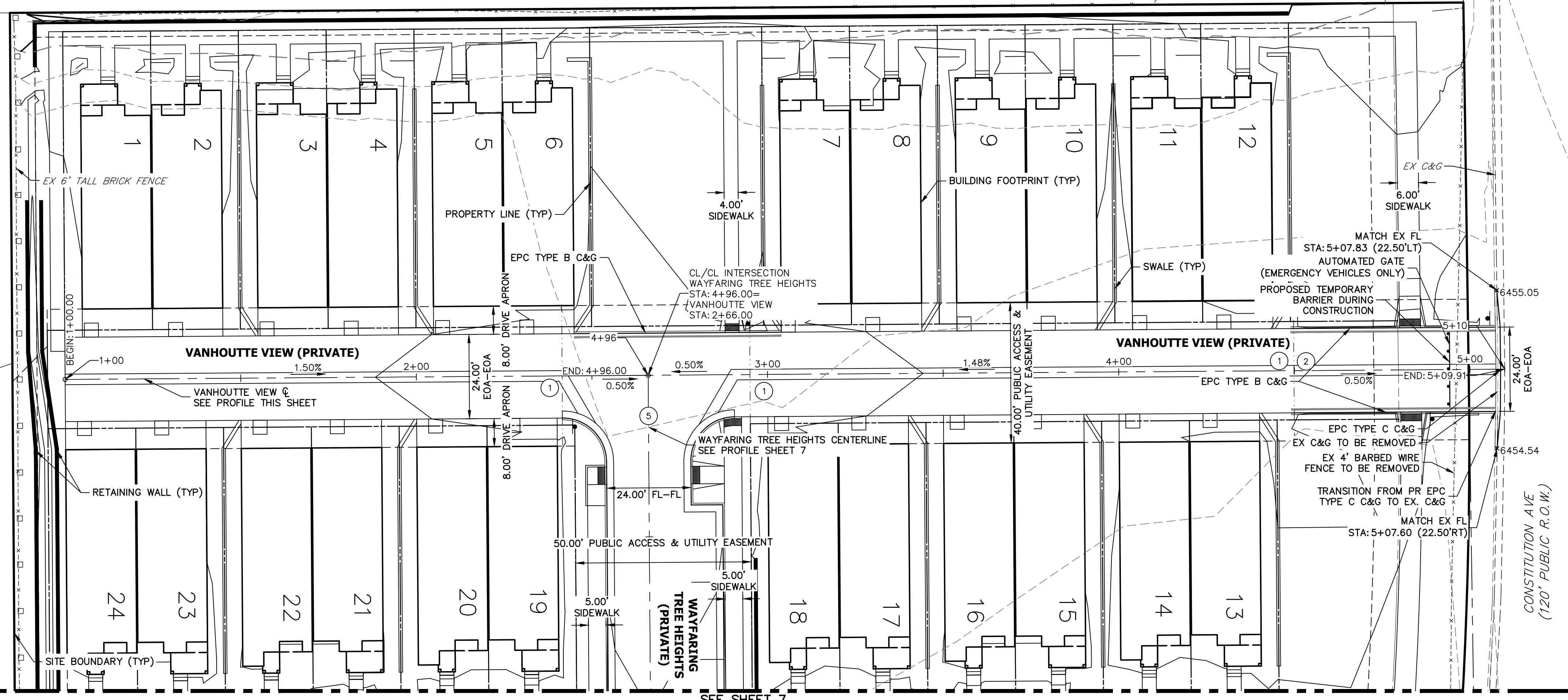
SHEET 8 OF 32  
 JOB NO. 25149.01



TRACT 49  
CHEROKEE PARK  
TOWNHOMES  
REC. NO. 860041

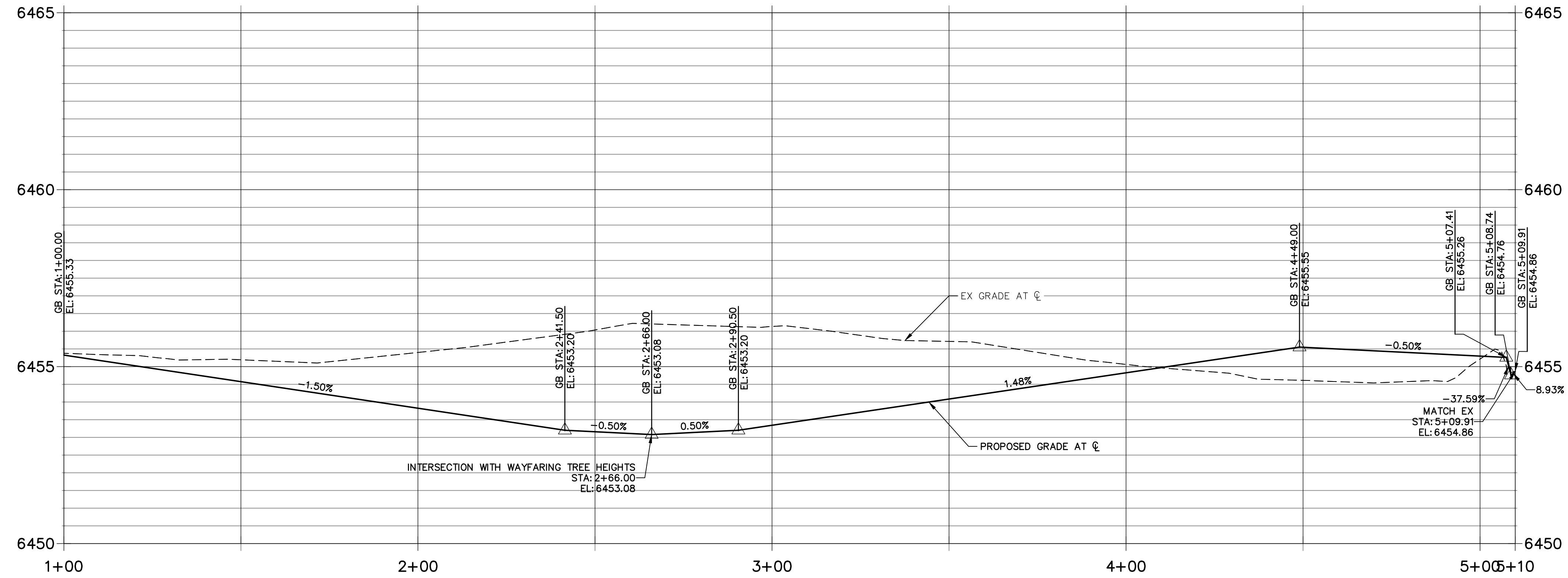
LOT 13  
JESSICA HEIGHTS  
FILING NO. 1  
REC. NO. 206712249

LOT 14  
JESSICA HEIGHTS  
FILING NO. 1  
REC. NO. 206712249



- NOTES**
1. ALL SIDEWALK CURB RAMPS ARE TO BE INSTALLED PER ADA AND EL PASO COUNTY CRITERIA. SEE DETAIL SHEET 32.
  2. SEE SHEET 3 FOR TYPICAL SECTION.
  3. SEE SHEET 15 FOR CURB RAMP DETAILS.
  4. ALL PROPOSED ROADS ARE PRIVATE UNLESS OTHERWISE NOTED.
  5. REFER TO WATER CONSTRUCTION PLANS BY JR ENGINEERING FOR PROPOSED POTABLE WATER DESIGN.
  6. REFER TO WASTEWATER CONSTRUCTION PLANS BY JR ENGINEERING FOR PROPOSED SANITARY SEWER DESIGN.
  7. REFER TO UTILITY SERVICE PLANS BY JR ENGINEERING FOR PROPOSED SERVICE CONNECTIONS DESIGN.
  8. REFER TO SEE SHEETS 18-23 FOR PROPOSED STORM SEWER DESIGN.
  9. REFER TO SEE SHEETS 24-31 FOR PROPOSED POND DESIGN.
  10. WHERE CURB AND GUTTER TERMINATES AT ALLEYS, OR AT A NEW CROSS-SECTION, TAPER FROM 6" TO 0" WITHIN 5'.

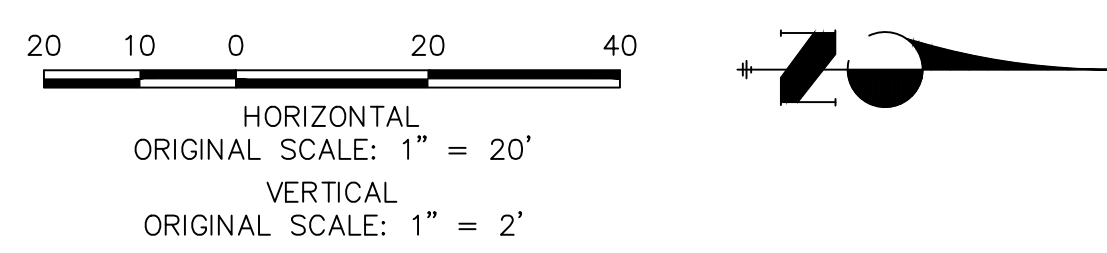
**VANHOUTTE VIEW PROFILE  
STA 1+00.00 TO 5+09.91**



**CURB TYPE LEGEND**

- CATCH C&G
- SPILL C&G
- EX C&G

CROSS SECTION DESIGNATION (SEE SHEET 3)



**ENGINEER'S STATEMENT**

PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING

GLENN D. ELLIS, P.E.  
COLORADO P.E. 38861  
FOR AND ON BEHALF OF JR ENGINEERING

DATE: 07/15/2021



UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE AGENCIES, JR ENGINEERING APPROVES THEIR USES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR  
**RICHMOND AMERICAN HOMES**  
4350 S. MONACO STREET  
DENVER, CO 80237  
(720) 977-3827  
JASON.FOCK@BMDCH.COM

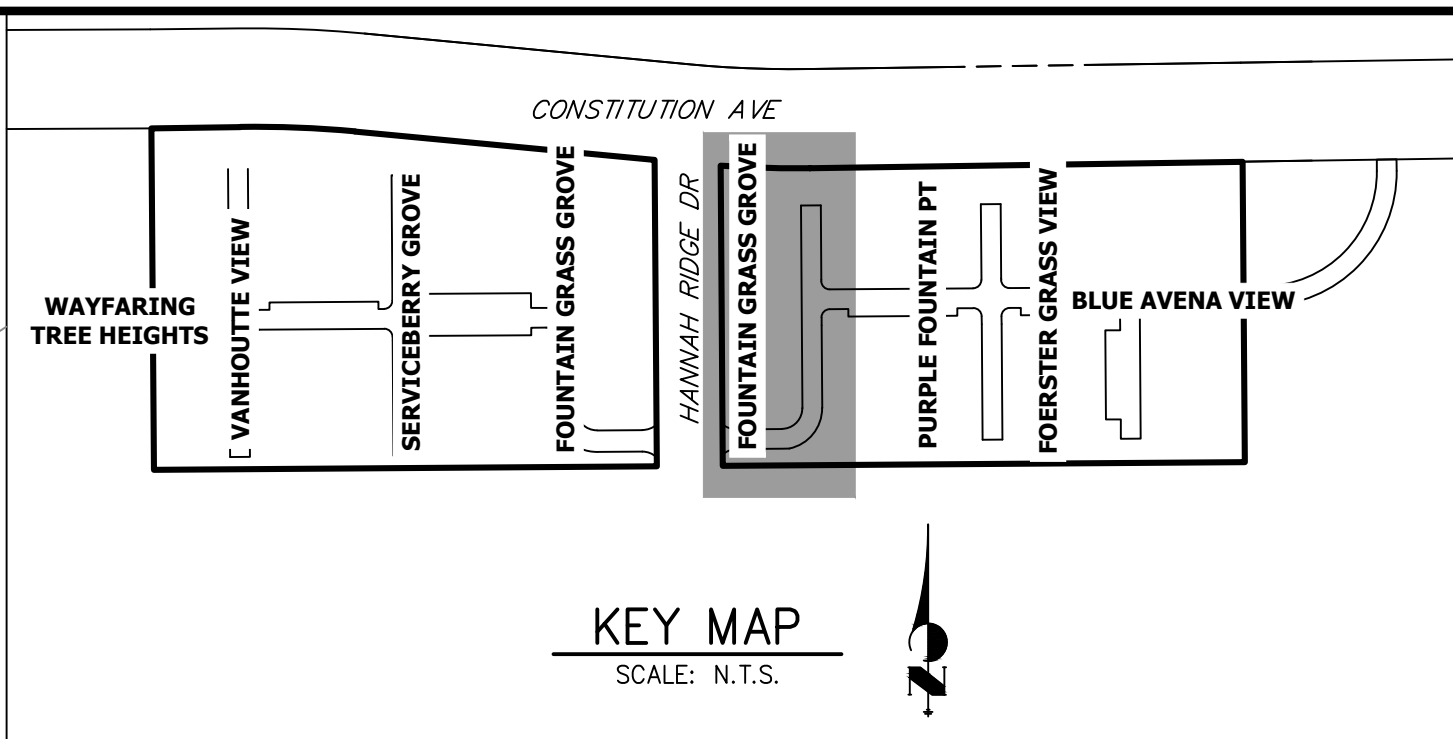
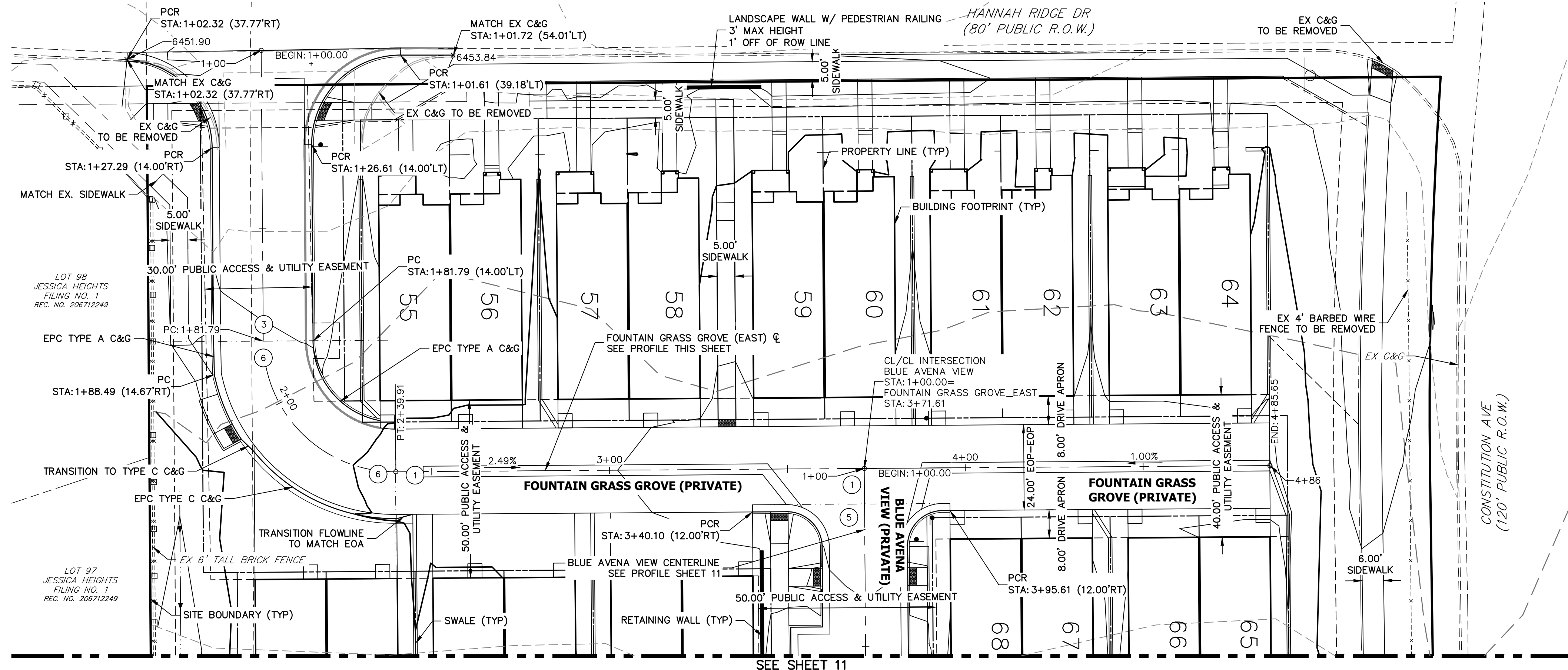
**J.R. ENGINEERING**  
A Westman Company  
Central 303-740-9888 • Colorado Springs 719-583-2593  
Fort Collins 970-491-9888 • www.jrengineering.com

BY	DATE	REVISION

H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
1"=20'	1"=2'	01/29/21	RPD	APL	

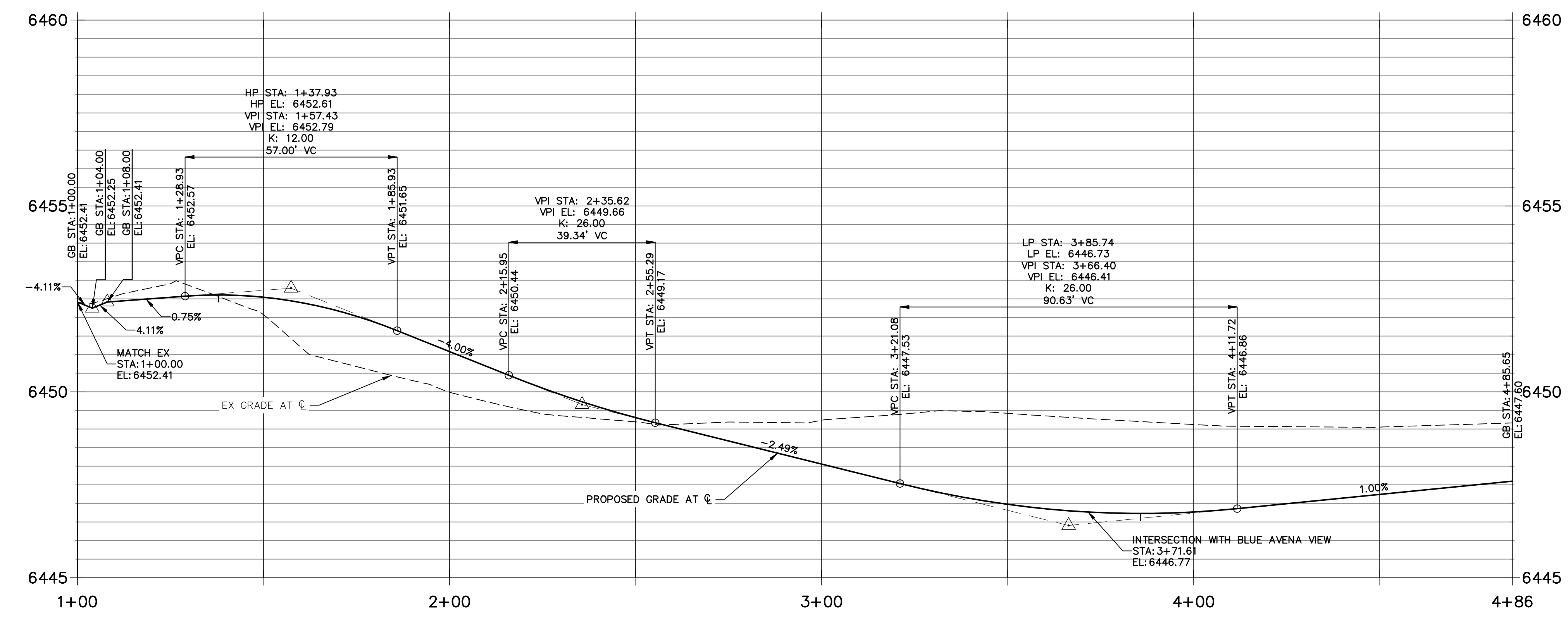
URBAN COLLECTION AT PALMER VILLAGE  
STREET IMPROVEMENT PLANS  
VANHOUTTE VIEW  
CONSTRUCTION DOCUMENTS

SHEET 9 OF 32  
JOB NO. 25149.01

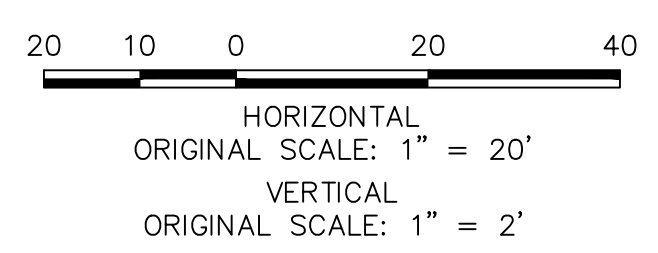
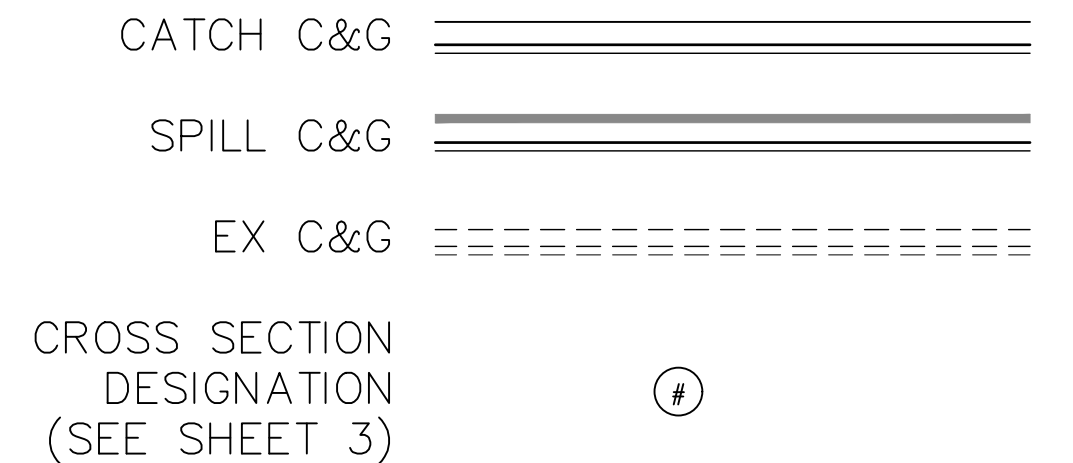


- NOTES**
1. ALL SIDEWALK CURB RAMPS ARE TO BE INSTALLED PER ADA AND EL PASO COUNTY CRITERIA-SEE DETAIL SHEET 32.
  2. SEE SHEET 3 FOR TYPICAL SECTION.
  3. SEE SHEET 15 FOR CURB RAMP DETAILS.
  4. ALL PROPOSED ROADS ARE PRIVATE UNLESS OTHERWISE NOTED.
  5. REFER TO WATER CONSTRUCTION PLANS BY JR ENGINEERING FOR PROPOSED POTABLE WATER DESIGN.
  6. REFER TO WASTEWATER CONSTRUCTION PLANS BY JR ENGINEERING FOR PROPOSED SANITARY SEWER DESIGN.
  7. REFER TO UTILITY SERVICE PLANS BY JR ENGINEERING FOR PROPOSED SERVICE CONNECTIONS DESIGN.
  8. REFER TO SEE SHEETS 18-23 FOR PROPOSED STORM SEWER DESIGN.
  9. REFER TO SEE SHEETS 24-31 FOR PROPOSED POND DESIGN.
  10. WHERE CURB AND GUTTER TERMINATES AT ALLEYS, OR AT A NEW CROSS-SECTION, TAPER FROM 6" TO 0" WITHIN 5'.

**FOUNTAIN GRASS GROVE\_EAST PROFILE  
STA 1+00.00 TO 4+85.65**



**CURB TYPE LEGEND**



**ENGINEER'S STATEMENT**

PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING

GLENN D. ELLIS, P.E.  
COLORADO P.E. 38861  
FOR AND ON BEHALF OF JR ENGINEERING

07/15/2021 DATE



UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USE FOR THE PURPOSES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR  
**RICHMOND AMERICAN HOMES**  
4350 S. MONACO STREET  
DENVER, CO 80237  
(720) 977-3827  
JASON.FOCK@MDCM.COM

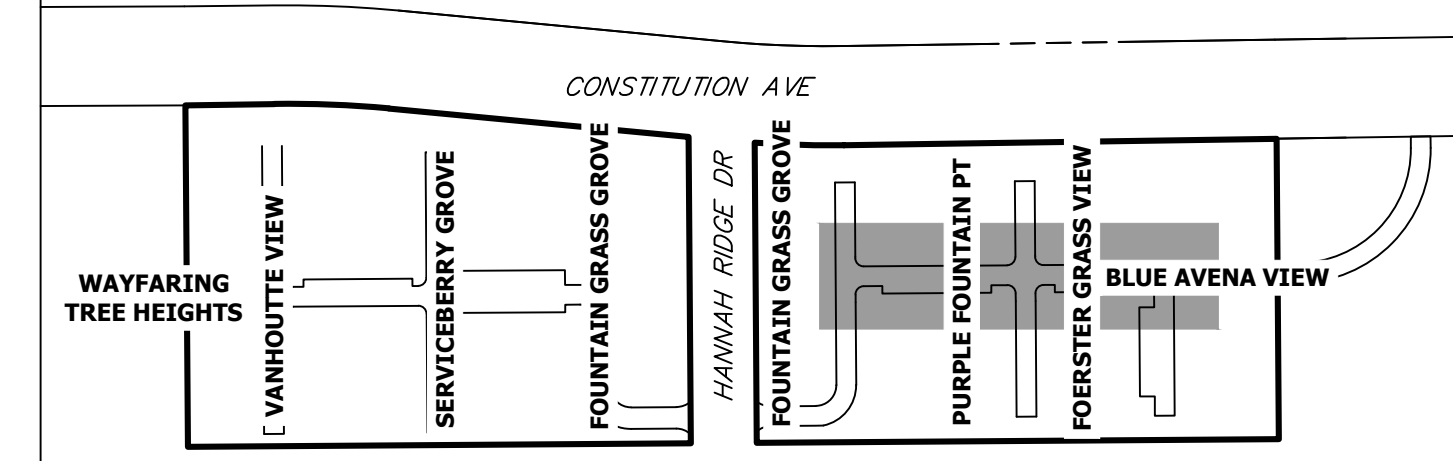
**J.R. ENGINEERING**  
A Westman Company  
Central 303-740-9383 • Colorado Springs 719-583-2583  
Fort Collins 970-491-9888 • www.jrengineering.com

BY	DATE	REVISION

H-SCALE 1"=20'  
V-SCALE 1"=2'  
DATE 01/29/21  
DESIGNED BY RPD  
DRAWN BY APL  
CHECKED BY

URBAN COLLECTION AT PALMER VILLAGE  
STREET IMPROVEMENT PLANS  
FOUNTAIN GRASS GROVE (EAST)  
CONSTRUCTION DOCUMENTS

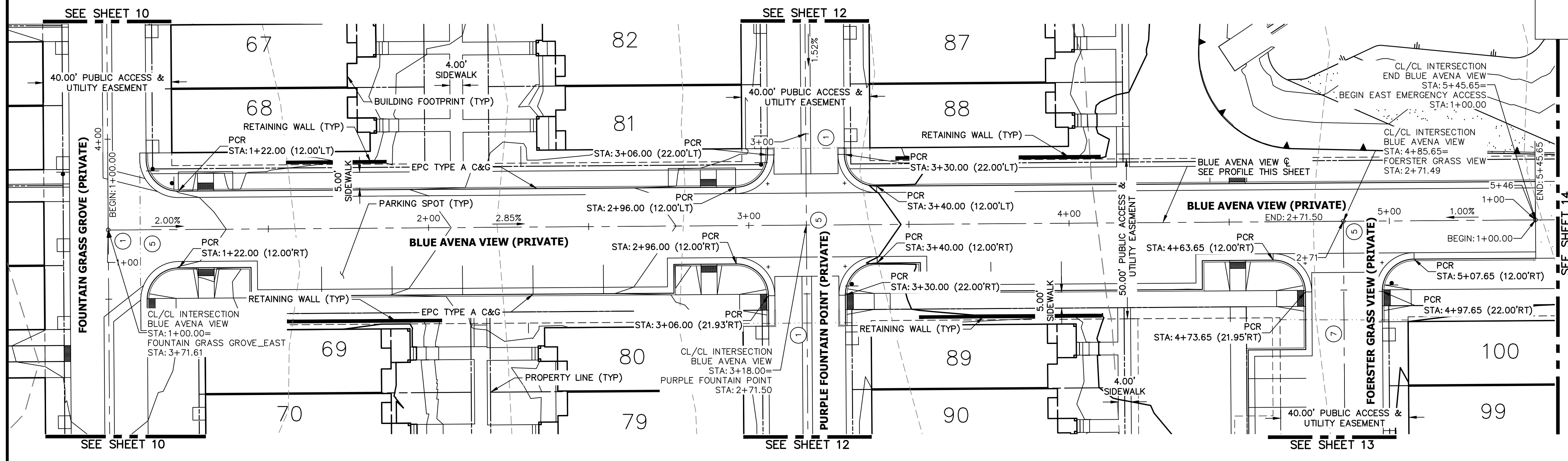
SHEET 10 OF 32  
JOB NO. 25149.01



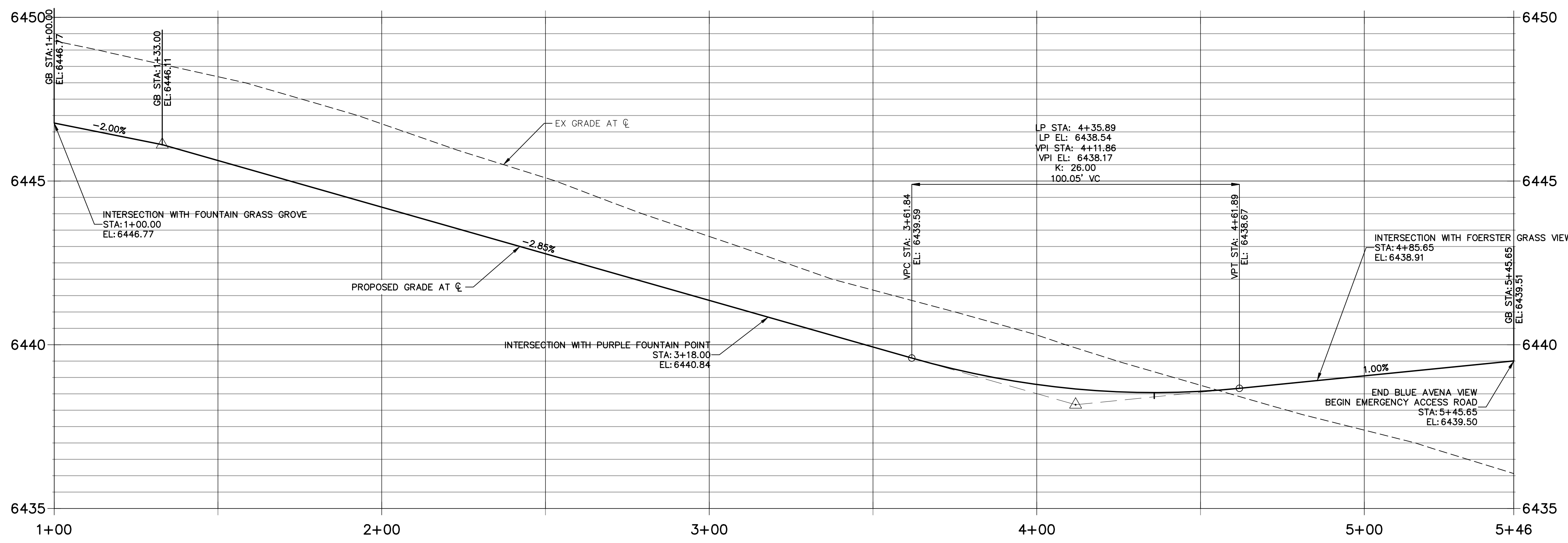
KEY MAP  
SCALE: N.T.S.

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE AGENCIES, JR ENGINEERING APPROVES THEIR USE. THESE DRAWINGS ARE DESIGNATED BY WRITTEN AUTHORIZATION.  
 PREPARED FOR  
**RICHMOND AMERICAN HOMES**  
 4350 S. MONACO STREET  
 DENVER, CO 80237  
 (720) 977-3827  
 JASON.FOCK@MDCOH.COM

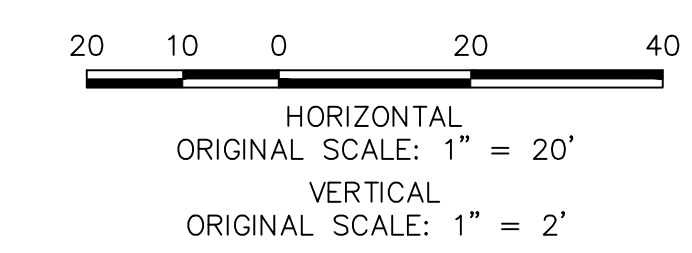
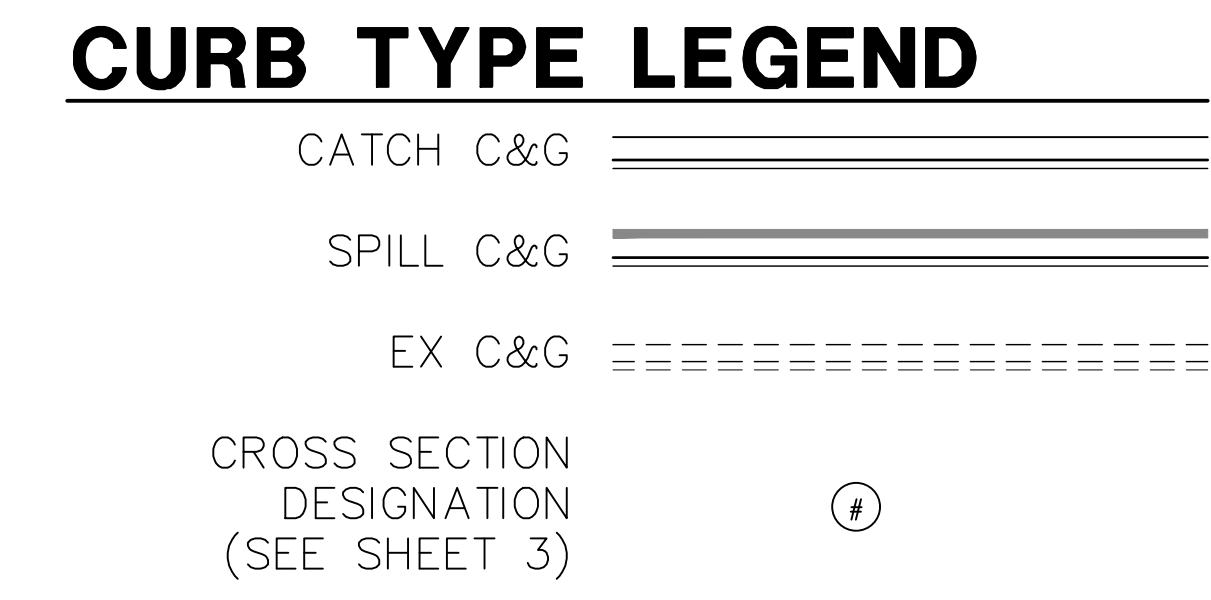
**J.R. ENGINEERING**  
 A Westman Company  
 Centennial 300-740-9888 • Colorado Springs 719-588-2583  
 Fort Collins 970-491-9888 • www.jrengineering.com



**BLUE AVENA VIEW PROFILE  
 STA 1+00.00 TO 5+45.65**



- NOTES**
- ALL SIDEWALK CURB RAMPS ARE TO BE INSTALLED PER ADA AND EL PASO COUNTY CRITERIA. SEE DETAIL SHEET 32.
  - SEE SHEET 3 FOR TYPICAL SECTION.
  - SEE SHEET 15 FOR CURB RAMP DETAILS.
  - ALL PROPOSED ROADS ARE PRIVATE UNLESS OTHERWISE NOTED.
  - REFER TO WATER CONSTRUCTION PLANS BY JR ENGINEERING FOR PROPOSED POTABLE WATER DESIGN.
  - REFER TO WASTEWATER CONSTRUCTION PLANS BY JR ENGINEERING FOR PROPOSED SANITARY SEWER DESIGN.
  - REFER TO UTILITY SERVICE PLANS BY JR ENGINEERING FOR PROPOSED SERVICE CONNECTIONS DESIGN.
  - REFER TO SEE SHEETS 18-23 FOR PROPOSED STORM SEWER DESIGN.
  - REFER TO SEE SHEETS 24-31 FOR PROPOSED POND DESIGN.
  - WHERE CURB AND GUTTER TERMINATES AT ALLEYS, OR AT A NEW CROSS-SECTION, TAPER FROM 6" TO 0" WITHIN 5'.



**ENGINEER'S STATEMENT**  
 PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING  
 GLENN D. ELLIS, P.E.  
 COLORADO P.E. 38861  
 FOR AND ON BEHALF OF JR ENGINEERING  
 DATE: 07/15/2021

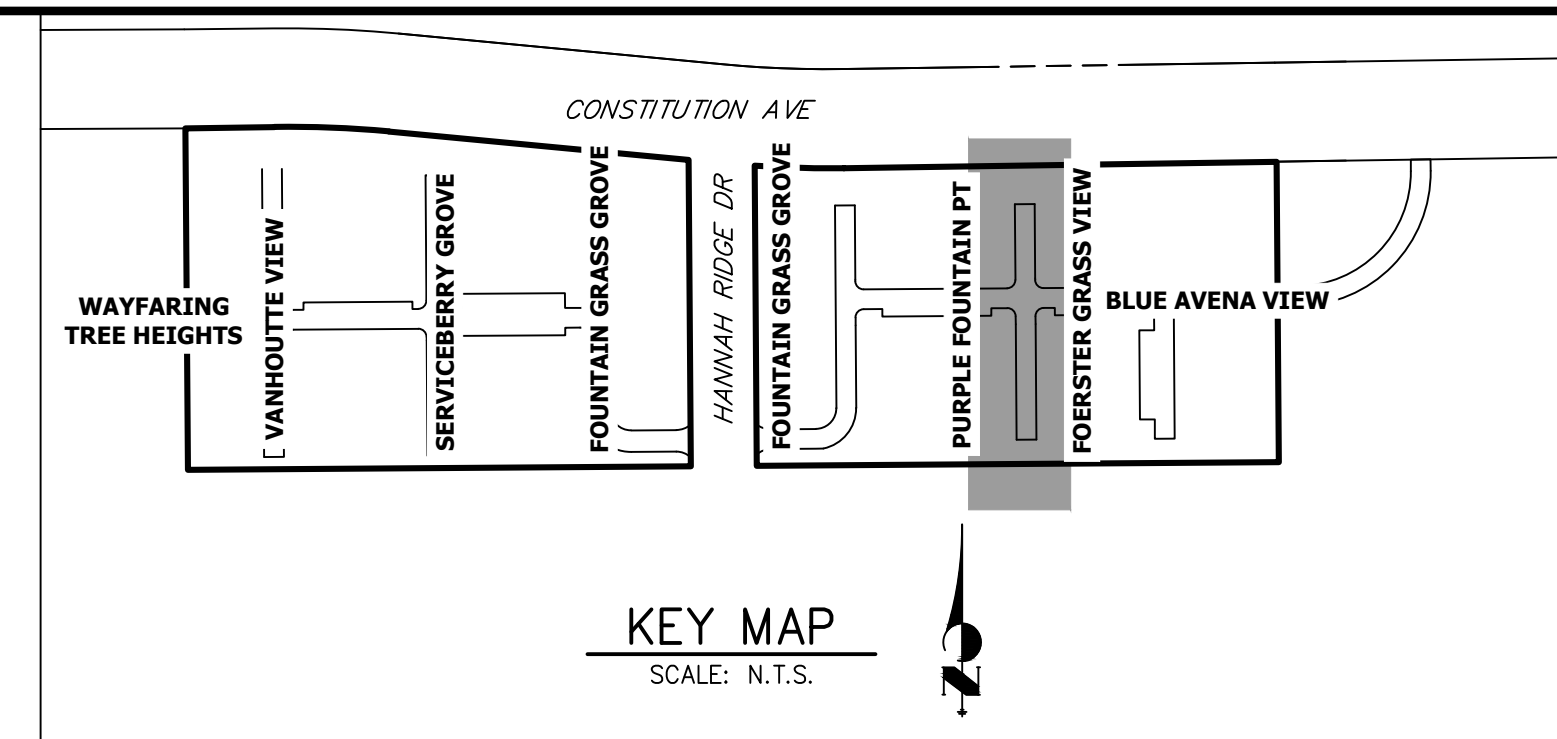
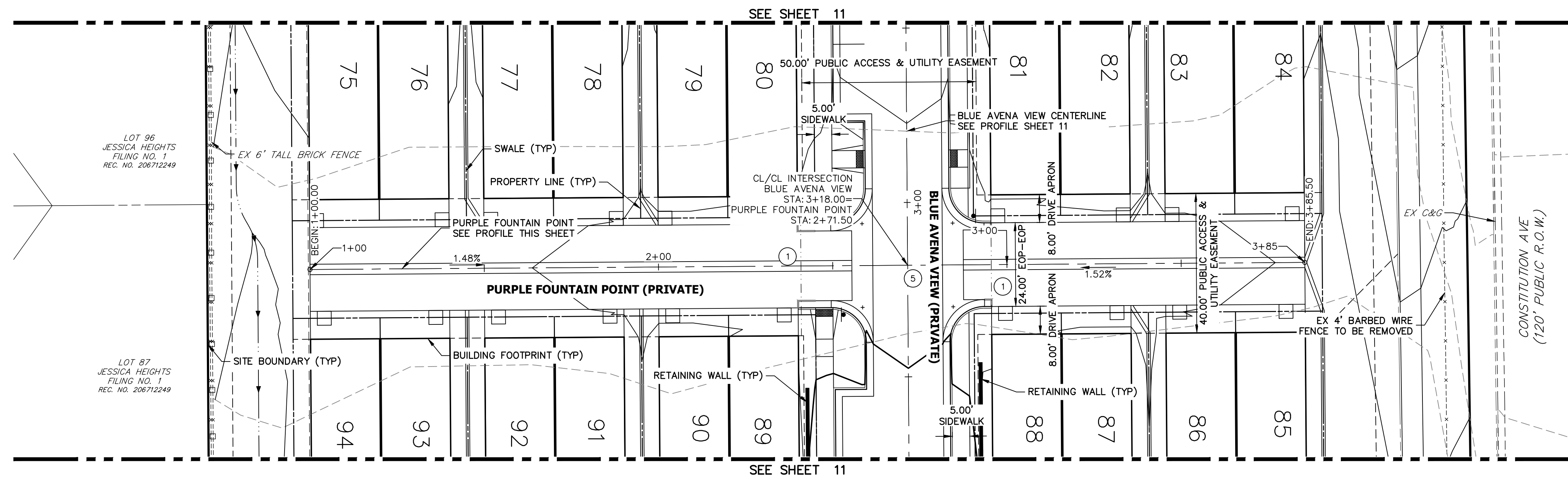
No.	REVISION	BY	DATE	DESIGNED BY				DRAWN BY				CHECKED BY								
				H-SCALE	V-SCALE	DATE	RPD	APL	APL	APL	APL	APL	APL	APL	APL					
1				1"=20'	1"=2'	01/29/21														

URBAN COLLECTION AT PALMER VILLAGE  
 STREET IMPROVEMENT PLANS  
 BLUE AVENA VIEW  
 CONSTRUCTION DOCUMENTS

SHEET 11 OF 32  
 JOB NO. 25149.01



SF-20-028 EPC 9/7/2021

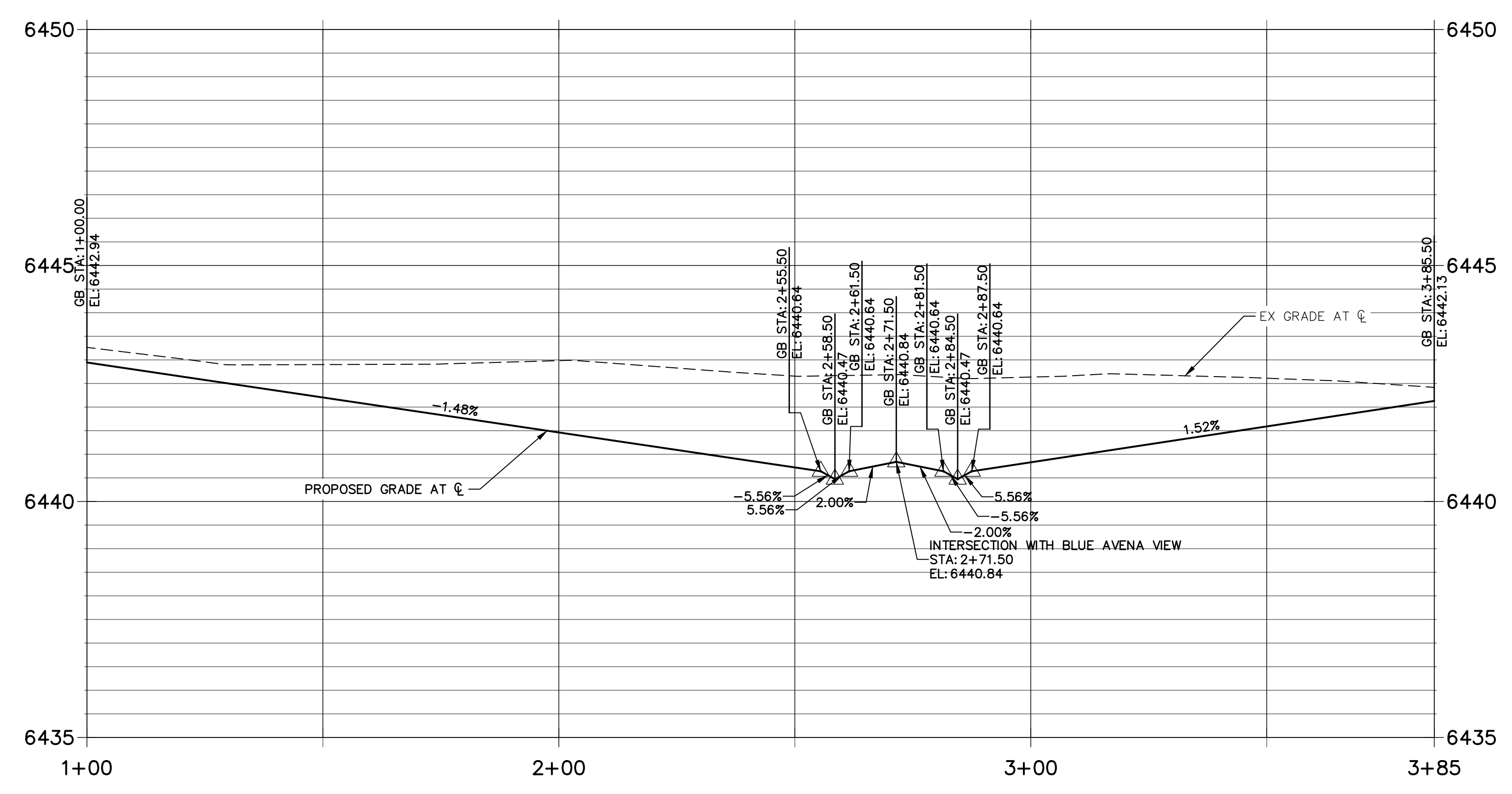


UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USE. THESE DRAWINGS ARE DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR  
**RICHMOND AMERICAN HOMES**  
 4350 S. MONACO STREET  
 DENVER, CO 80237  
 (720) 977-3827  
 JASON.FOCK@MDCM.COM

**J.R. ENGINEERING**  
 A Westman Company  
 Centennial 303-740-9888 • Colorado Springs 719-583-2583  
 Fort Collins 970-491-9888 • www.jrengineering.com

**PURPLE FOUNTAIN POINT PROFILE  
 STA 1+00.00 TO 3+85.50**



- NOTES**
- ALL SIDEWALK CURB RAMP ARE TO BE INSTALLED PER ADA AND EL PASO COUNTY CRITERIA-SEE DETAIL SHEET 32.
  - SEE SHEET 3 FOR TYPICAL SECTION.
  - SEE SHEET 15 FOR CURB RAMP DETAILS.
  - ALL PROPOSED ROADS ARE PRIVATE UNLESS OTHERWISE NOTED.
  - REFER TO WATER CONSTRUCTION PLANS BY JR ENGINEERING FOR PROPOSED POTABLE WATER DESIGN.
  - REFER TO WASTEWATER CONSTRUCTION PLANS BY JR ENGINEERING FOR PROPOSED SANITARY SEWER DESIGN.
  - REFER TO UTILITY SERVICE PLANS BY JR ENGINEERING FOR PROPOSED SERVICE CONNECTIONS DESIGN.
  - REFER TO SEE SHEETS 18-23 FOR PROPOSED STORM SEWER DESIGN.
  - REFER TO SEE SHEETS 24-31 FOR PROPOSED POND DESIGN.
  - WHERE CURB AND GUTTER TERMINATES AT ALLEYS, OR AT A NEW CROSS-SECTION, TAPER FROM 6" TO 0" WITHIN 5'.

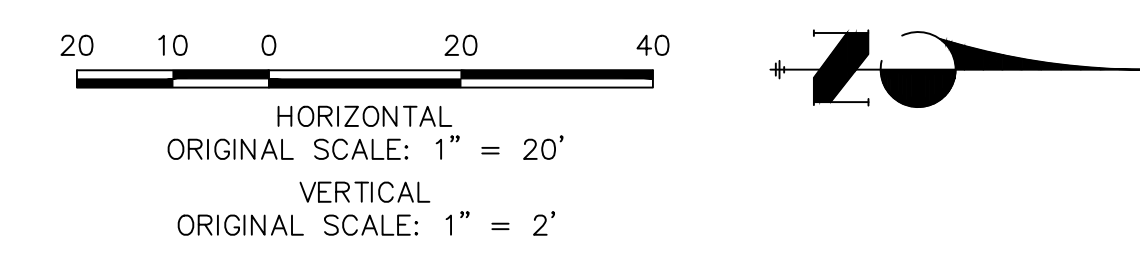
**CURB TYPE LEGEND**

CATCH C&G

SPILL C&G

EX C&G

CROSS SECTION DESIGNATION (SEE SHEET 3)



**ENGINEER'S STATEMENT**  
 PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING

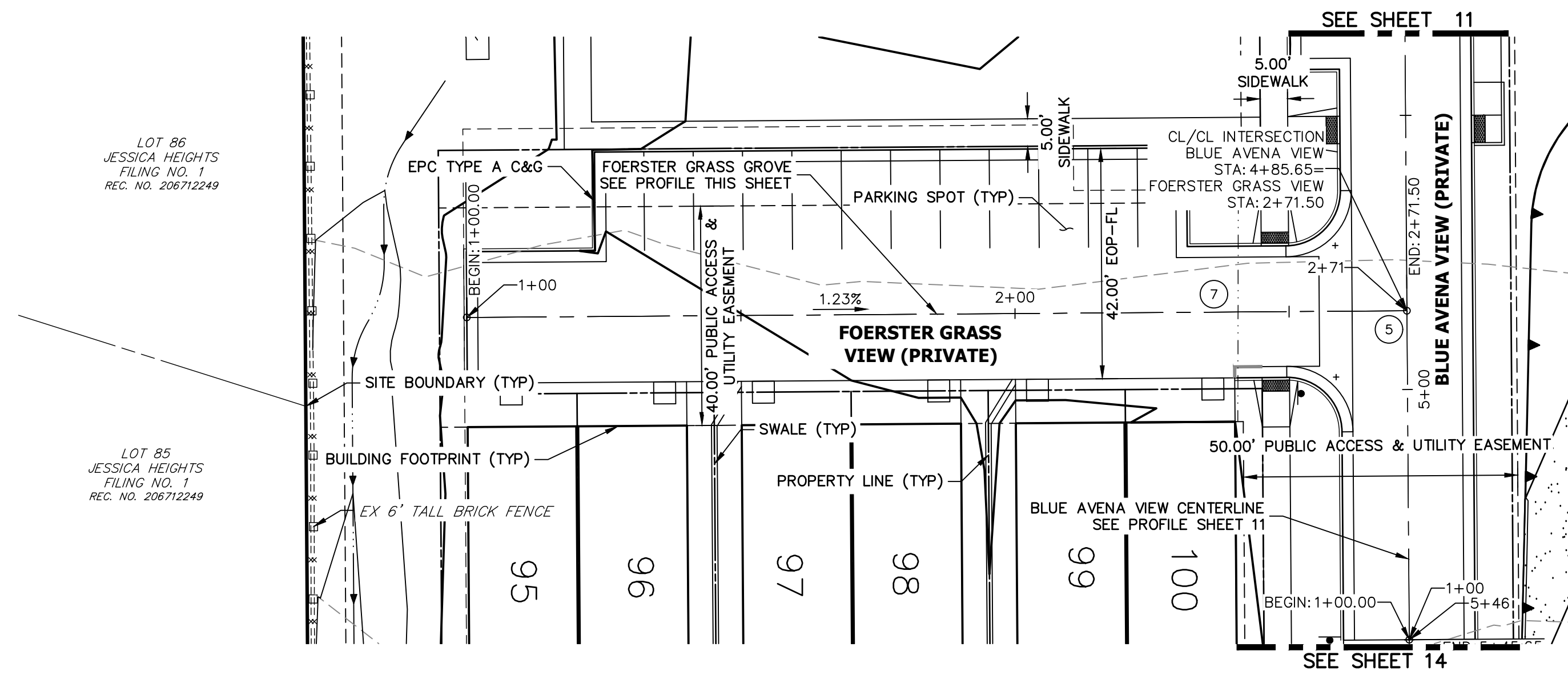
GLENN D. ELLIS, P.E.  
 COLORADO P.E. 38861  
 FOR AND ON BEHALF OF JR ENGINEERING

DATE: 07/15/2021

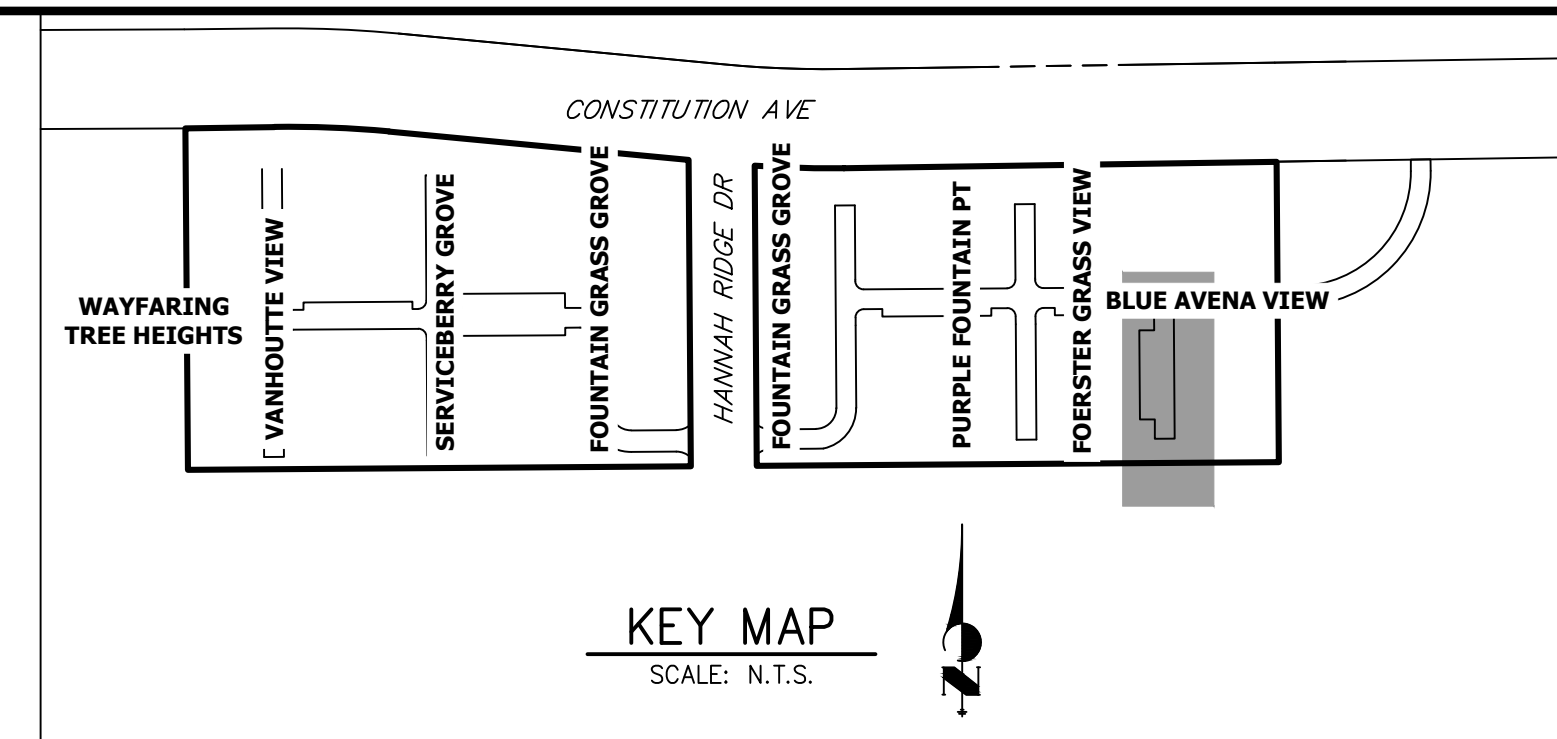
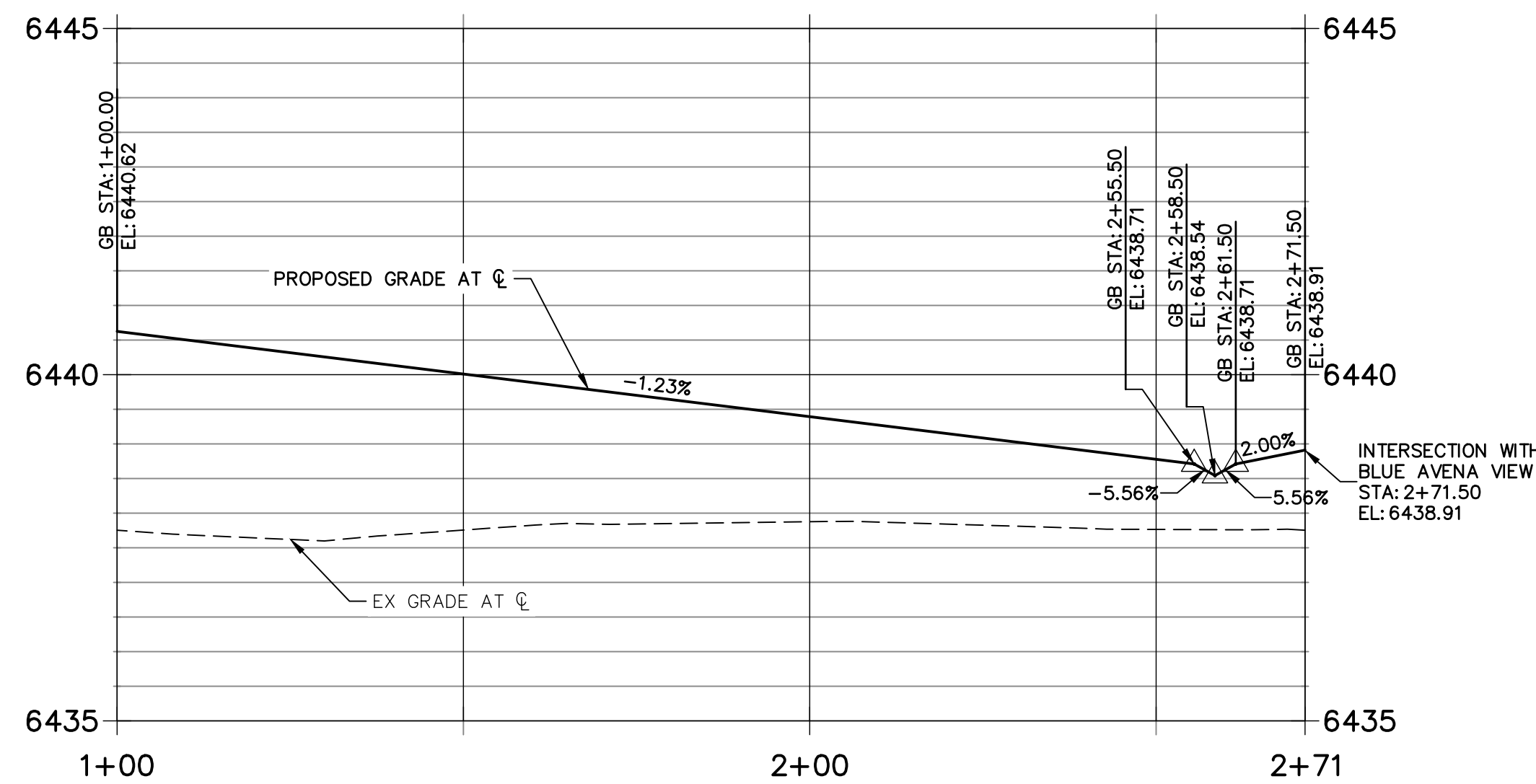
No.	REVISION	BY	DATE	DESIGNED BY				CHECKED BY					
				1"=20'	1"=2'	DATE	RPD	APL	APL	APL	APL		

URBAN COLLECTION AT PALMER VILLAGE  
 STREET IMPROVEMENT PLANS  
 PURPLE FOUNTAIN POINT  
 CONSTRUCTION DOCUMENTS

SHEET 12 OF 32  
 JOB NO. 25149.01



**FOERSTER GRASS VIEW PROFILE  
STA 1+00.00 TO 2+71.50**



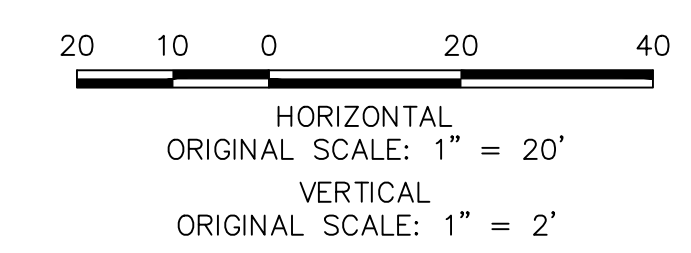
**NOTES**

1. ALL SIDEWALK CURB RAMPS ARE TO BE INSTALLED PER ADA AND EL PASO COUNTY CRITERIA. SEE DETAIL SHEET 32.
2. SEE SHEET 3 FOR TYPICAL SECTION.
3. SEE SHEET 15 FOR CURB RAMP DETAILS.
4. ALL PROPOSED ROADS ARE PRIVATE UNLESS OTHERWISE NOTED.
5. REFER TO WATER CONSTRUCTION PLANS BY JR ENGINEERING FOR PROPOSED POTABLE WATER DESIGN.
6. REFER TO WASTEWATER CONSTRUCTION PLANS BY JR ENGINEERING FOR PROPOSED SANITARY SEWER DESIGN.
7. REFER TO UTILITY SERVICE PLANS BY JR ENGINEERING FOR PROPOSED SERVICE CONNECTIONS DESIGN.
8. REFER TO SEE SHEETS 18-23 FOR PROPOSED STORM SEWER DESIGN.
9. REFER TO SEE SHEETS 24-31 FOR PROPOSED POND DESIGN.
10. WHERE CURB AND GUTTER TERMINATES AT ALLEYS, OR AT A NEW CROSS-SECTION, TAPER FROM 6" TO 0" WITHIN 5'.

**CURB TYPE LEGEND**

- CATCH C&G
- SPILL C&G
- EX C&G

CROSS SECTION DESIGNATION (SEE SHEET 3)



**ENGINEER'S STATEMENT**

PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING

GLENN D. ELLIS, P.E.  
COLORADO P.E. 38861  
FOR AND ON BEHALF OF JR ENGINEERING



UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USE AS DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR  
**RICHMOND AMERICAN HOMES**  
4350 S. MONACO STREET  
DENVER, CO 80237  
(720) 977-3827  
JASON.FOCK@MDCH.COM

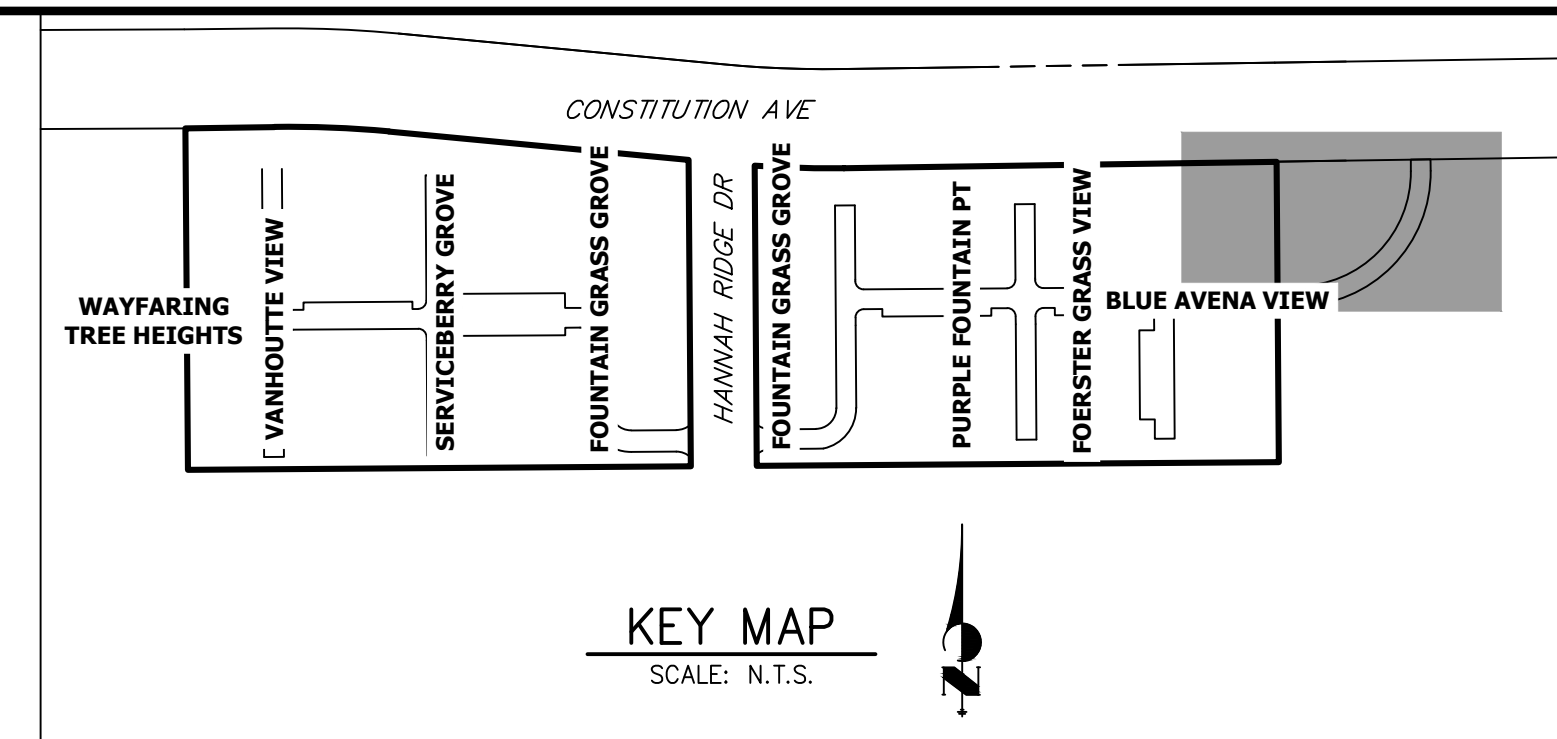
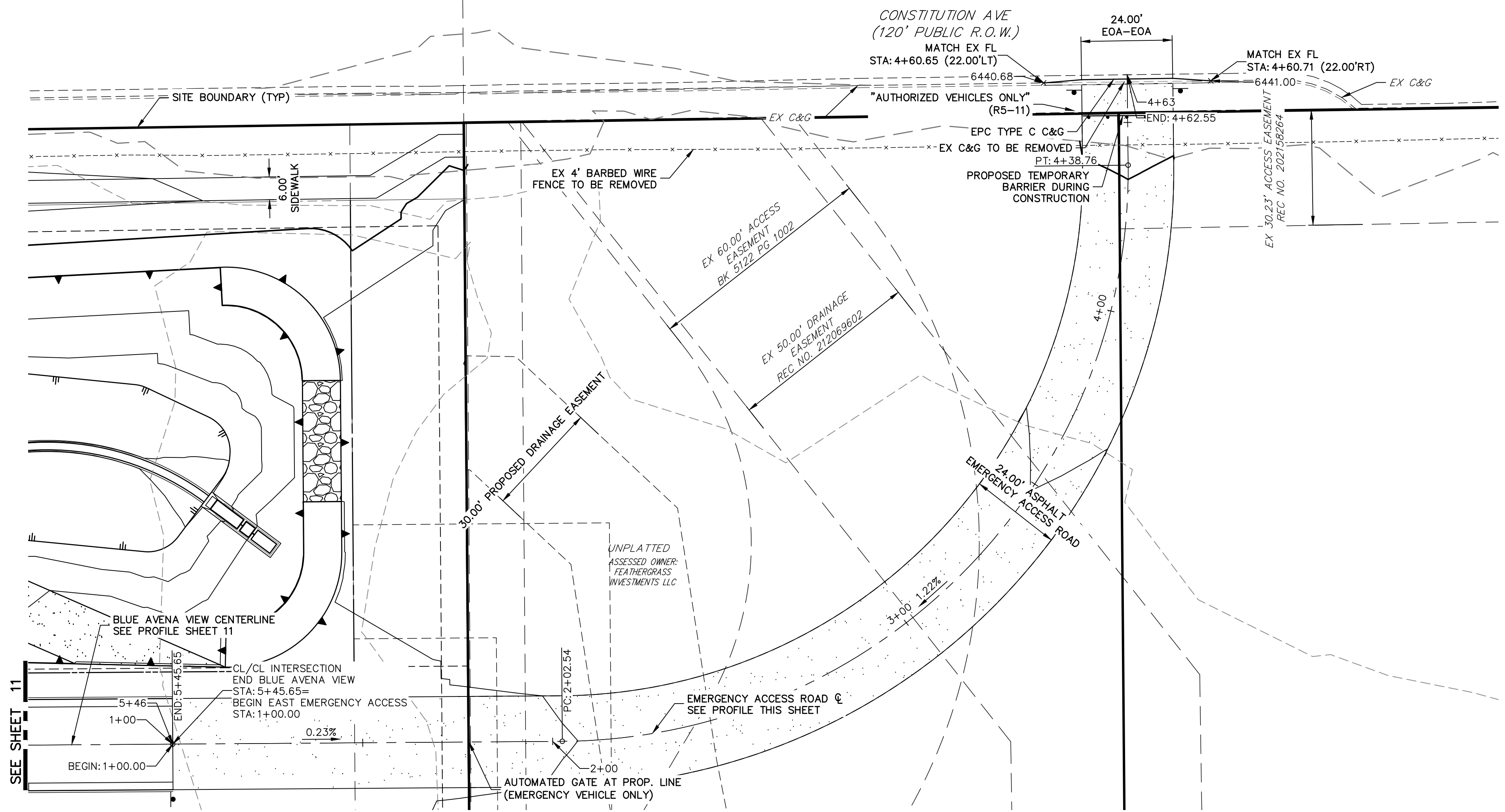
**J.R. ENGINEERING**  
A Westman Company  
Central 303-740-9888 • Colorado Springs 719-583-2583  
Fort Collins 970-491-9888 • www.jrengineering.com

BY	DATE	REVISION

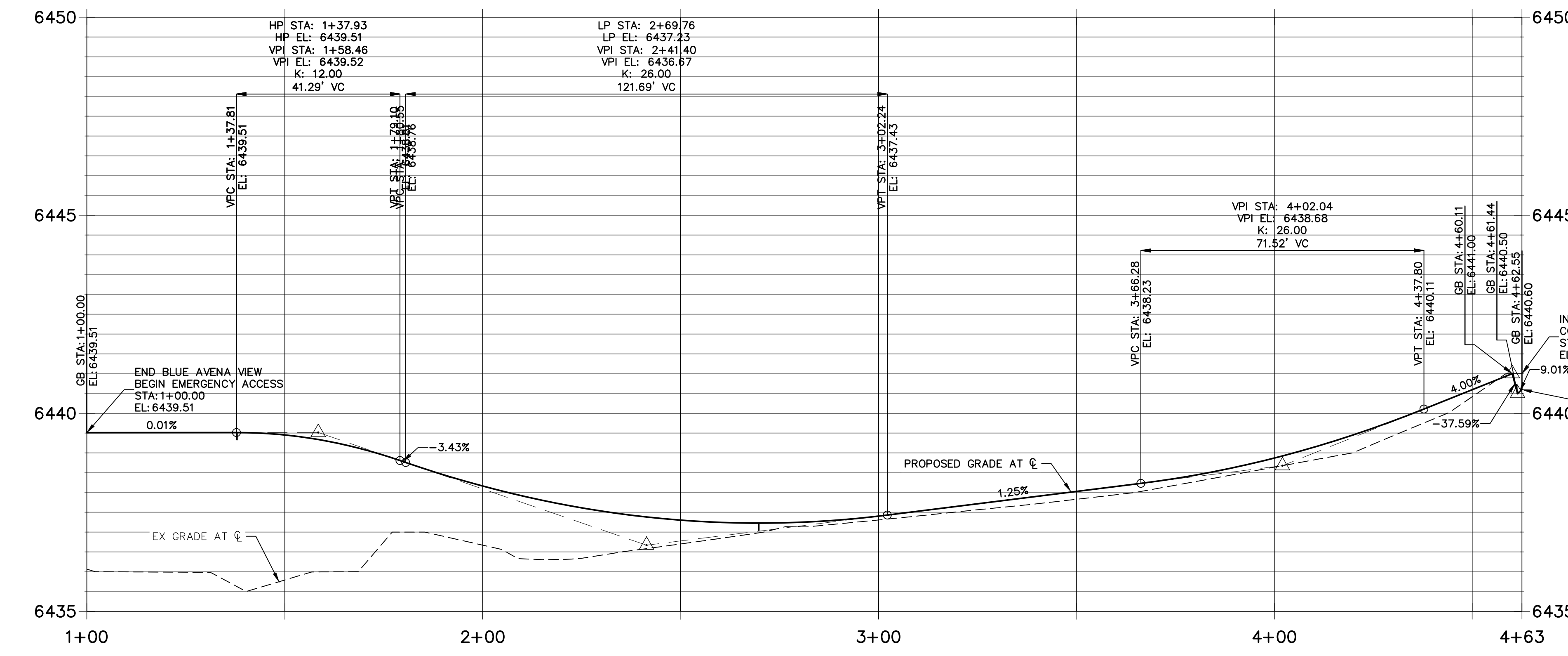
H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
1"=20'	1"=2'	01/29/21	RPD	APL	

URBAN COLLECTION AT PALMER VILLAGE  
STREET IMPROVEMENT PLANS  
FOERSTER GRASS VIEW  
CONSTRUCTION DOCUMENTS





**EAST EMERGENCY ACCESS PROFILE  
STA 1+00.00 TO 4+62.55**



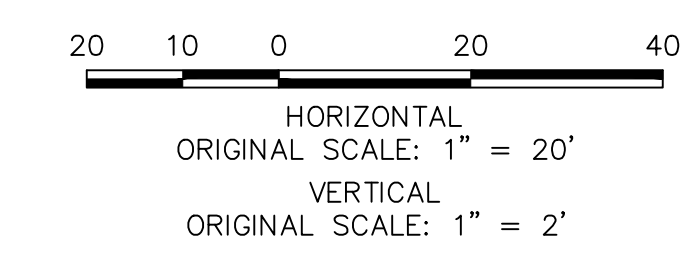
**CURB TYPE LEGEND**

CATCH C&G

SPILL C&G

EX C&G

CROSS SECTION DESIGNATION (SEE SHEET 3)



**ENGINEER'S STATEMENT**  
 PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING

GLENN D. ELLIS, P.E.  
 COLORADO P.E. 38861  
 FOR AND ON BEHALF OF JR ENGINEERING

07/15/2021 DATE

- NOTES**
- ALL SIDEWALK CURB RAMP ARE TO BE INSTALLED PER ADA AND EL PASO COUNTY CRITERIA. SEE DETAIL SHEET 32.
  - SEE SHEET 3 FOR TYPICAL SECTION.
  - SEE SHEET 15 FOR CURB RAMP DETAILS.
  - ALL PROPOSED ROADS ARE PRIVATE UNLESS OTHERWISE NOTED.
  - REFER TO WATER CONSTRUCTION PLANS BY JR ENGINEERING FOR PROPOSED POTABLE WATER DESIGN.
  - REFER TO WASTEWATER CONSTRUCTION PLANS BY JR ENGINEERING FOR PROPOSED SANITARY SEWER DESIGN.
  - REFER TO UTILITY SERVICE PLANS BY JR ENGINEERING FOR PROPOSED SERVICE CONNECTIONS DESIGN.
  - REFER TO SEE SHEETS 18-23 FOR PROPOSED STORM SEWER DESIGN.
  - REFER TO SEE SHEETS 24-31 FOR PROPOSED POND DESIGN.
  - WHERE CURB AND GUTTER TERMINATES AT ALLEYS, OR AT A NEW CROSS-SECTION, TAPER FROM 6" TO 0" WITHIN 5'.

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USE. USES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR  
**RICHMOND AMERICAN HOMES**  
 4350 S. MONACO STREET  
 DENVER, CO 80237  
 (720) 977-3827  
 JASON.FOCK@MDCM.COM

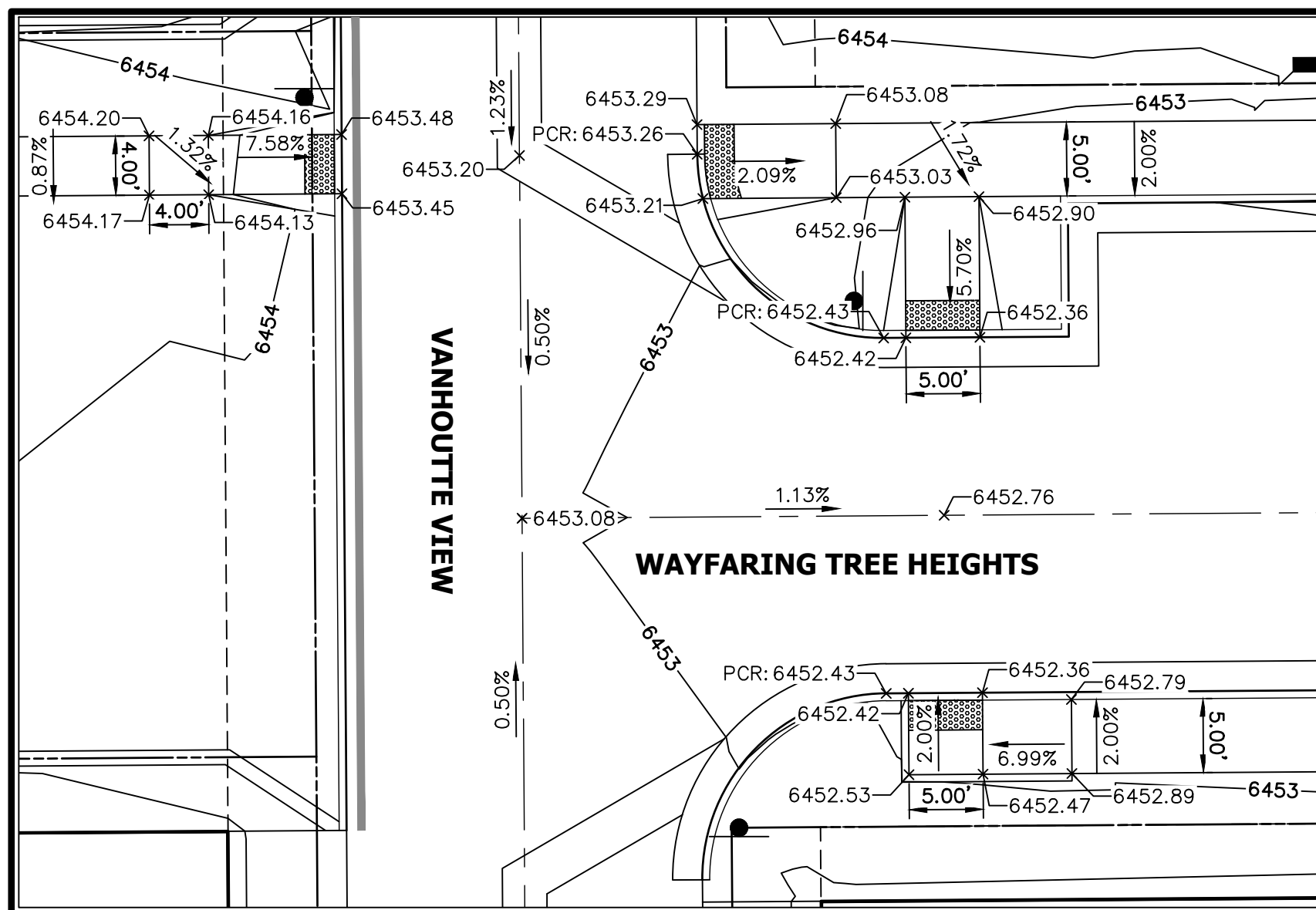
**J.R. ENGINEERING**  
 A Westman Company  
 Centennial 300-740-9888 • Colorado Springs 719-588-2583  
 Fort Collins 970-491-9888 • www.jrengineering.com

No.	REVISION	DATE

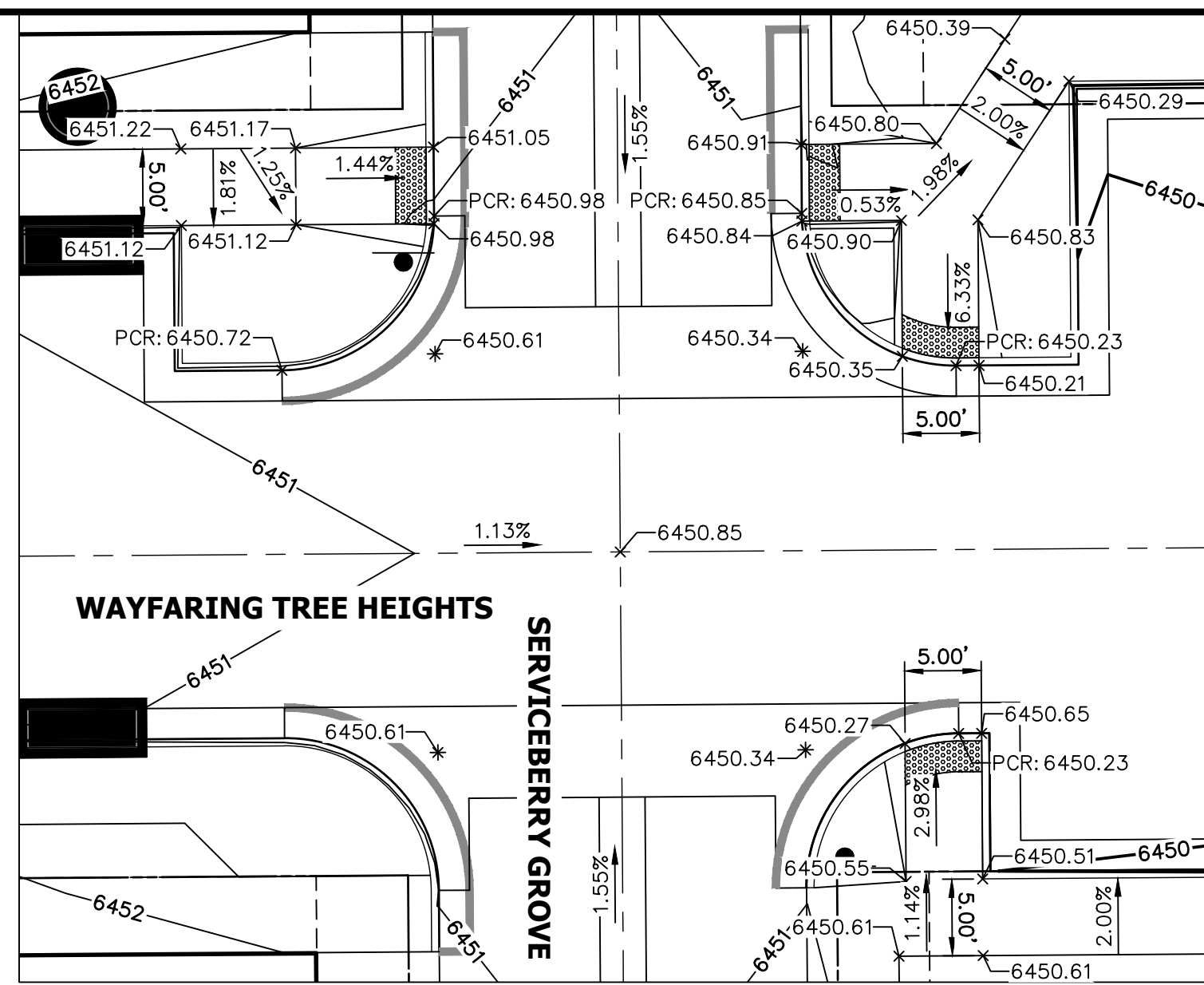
H-SCALE 1"=20'  
 V-SCALE 1"=2'  
 DATE 01/29/21  
 DESIGNED BY RPD  
 DRAWN BY APL  
 CHECKED BY

URBAN COLLECTION AT PALMER VILLAGE  
 STREET IMPROVEMENT PLANS  
 EMERGENCY ACCESS  
 CONSTRUCTION DOCUMENTS

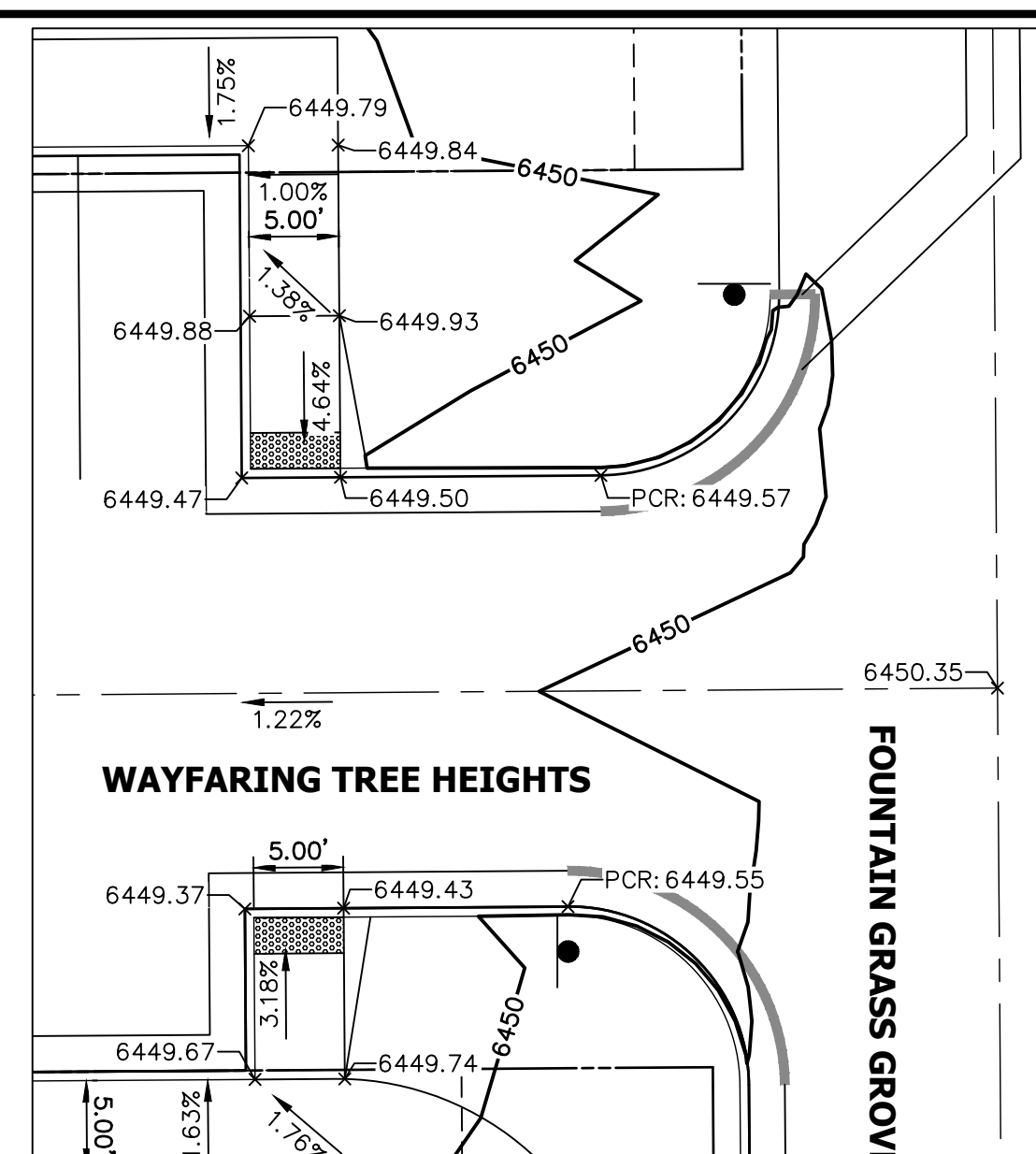
SHEET 14 OF 32  
 JOB NO. 25149.01



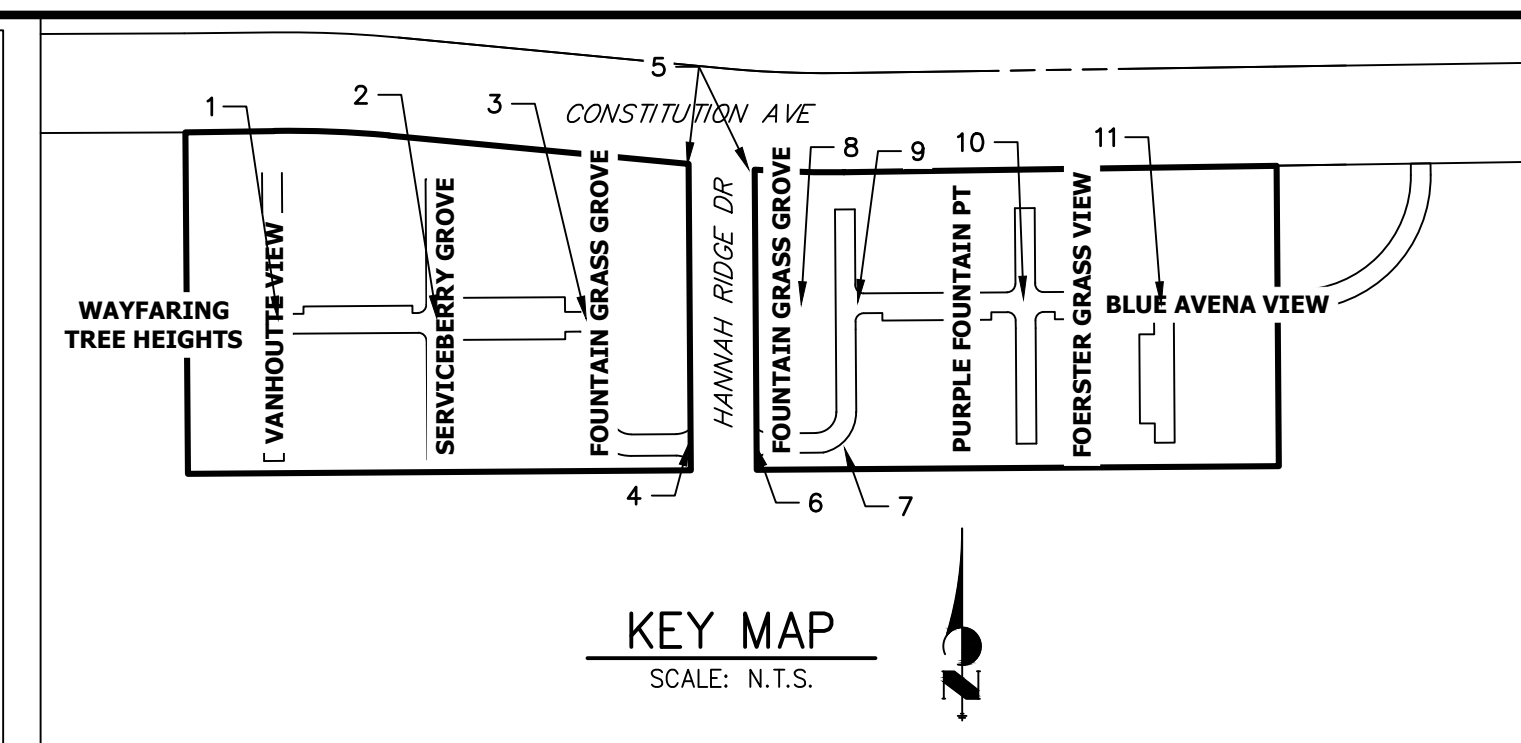
**AREA 1**  
SEE SHEET 7 FOR WAYFARING TREE HEIGHTS PLAN & PROFILE.  
SEE SHEET 9 FOR VANHOUTTE VIEW PLAN & PROFILE.



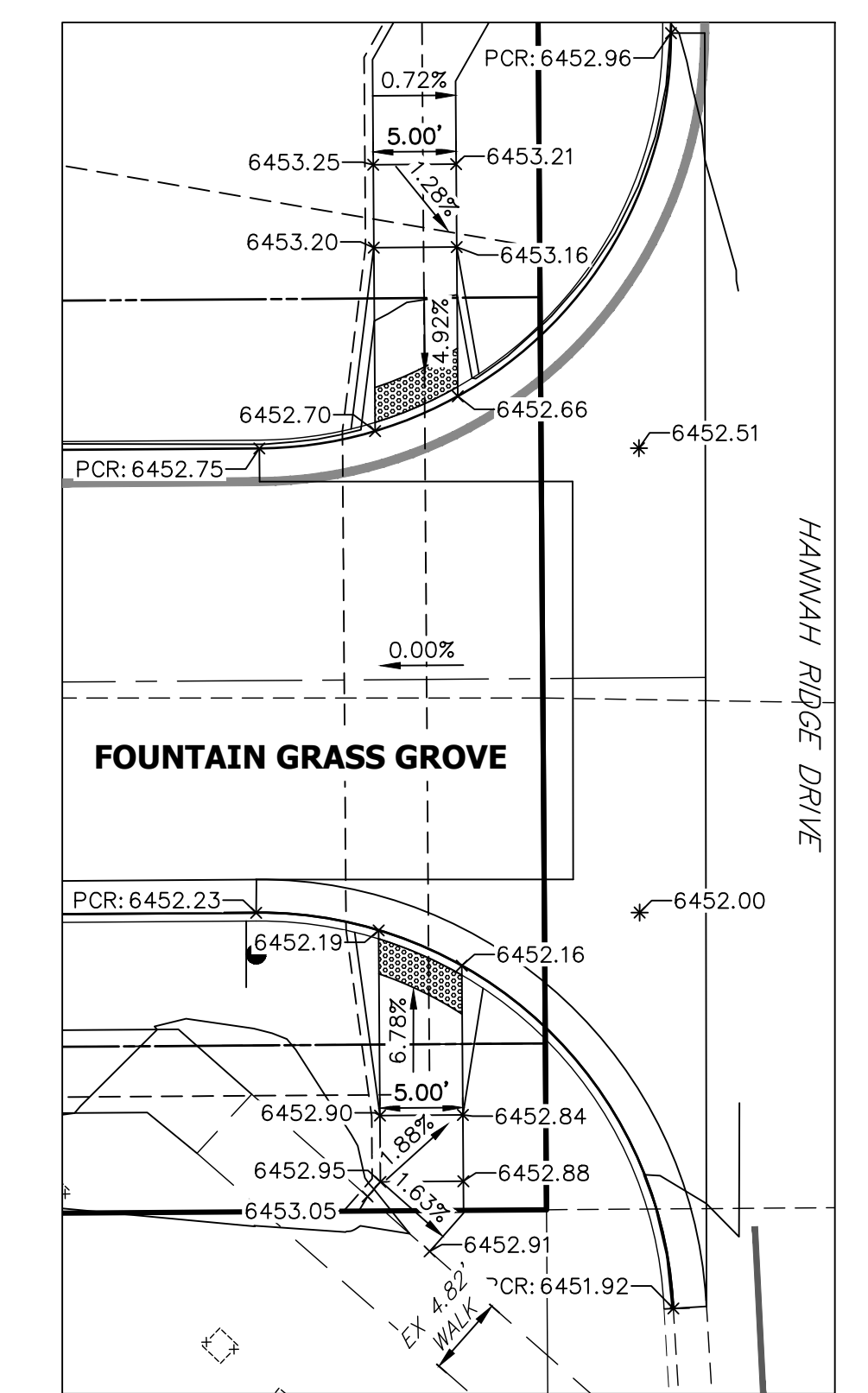
**AREA 2**  
SEE SHEET 7 FOR WAYFARING TREE HEIGHTS PLAN & PROFILE.  
SEE SHEET 8 FOR SERVICEBERRY GROVE PLAN & PROFILE.



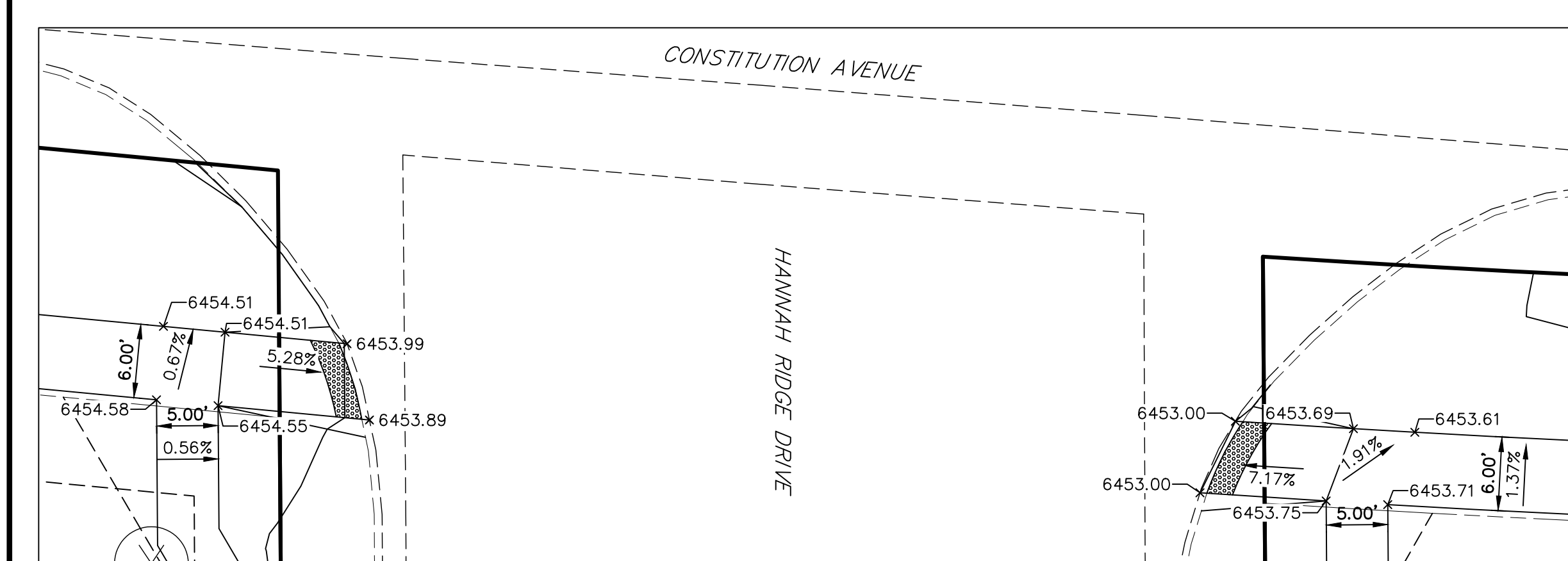
**AREA 3**  
SEE SHEET 7 FOR WAYFARING TREE HEIGHTS PLAN & PROFILE.  
SEE SHEET 6 FOR FOUNTAIN GRASS GROVE (WEST) PLAN & PROFILE.



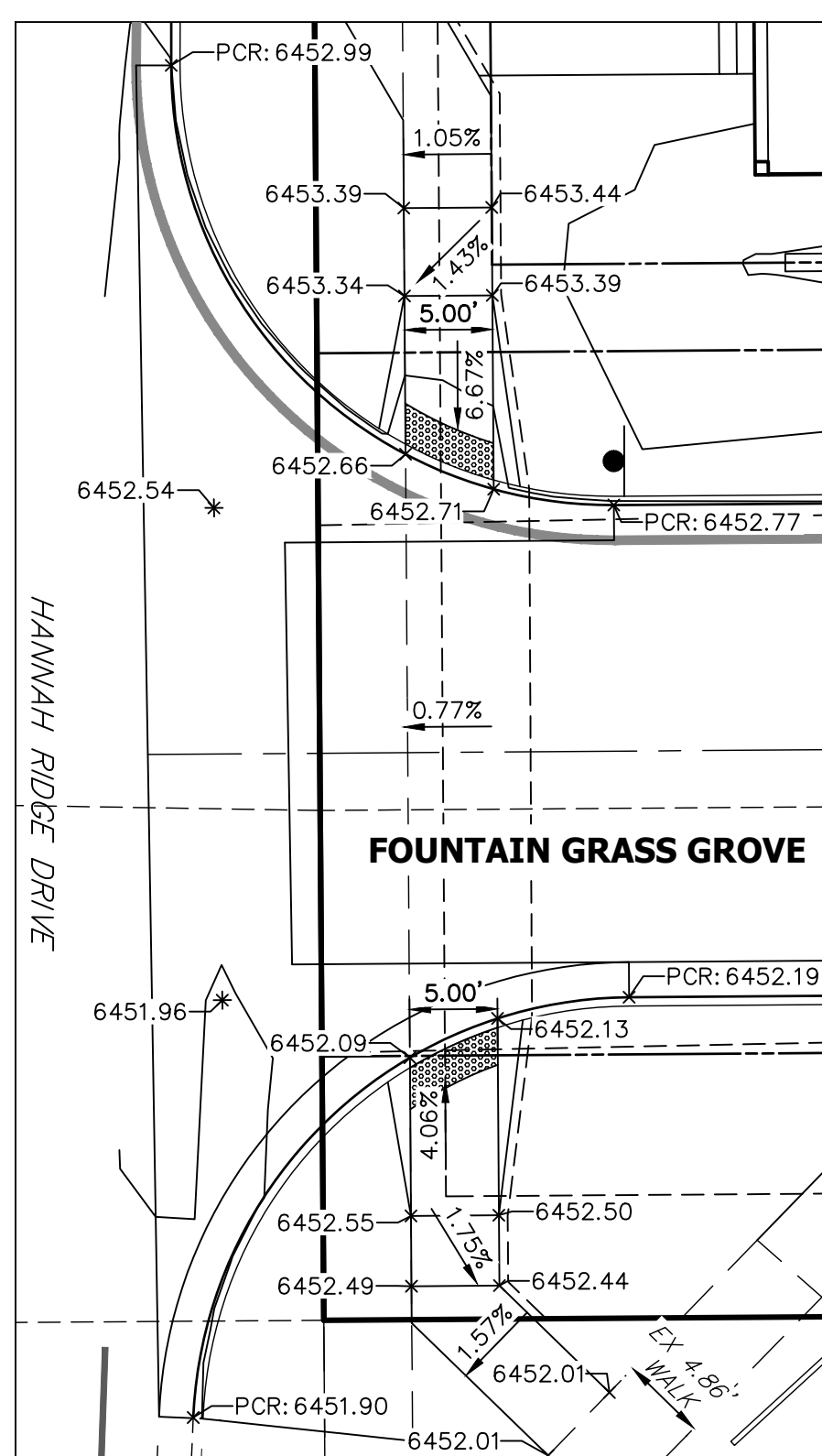
**KEY MAP**  
SCALE: N.T.S.



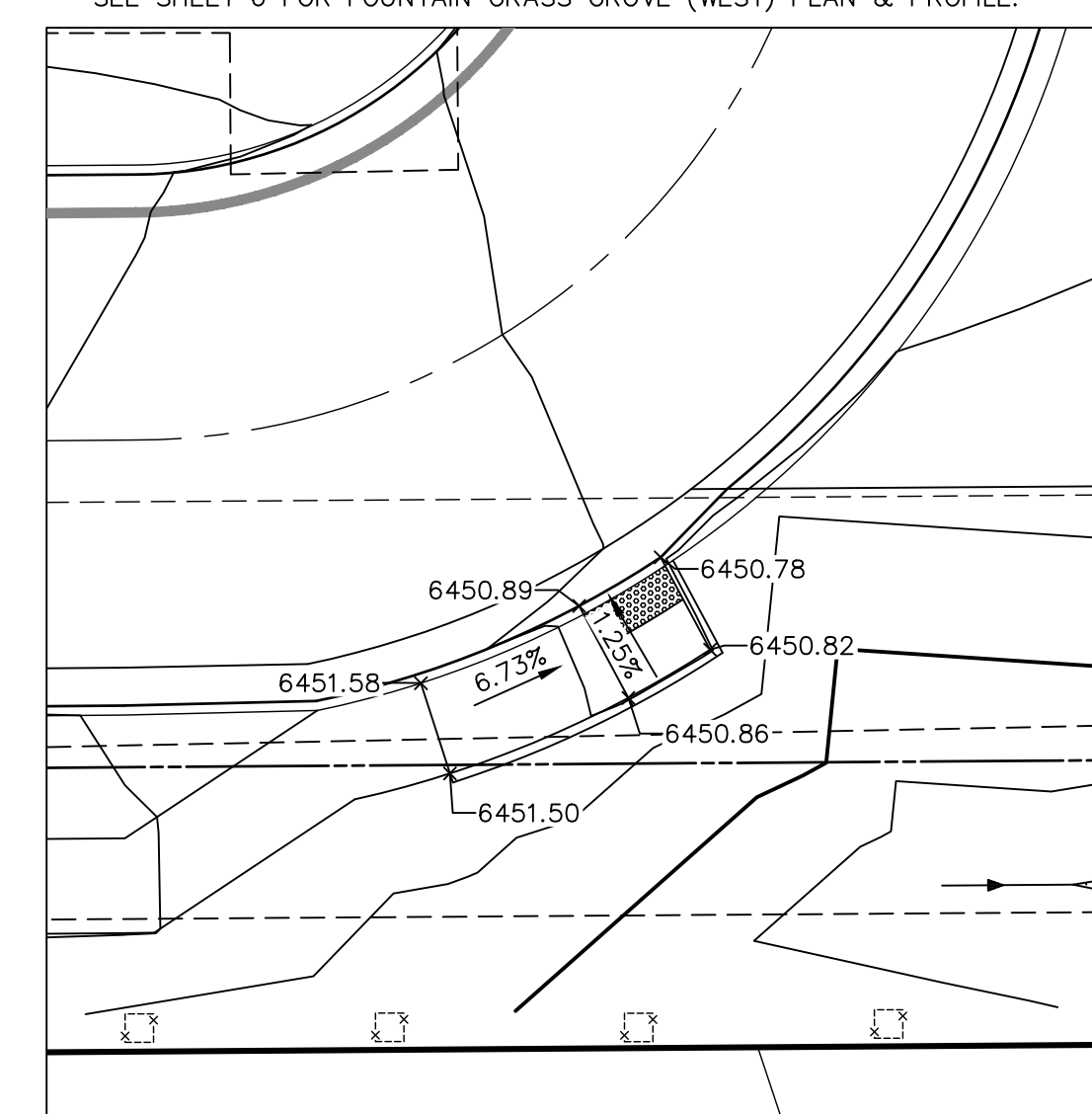
**AREA 4**  
SEE SHEET 6 FOR FOUNTAIN GRASS GROVE (WEST) PLAN & PROFILE.



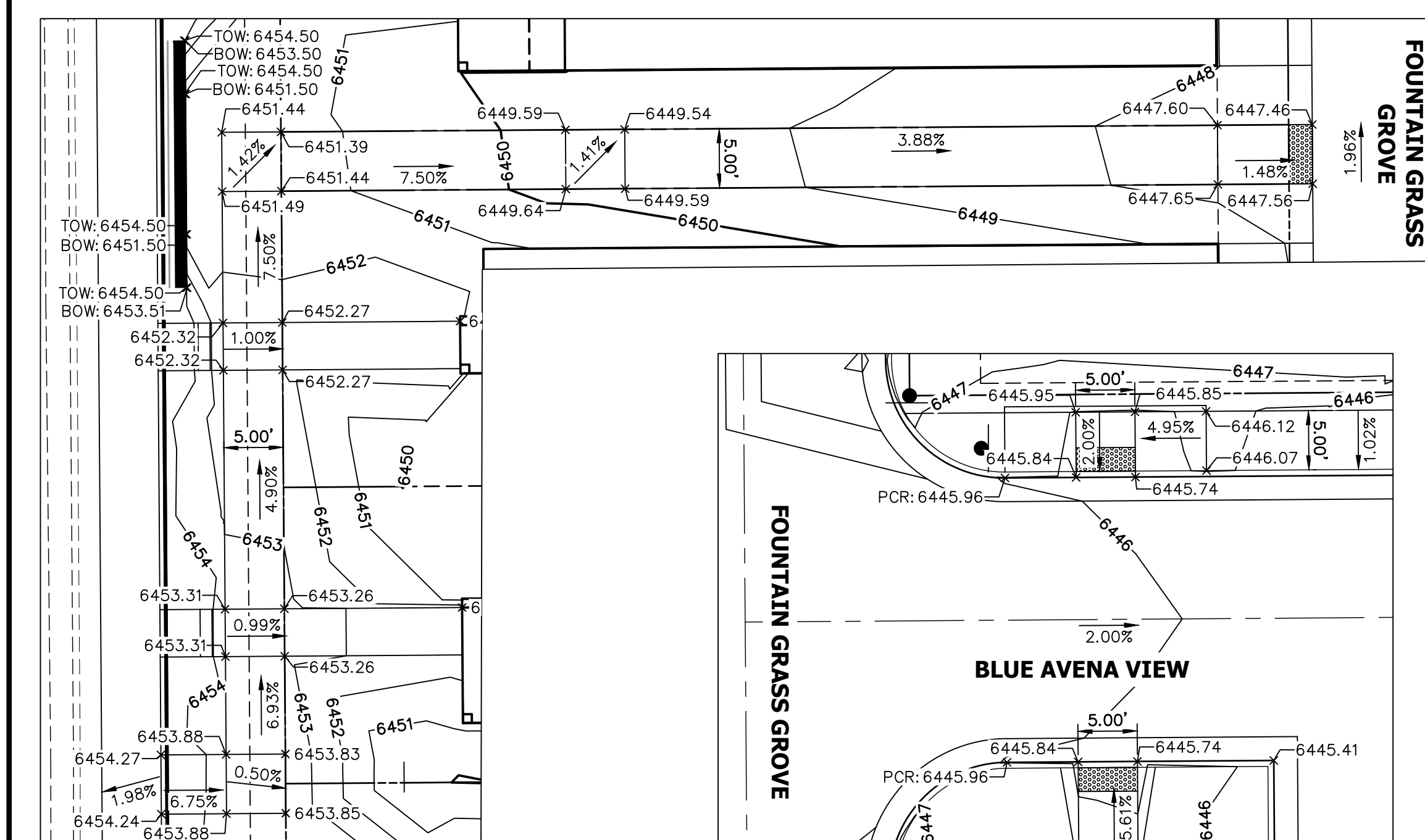
**AREA 5**



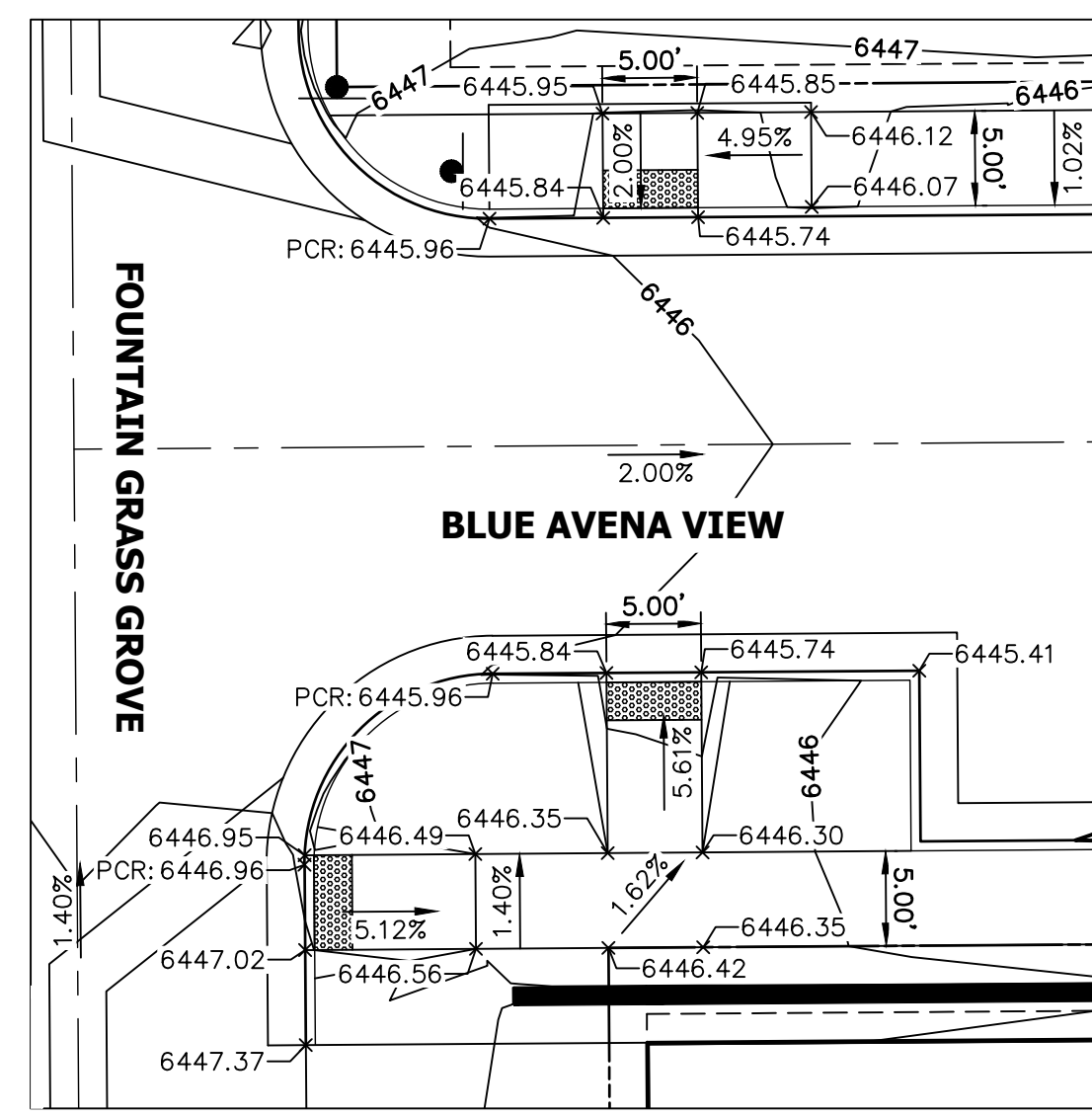
**AREA 6**  
SEE SHEET 10 FOR FOUNTAIN GRASS GROVE (EAST) PLAN & PROFILE.



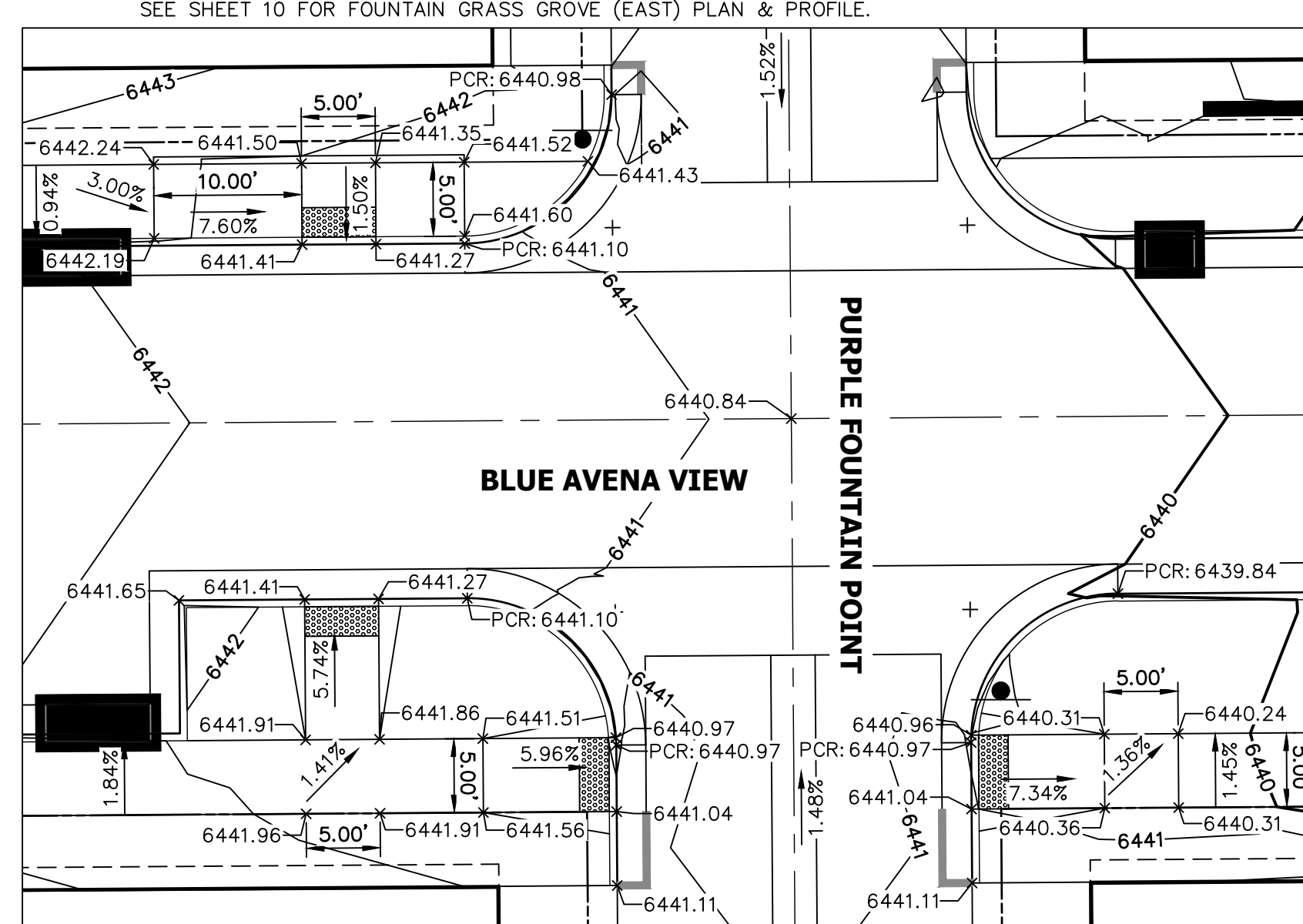
**AREA 7**  
SEE SHEET 10 FOR FOUNTAIN GRASS GROVE (EAST) PLAN & PROFILE.



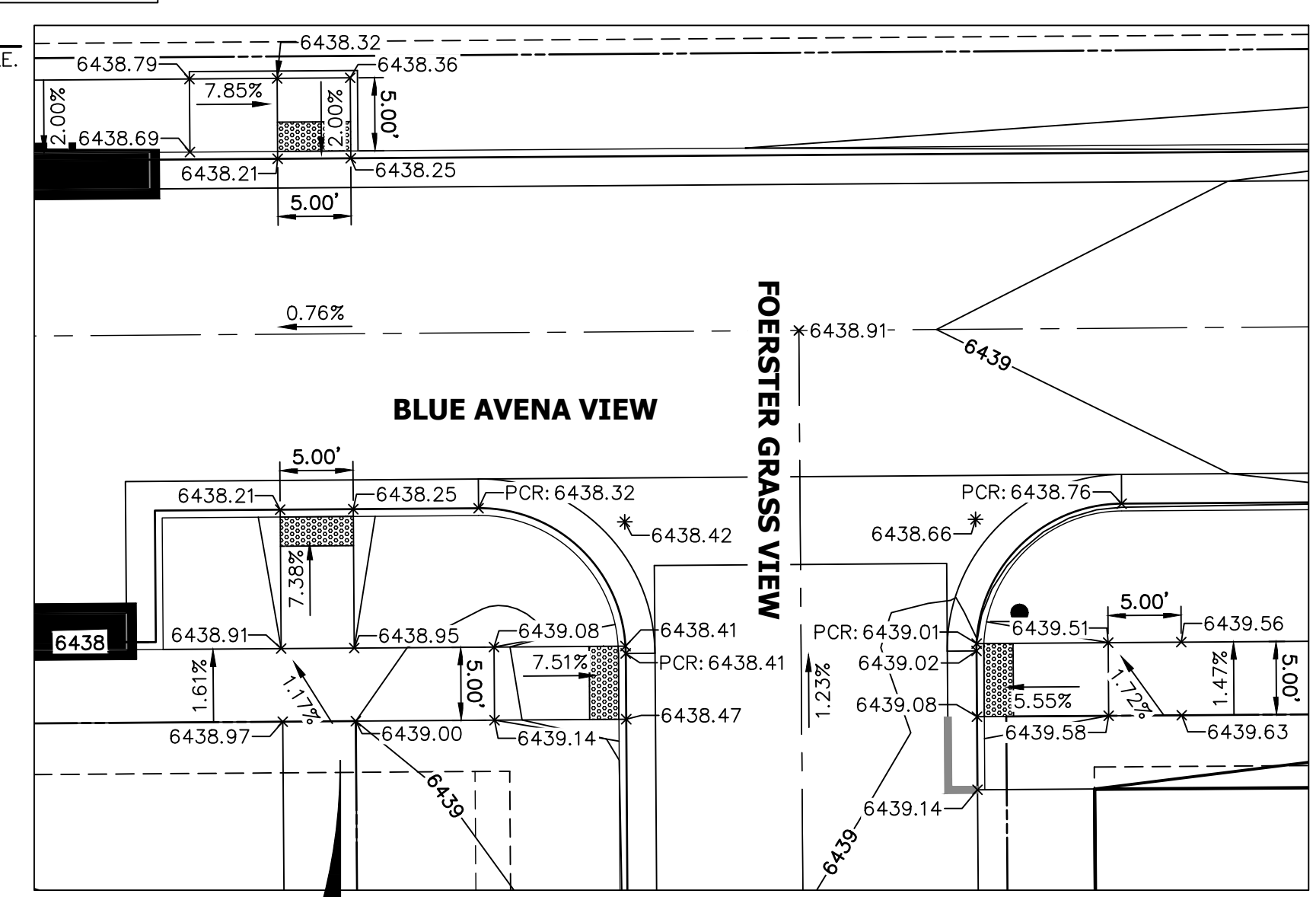
**AREA 8**  
SEE SHEET 10 FOR FOUNTAIN GRASS GROVE (EAST) PLAN & PROFILE.



**AREA 9**  
SEE SHEET 11 FOR BLUE AVENA VIEW PLAN & PROFILE.  
SEE SHEET 10 FOR FOUNTAIN GRASS GROVE (EAST) PLAN & PROFILE.



**AREA 10**  
SEE SHEET 11 FOR BLUE AVENA VIEW PLAN & PROFILE.  
SEE SHEET 12 FOR PURPLE FOUNTAIN POINT PLAN & PROFILE.



**AREA 11**  
SEE SHEET 11 FOR BLUE AVENA VIEW PLAN & PROFILE.  
SEE SHEET 13 FOR FOERSTER GRASS VIEW PLAN & PROFILE.

10 5 0 10  
ORIGINAL SCALE: 1" = 10'



Know what's below.  
Call before you dig.

**ENGINEER'S STATEMENT**

PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING

GLENN D. ELLIS, P.E.  
COLORADO P.E. 38861  
FOR AND ON BEHALF OF JR ENGINEERING



UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR  
**RICHMOND AMERICAN HOMES**  
4350 S. MONACO STREET  
DENVER, CO 80237  
(720) 977-3827  
JASON.FOCK@MDC.H.COM

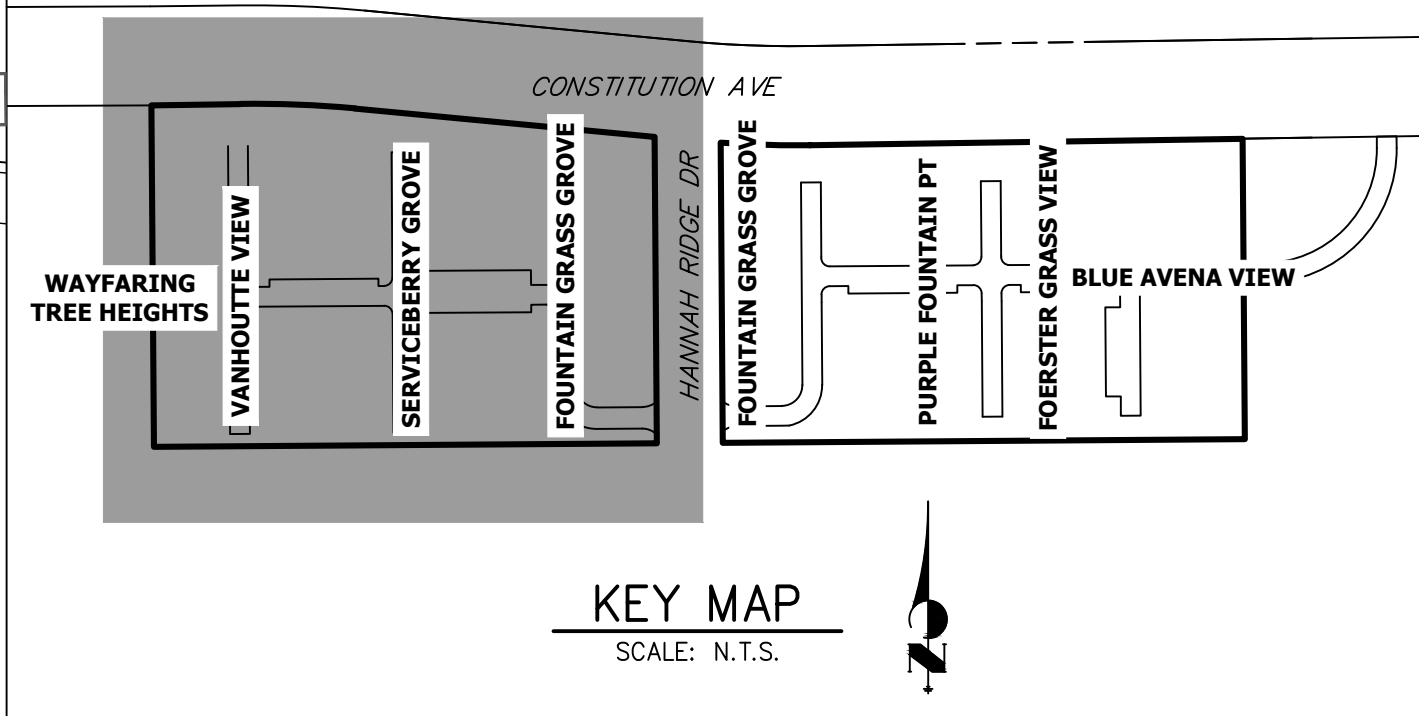
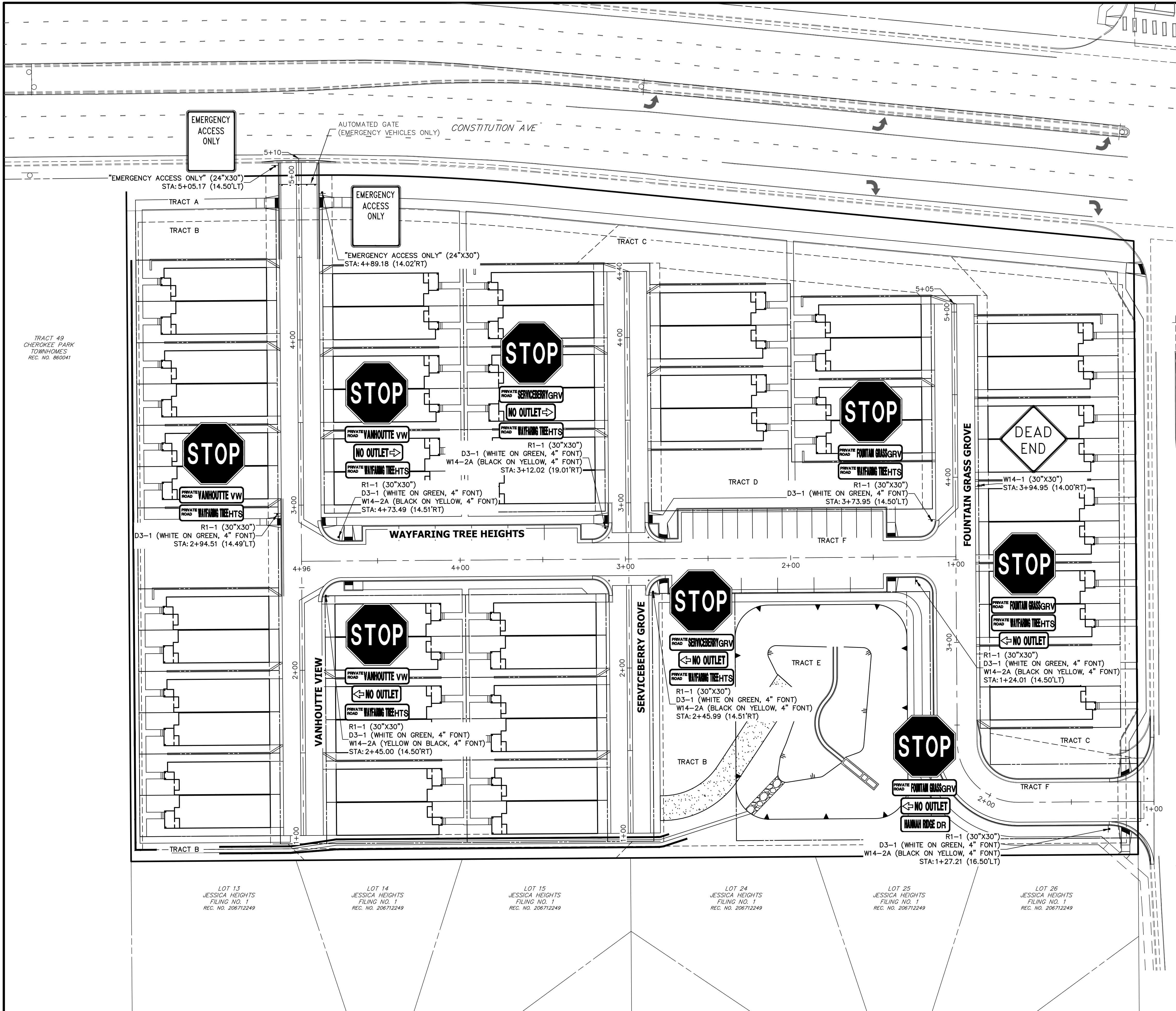
**J.R. ENGINEERING**  
A Westman Company  
Central 303-740-9888 • Colorado Springs 719-588-2583  
Fort Collins 970-491-9888 • www.jrengineering.com

BY	DATE	REVISION

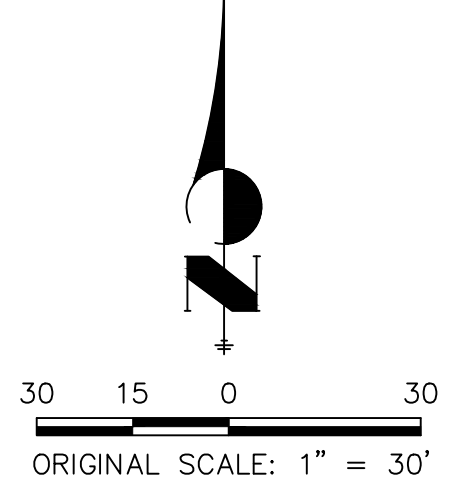
H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
1"=10'	N/A	01/29/21	RPD	RPD	

**URBAN COLLECTION AT PALMER VILLAGE**  
CURB RAMP DETAILS

SHEET 15 OF 32  
JOB NO. 25149.01



- SIGNING AND STRIPING NOTES**
- ALL SIGNS AND PAVEMENT MARKING SHALL BE IN COMPLIANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
  - REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY A METHOD THAT DOES NOT MATERIALLY DAMAGE THE PAVEMENT. THE PAVEMENT MARKINGS SHALL BE REMOVED TO THE EXTENT THEY WILL NOT BE VISIBLE UNDER DAY OR NIGHT CONDITIONS. AT NO TIME WILL IT BE ACCEPTABLE TO PAINT OVER EXISTING PAVEMENT MARKINGS.
  - ANY DEVIATION FROM THE STRIPING AND SIGNING PLAN SHALL BE APPROVED BY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT.
  - ALL SIGNS SHOWN ON THE SIGNING AND STRIPING PLAN SHALL BE NEW SIGNS. EXISTING SIGNS MAY REMAIN OR BE REUSED IF THEY MEET CURRENT EL PASO COUNTY AND MUTCD STANDARDS.
  - STREET NAME AND REGULATORY STOP SIGNS SHALL BE ON THE SAME POST AT INTERSECTIONS.
  - ALL REMOVED SIGNS SHALL BE DISPOSED OF IN A PROPER MANNER BY THE CONTRACTOR.
  - ALL STREET NAME SIGNS SHALL BE "D" SERIES LETTERS, WITH LOCAL ROADWAY SIGNS BEING 4" UPPER-LOWER CASE LETTERING ON 8" BLANK AND NON-LOCAL ROADWAY SIGNS BEING 6" LETTERING. UPPER-LOWER CASE ON 12" BLANK, WITH A WHITE BORDER THAT IS NOT RECESSED. MULTI-LANE ROADWAYS WITH SPEED LIMITS OF 40 MPH OR HIGHER SHALL HAVE 8" UPPER-LOWER CASE LETTERING ON 18" BLANK WITH A WHITE BORDER THAT IS NOT RECESSED. THE WIDTH OF THE NON-RECESSED WHITE BORDERS SHALL MATCH PAGE 255 OF THE 2012 MUTCD "STANDARD HIGHWAY SIGNS".
  - ALL TRAFFIC SIGNS SHALL HAVE A MINIMUM HIGH INTENSITY PRISMATIC GRADE SHEETING.
  - ALL LOCAL RESIDENTIAL STREET SIGNS SHALL BE MOUNTED ON A 1.75" X 1.75" SQUARE TUBE SIGN POST AND STUB POST BASE. FOR OTHER APPLICATIONS, REFER TO THE CDOT STANDARD S-614-8 REGARDING USE OF THE P2 TUBULAR STEEL POST SLIPBASE DESIGN.
  - ALL SIGNS SHALL BE SINGLE SHEET ALUMINUM WITH 0.100" THICKNESS.
  - ALL LIMIT LINES/STOP LINES, CROSSWALK LINES, PAVEMENT LEGENDS, AND ARROWS SHALL BE A MINIMUM 125 MIL THICKNESS PREFORMED THERMOPLASTIC PAVEMENT MARKINGS WITH TAPERED LEADING EDGES PER CDOT STANDARD S-627-1. WORD AND SYMBOL MARKINGS SHALL BE THE NARROW TYPE, STOP BARS SHALL BE 24" IN WIDTH, CROSSWALK LINES SHALL BE 12" WIDE AND 8" LONG PER CDOT S-267-1.
  - ALL LONGITUDINAL LINES SHALL BE A MINIMUM 15MIL THICKNESS EPOXY PAINT. ALL NON-LOCAL RESIDENTIAL ROADWAYS SHALL INCLUDE BOTH RIGHT AND LEFT EDGE LINE STRIPING AND ANY ADDITIONAL STRIPING AS REQUIRED BY CDOT S-627-1.
  - THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (719) 520-6819 PRIOR TO AND UPON COMPLETION OF THE SIGNING AND STRIPING.
  - THE CONTRACTOR SHALL OBTAIN A WORK IN THE RIGHT OF WAY PERMIT FROM THE EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS (DPW) PRIOR TO ANY SIGNAGE OR STRIPING WORK WITHIN AN EXISTING EL PASO COUNTY ROADWAY.
  - THE CONTRACTOR SHALL INSTALL FIRE LANE SIGNS AS FOLLOWS:
    - ROADS LESS THAN 28' WIDE SHALL BE POSTED ON BOTH SIDES AS A FIRE LANE.
    - ROADS BETWEEN 28' AND 34' WIDE SHALL BE POSTED ON ONE SIDE AS A FIRE LANE.
    - ROADS GREATER THAN 34' WIDE DO NOT REQUIRE POSTING AS A FIRE LANE.



**ENGINEER'S STATEMENT**

PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING

GLENN D. ELLIS, P.E.  
 COLORADO P.E. 38861  
 FOR AND ON BEHALF OF JR ENGINEERING



UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USE, THESE DRAWINGS ARE NOT TO BE USED FOR ANY PURPOSES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR  
**RICHMOND AMERICAN HOMES**  
 4350 S. MONACO STREET  
 DENVER, CO 80237  
 (720) 977-3827  
 JASON.FOCK@MDCO.COM

**J.R. ENGINEERING**  
 A Westman Company  
 Centennial 303-740-9888 • Colorado Springs 719-588-2683  
 Fort Collins 970-491-9888 • www.jrengineering.com

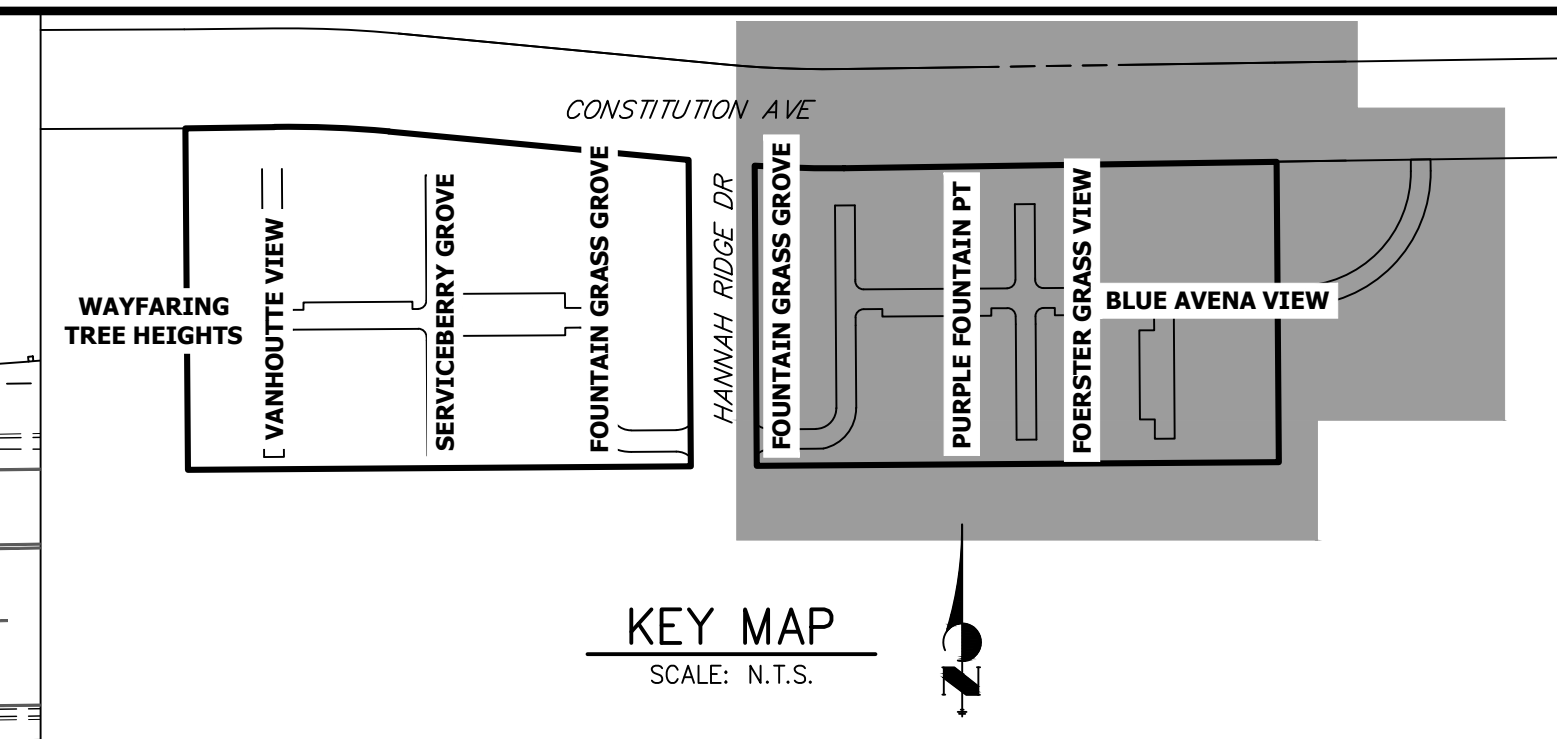
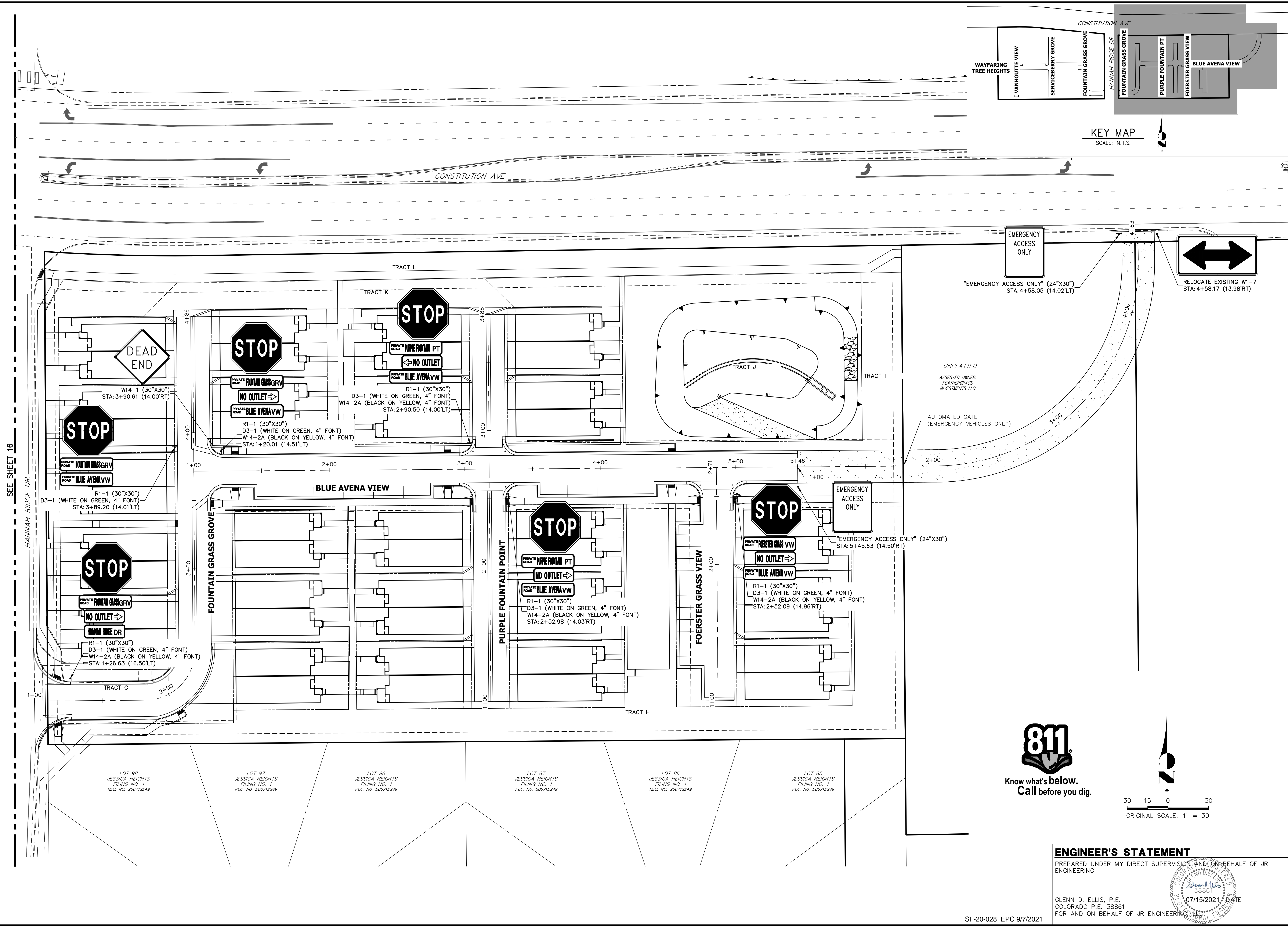
No.	REVISION	DATE	BY		DESIGNED BY	DRAWN BY	CHECKED BY
			NAME	DATE			

URBAN COLLECTION AT PALMER VILLAGE  
 STREET NAME AND REGULATORY SIGN PLANS  
 CONSTRUCTION DOCUMENTS

SHEET 16 OF 32  
 JOB NO. 25149.01







UNLESS SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USE, THESE DRAWINGS ARE DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR  
**RICHMOND AMERICAN HOMES**  
 4350 S. MONACO STREET  
 DENVER, CO 80237  
 (720) 977-3827  
 JASON.FOCK@MDCM.COM

**J.R. ENGINEERING**  
 A Westman Company  
 Centennial 300-740-9888 • Colorado Springs 719-588-2583  
 Fort Collins 970-491-9888 • www.jrengineering.com

SEE SHEET 16

HANNAH RIDGE DR.

LOT 98  
 JESSICA HEIGHTS  
 FILING NO. 1  
 REC. NO. 206712249

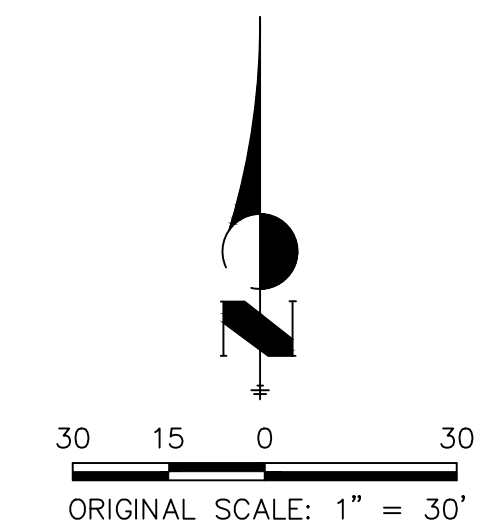
LOT 97  
 JESSICA HEIGHTS  
 FILING NO. 1  
 REC. NO. 206712249

LOT 96  
 JESSICA HEIGHTS  
 FILING NO. 1  
 REC. NO. 206712249

LOT 87  
 JESSICA HEIGHTS  
 FILING NO. 1  
 REC. NO. 206712249

LOT 86  
 JESSICA HEIGHTS  
 FILING NO. 1  
 REC. NO. 206712249

LOT 85  
 JESSICA HEIGHTS  
 FILING NO. 1  
 REC. NO. 206712249



**ENGINEER'S STATEMENT**  
 PREPARED UNDER MY DIRECT SUPERVISION, AND ON BEHALF OF JR ENGINEERING

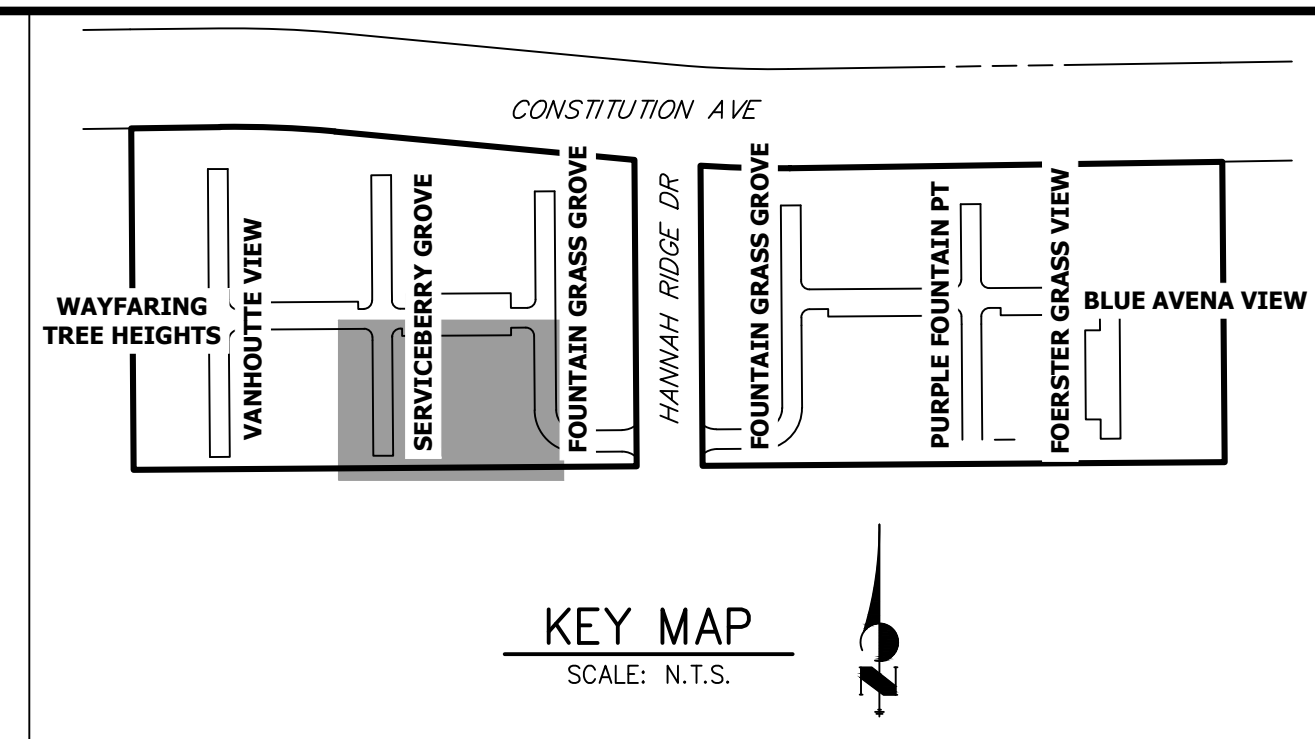
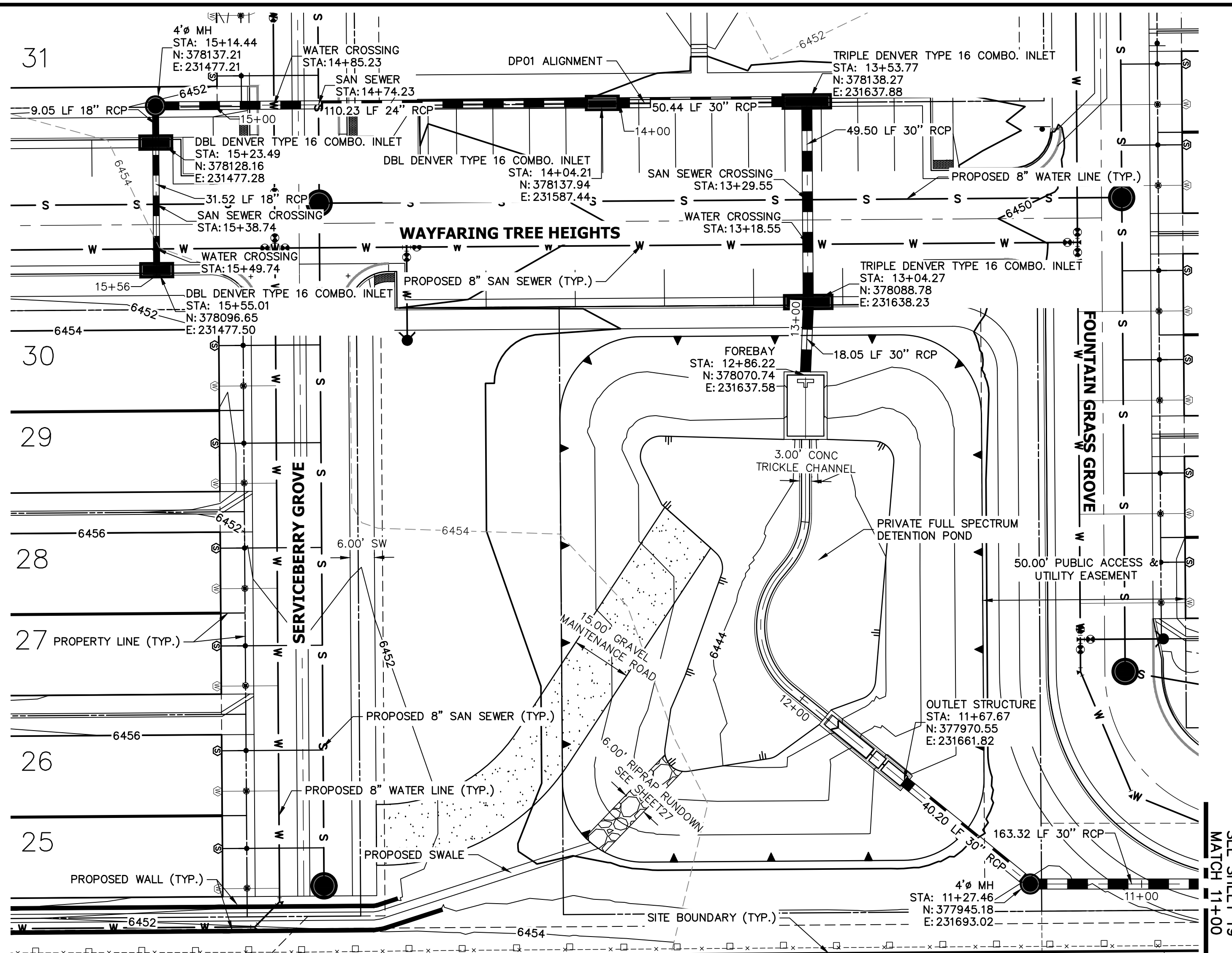
GLENN D. ELLIS, P.E.  
 COLORADO P.E. 38861  
 FOR AND ON BEHALF OF JR ENGINEERING

07/15/2021 DATE

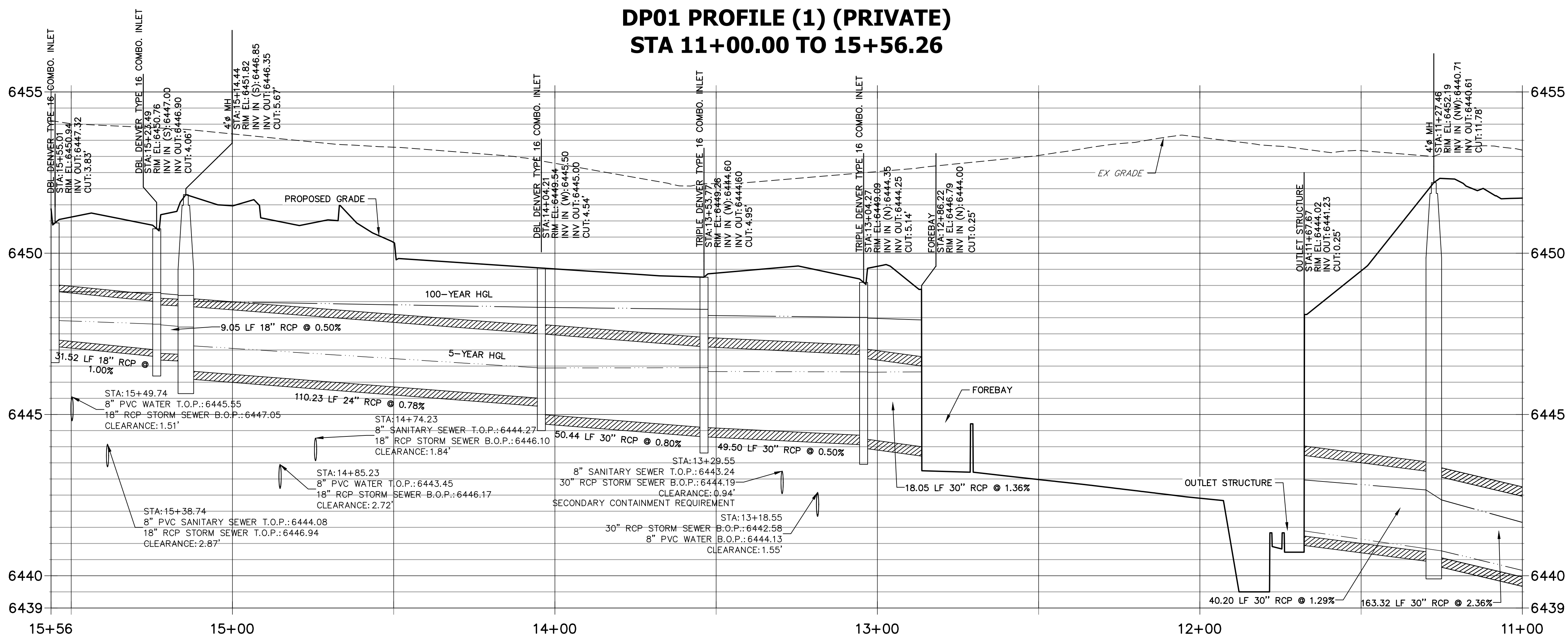
URBAN COLLECTION AT PALMER VILLAGE	STREET NAME AND REGULATORY SIGN PLANS	CONSTRUCTION DOCUMENTS	BY	DATE	
			NO.	REVISION	
H-SCALE	1" = 30'	V-SCALE	N/A	DESIGNED BY	APL
		DATE	01/29/21	DRAWN BY	APL
		CHECKED BY			
SHEET 17 OF 32		JOB NO. 25149.01			

SF-20-028 EPC 9/7/2021

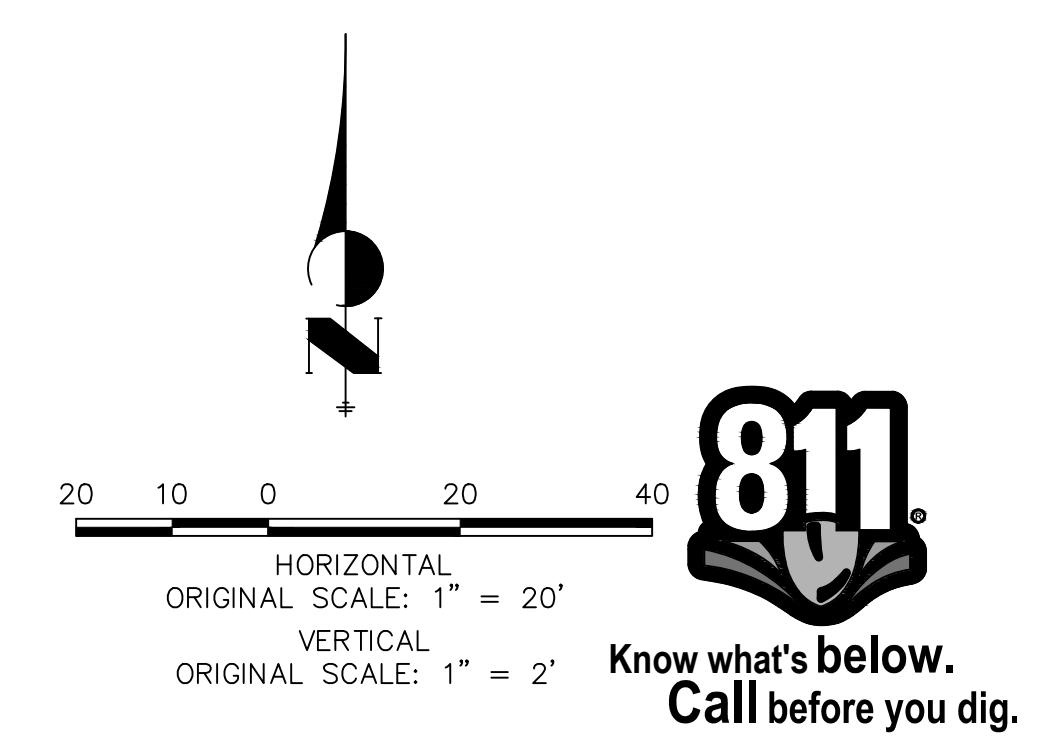
THE LOCATIONS OF EXISTING ABOVE GROUND AND UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL ABOVE GROUND AND UNDERGROUND UTILITIES.



**DP01 PROFILE (1) (PRIVATE)  
STA 11+00.00 TO 15+56.26**



- NOTES**
- SEE SHEET 1 FOR BENCHMARK. SEE SHEET 2 FOR LEGEND.
  - ALL STATIONING IS PIPE CENTERLINE UNLESS OTHERWISE NOTED.
  - ALL RCP STORM SEWER SHALL BE CLASS III UNLESS OTHERWISE NOTED.
  - PIPE LENGTHS ARE MEASURED FROM THE INSIDE WALL OF INLETS AND FROM THE CENTER OF MANHOLES. PIPE LENGTHS INCLUDE FES LENGTH AND/OR HEADWALL THICKNESS.
  - ALL MANHOLE COVERS SHALL BE ORIENTED TO AVOID CURB, GUTTER, SIDEWALK AND CROSSPANS UNLESS OTHERWISE NOTED.
  - ALL MANHOLES SHALL HAVE AN ECCENTRIC CONE UNLESS OTHERWISE NOTED.
  - PROVIDE A MINIMUM OF 18" FROM THE RIM TO THE TOP OF SLAB FOR ALL FLAT TOP MANHOLES.
  - ALL ON-GRADE INLETS ARE TO MATCH TBC ELEVATIONS AT EACH END, FOLLOWING STREET GRADES.
  - INLET STATIONING IS TO CENTER OF INLET.
  - PIPES SHALL HAVE JOINT RESTRAINTS ON LAST 3 JOINTS AT PIPE OUTFALL.
  - ALL STORM SEWER IS PRIVATE UNLESS OTHERWISE NOTED.
  - USE REINFORCED CONCRETE COLLAR FOR ALL STORM SEWER TO PREFABRICATED INLET OR BOX CONNECTION.



**ENGINEER'S STATEMENT**  
 PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING  
 GLENN D. ELLIS, P.E.  
 COLORADO P.E. 38861  
 FOR AND ON BEHALF OF JR ENGINEERING  
 07/15/2021 DATE

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USE AS DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR  
**RICHMOND AMERICAN HOMES**  
 4350 S. MONACO STREET  
 DENVER, CO 80237  
 (720) 977-3827  
 JASON.FOCK@MDCM.COM

**J.R. ENGINEERING**  
 A Westman Company  
 Centennial 300-740-0888 • Colorado Springs 719-588-2583  
 Fort Collins 970-491-9888 • www.jrengineering.com

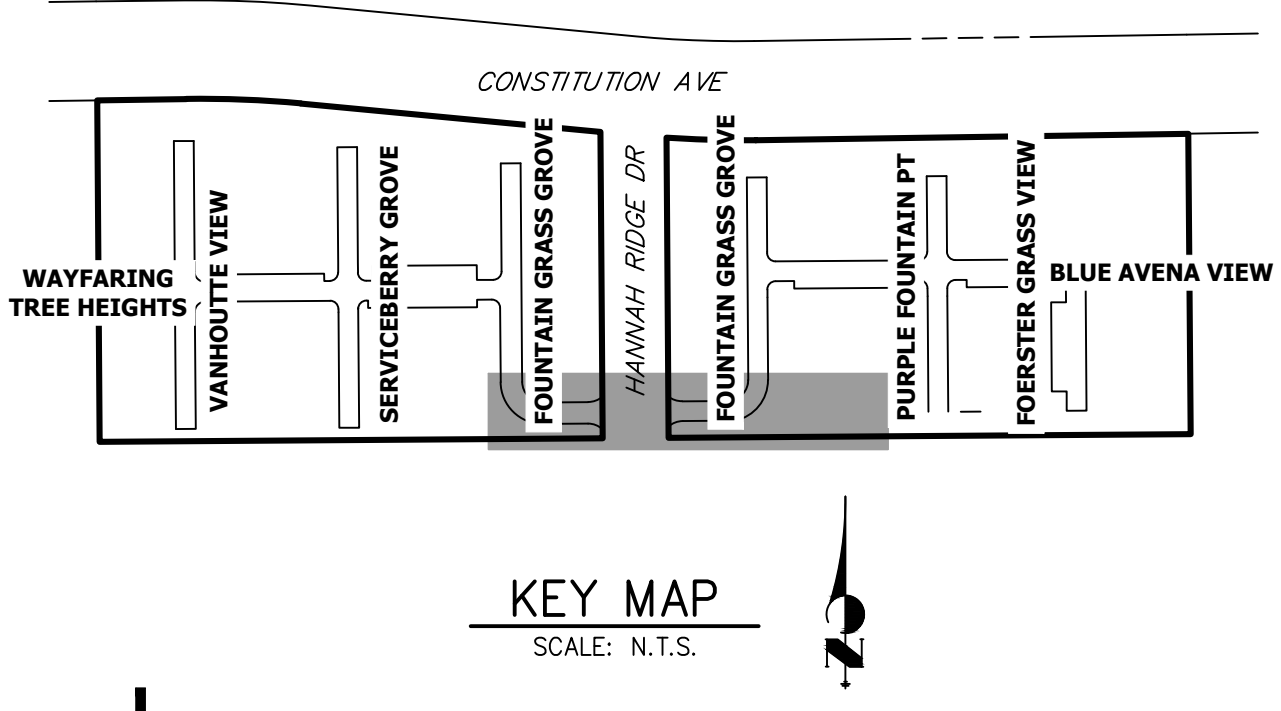
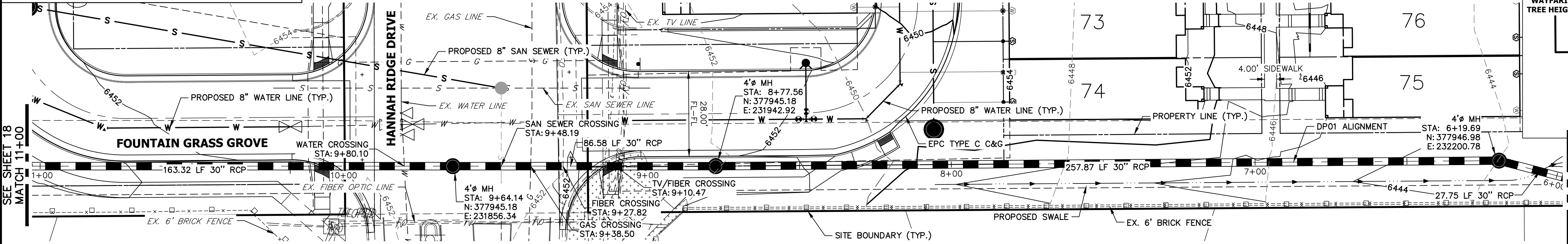
BY	DATE	REVISION

H-SCALE 1"=20'  
 V-SCALE 1"=2'  
 DATE 01/29/21  
 DESIGNED BY JEA  
 DRAWN BY JEA  
 CHECKED BY

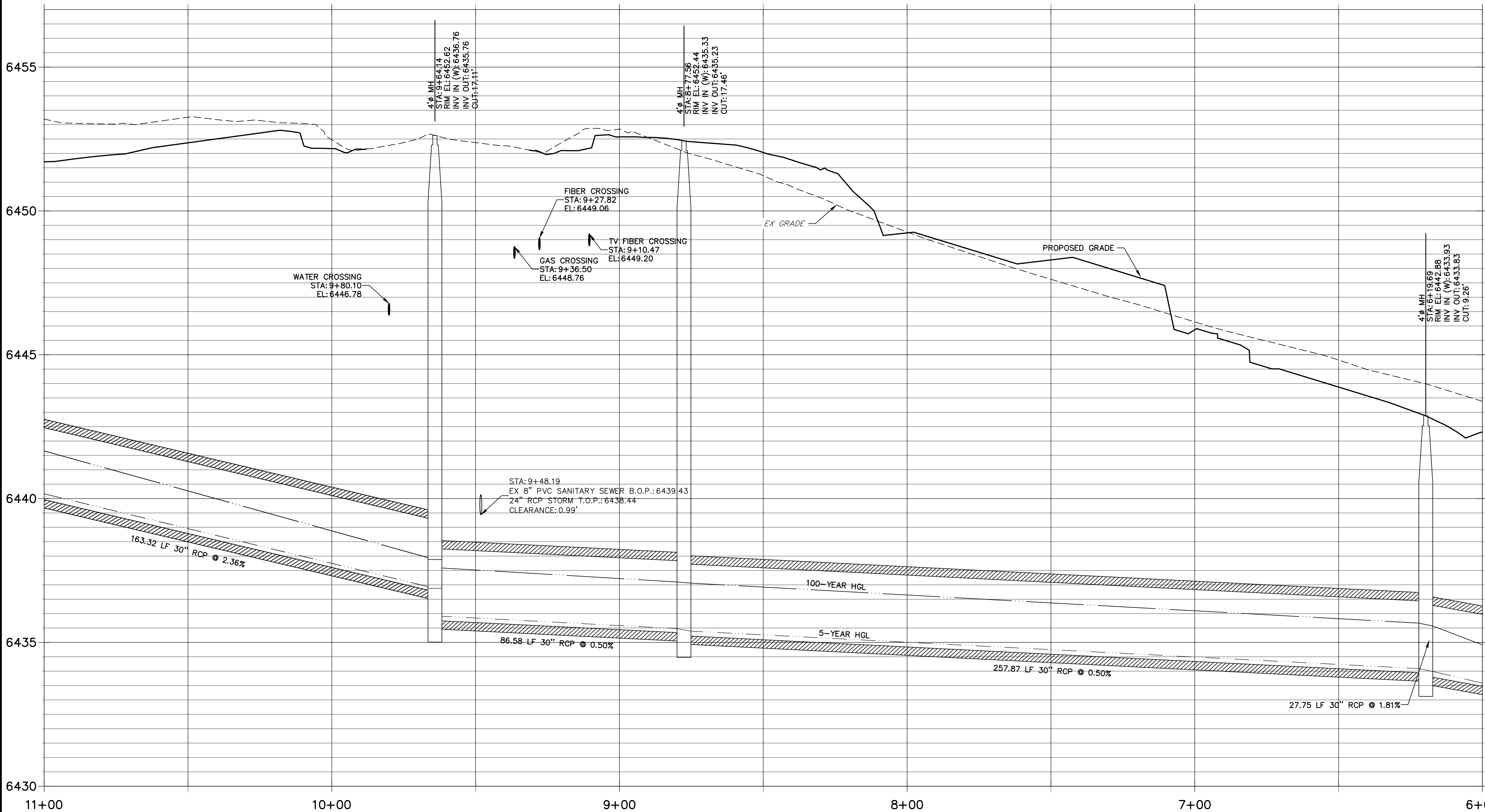
URBAN COLLECTION AT PALMER VILLAGE  
 STORM PLANS

SHEET 18 OF 32  
 JOB NO. 25149.01

THE LOCATIONS OF EXISTING ABOVE GROUND AND UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL ABOVE GROUND AND UNDERGROUND UTILITIES.

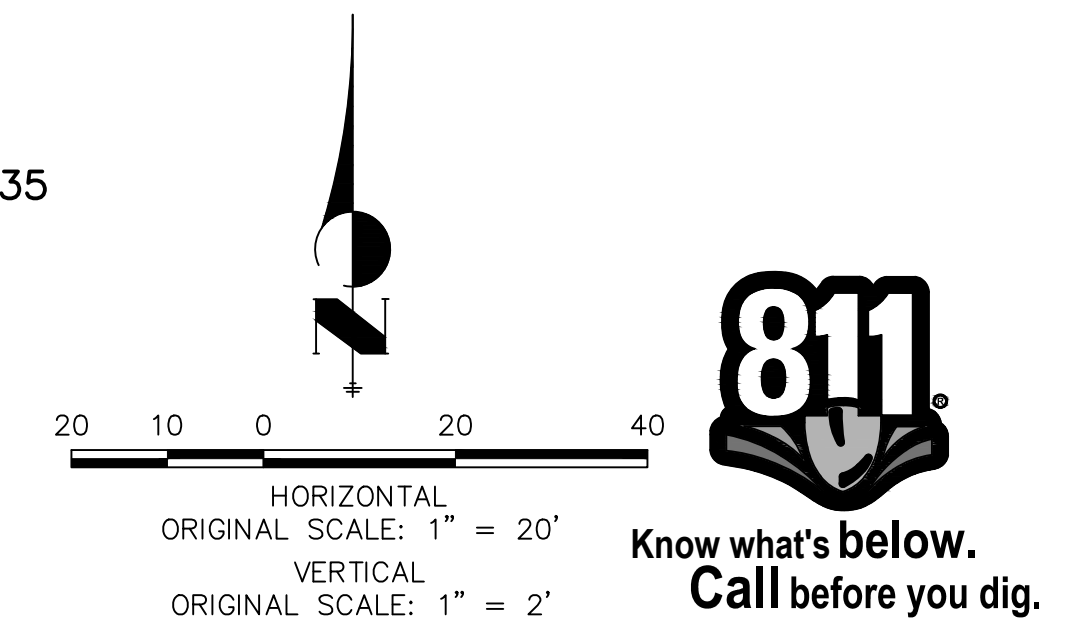


**DP01 PROFILE (2) (PRIVATE)  
STA 6+00.00 TO 11+00.00**



**NOTES**

- SEE SHEET 1 FOR BENCHMARK. SEE SHEET 2 FOR LEGEND.
- ALL STATIONING IS PIPE CENTERLINE UNLESS OTHERWISE NOTED.
- ALL RCP STORM SEWER SHALL BE CLASS III UNLESS OTHERWISE NOTED.
- PIPE LENGTHS ARE MEASURED FROM THE INSIDE WALL OF INLETS AND FROM THE CENTER OF MANHOLES. PIPE LENGTHS INCLUDE FES LENGTH AND/OR HEADWALL THICKNESS.
- ALL MANHOLE COVERS SHALL BE ORIENTED TO AVOID CURB, GUTTER, SIDEWALK AND CROSSPANS UNLESS OTHERWISE NOTED.
- ALL MANHOLES SHALL HAVE AN ECCENTRIC CONE UNLESS OTHERWISE NOTED.
- PROVIDE A MINIMUM OF 18" FROM THE RIM TO THE TOP OF SLAB FOR ALL FLAT TOP MANHOLES.
- ALL ON-GRADE INLETS ARE TO MATCH TBC ELEVATIONS AT EACH END, FOLLOWING STREET GRADES.
- INLET STATIONING IS TO CENTER OF INLET.
- PIPES SHALL HAVE JOINT RESTRAINTS ON LAST 3 JOINTS AT PIPE OUTFALL.
- ALL STORM SEWER IS PRIVATE UNLESS OTHERWISE NOTED.
- USE REINFORCED CONCRETE COLLAR FOR ALL STORM SEWER TO PREFABRICATED INLET OR BOX CONNECTION.



**ENGINEER'S STATEMENT**

PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING

GLENN D. ELLIS, P.E.  
COLORADO P.E. 38861  
FOR AND ON BEHALF OF JR ENGINEERING



UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USE AS DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR  
**RICHMOND AMERICAN HOMES**  
4350 S. MONACO STREET  
DENVER, CO 80237  
(720) 977-3827  
JASON.FOCK@MDDCH.COM

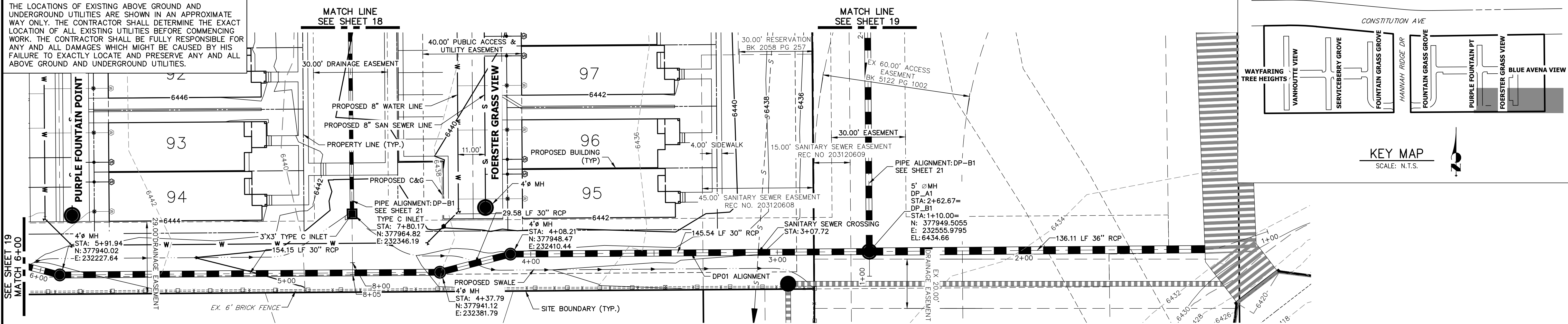
**J.R. ENGINEERING**  
A Westman Company  
Central: 303-740-9888 • Colorado Springs: 719-588-2583  
Fort Collins: 970-491-9888 • www.jrengineering.com

No.	REVISION	BY	DATE

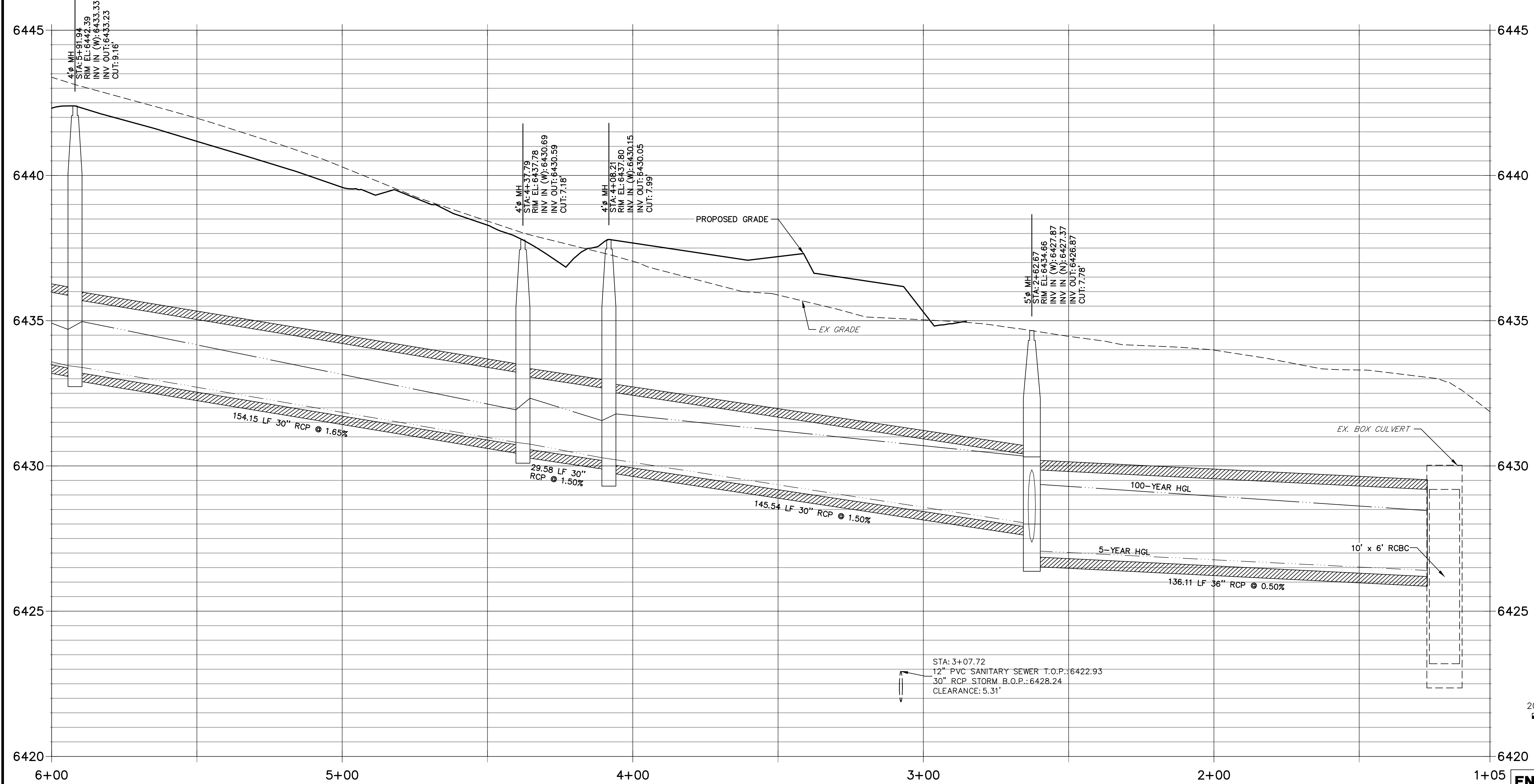
H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
1"=20'	1"=2'	01/29/21	JEA	JEA	

URBAN COLLECTION AT  
PALMER VILLAGE  
STORM PLANS

THE LOCATIONS OF EXISTING ABOVE GROUND AND UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL ABOVE GROUND AND UNDERGROUND UTILITIES.



**DP01 PROFILE (3) (PRIVATE)  
STA 1+05.00 TO 6+00.00**



- NOTES**
- SEE SHEET 1 FOR BENCHMARK. SEE SHEET 2 FOR LEGEND.
  - ALL STATIONING IS PIPE CENTERLINE UNLESS OTHERWISE NOTED.
  - ALL RCP STORM SEWER SHALL BE CLASS III UNLESS OTHERWISE NOTED.
  - PIPE LENGTHS ARE MEASURED FROM THE INSIDE WALL OF INLETS AND FROM THE CENTER OF MANHOLES. PIPE LENGTHS INCLUDE FES LENGTH AND/OR HEADWALL THICKNESS.
  - ALL MANHOLE COVERS SHALL BE ORIENTED TO AVOID CURB, GUTTER, SIDEWALK AND CROSSPANS UNLESS OTHERWISE NOTED.
  - PROVIDE A MINIMUM OF 18" FROM THE RIM TO THE TOP OF SLAB FOR ALL FLAT TOP MANHOLES.
  - ALL ON-GRADE INLETS ARE TO MATCH TBC ELEVATIONS AT EACH END, FOLLOWING STREET GRADES.
  - INLET STATIONING IS TO CENTER OF INLET.
  - PIPES SHALL HAVE JOINT RESTRAINTS ON LAST 3 JOINTS AT PIPE OUTFALL.
  - ALL STORM SEWER IS PRIVATE UNLESS OTHERWISE NOTED
  - USE REINFORCED CONCRETE COLLAR FOR ALL STORM SEWER TO PREFABRICATED INLET OR BOX CONNECTION

811  
Know what's below.  
Call before you dig.

HORIZONTAL SCALE: 1" = 20'  
VERTICAL SCALE: 1" = 2'

ENGINEER'S STATEMENT  
PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING

GLENN D. ELLIS, P.E.  
COLORADO P.E. 38861  
FOR AND ON BEHALF OF JR ENGINEERING

07/15/2021 DATE

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR  
**RICHMOND AMERICAN HOMES**  
4350 S. MONACO STREET  
DENVER, CO 80237  
(720) 977-3827  
JASON.FOCK@MDC.H.COM

**J.R. ENGINEERING**  
A Westman Company  
Central 300-740-9888 • Colorado Springs 719-588-2583  
Fort Collins 970-491-9888 • www.jrengineering.com

BY	DATE	REVISION

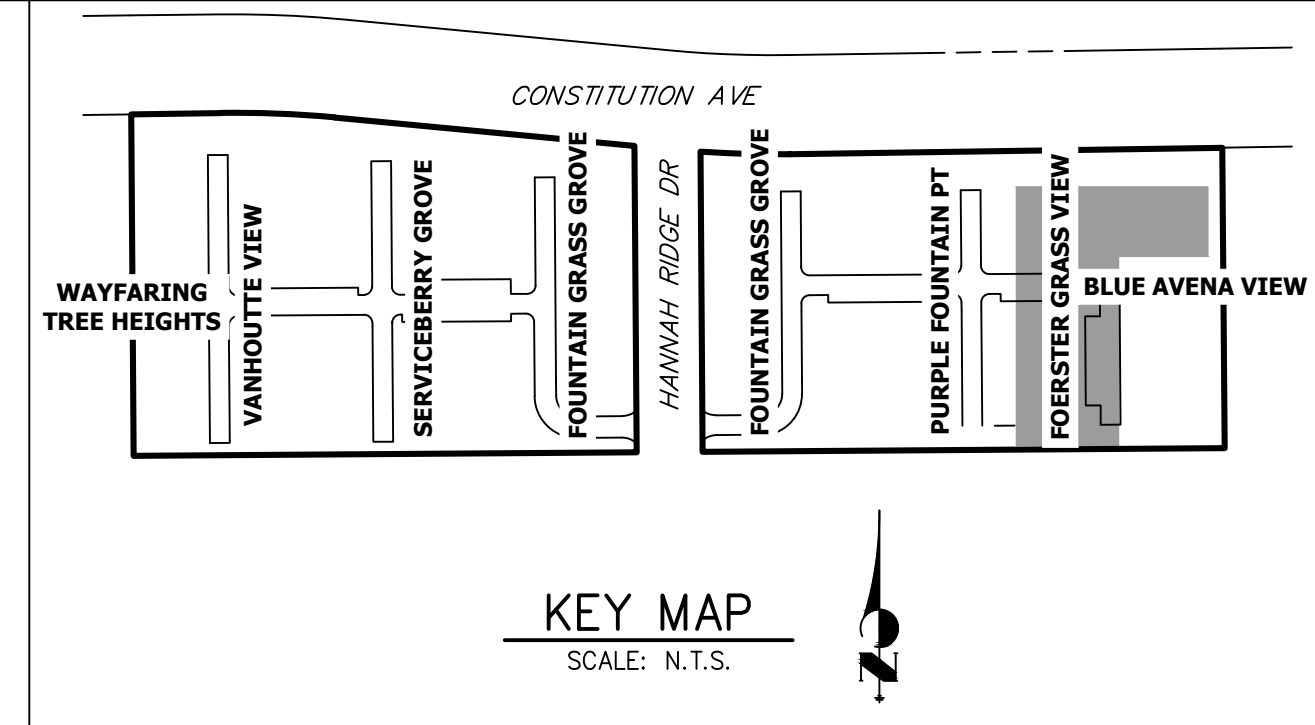
H-Scale: 1"=20'  
V-Scale: 1"=2'  
DATE: 01/29/21  
DESIGNED BY: JEA  
DRAWN BY: JEA  
CHECKED BY: JEA

URBAN COLLECTION AT PALMER VILLAGE  
STORM PLANS

SHEET 20 OF 32  
JOB NO. 25149.01

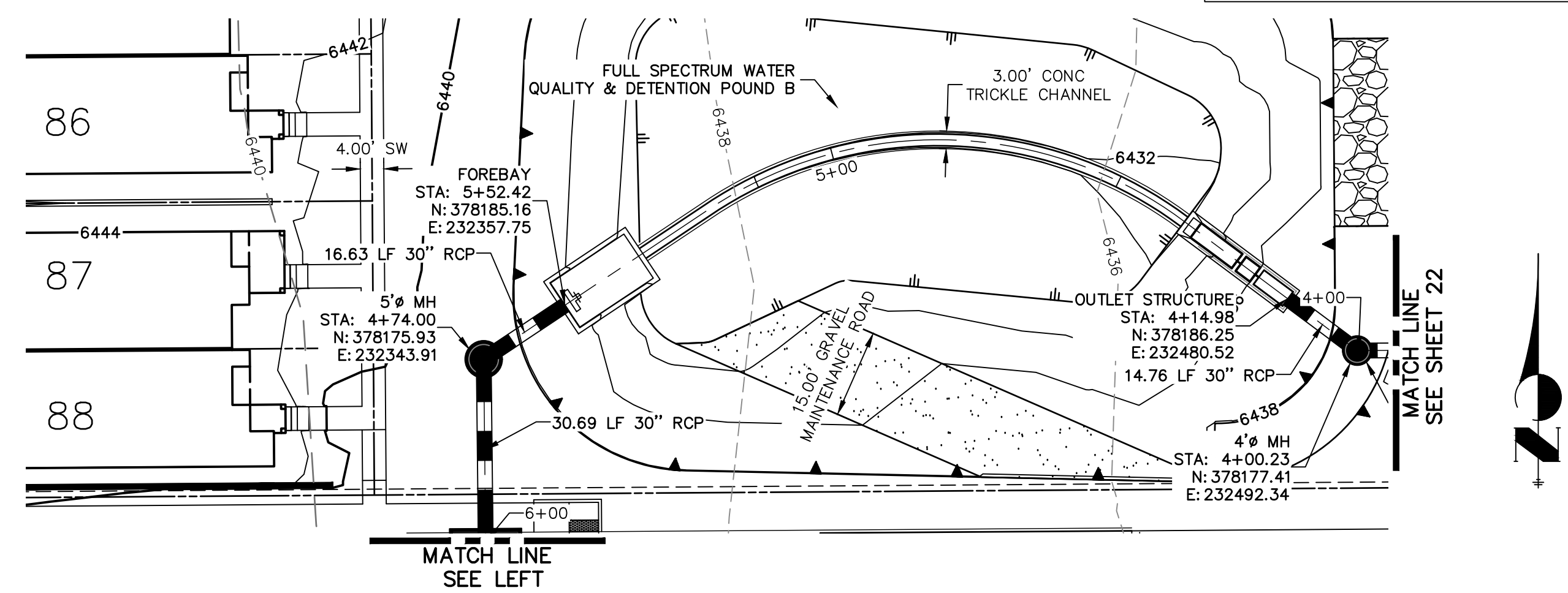
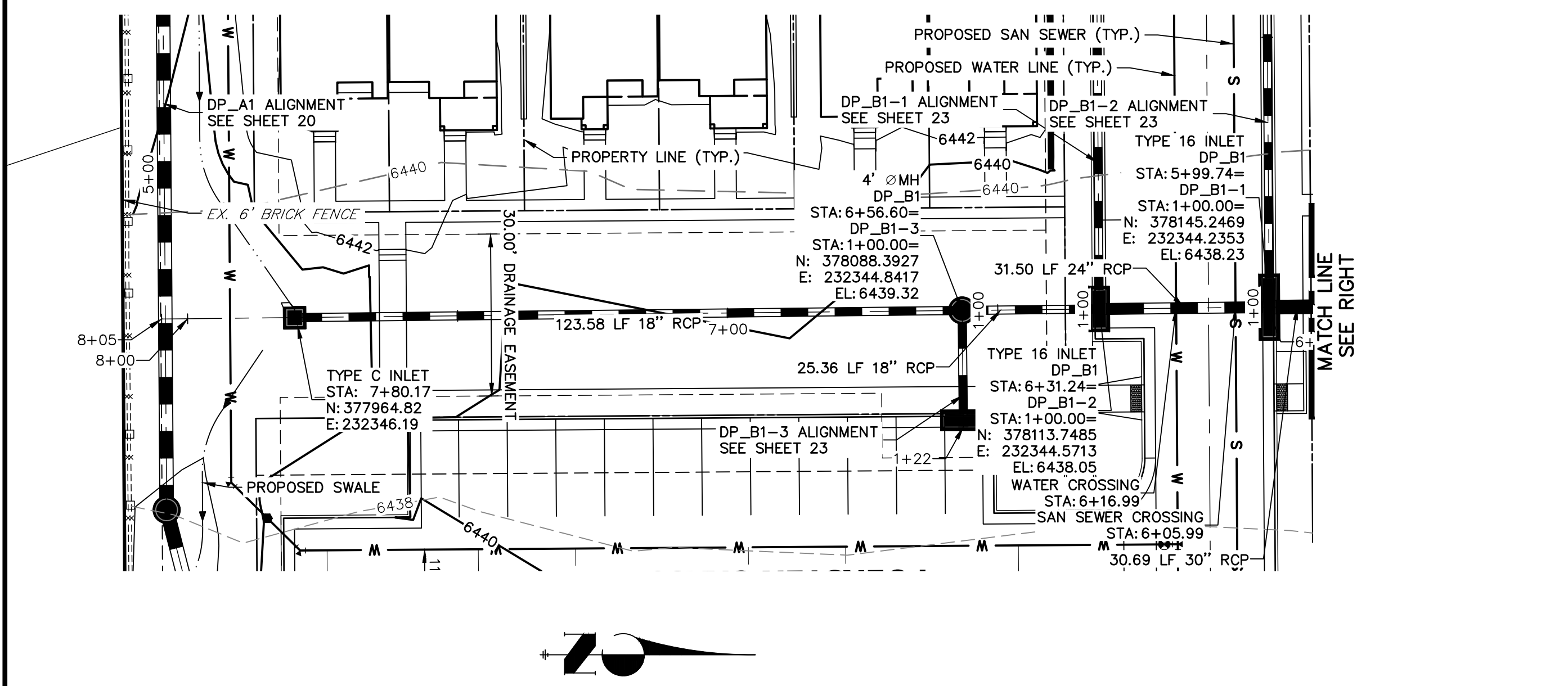
SF-20-028 EPC 9/7/2021

THE LOCATIONS OF EXISTING ABOVE GROUND AND UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL ABOVE GROUND AND UNDERGROUND UTILITIES.



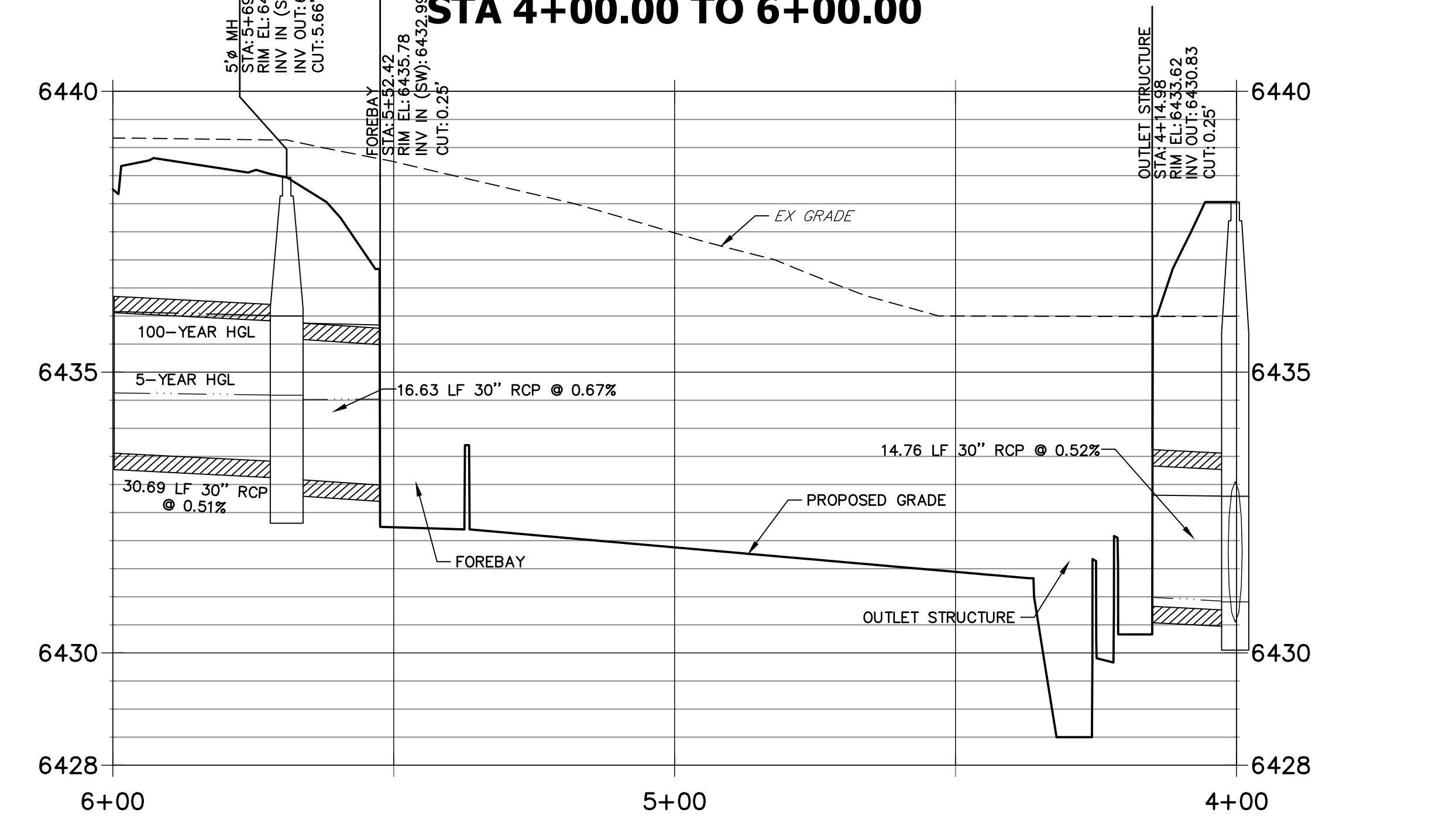
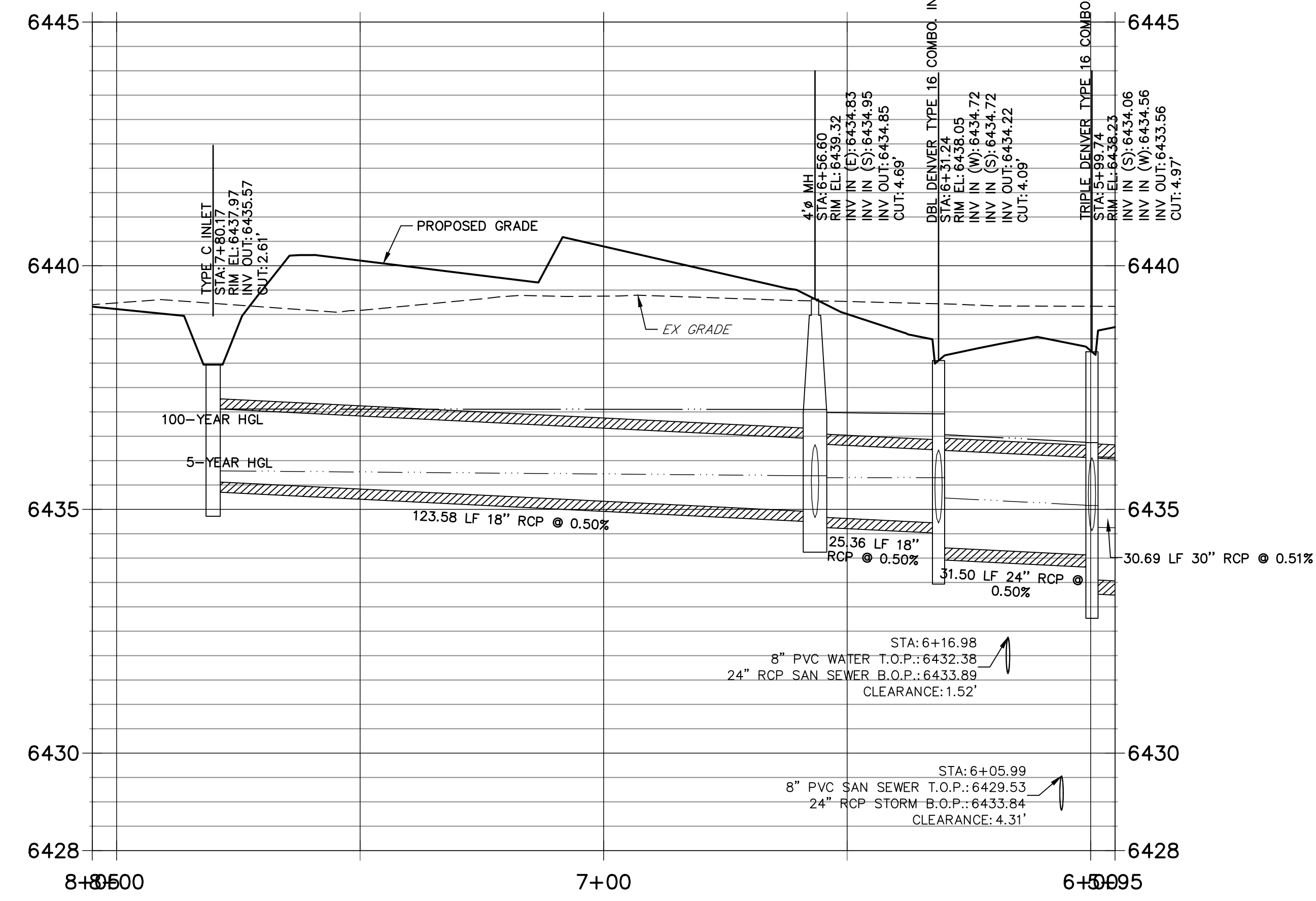
UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USE, THESE DRAWINGS ARE DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR  
**RICHMOND AMERICAN HOMES**  
 4350 S. MONACO STREET  
 DENVER, CO 80237  
 (720) 977-3827  
 JASON.FOCK@MDCM.COM

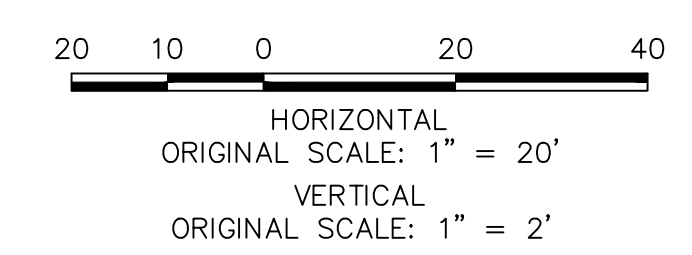


**DP02 PROFILE (1) (PRIVATE)**  
**STA 5+95.00 TO 8+05.00**

**DP02 PROFILE (2) (PRIVATE)**  
**STA 4+00.00 TO 6+00.00**



- NOTES**
- SEE SHEET 1 FOR BENCHMARK. SEE SHEET 2 FOR LEGEND.
  - ALL STATIONING IS PIPE CENTERLINE UNLESS OTHERWISE NOTED.
  - ALL RCP STORM SEWER SHALL BE CLASS III UNLESS OTHERWISE NOTED.
  - PIPE LENGTHS ARE MEASURED FROM THE INSIDE WALL OF INLETS AND FROM THE CENTER OF MANHOLES. PIPE LENGTHS INCLUDE FES LENGTH AND/OR HEADWALL THICKNESS.
  - ALL MANHOLE COVERS SHALL BE ORIENTED TO AVOID CURB, GUTTER, SIDEWALK AND CROSSPANS UNLESS OTHERWISE NOTED.
  - ALL MANHOLES SHALL HAVE AN ECCENTRIC CONE UNLESS OTHERWISE NOTED.
  - PROVIDE A MINIMUM OF 18" FROM THE RIM TO THE TOP OF SLAB FOR ALL FLAT TOP MANHOLES.
  - ALL ON-GRADE INLETS ARE TO MATCH TBC ELEVATIONS AT EACH END, FOLLOWING STREET GRADES.
  - INLET STATIONING IS TO CENTER OF INLET.
  - PIPES SHALL HAVE JOINT RESTRAINTS ON LAST 3 JOINTS AT PIPE OUTFALL.
  - ALL STORM SEWER IS PRIVATE UNLESS OTHERWISE NOTED.
  - USE REINFORCED CONCRETE COLLAR FOR ALL STORM SEWER TO PREFABRICATED INLET OR BOX CONNECTION.



**ENGINEER'S STATEMENT**

PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING

GLENN D. ELLIS, P.E.  
 COLORADO P.E. 38861  
 FOR AND ON BEHALF OF JR ENGINEERING

07/15/2021 DATE

H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY	No.	REVISION	BY DATE	
1"=20'	1"=2'	01/29/21	JEA	JEA					

URBAN COLLECTION AT PALMER VILLAGE  
 STORM PLANS

SHEET 21 OF 32  
 JOB NO. 25149.01

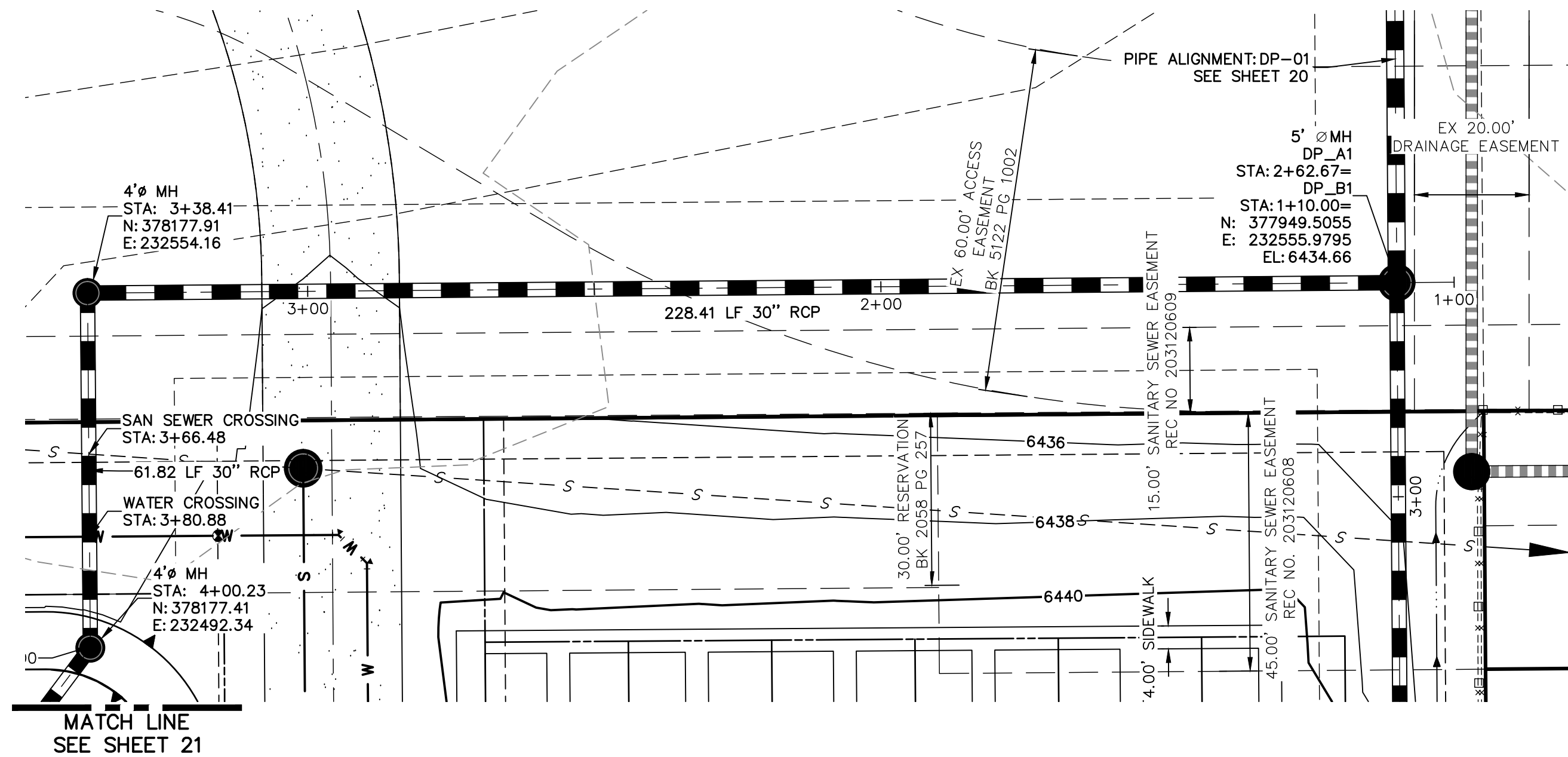
THE LOCATIONS OF EXISTING ABOVE GROUND AND UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL ABOVE GROUND AND UNDERGROUND UTILITIES.

CONSTITUTION AVE

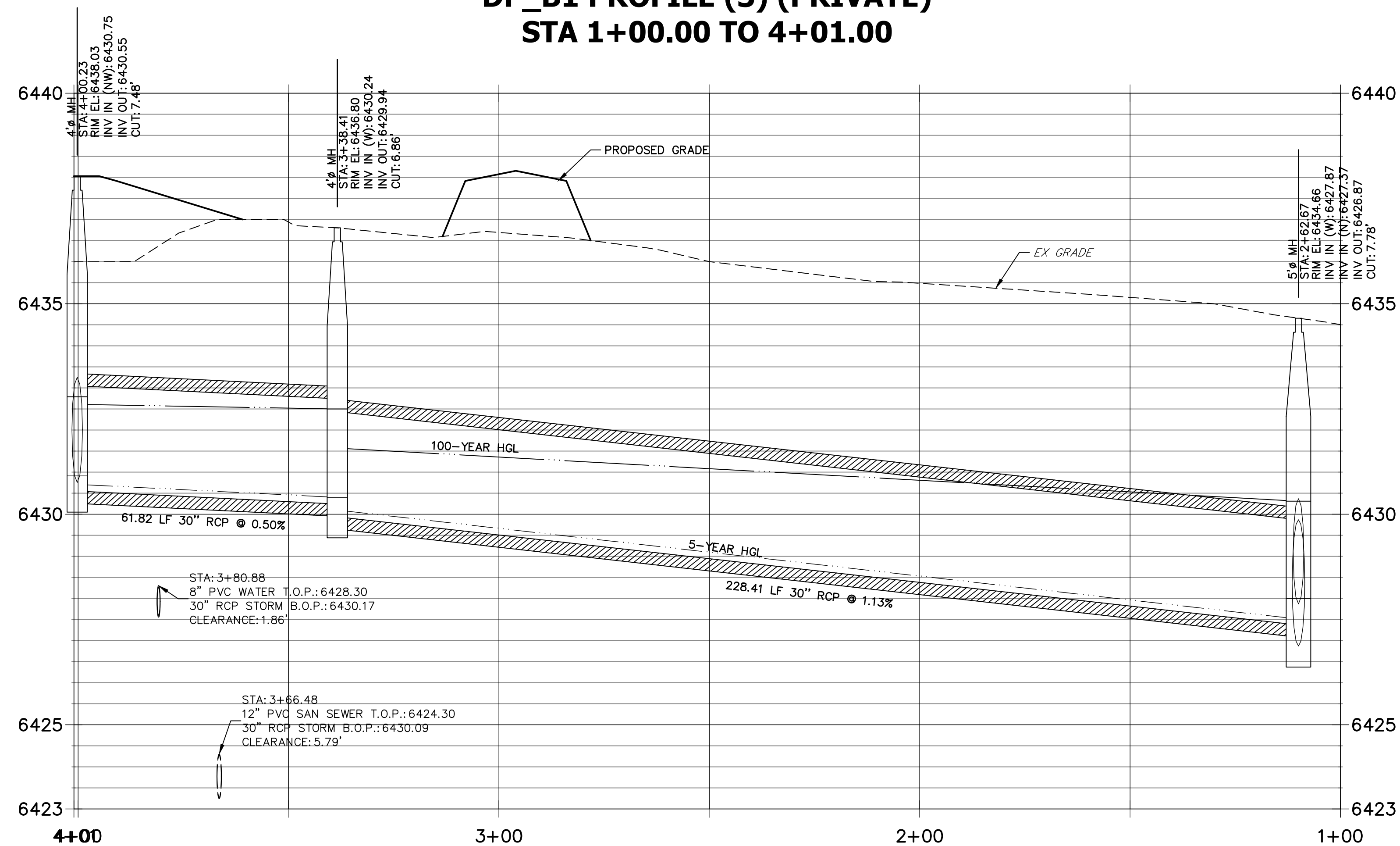
**KEY MAP**  
SCALE: N.T.S.

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USE, THESE DRAWINGS ARE DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR  
**RICHMOND AMERICAN HOMES**  
4350 S. MONACO STREET  
DENVER, CO 80237  
(720) 977-3827  
JASON.FOCK@MDCHE.COM



**DP\_B1 PROFILE (3) (PRIVATE)  
STA 1+00.00 TO 4+01.00**



**NOTES**

- SEE SHEET 1 FOR BENCHMARK. SEE SHEET 2 FOR LEGEND.
- ALL STATIONING IS PIPE CENTERLINE UNLESS OTHERWISE NOTED.
- ALL RCP STORM SEWER SHALL BE CLASS III UNLESS OTHERWISE NOTED.
- PIPE LENGTHS ARE MEASURED FROM THE INSIDE WALL OF INLETS AND FROM THE CENTER OF MANHOLES. PIPE LENGTHS INCLUDE FES LENGTH AND/OR HEADWALL THICKNESS.
- ALL MANHOLE COVERS SHALL BE ORIENTED TO AVOID CURB, GUTTER, SIDEWALK AND CROSSPANS UNLESS OTHERWISE NOTED.
- ALL MANHOLES SHALL HAVE AN ECCENTRIC CONE UNLESS OTHERWISE NOTED.
- PROVIDE A MINIMUM OF 18" FROM THE RIM TO THE TOP OF SLAB FOR ALL FLAT TOP MANHOLES.
- ALL ON-GRADE INLETS ARE TO MATCH TBC ELEVATIONS AT EACH END, FOLLOWING STREET GRADES.
- INLET STATIONING IS TO CENTER OF INLET.
- PIPES SHALL HAVE JOINT RESTRAINTS ON LAST 3 JOINTS AT PIPE OUTFALL.
- ALL STORM SEWER IS PRIVATE UNLESS OTHERWISE NOTED.
- USE REINFORCED CONCRETE COLLAR FOR ALL STORM SEWER TO PREFABRICATED INLET OR BOX CONNECTION

20 10 0 20 40

HORIZONTAL  
ORIGINAL SCALE: 1" = 20'

VERTICAL  
ORIGINAL SCALE: 1" = 2'

**811**  
Know what's below.  
Call before you dig.

**ENGINEER'S STATEMENT**  
PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING

GLENN D. ELLIS, P.E.  
COLORADO P.E. 38861  
FOR AND ON BEHALF OF JR ENGINEERING

07/15/2021 DATE

BY	DATE	No.	REVISION

H-SCALE 1"=20'  
V-SCALE 1"=2'  
DATE 01/29/21  
DESIGNED BY JEA  
DRAWN BY JEA  
CHECKED BY

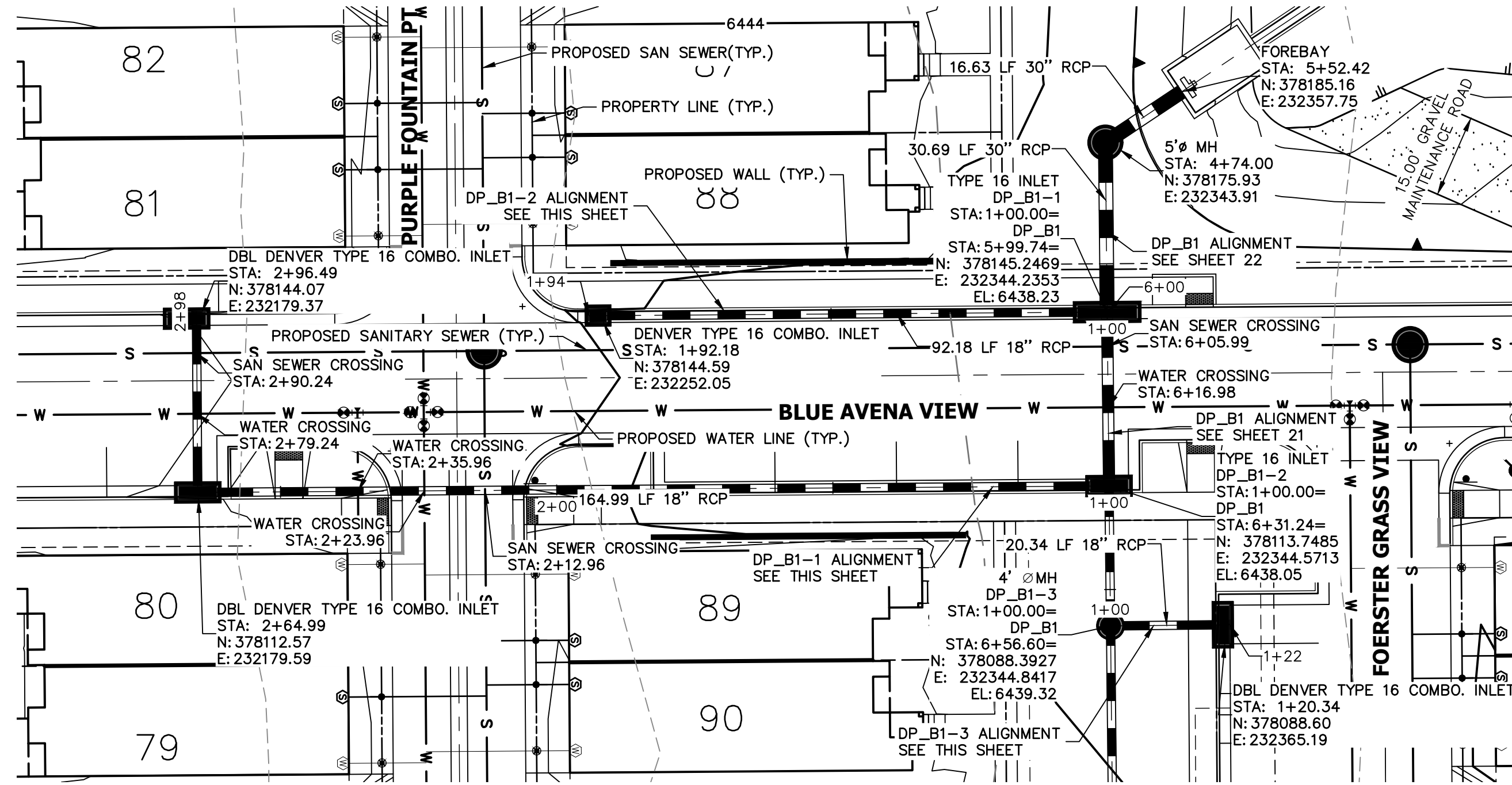
**URBAN COLLECTION AT  
PALMER VILLAGE  
STORM PLANS**

SHEET 22 OF 32  
JOB NO. 25149.01

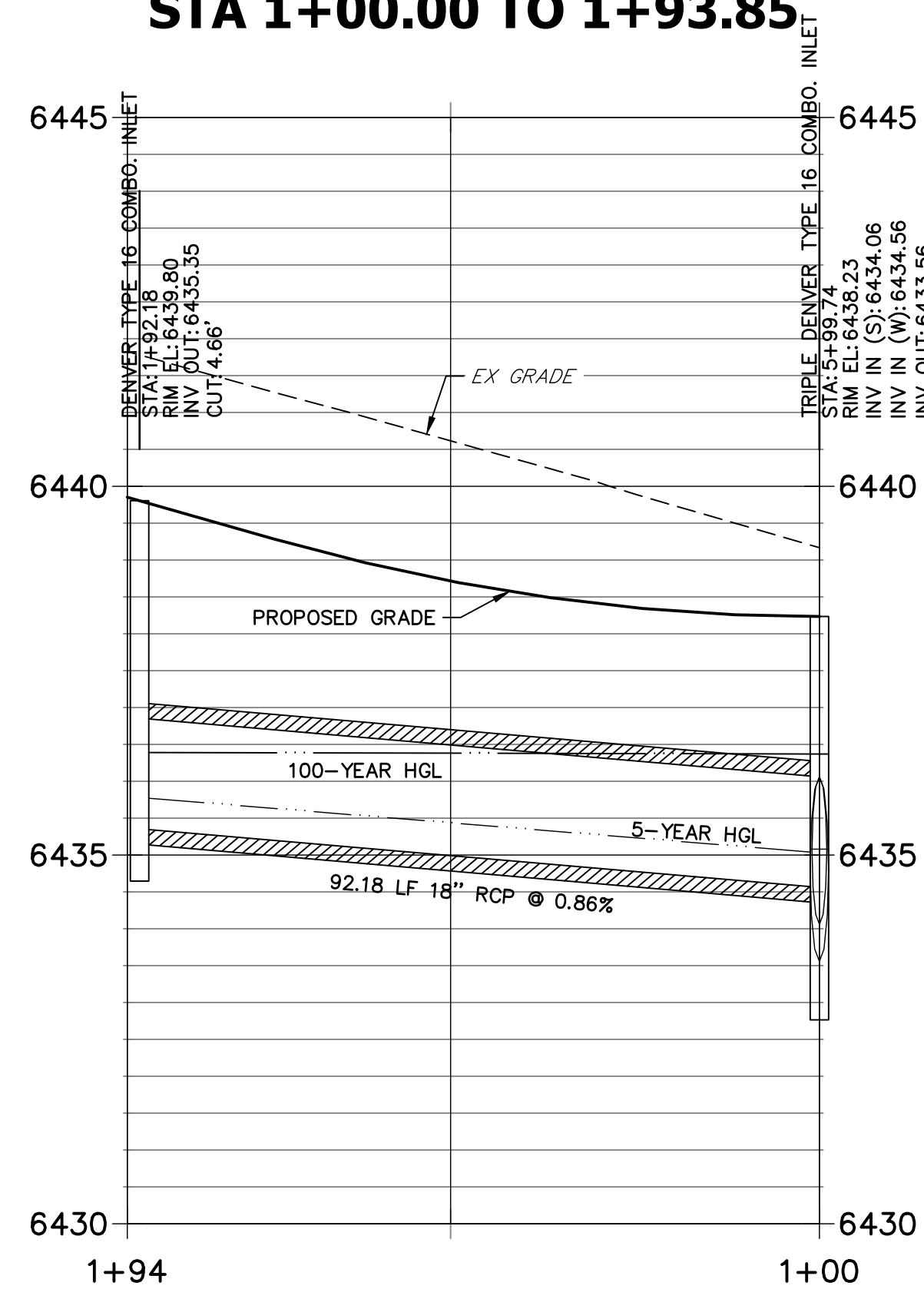
**J.R. ENGINEERING**  
A Westman Company

Central 303-740-9888 • Colorado Springs 719-583-2583  
Fort Collins 970-491-9888 • www.jrengineering.com

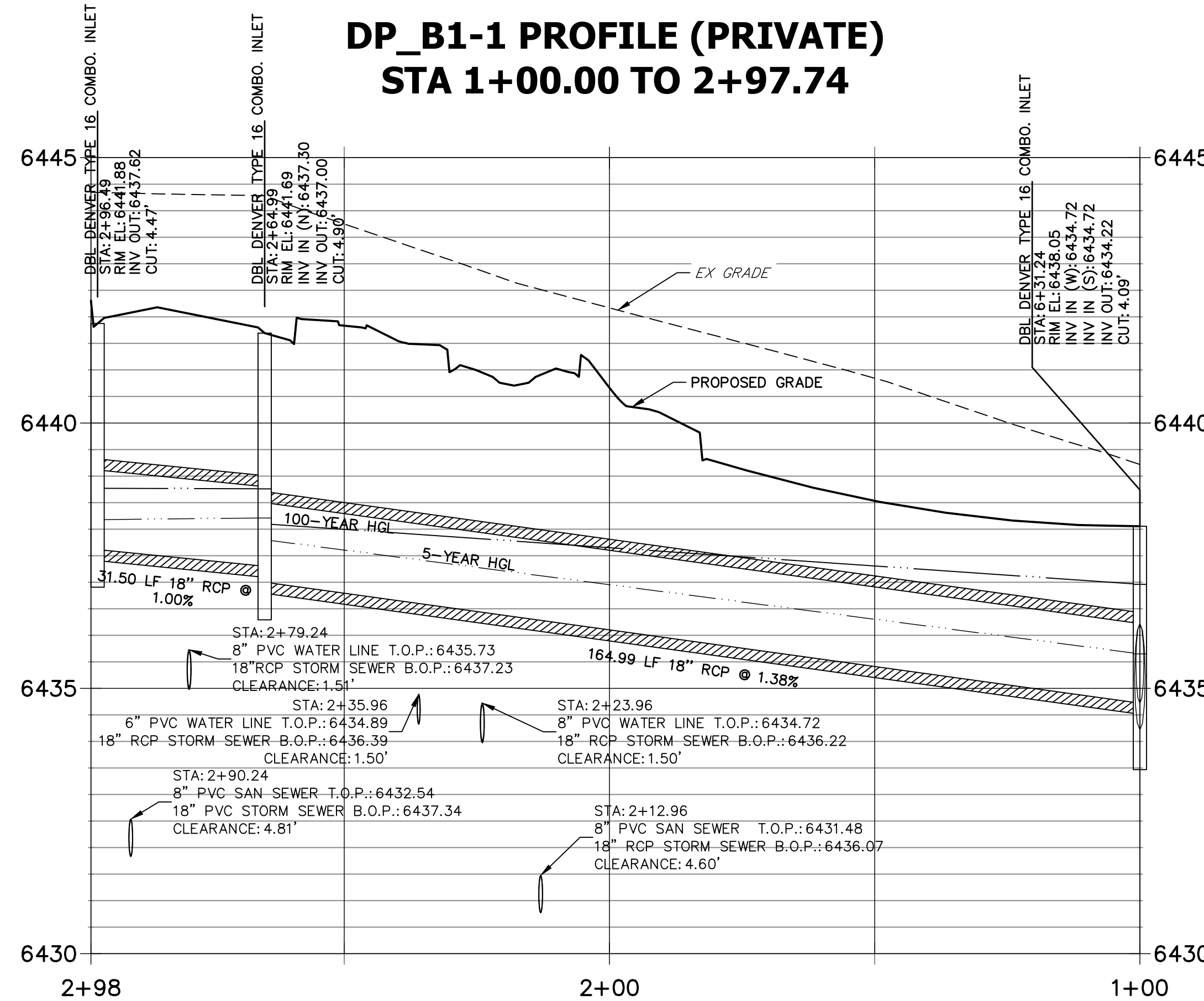
THE LOCATIONS OF EXISTING ABOVE GROUND AND UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL ABOVE GROUND AND UNDERGROUND UTILITIES.



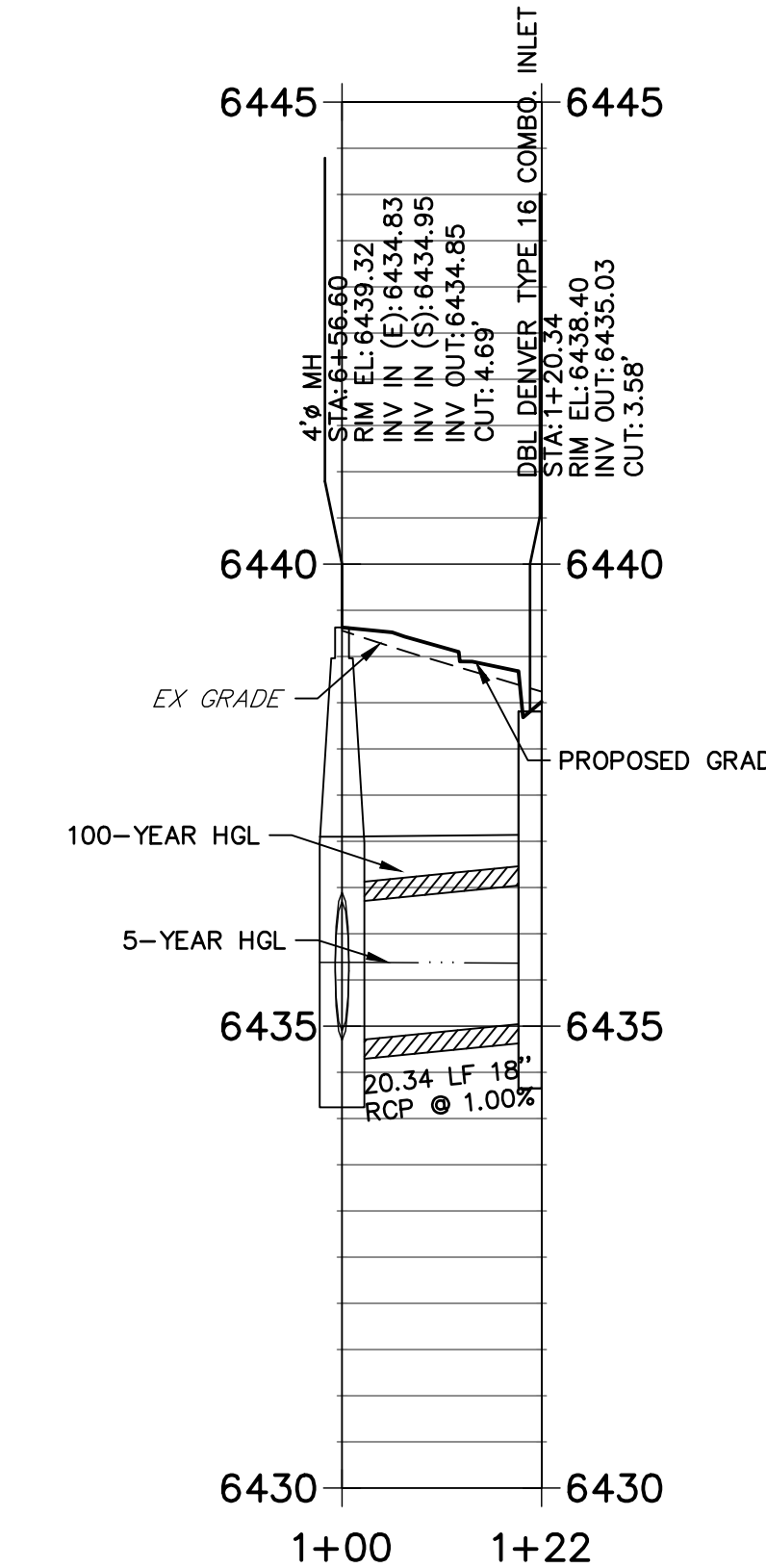
**DP\_B1-2 PROFILE (PRIVATE)**  
STA 1+00.00 TO 1+93.85



**DP\_B1-1 PROFILE (PRIVATE)**  
STA 1+00.00 TO 2+97.74

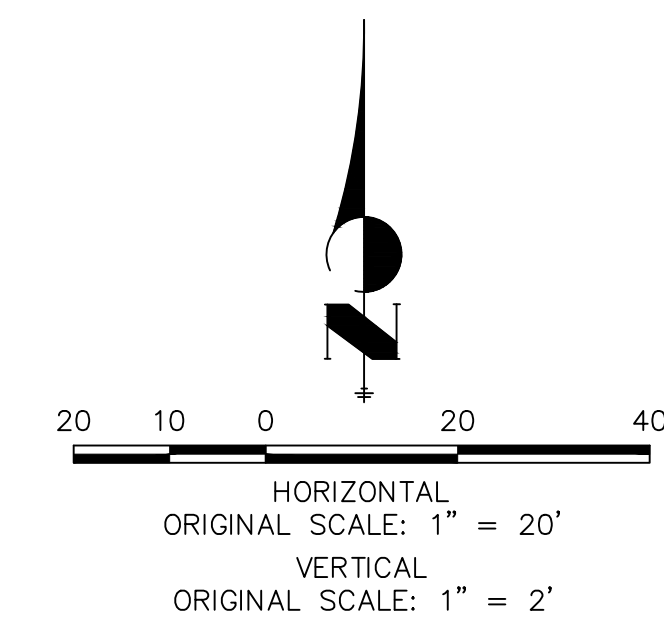
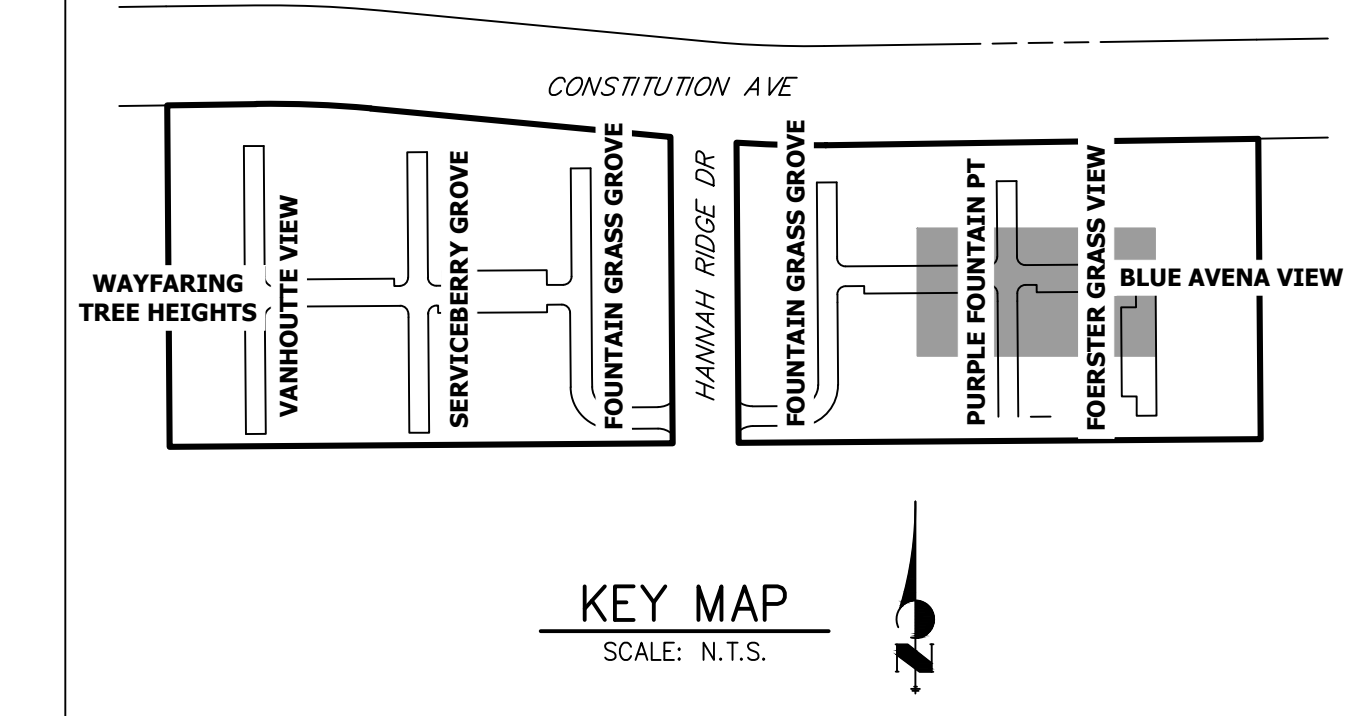


**DP\_B1-3 PROFILE (PRIVATE)**  
STA 1+00.00 TO 1+21.59



**NOTES**

- SEE SHEET 1 FOR BENCHMARK. SEE SHEET 2 FOR LEGEND.
- ALL STATIONING IS PIPE CENTERLINE UNLESS OTHERWISE NOTED.
- ALL RCP STORM SEWER SHALL BE CLASS III UNLESS OTHERWISE NOTED.
- PIPE LENGTHS ARE MEASURED FROM THE INSIDE WALL OF INLETS AND FROM THE CENTER OF MANHOLES. PIPE LENGTHS INCLUDE FES LENGTH AND/OR HEADWALL THICKNESS.
- ALL MANHOLE COVERS SHALL BE ORIENTED TO AVOID CURB, GUTTER, SIDEWALK AND CROSSPANS UNLESS OTHERWISE NOTED.
- ALL MANHOLES SHALL HAVE AN ECCENTRIC CONE UNLESS OTHERWISE NOTED.
- PROVIDE A MINIMUM OF 18" FROM THE RIM TO THE TOP OF SLAB FOR ALL FLAT TOP MANHOLES.
- ALL ON-GRADE INLETS ARE TO MATCH TBC ELEVATIONS AT EACH END, FOLLOWING STREET GRADES.
- INLET STATIONING IS TO CENTER OF INLET.
- PIPES SHALL HAVE JOINT RESTRAINTS ON LAST 3 JOINTS AT PIPE OUTFALL.
- ALL STORM SEWER IS PRIVATE UNLESS OTHERWISE NOTED.
- USE REINFORCED CONCRETE COLLAR FOR ALL STORM SEWER TO PREFABRICATED INLET OR BOX CONNECTION



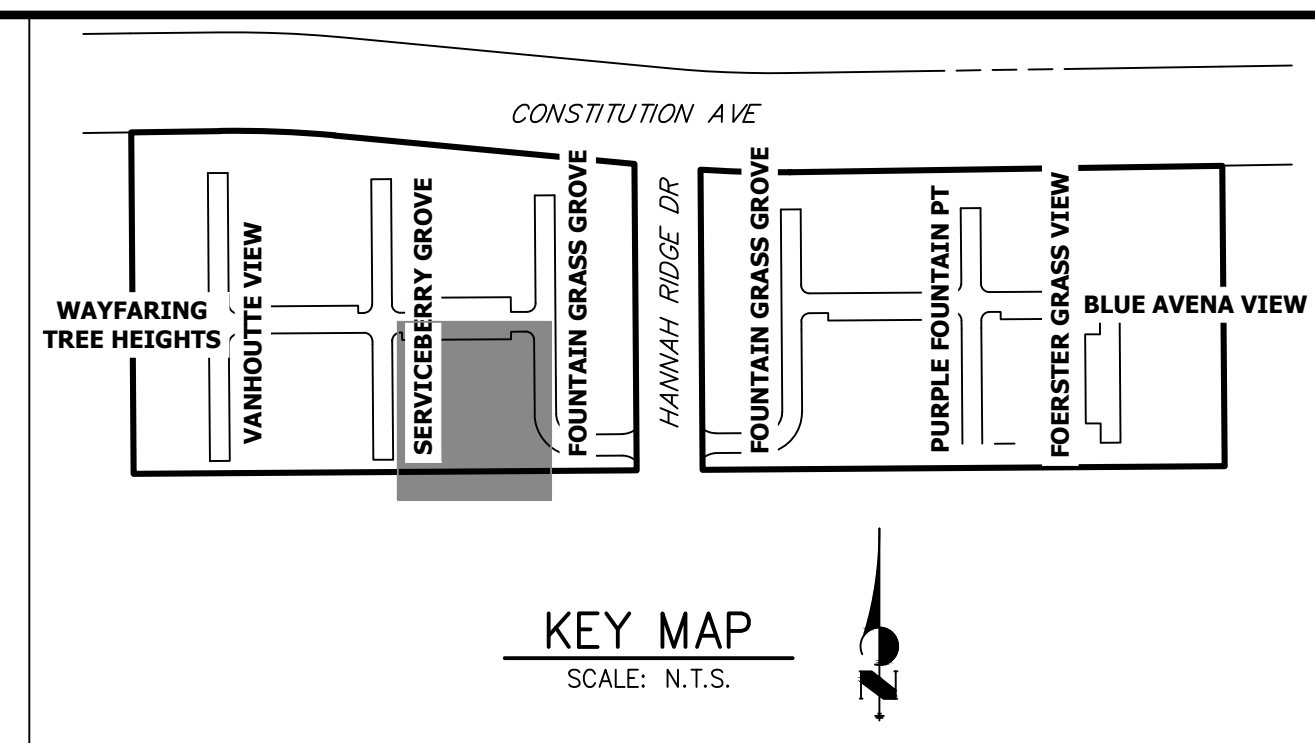
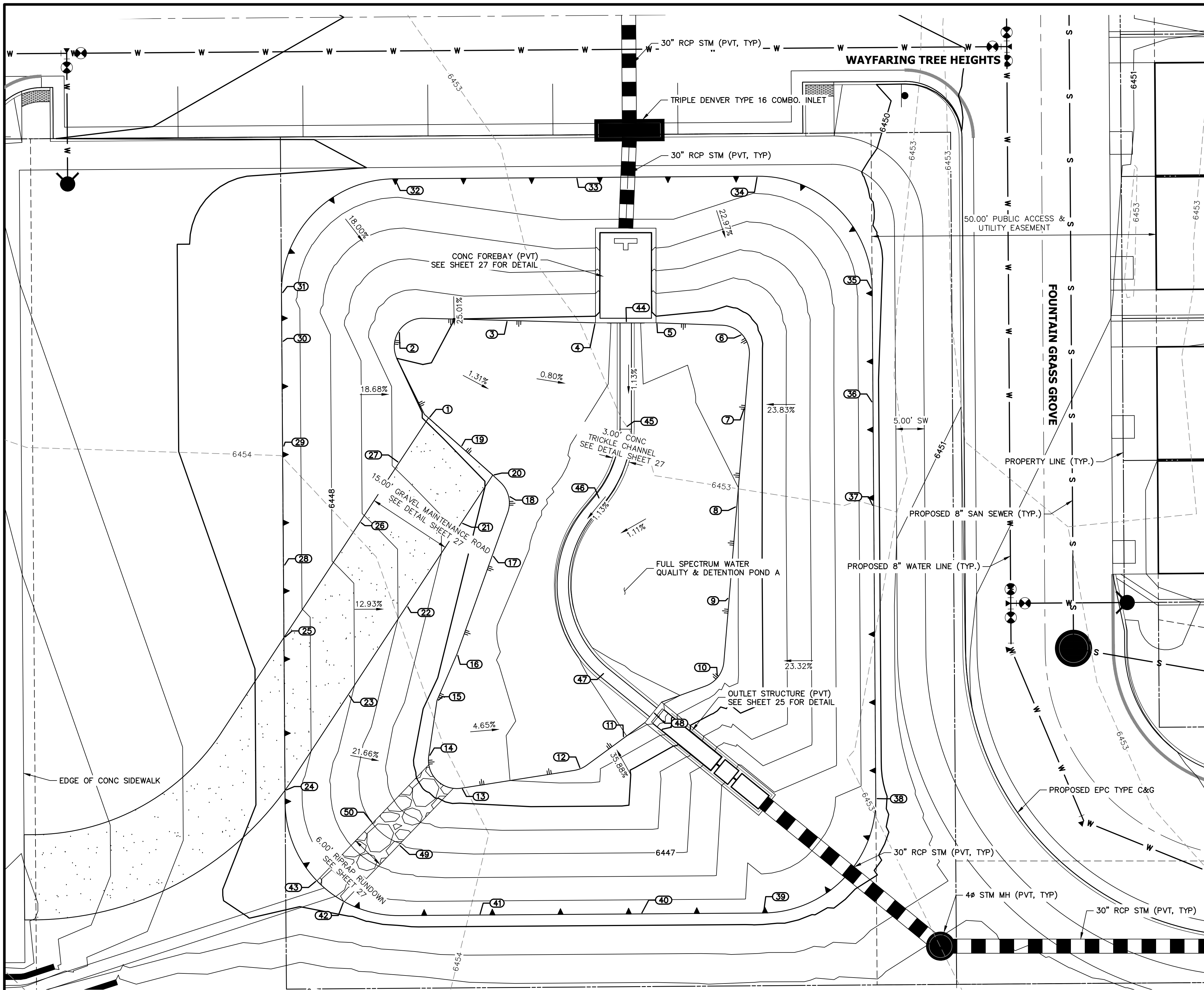
**ENGINEER'S STATEMENT**

PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING

GLENN D. ELLIS, P.E.  
COLORADO P.E. 38861  
FOR AND ON BEHALF OF JR ENGINEERING



PREPARED FOR <b>RICHMOND AMERICAN HOMES</b> 4350 S. MONACO STREET DENVER, CO 80237 (720) 977-3827 JASON.FOCK@MDCM.COM	
<b>J.R. ENGINEERING</b> A Westman Company Centennial 300-740-9888 • Colorado Springs 719-588-2583 Fort Collins 970-491-9888 • www.jrengineering.com	
UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE AGENCIES, JR ENGINEERING APPROVES THEIR USES DESIGNATED BY WRITTEN AUTHORIZATION.	BY DATE No. REVISION H-SCALE 1"=20' V-SCALE 1"=2' DATE 01/29/21 DESIGNED BY JEA DRAWN BY JEA CHECKED BY
URBAN COLLECTION AT PALMER VILLAGE STORM PLANS	SHEET 23 OF 32 JOB NO. 25149.01



POINT TABULATION			
ID NO.	DESCRIPTION	NORTHING/EASTING	ELEVATION
1	TOE/ACCESS ROAD	N: 378038.18 E: 231602.86	6444.92
2	TOE	N: 378053.42 E: 231597.62	6445.04
3	TOE	N: 378055.32 E: 231616.82	6444.89
4	TOE	N: 378054.91 E: 231632.25	6444.71
5	TOE	N: 378054.91 E: 231642.91	6444.71
6	TOE	N: 378052.82 E: 231658.10	6444.39
7	TOE	N: 378039.97 E: 231658.59	6444.27
8	TOE	N: 378022.56 E: 231657.14	6443.94
9	TOE	N: 378006.46 E: 231655.80	6443.62
10	TOE	N: 377992.62 E: 231653.85	6443.31
11	TOE	N: 377981.87 E: 231637.32	6443.02
12	TOE	N: 377976.45 E: 231629.68	6443.42
13	TOE	N: 377972.99 E: 231608.62	6444.38
14	TOE	N: 377978.66 E: 231602.90	6444.46
15	TOE	N: 377988.42 E: 231604.35	6444.54
16	TOE	N: 377996.53 E: 231607.84	6444.60
17	TOE	N: 377953.90 E: 231614.07	6444.73
18	TOE	N: 378024.36 E: 231616.96	6444.75
19	TOE	N: 378033.14 E: 231608.52	6444.87
20	TOE/ACCESS ROAD	N: 378028.11 E: 231614.18	6444.82
21	ACCESS ROAD	N: 378019.66 E: 231608.62	6445.55
22	ACCESS ROAD	N: 378005.03 E: 231598.98	6446.80
23	ACCESS ROAD	N: 377989.41 E: 231588.70	6448.15
24	TOP/ACCESS ROAD	N: 377972.63 E: 231577.59	6449.60
25	TOP/ACCESS ROAD	N: 377999.51 E: 231577.40	6449.60

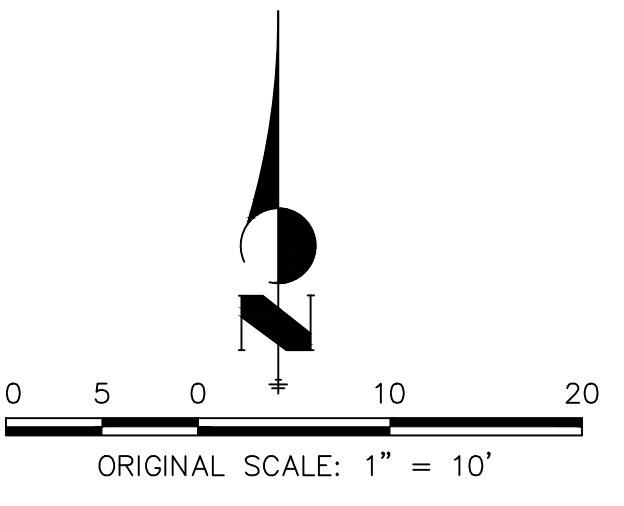
POINT TABULATION			
ID NO.	DESCRIPTION	NORTHING/EASTING	ELEVATION
26	ACCESS ROAD	N: 378019.79 E: 231590.76	6447.15
27	ACCESS ROAD	N: 378030.33 E: 231597.70	6445.87
28	TOP	N: 378012.15 E: 231577.31	6449.60
29	TOP	N: 378033.12 E: 231577.16	6449.60
30	TOP	N: 378051.60 E: 231577.03	6449.60
31	TOP	N: 378060.12 E: 231576.97	6449.60
32	TOP	N: 378080.26 E: 231596.83	6449.60
33	TOP	N: 378080.49 E: 231628.83	6449.60
34	TOP	N: 378080.72 E: 231660.83	6449.60
35	TOP	N: 378060.86 E: 231680.97	6449.60
36	TOP	N: 378040.87 E: 231681.11	6449.60
37	TOP	N: 378022.63 E: 231681.24	6449.60
38	TOP	N: 377971.16 E: 231681.61	6449.60
39	TOP	N: 377951.02 E: 231681.75	6449.60
40	TOP	N: 377950.87 E: 231640.24	6449.60
41	TOP	N: 377950.66 E: 231611.77	6449.60
42	TOP/ RIPRAP	N: 377953.01 E: 231588.02	6449.60
43	TOP/RIPRAP	N: 377956.68 E: 231583.22	6449.60
44	TRICKLE CHANNEL CL/FOREBAY	N: 378054.91 E: 231637.58	6444.71
45	TRICKLE CHANNEL CL	N: 378036.60 E: 231637.58	6443.00
46	TRICKLE CHANNEL CL	N: 378023.92 E: 231633.05	6442.86
47	TRICKLE CHANNEL	N: 377993.27 E: 231633.89	6442.44
48	TRICKLE CHANNEL/OS	N: 377986.33 E: 231642.41	6442.33
49	RIPRAP	N: 377962.99 E: 231597.62	6447.07
50	RIPRAP	N: 377966.90 E: 231593.06	6446.98

**NOTES**

- ALL PROPOSED POND IMPROVEMENTS ARE PRIVATE UNLESS OTHERWISE NOTED.
- SEE SHEETS 18-23 BY JR ENGINEERING FOR PROPOSED STORM DESIGN.
- SEE SHEETS 6-14 BY JR ENGINEERING FOR PROPOSED STREET DESIGN IN PUBLIC RIGHT-OF-WAY.
- SEE FINAL GRADING PLANS BY JR ENGINEERING FOR PROPOSED GRADING PLAN.
- SEE WATER, WASTEWATER, AND UTILITY SERVICE PLANS BY JR ENGINEERING FOR PROPOSED DESIGN OF CHEROKEE METRO DISTRICT-OWNED WATER AND SANITARY UTILITIES.
- THE SOIL TYPES ONSITE CONSIST OF BLAKELAND LOAMY SAND (HYDROLOGIC SOIL GROUP A).
- NO EXISTING GROUNDWATER SPRINGS, STREAMS, WETLANDS, OR OTHER SURFACE WATER EXIST ONSITE.

THE LOCATIONS OF EXISTING ABOVE GROUND AND UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL ABOVE GROUND AND UNDERGROUND UTILITIES.

**ABBREVIATIONS**  
 CL = CENTERLINE  
 EX = EXISTING  
 OS = OUTLET STRUCTURE  
 TBC = TOP BACK OF CURB



**ENGINEER'S STATEMENT**

PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING  
 GLENN D. ELLIS, P.E.  
 COLORADO P.E. 38861  
 FOR AND ON BEHALF OF JR ENGINEERING, L.L.C.  
 07/15/2021 DATE

PREPARED FOR  
**RICHMOND AMERICAN HOMES**  
 4350 S. MONACO STREET  
 DENVER, CO 80237  
 (720) 977-3827  
 JASON.FOCK@MDCM.COM

BY DATE

No.	REVISION	1"=10'	H-SCALE	N/A	DATE	01/29/21	DESIGNED BY	RPD	CHECKED BY	JEA
-----	----------	--------	---------	-----	------	----------	-------------	-----	------------	-----

URBAN COLLECTION AT  
 PALMER VILLAGE  
 PERMANENT BMP PLANS  
 POND A  
 CONSTRUCTION DOCUMENTS

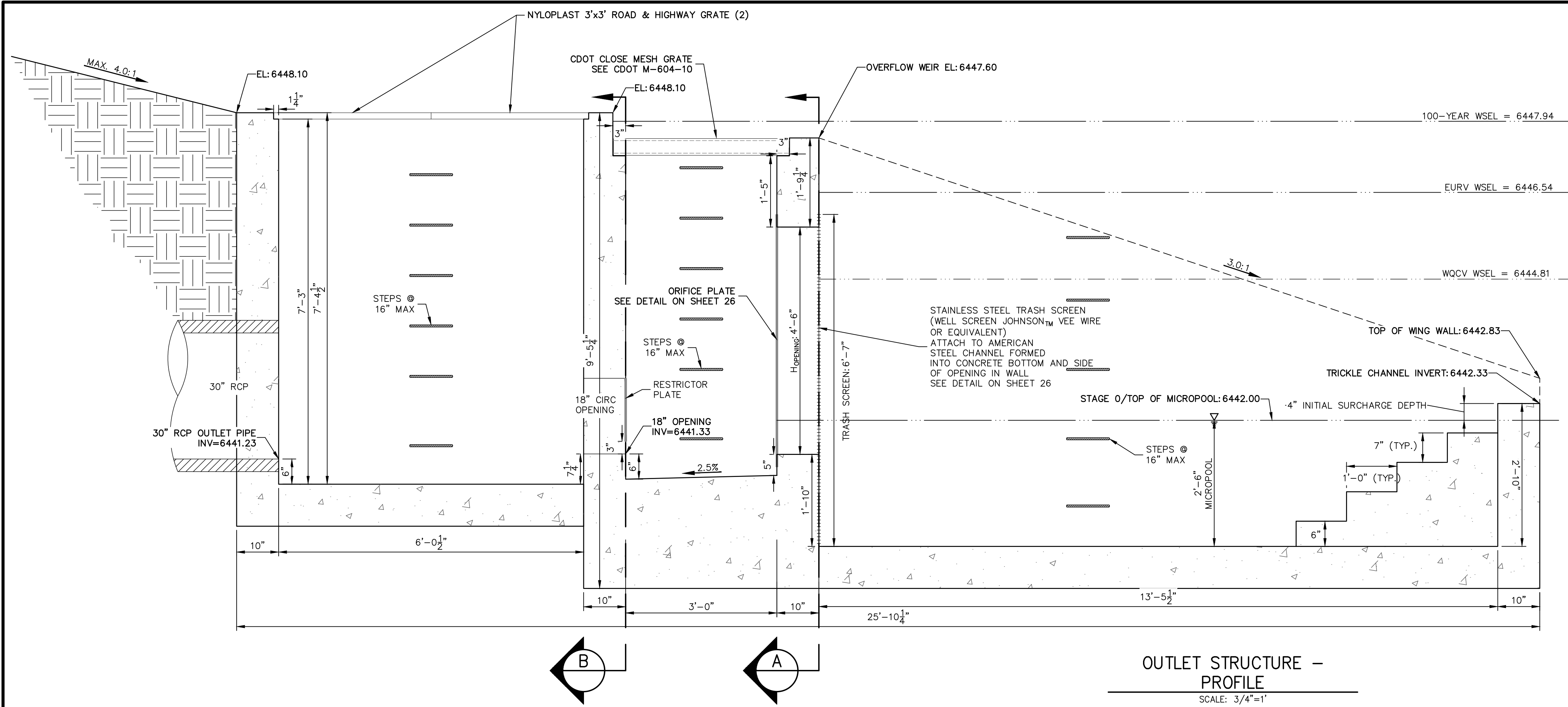
SHEET 24 OF 32  
 JOB NO. 25149.01

811 Know what's below. Call before you dig.

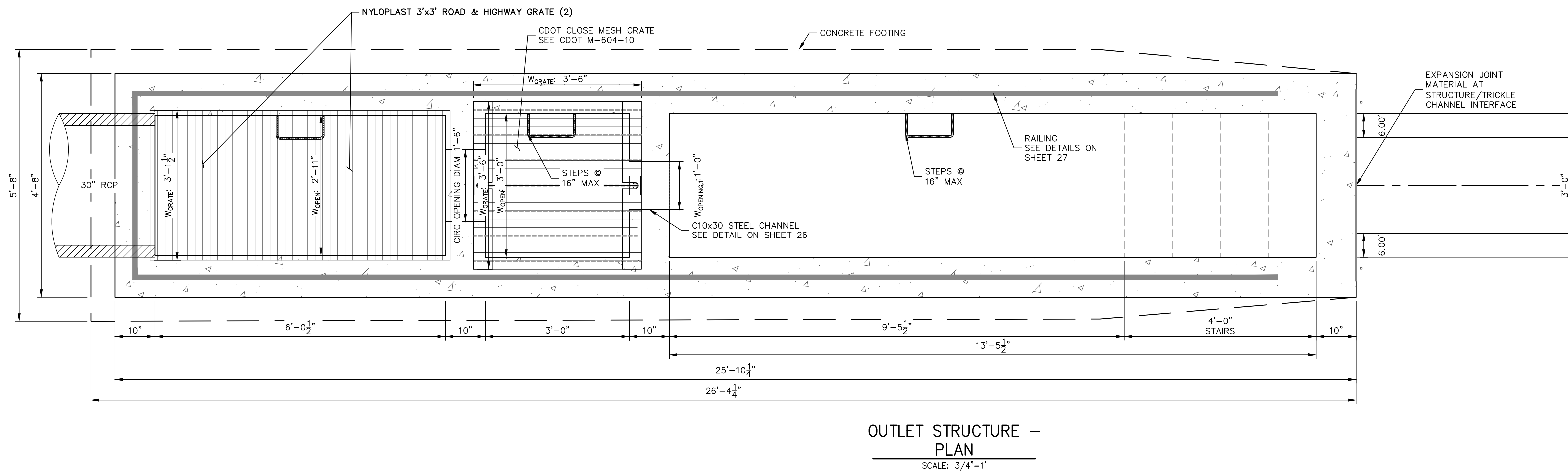
ENGINEER'S STATEMENT

GLENN D. ELLIS, P.E.  
 COLORADO P.E. 38861  
 FOR AND ON BEHALF OF JR ENGINEERING, L.L.C.  
 07/15/2021 DATE





OUTLET STRUCTURE -  
PROFILE  
SCALE: 3/4"=1'



OUTLET STRUCTURE -  
PLAN  
SCALE: 3/4"=1'

**OUTLET STRUCTURE STRUCTURAL NOTES:**

1. ALL CONCRETE SHALL BE CLASS D IN ACCORDANCE WITH CDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
2. ALL CONSTRUCTION JOINTS SHALL BE THOROUGHLY CLEANED BEFORE FRESH CONCRETE IS POURED.
3. ALL CONSTRUCTION JOINTS NOT SHOWN ON THE PLANS SHALL BE APPROVED BY THE ENGINEER.
4. THE CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE DURING CONSTRUCTION.
5. STRUCTURE EXCAVATION AND BACKFILL SHALL BE IN ACCORDANCE WITH CDOT STD. M-206-1.
6. DO NOT BACKFILL UNTIL CONCRETE HAS REACHED DESIGN STRENGTH, F<sub>c</sub>.
7. GRADE 60 REINFORCING STEEL AND EPOXY COATED ARE REQUIRED.
8. REINFORCING BARS SHALL BE DEFORMED AND SHALL HAVE A MINIMUM OF 2" CLEARANCE.
9. ALL EXPOSED CONCRETE CORNERS SHALL BE CHAMFERED 3/4".
10. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF EXISTING STRUCTURES AND EXISTING UTILITIES. PRIOR TO CONSTRUCTION OF THE CAST-IN-PLACE STRUCTURES. FIELD MODIFICATIONS OF PRECAST UNITS TO ACCOMMODATE CAST-IN-PLACE STRUCTURES WILL ONLY BE ACCEPTABLE WITH THE ENGINEER'S APPROVAL.
11. CONTRACTOR SHALL SUBMIT STEEL REINFORCING SHOP DRAWINGS FOR ALL CAST-IN-PLACE STRUCTURES FOR ENGINEER'S APPROVAL PRIOR TO CONSTRUCTION.

**OUTLET STRUCTURE PLATE AND GRADING NOTES:**

- ORIFICE PLATE AND RESTRICTOR PLATE:**
1. PROVIDE GASKET MATERIAL BETWEEN THE ORIFICE PLATE AND CONCRETE AND BETWEEN THE RESTRICTOR PLATE AND CONCRETE.
  2. BOLT PLATE TO CONCRETE 12" MAX. ON CENTER.
  3. ALL HARDWARE, BOLTS, AND FASTENERS SHALL BE STAINLESS STEEL.
  4. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL PLATES AND GRATING FOR ENGINEER'S APPROVAL PRIOR TO CONSTRUCTION.
- OVERFLOW GRATE:**
5. ALL OVERFLOW GRATES SHALL BE MOUNTED USING STAINLESS STEEL HARDWARE AND PROVIDED WITH HINGED & LOCKABLE OR BOLTABLE ACCESS PANELS AS SHOWN ON THE PLANS.
  6. OVERFLOW GRATES SHALL BE HOT DIP GALVANIZED STEEL AND MAY BE HOT POWDER COATED AFTER GALVANIZING.

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USE AS DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR  
**RICHMOND AMERICAN HOMES**  
4350 S. MONACO STREET  
DENVER, CO 80237  
(720) 977-3827  
JASON.FOCK@AMDCH.COM

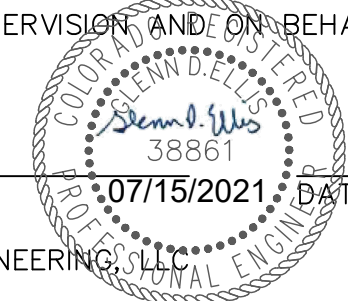
**J.R. ENGINEERING**  
A Westman Company  
Central 303-740-9888 • Colorado Springs 719-583-2593  
Fort Collins 970-491-9888 • www.jrengineering.com

BY	DATE	REVISION

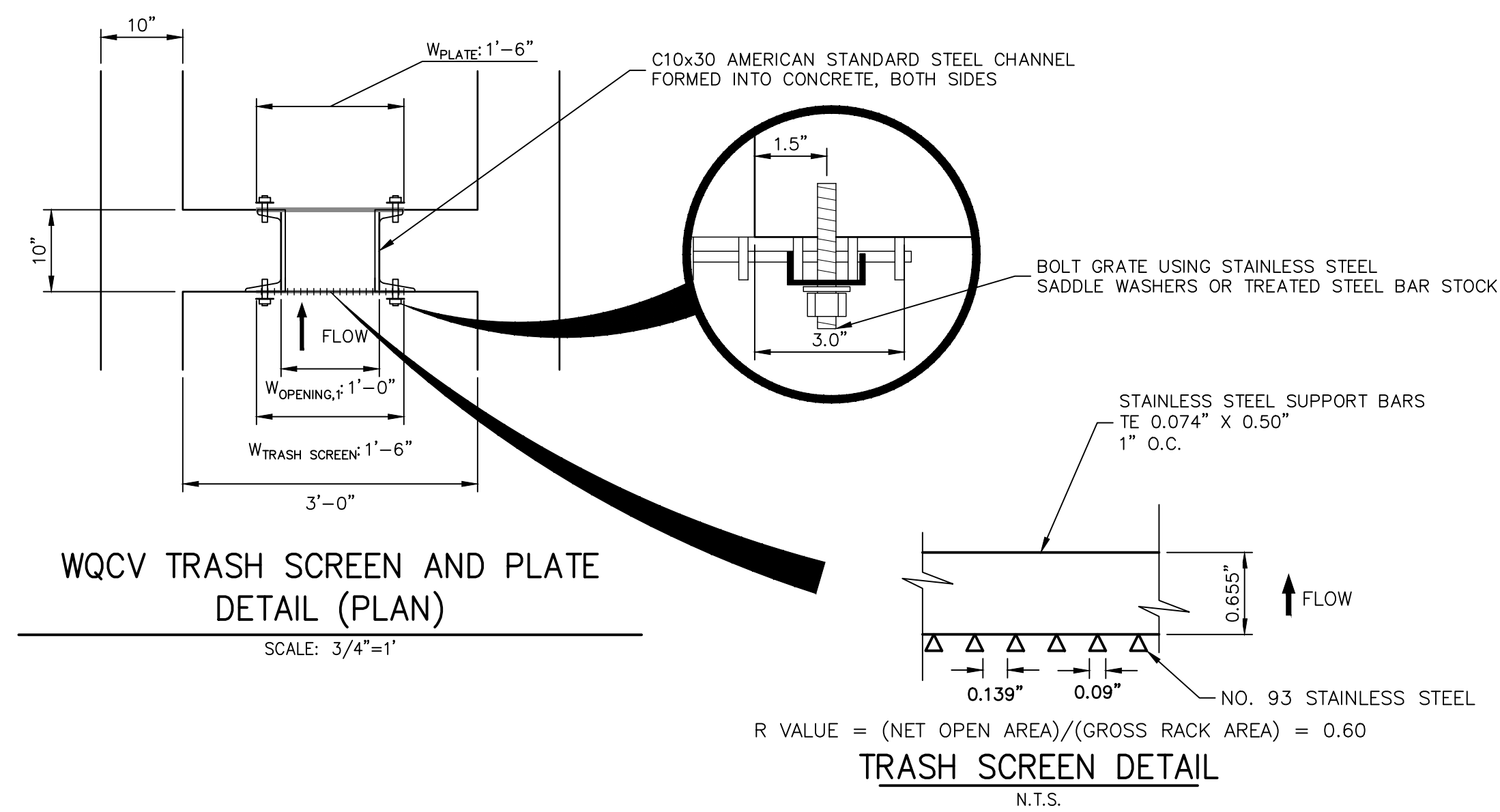
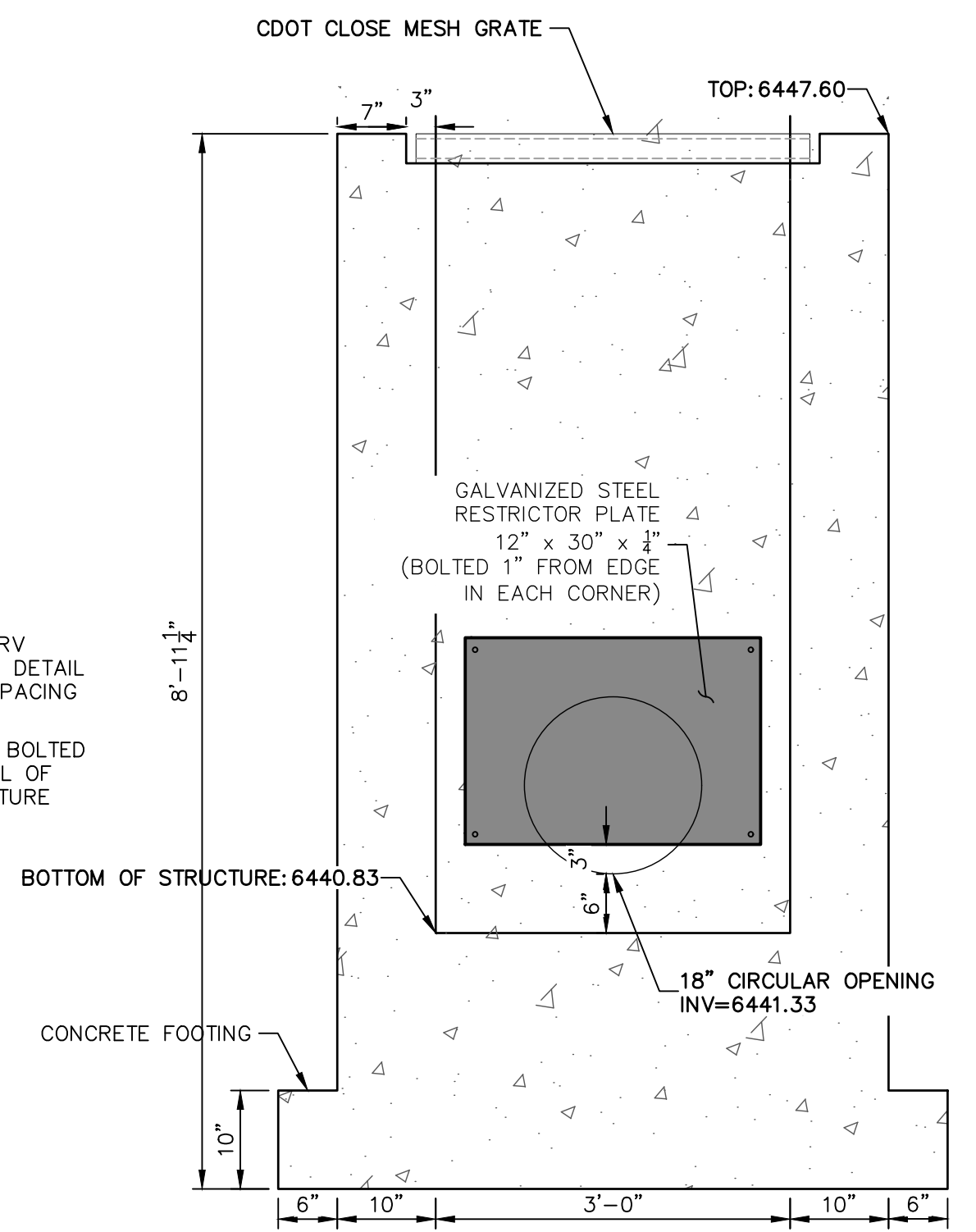
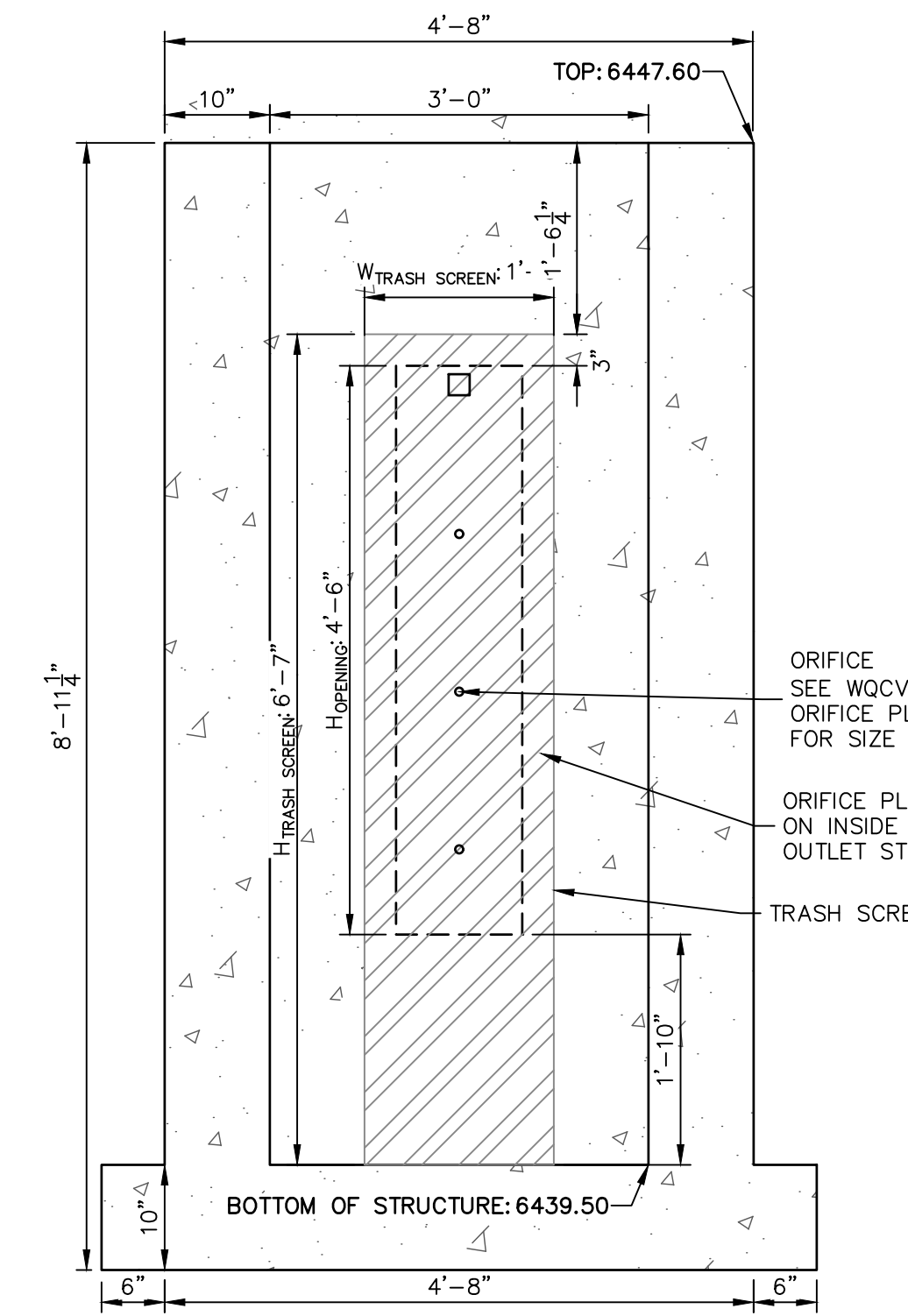
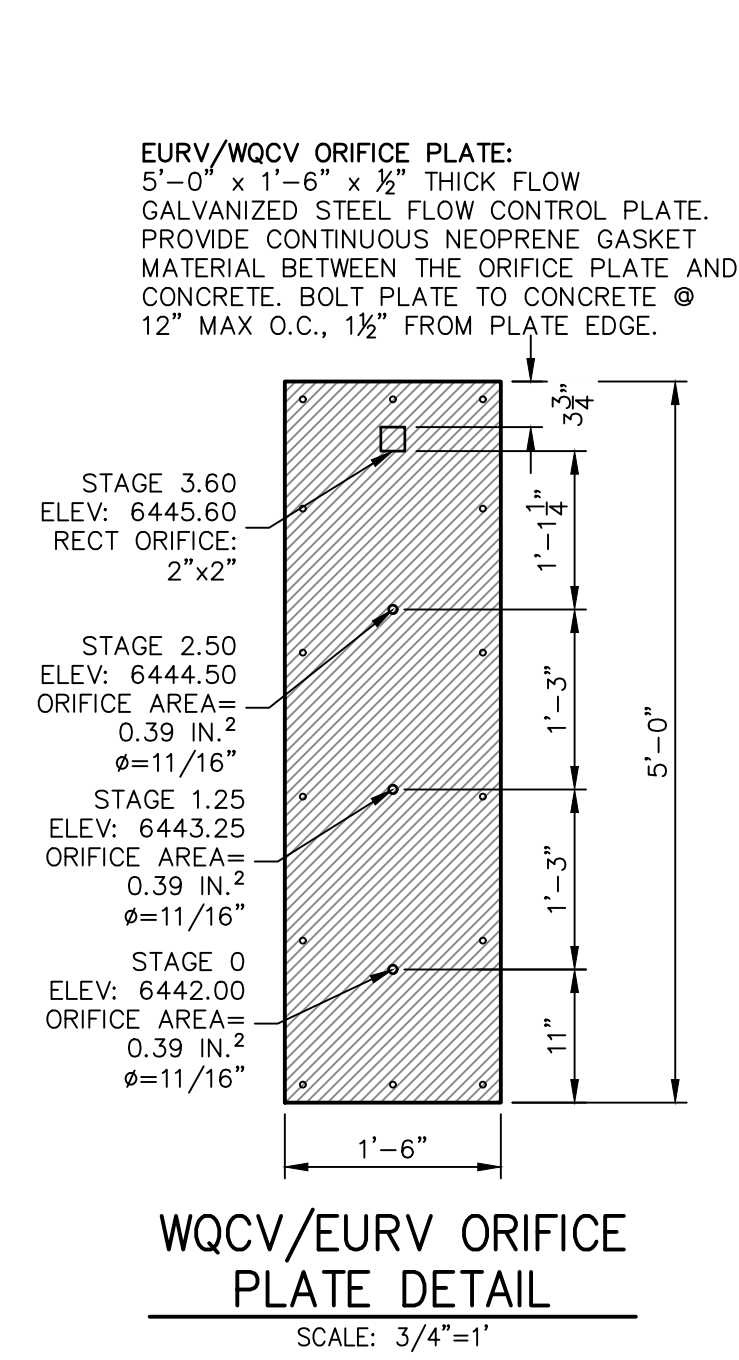
URBAN COLLECTION AT  
PALMER VILLAGE  
PERMANENT BMP PLANS  
POND A OS DETAIL 1  
CONSTRUCTION DOCUMENTS

**ENGINEER'S STATEMENT**

PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING



GLENN D. ELLIS, P.E.  
COLORADO P.E. 38861  
FOR AND ON BEHALF OF JR ENGINEERING



### OUTLET STRUCTURE STRUCTURAL NOTES:

1. ALL CONCRETE SHALL BE CLASS D IN ACCORDANCE WITH CDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
2. ALL CONSTRUCTION JOINTS SHALL BE THOROUGHLY CLEANED BEFORE FRESH CONCRETE IS POURED.
3. ALL CONSTRUCTION JOINTS NOT SHOWN ON THE PLANS SHALL BE APPROVED BY THE ENGINEER.
4. THE CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE DURING CONSTRUCTION.
5. STRUCTURE EXCAVATION AND BACKFILL SHALL BE IN ACCORDANCE WITH CDOT STD. M-206-1.
6. DO NOT BACKFILL UNTIL CONCRETE HAS REACHED DESIGN STRENGTH, F'<sub>c</sub>.
7. GRADE 60 REINFORCING STEEL AND EPOXY COATED ARE REQUIRED.
8. REINFORCING BARS SHALL BE DEFORMED AND SHALL HAVE A MINIMUM OF 2" CLEARANCE.
9. ALL EXPOSED CONCRETE CORNERS SHALL BE CHAMFERED 3/4".
10. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF EXISTING STRUCTURES AND EXISTING UTILITIES, PRIOR TO CONSTRUCTION OF THE CAST-IN-PLACE STRUCTURES. FIELD MODIFICATIONS OF PRECAST UNITS TO ACCOMMODATE CAST-IN-PLACE STRUCTURES WILL ONLY BE ACCEPTABLE WITH THE ENGINEER'S APPROVAL.
11. CONTRACTOR SHALL SUBMIT STEEL REINFORCING SHOP DRAWINGS FOR ALL CAST-IN-PLACE STRUCTURES FOR ENGINEER'S APPROVAL PRIOR TO CONSTRUCTION.

### OUTLET STRUCTURE PLATE AND GRADING NOTES:

- ORIFICE PLATE AND RESTRICTOR PLATE:**
1. PROVIDE GASKET MATERIAL BETWEEN THE ORIFICE PLATE AND CONCRETE AND BETWEEN THE RESTRICTOR PLATE AND CONCRETE.
  2. BOLT PLATE TO CONCRETE 12" MAX. ON CENTER.
  3. ALL HARDWARE, BOLTS, AND FASTENERS SHALL BE STAINLESS STEEL.
  4. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL PLATES AND GRATING FOR ENGINEER'S APPROVAL PRIOR TO CONSTRUCTION.
- OVERFLOW GRATE:**
5. ALL OVERFLOW GRATES SHALL BE MOUNTED USING STAINLESS STEEL HARDWARE AND PROVIDED WITH HINGED & LOCKABLE OR BOLTABLE ACCESS PANELS AS SHOWN ON THE PLANS.
  6. OVERFLOW GRATES SHALL BE HOT DIP GALVANIZED STEEL AND MAY BE HOT POWDER COATED AFTER GALVANIZING.

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USE, THESE DRAWINGS ARE DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR  
**RICHMOND AMERICAN HOMES**  
4350 S. MONACO STREET  
DENVER, CO 80237  
(720) 977-3827  
JASON.FOCK@MDC.H.COM

**J.R. ENGINEERING**  
A Westman Company  
Centennial 303-740-8888 • Colorado Springs 719-588-2583  
Fort Collins 970-491-9888 • www.jrengineering.com

BY	DATE	REVISION	No.	AS SHOWN	AS SHOWN	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
						01/29/21	RPD	RPD	

URBAN COLLECTION AT PALMER VILLAGE  
PERMANENT BMP PLANS  
POND A OS DETAIL 2  
CONSTRUCTION DOCUMENTS

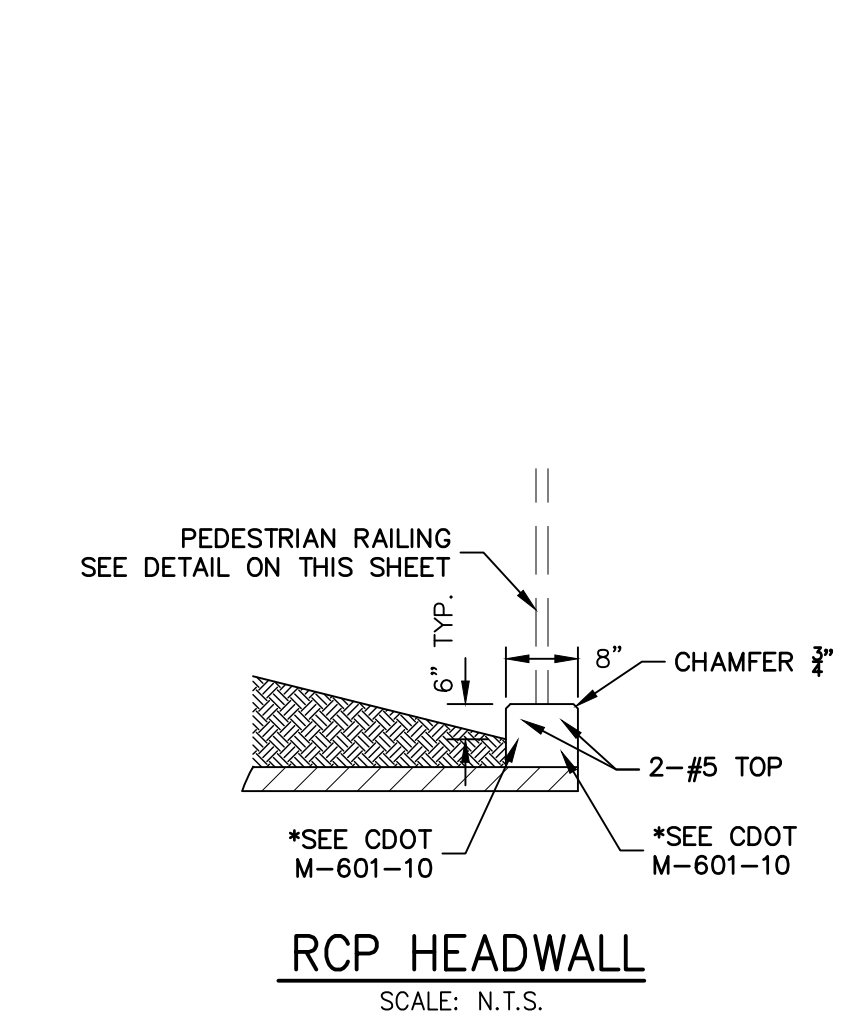
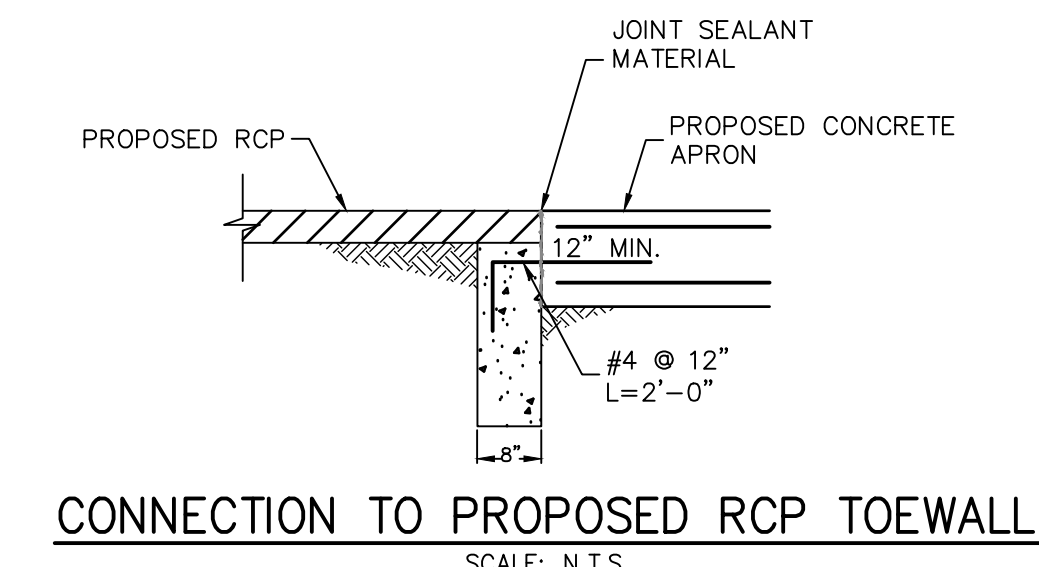
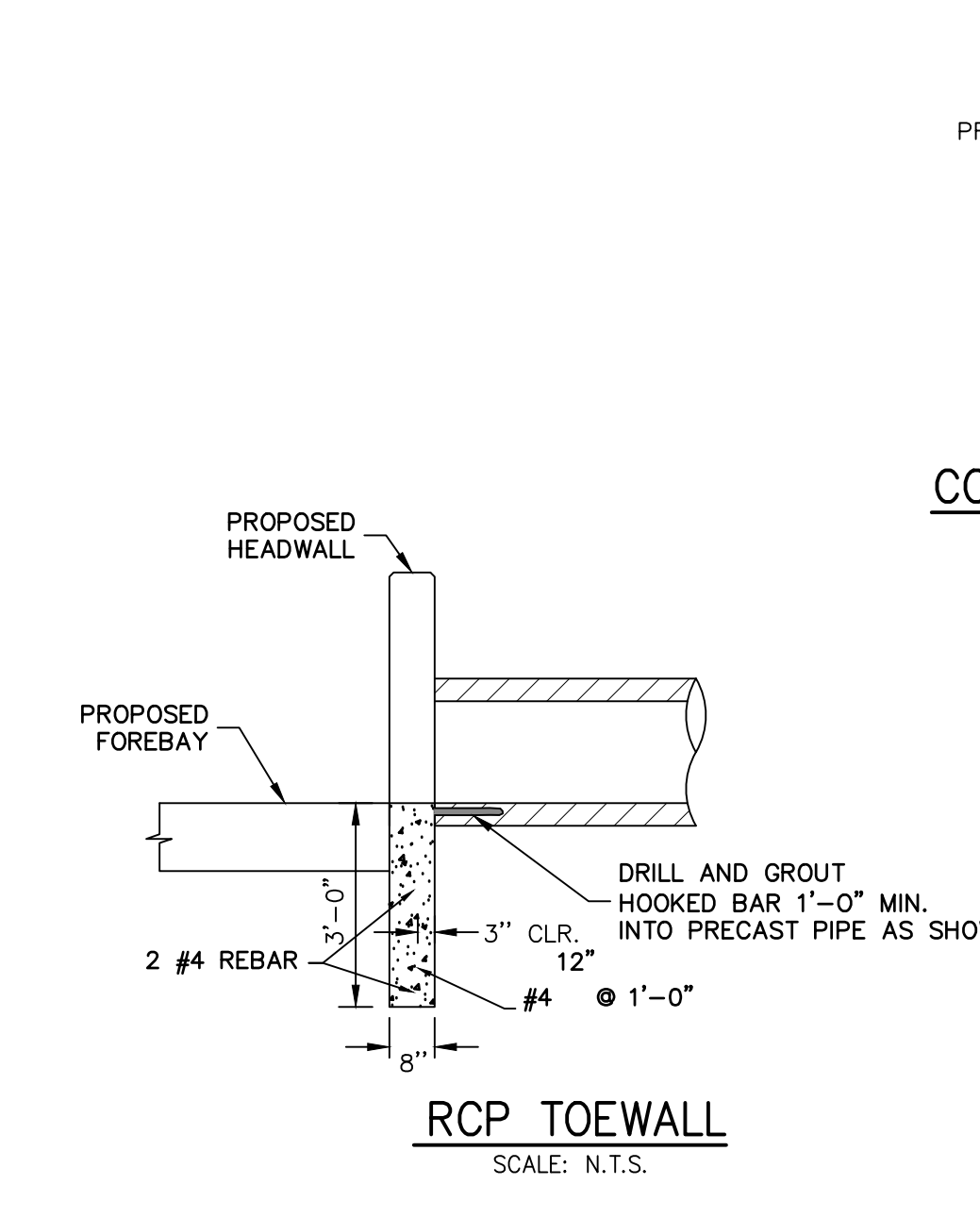
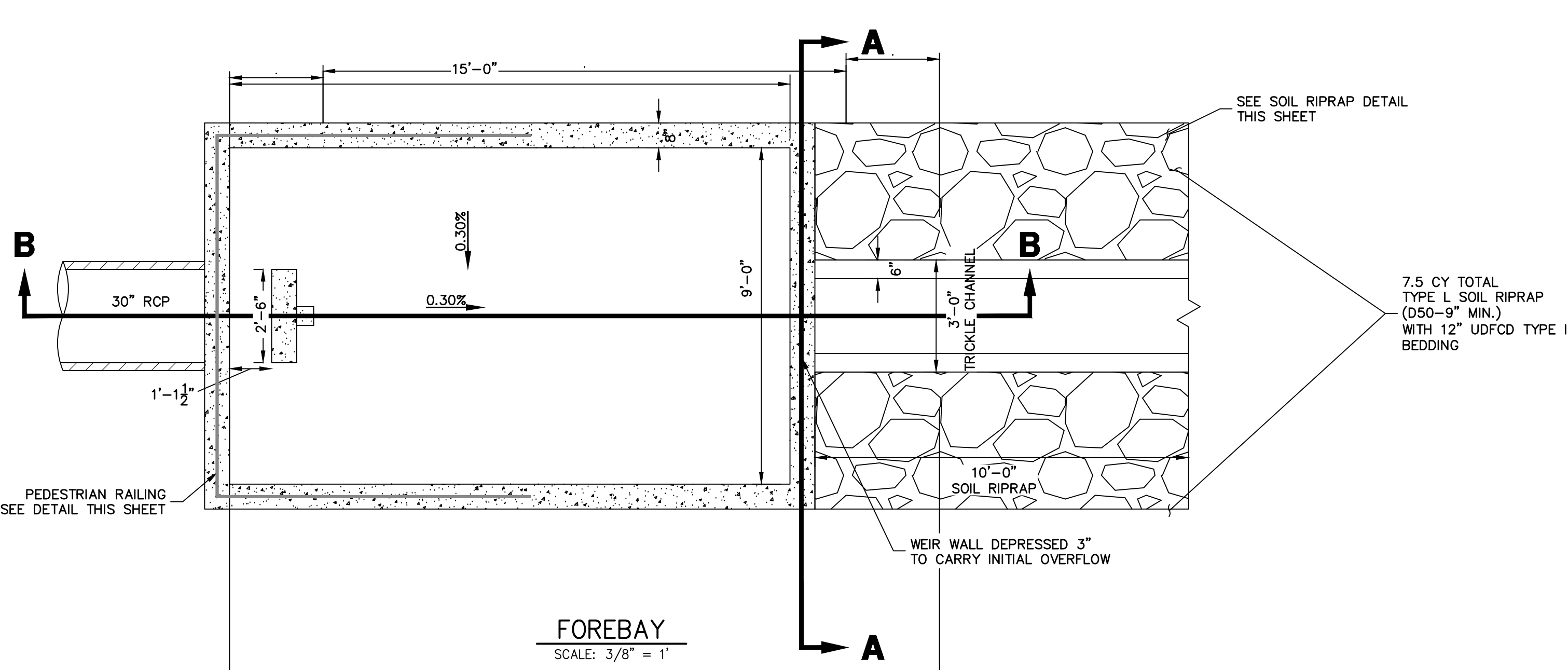
SHEET 26 OF 32  
JOB NO. 25149.01

### ENGINEER'S STATEMENT

PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING

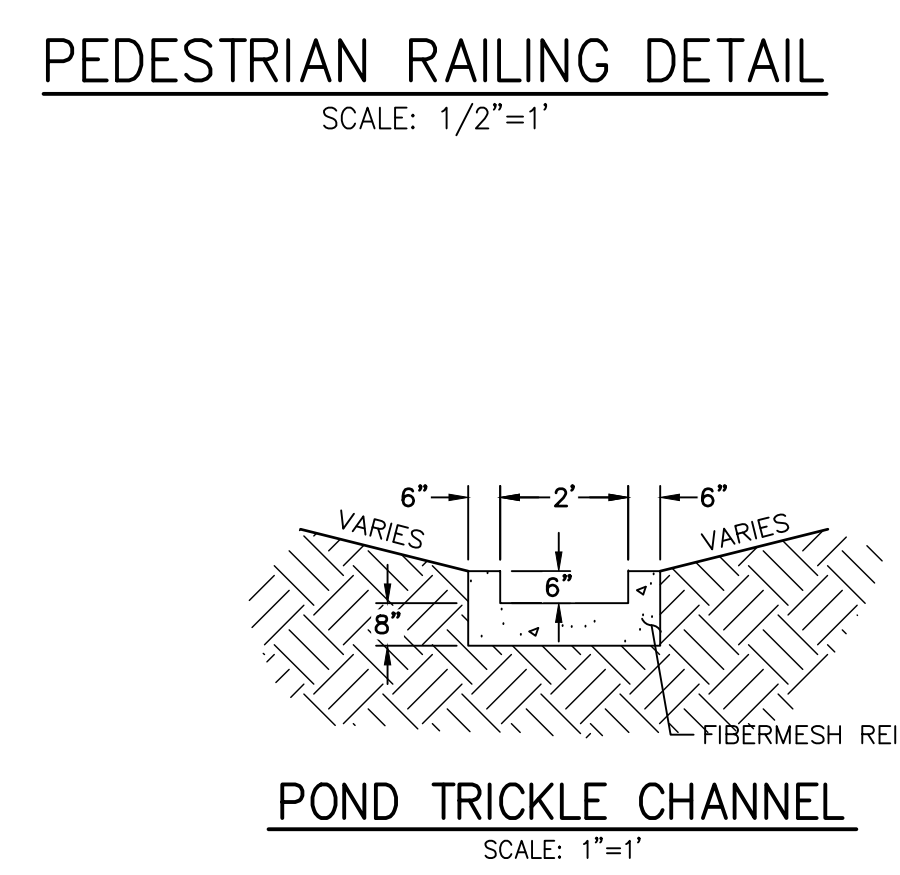
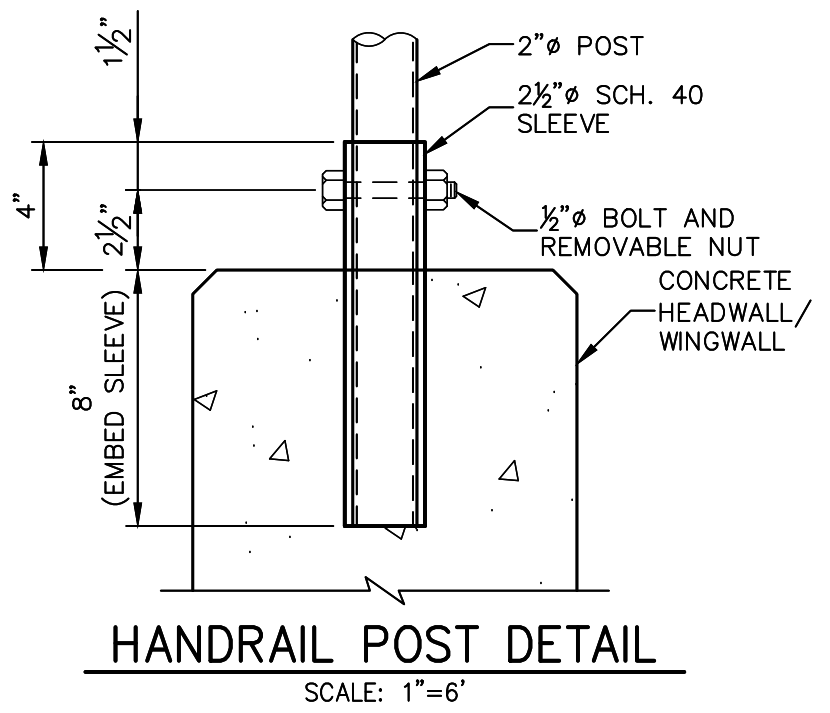
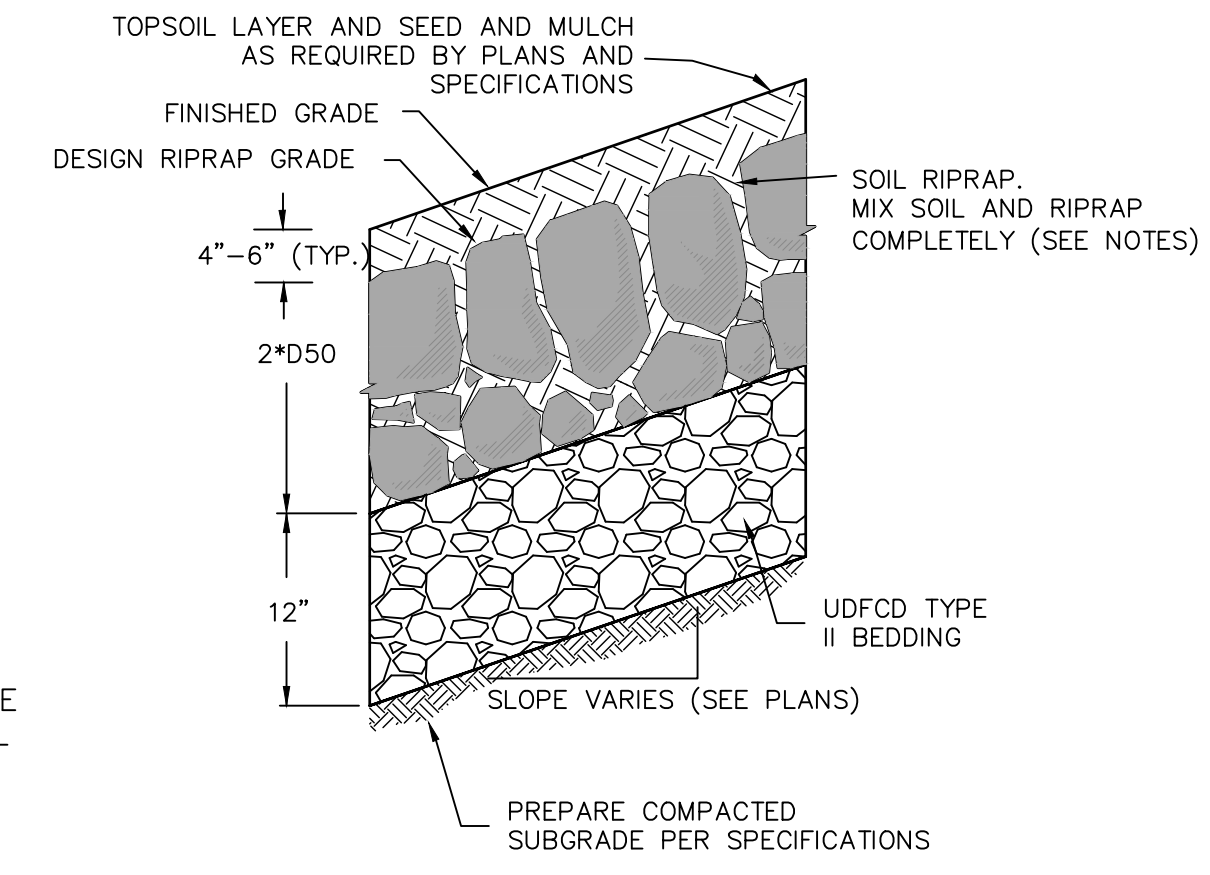
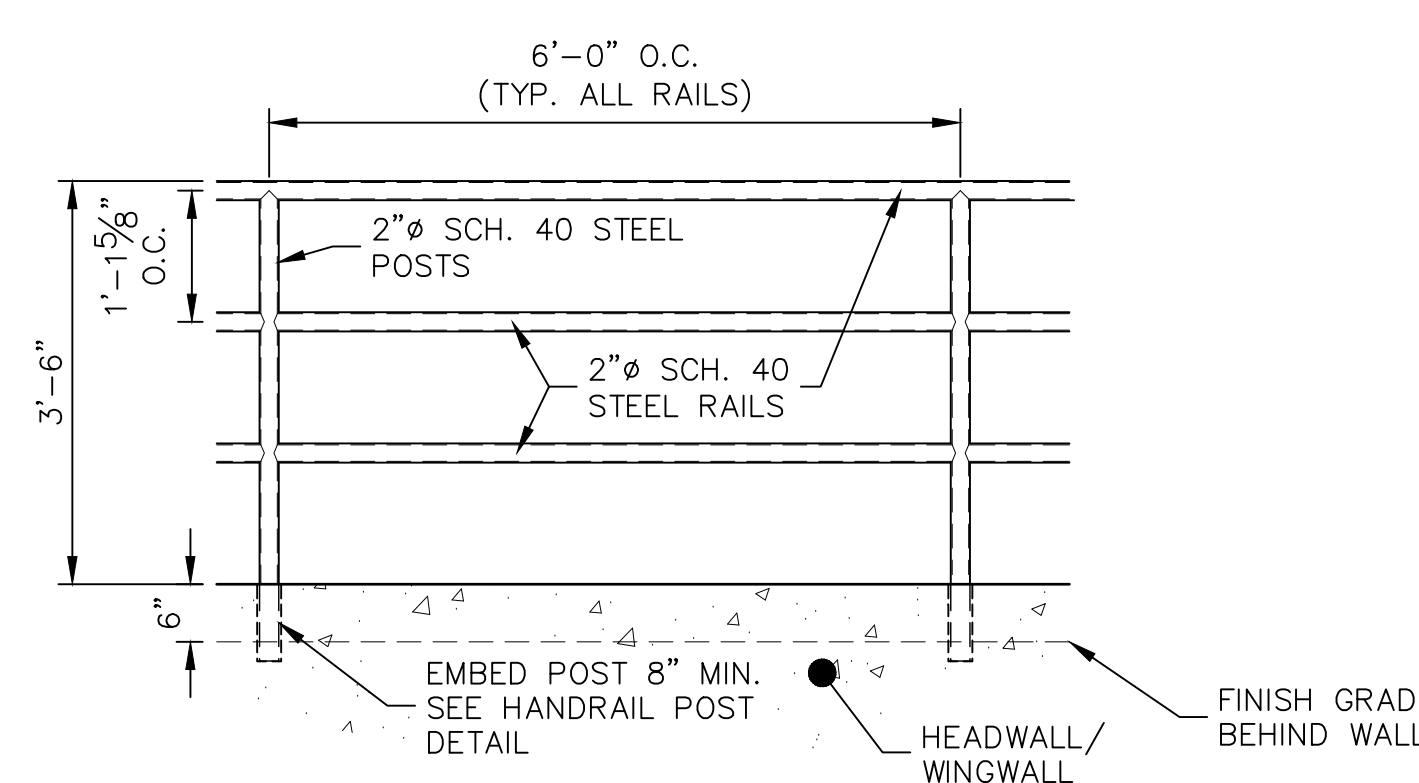
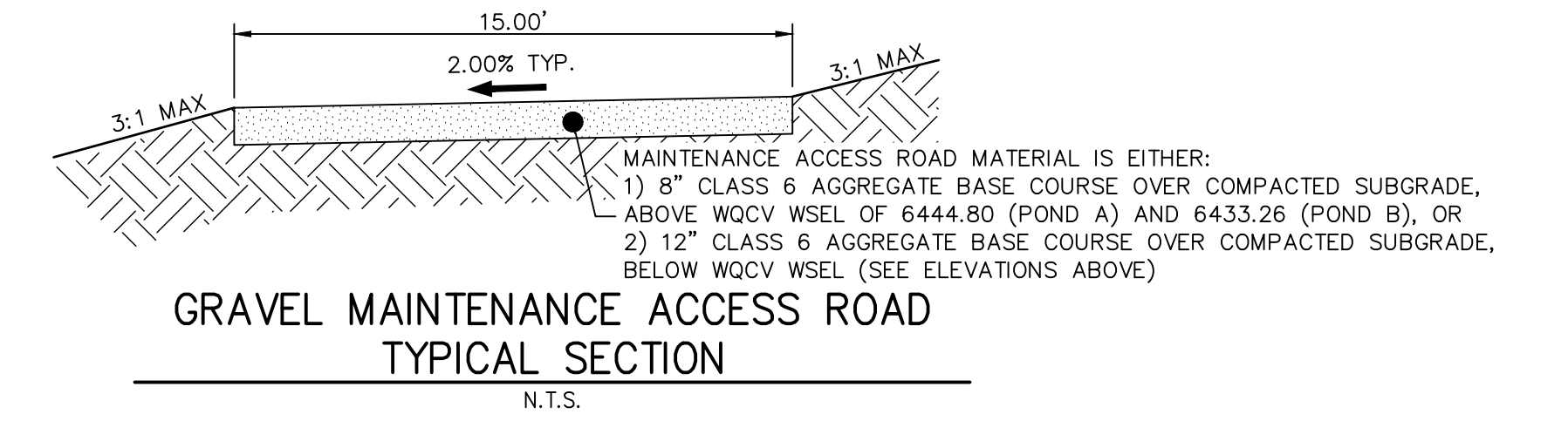
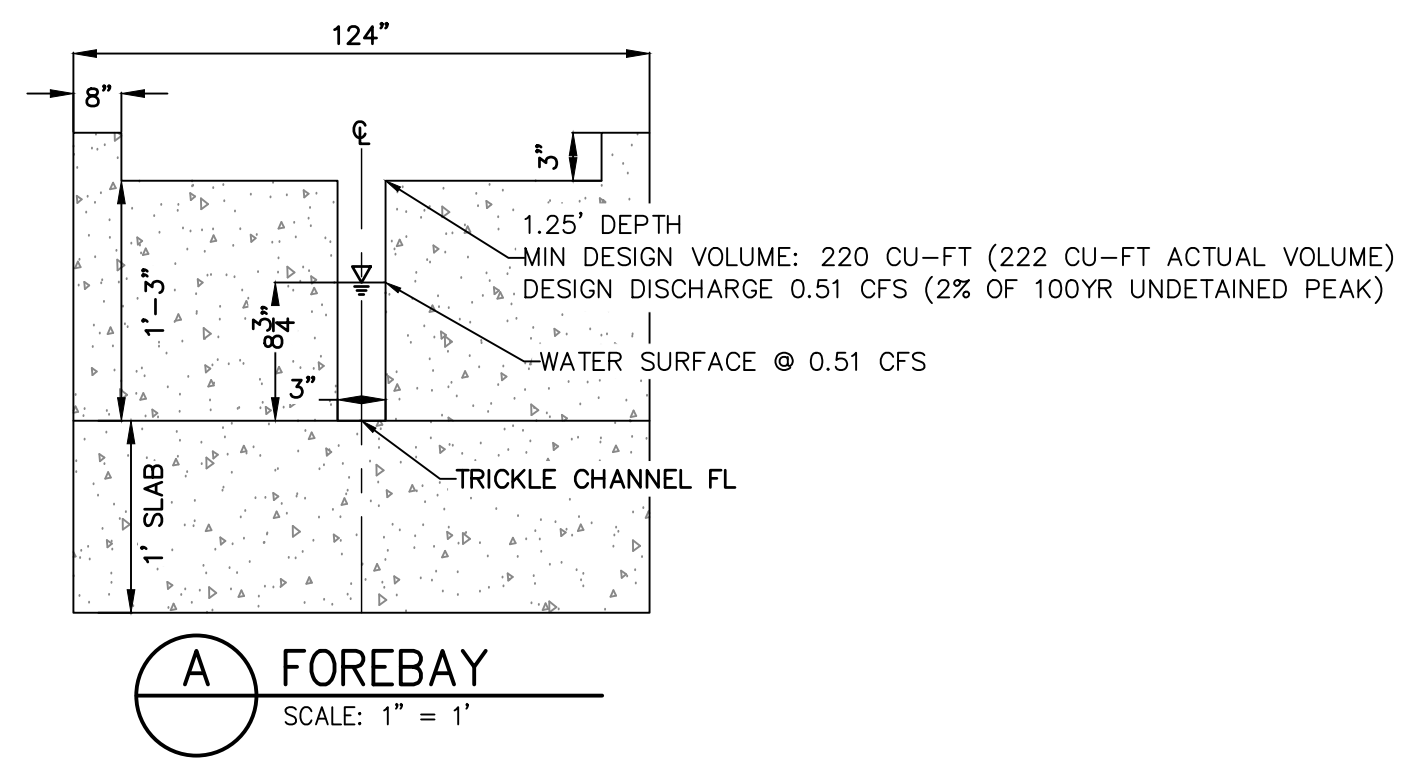
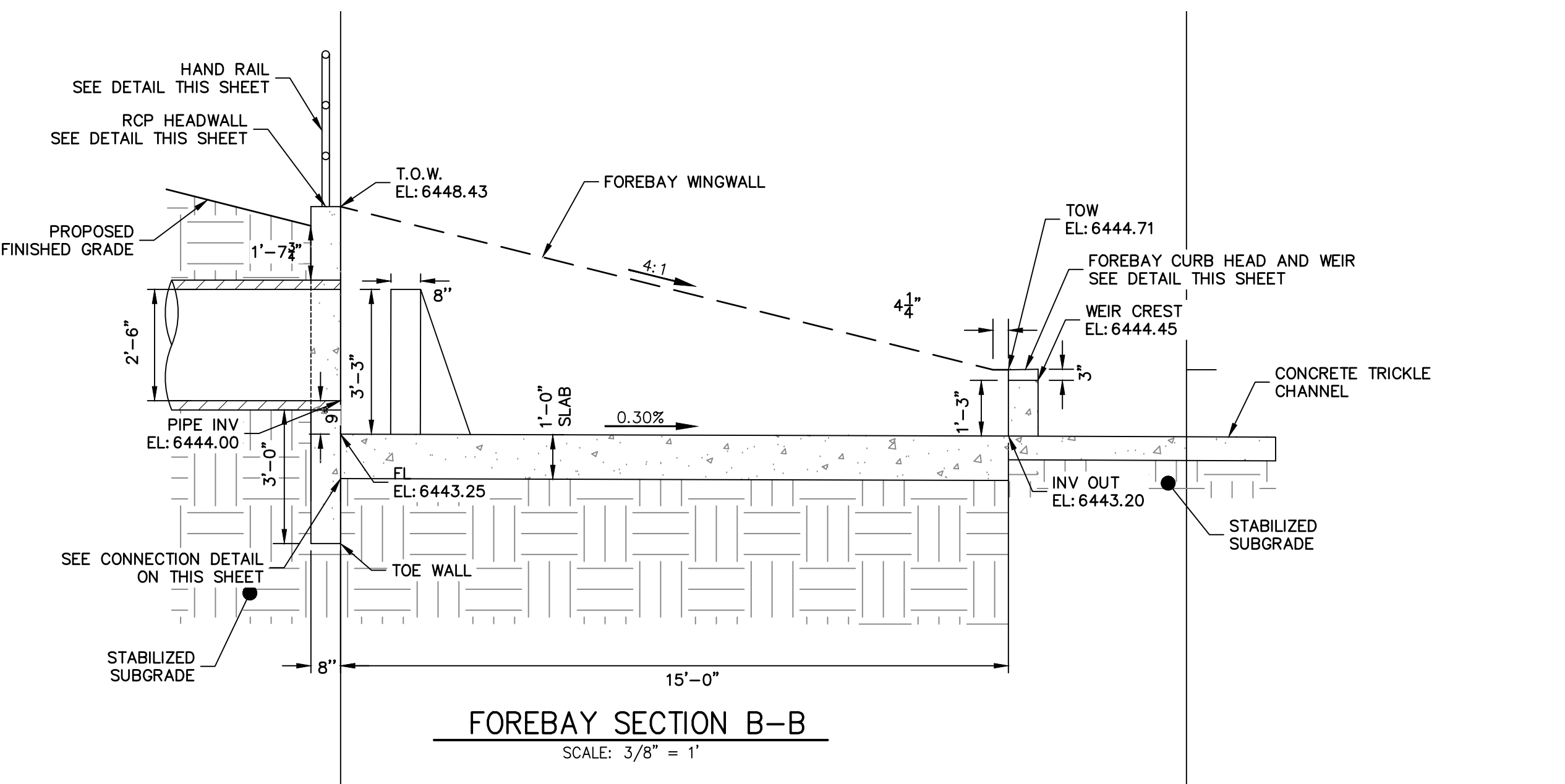
GLENN D. ELLIS, P.E.  
COLORADO P.E. 38861  
FOR AND ON BEHALF OF JR ENGINEERING





**WARNING**  
THIS AREA IS A STORMWATER FACILITY  
AND IS SUBJECT TO PERIODIC FLOODING

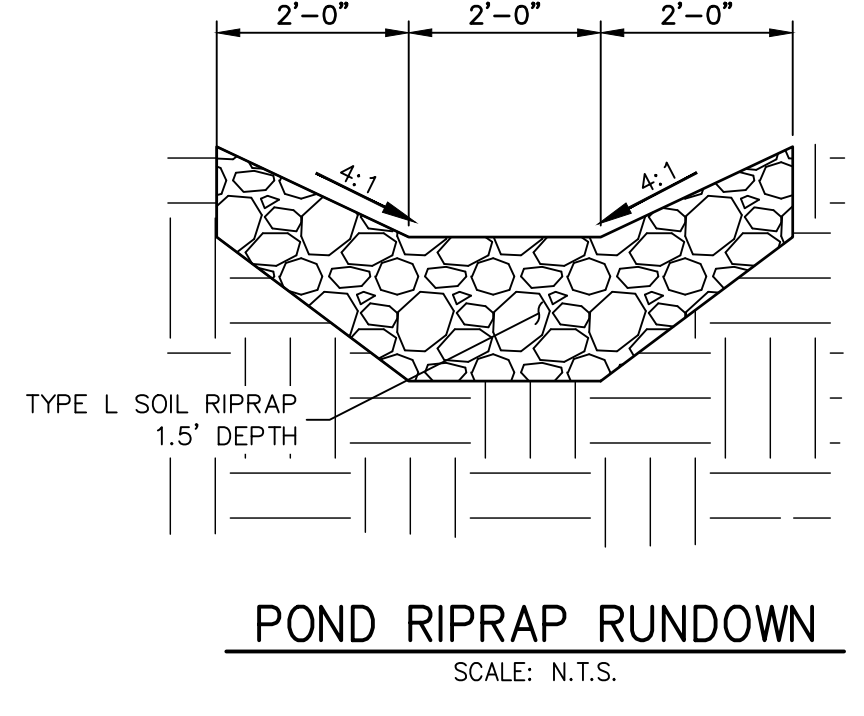
**PERMANENT BMP SIGN**  
N.T.S.  
MINIMUM AREA: 3 SQUARE FEET



**TYPE L RIPRAP**

INTERMEDIATE ROCK DIMENSION (IN.)	PERCENT PASSING (%)
15	70-100
12	50-70
9	35-50
3	2-10

- RIPRAP NOTES:**
- SOIL RIPRAP DETAILS ARE APPLICABLE TO SLOPED AREAS. REFER TO THE SITE PLAN ACTUAL LOCATION AND LIMITS.
  - MIX UNIFORMLY 65% RIPRAP BY VOLUME WITH 35% OF APPROVED SOIL BY VOLUME PRIOR TO PLACEMENT.
  - PLACE STONE-SOIL MIX TO RESULT IN SECURELY INTERLOCKED ROCK AT THE DESIGN THICKNESS AND GRADE. COMPACT AND LEVEL TO ELIMINATE ALL VOIDS AND ROCKS PROJECTING ABOVE DESIGN RIPRAP TOP GRADE.
  - CRIMP OR TACKIFY MULCH OR USE APPROVED HYDROMULCH AS CALLED FOR IN THE PLANS AND SPECIFICATIONS.
  - ROCK SHALL BE HARD, DURABLE, ANGULAR IN SHAPE, AND FREE FROM CRACKS, OVERBURDEN, SHALE, AND ORGANIC MATTER.
  - NEITHER BREADTH NOR THICKNESS OF A SINGLE STONE SHOULD BE LESS THAN ONE-THIRD ITS LENGTH, AND ROUNDED STONE SHOULD BE AVOIDED.
  - THE ROCK SHOULD SUSTAIN A LOSS OF NOT MORE THAN 40% AFTER 500 REVOLUTIONS IN AN ABRASION TEST (LOS ANGELES MACHINE ASTM C-535-69) AND SHOULD SUSTAIN A LOSS OF NOT MORE THAN 10% AFTER 12 CYCLES OF FREEZING AND THAWING (AASHTO TEST 103 FOR LEDGE ROCK PROCEDURE A).
  - ROCK HAVING A MINIMUM SPECIFIC GRAVITY OF 2.65 IS PREFERRED; HOWEVER, IN NO CASE SHOULD ROCK HAVE A SPECIFIC GRAVITY LESS THAN 2.50.



- CAST-IN-PLACE STRUCTURAL NOTES:**
- ALL CONCRETE SHALL BE CLASS D IN ACCORDANCE WITH CDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
  - ALL CONSTRUCTION JOINTS SHALL BE THOROUGHLY CLEANED BEFORE FRESH CONCRETE IS POURED.
  - ALL CONSTRUCTION JOINTS NOT SHOWN ON THE PLANS SHALL BE APPROVED BY THE ENGINEER.
  - THE CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE DURING CONSTRUCTION.
  - STRUCTURE EXCAVATION AND BACKFILL SHALL BE IN ACCORDANCE WITH CDOT STD. M-206-1.
  - DO NOT BACKFILL UNTIL CONCRETE HAS REACHED DESIGN STRENGTH, F<sub>c</sub>.
  - GRADE 60 REINFORCING STEEL AND EPOXY COATED ARE REQUIRED.
  - REINFORCING BARS SHALL BE DEFORMED AND SHALL HAVE A MINIMUM OF 2" CLEARANCE.
  - ALL EXPOSED CONCRETE CORNERS SHALL BE CHAMFERED 3/4".
  - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF EXISTING STRUCTURES AND EXISTING UTILITIES, PRIOR TO CONSTRUCTION OF THE CAST-IN-PLACE STRUCTURES. FIELD MODIFICATIONS OF PRECAST UNITS TO ACCOMMODATE CAST-IN-PLACE STRUCTURES WILL ONLY BE ACCEPTABLE WITH THE ENGINEER'S APPROVAL.
  - CONTRACTOR SHALL SUBMIT STEEL REINFORCING SHOP DRAWINGS FOR ALL CAST-IN-PLACE STRUCTURES FOR ENGINEER'S APPROVAL PRIOR TO CONSTRUCTION.

- WALL NOTES:**
- HEADWALLS FOR PIPES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CDOT STANDARD PLAN M-601-10.
  - WINGWALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CDOT STANDARD PLAN M-601-20.
  - PEDESTRIAN RAILINGS ARE REQUIRED IN LOCATIONS WHERE THE WALL HEIGHT EXCEEDS 30".

THE LOCATIONS OF EXISTING ABOVE GROUND AND UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL ABOVE GROUND AND UNDERGROUND UTILITIES.



**ENGINEER'S STATEMENT**

PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING  
GLENN D. ELLIS, P.E.  
COLORADO P.E. 38861  
FOR AND ON BEHALF OF JR ENGINEERING

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USE, THESE DRAWINGS ARE DESIGNATED BY WRITTEN AUTHORIZATION.

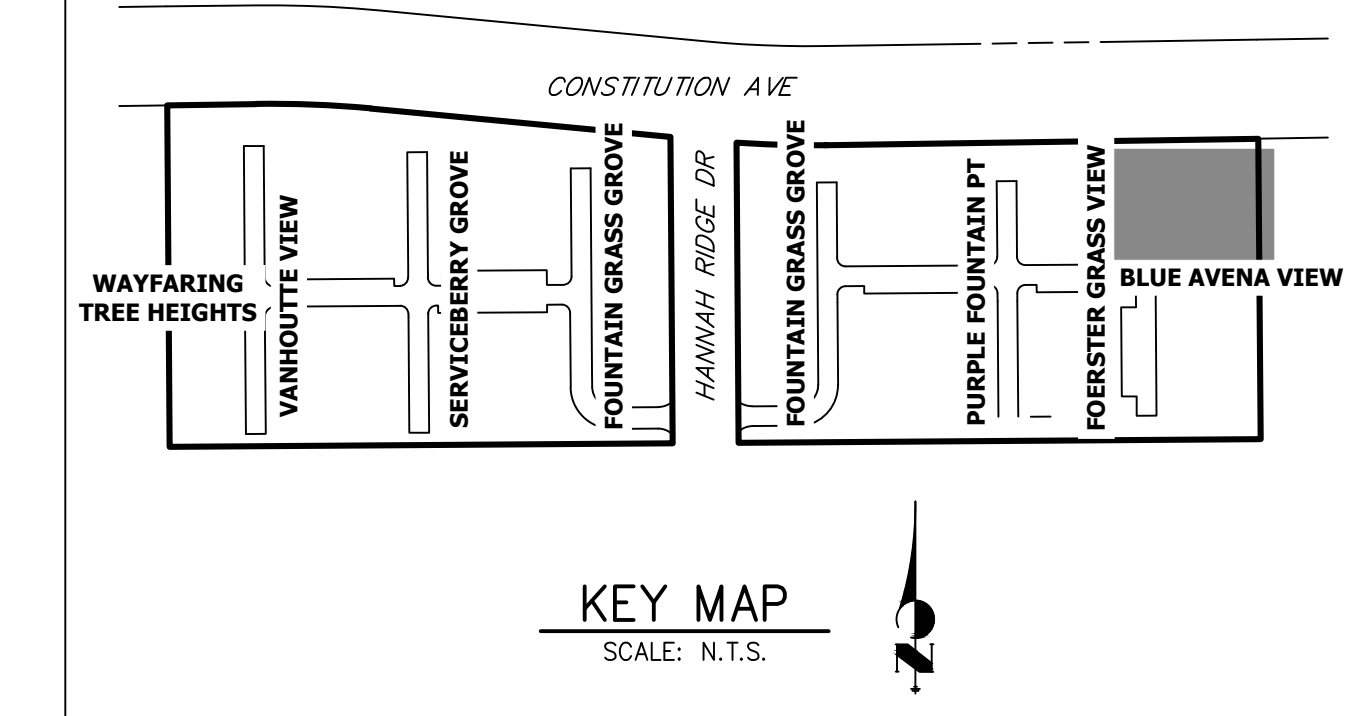
PREPARED FOR  
**RICHMOND AMERICAN HOMES**  
4350 S. MONACO STREET  
DENVER, CO 80237  
(720) 977-3827  
JASON.FOCK@MDCOH.COM

**J.R. ENGINEERING**  
A Westman Company  
Central 300-740-9080 • Colorado Springs 719-588-2693  
Fort Collins 970-491-9888 • www.jrengineering.com

BY	DATE	NO.	REVISION

URBAN COLLECTION AT  
PALMER VILLAGE  
PERMANENT BMP PLANS  
POND A FOREBAY DETAILS  
CONSTRUCTION DOCUMENTS

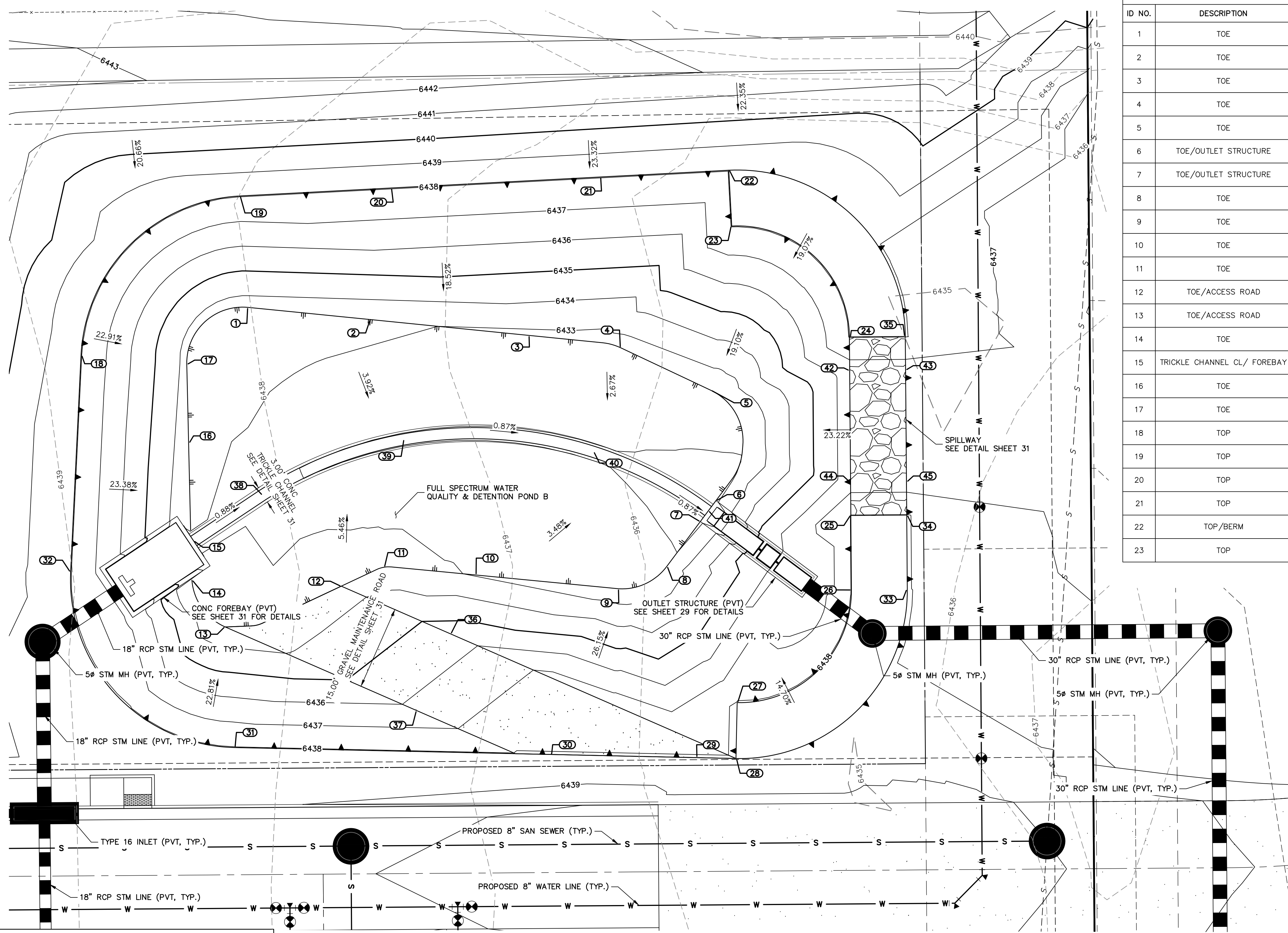
SHEET 27 OF 32  
JOB NO. 25149.01



UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USE. DESIGNATED BY WRITTEN AUTHORIZATION.

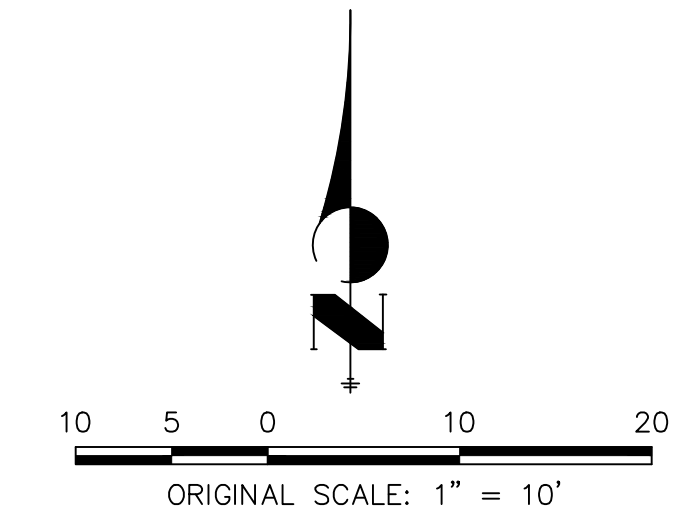
PREPARED FOR  
**RICHMOND AMERICAN HOMES**  
 4350 S. MONACO STREET  
 DENVER, CO 80237  
 (720) 977-3827  
 JASON.FOCK@MDC.H.COM

**J.R. ENGINEERING**  
 A Westman Company  
  
 Centennial 300-740-9888 • Colorado Springs 719-588-2593  
 Fort Collins 970-491-9888 • www.jrengineering.com



POINT TABULATION				POINT TABULATION			
ID NO.	DESCRIPTION	NORTHING/EASTING	ELEVATION	ID NO.	DESCRIPTION	NORTHING/EASTING	ELEVATION
1	TOE	N: 378235.76 E: 232380.89	6433.53	24	TOP/SPILLWAY	N: 378230.49 E: 232488.24	6438.03
2	TOE	N: 378233.57 E: 232402.61	6433.19	25	TOP/SPILLWAY	N: 378198.50 E: 232488.49	6438.03
3	TOE	N: 378230.73 E: 232431.07	6432.74	26	TOP	N: 378185.20 E: 232488.60	6438.03
4	TOE	N: 378228.52 E: 232447.35	6432.49	27	TOP	N: 378165.04 E: 232488.16	6438.03
5	TOE	N: 378220.91 E: 232463.47	6432.21	28	TOP/BERM	N: 378155.05 E: 232467.94	6438.03
6	TOE/OUTLET STRUCTURE	N: 378201.19 E: 232464.37	6431.83	29	TOP	N: 378155.20 E: 232460.83	6438.03
7	TOE/OUTLET STRUCTURE	N: 378197.45 E: 232461.58	6431.83	30	TOP/ACCESS ROAD	N: 378155.77 E: 232434.82	6438.03
8	TOE	N: 378189.41 E: 232455.57	6432.08	31	TOP	N: 378157.01 E: 232378.24	6438.03
9	TOE	N: 378185.41 E: 232447.04	6432.31	32	TOP	N: 378188.43 E: 232348.93	6438.03
10	TOE	N: 378187.88 E: 232421.35	6432.94	33	TOP/BERM	N: 378185.28 E: 232498.60	6438.03
11	TOE	N: 378189.27 E: 232404.97	6433.35	34	TOP/SPILLWAY	N: 378198.58 E: 232498.49	6438.03
12	TOE/ACCESS ROAD	N: 378185.88 E: 232397.34	6433.55	35	TOP/SPILLWAY	N: 378230.57 E: 232498.24	6438.03
13	TOE/ACCESS ROAD	N: 378178.58 E: 232376.58	6433.18	36	ACCESS ROAD	N: 378177.35 E: 232416.87	6435.51
14	TOE	N: 378186.93 E: 232370.82	6433.00	37	ACCESS ROAD	N: 378163.61 E: 232410.86	6436.26
15	TRICKLE CHANNEL CL/ FOREBAY	N: 378193.94 E: 232370.92	6433.70	38	TRICKLE CHANNEL CL	N: 378202.19 E: 232383.28	6432.07
16	TOE	N: 378211.51 E: 232370.03	6433.45	39	TRICKLE CHANNEL CL	N: 378212.14 E: 232408.64	6431.83
17	TOE	N: 378225.57 E: 232369.70	6433.72	40	TRICKLE CHANNEL CL	N: 378209.91 E: 232442.43	6431.53
18	TOP	N: 378227.16 E: 232350.78	6438.03	41	TRICKLE CHANNEL CL/OS	N: 378199.32 E: 232462.98	6431.33
19	TOP	N: 378255.69 E: 232379.17	6438.03	42	SPILLWAY CREST	N: 378224.49 E: 232488.29	6436.53
20	TOP	N: 378257.12 E: 232406.44	6438.03	43	SPILLWAY CREST	N: 378224.57 E: 232498.29	6436.53
21	TOP	N: 378259.09 E: 232443.86	6438.03	44	SPILLWAY CREST	N: 378204.50 E: 232488.45	6436.53
22	TOP/BERM	N: 378260.29 E: 232466.66	6438.03	45	SPILLWAY CREST	N: 378204.57 E: 232498.45	6436.53
23	TOP	N: 378250.31 E: 232467.19	6438.03				

- NOTES**
- ALL PROPOSED POND IMPROVEMENTS ARE PRIVATE UNLESS OTHERWISE NOTED.
  - SEE SHEETS 18-23 BY JR ENGINEERING FOR PROPOSED STORM DESIGN.
  - SEE SHEETS 6-14 BY JR ENGINEERING FOR PROPOSED STREET DESIGN IN PUBLIC RIGHT-OF-WAY.
  - SEE FINAL GRADING PLANS BY JR ENGINEERING FOR PROPOSED GRADING PLAN.
  - SEE WATER, WASTEWATER, AND UTILITY SERVICE PLANS BY JR ENGINEERING FOR PROPOSED DESIGN OF CHEROKEE METRO DISTRICT-OWNED WATER AND SANITARY UTILITIES.
  - THE SOIL TYPES ONSITE CONSIST OF BLAKELAND LOAMY SAND (HYDROLOGIC SOIL GROUP A).
  - NO EXISTING GROUNDWATER SPRINGS, STREAMS, WETLANDS, OR OTHER SURFACE WATER EXIST ONSITE.



**811**  
 Know what's below.  
 Call before you dig.

**ENGINEER'S STATEMENT**  
 PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING

GLENN D. ELLIS, P.E.  
 COLORADO P.E. 38861  
 FOR AND ON BEHALF OF JR ENGINEERING

07/15/2021 DATE

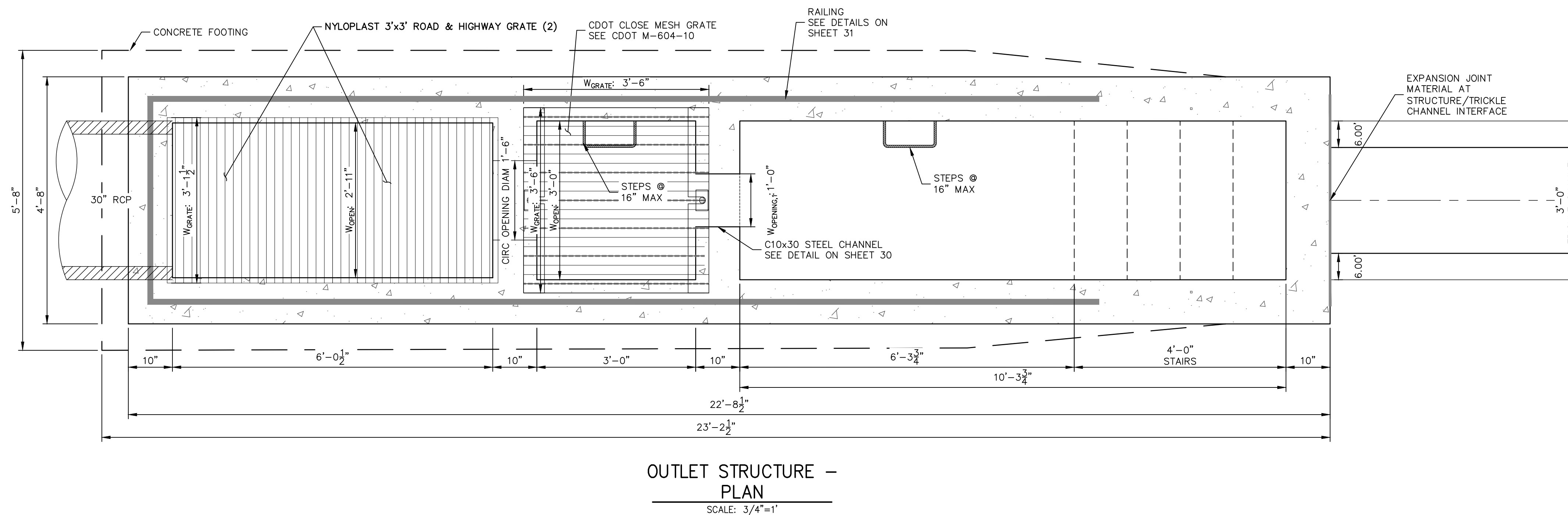
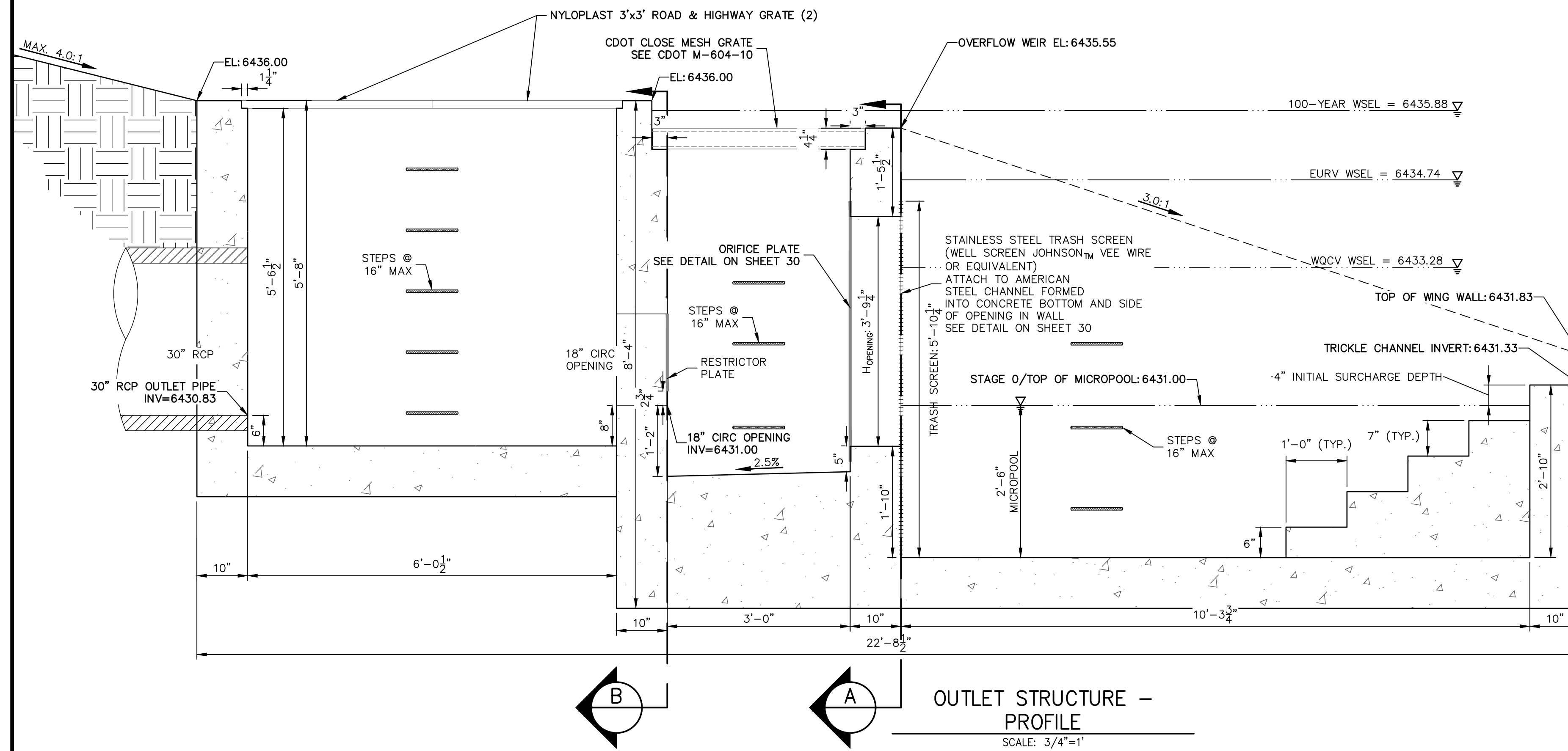
THE LOCATIONS OF EXISTING ABOVE GROUND AND UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL ABOVE GROUND AND UNDERGROUND UTILITIES.

**ABBREVIATIONS**  
 CL = CENTERLINE  
 EX = EXISTING  
 OS = OUTLET STRUCTURE  
 TBC = TOP BACK OF CURB

BY	DATE	NO.	REVISION	H-SCALE		V-SCALE		DATE	DESIGNED BY	DRAWN BY	CHECKED BY
				1"=10'	N/A	1"=10'	N/A				
								01/29/21	RPD	JEA	

URBAN COLLECTION AT PALMER VILLAGE  
 PERMANENT BMP PLANS  
 POND B  
 CONSTRUCTION DOCUMENTS

SHEET 28 OF 32  
 JOB NO. 25149.01



**OUTLET STRUCTURE STRUCTURAL NOTES:**

- ALL CONCRETE SHALL BE CLASS D IN ACCORDANCE WITH CDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- ALL CONSTRUCTION JOINTS SHALL BE THOROUGHLY CLEANED BEFORE FRESH CONCRETE IS POURED.
- ALL CONSTRUCTION JOINTS NOT SHOWN ON THE PLANS SHALL BE APPROVED BY THE ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE DURING CONSTRUCTION.
- STRUCTURE EXCAVATION AND BACKFILL SHALL BE IN ACCORDANCE WITH CDOT STD. M-206-1.
- DO NOT BACKFILL UNTIL CONCRETE HAS REACHED DESIGN STRENGTH, F'c.
- GRADE 60 REINFORCING STEEL AND EPOXY COATED ARE REQUIRED.
- REINFORCING BARS SHALL BE DEFORMED AND SHALL HAVE A MINIMUM OF 2" CLEARANCE.
- ALL EXPOSED CONCRETE CORNERS SHALL BE CHAMFERED 3/4".
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF EXISTING STRUCTURES AND EXISTING UTILITIES, PRIOR TO CONSTRUCTION OF THE CAST-IN-PLACE STRUCTURES. FIELD MODIFICATIONS OF PRECAST UNITS TO ACCOMMODATE CAST-IN-PLACE STRUCTURES WILL ONLY BE ACCEPTABLE WITH THE ENGINEER'S APPROVAL.
- CONTRACTOR SHALL SUBMIT STEEL REINFORCING SHOP DRAWINGS FOR ALL CAST-IN-PLACE STRUCTURES FOR ENGINEER'S APPROVAL PRIOR TO CONSTRUCTION.

**OUTLET STRUCTURE PLATE AND GRADING NOTES:**

- ORIFICE PLATE AND RESTRICTOR PLATE:**
- PROVIDE GASKET MATERIAL BETWEEN THE ORIFICE PLATE AND CONCRETE AND BETWEEN THE RESTRICTOR PLATE AND CONCRETE.
  - BOLT PLATE TO CONCRETE 12" MAX. ON CENTER.
  - ALL HARDWARE, BOLTS, AND FASTENERS SHALL BE STAINLESS STEEL.
  - CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL PLATES AND GRATING FOR ENGINEER'S APPROVAL PRIOR TO CONSTRUCTION.
- OVERFLOW GRATE:**
- ALL OVERFLOW GRATES SHALL BE MOUNTED USING STAINLESS STEEL HARDWARE AND PROVIDED WITH HINGED & LOCKABLE OR BOLTABLE ACCESS PANELS AS SHOWN ON THE PLANS.
  - OVERFLOW GRATES SHALL BE HOT DIP GALVANIZED STEEL AND MAY BE HOT POWDER COATED AFTER GALVANIZING.

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR  
**RICHMOND AMERICAN HOMES**  
 4350 S. MONACO STREET  
 DENVER, CO 80237  
 (720) 977-3827  
 JASON.FOCK@MCDCH.COM

**J.R. ENGINEERING**  
 A Westman Company  
 Centennial 303-740-9383 • Colorado Springs 719-583-2583  
 Fort Collins 970-491-9888 • www.jrengineering.com

BY	DATE	No.	REVISION

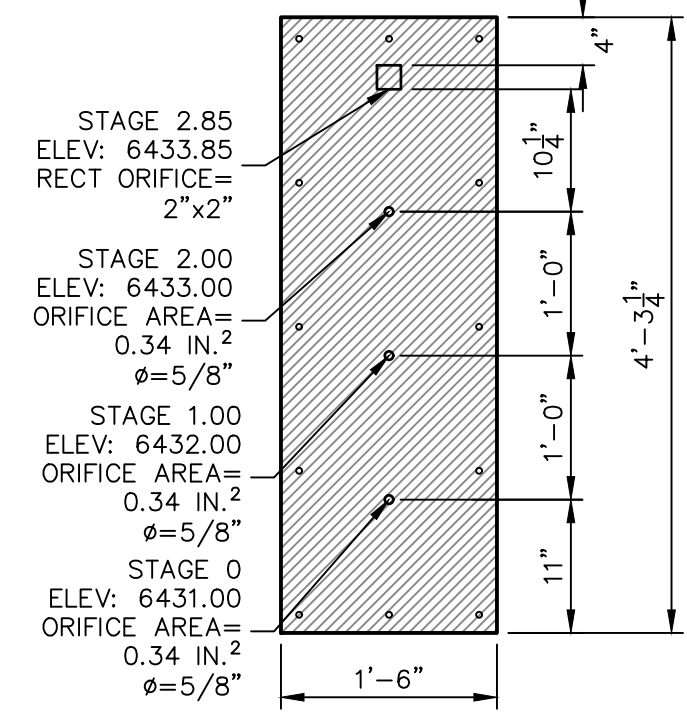
URBAN COLLECTION AT  
 PALMER VILLAGE  
 PERMANENT BMP PLANS  
 POND B OS DETAIL 1  
 CONSTRUCTION DOCUMENTS

**ENGINEER'S STATEMENT**  
 PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING

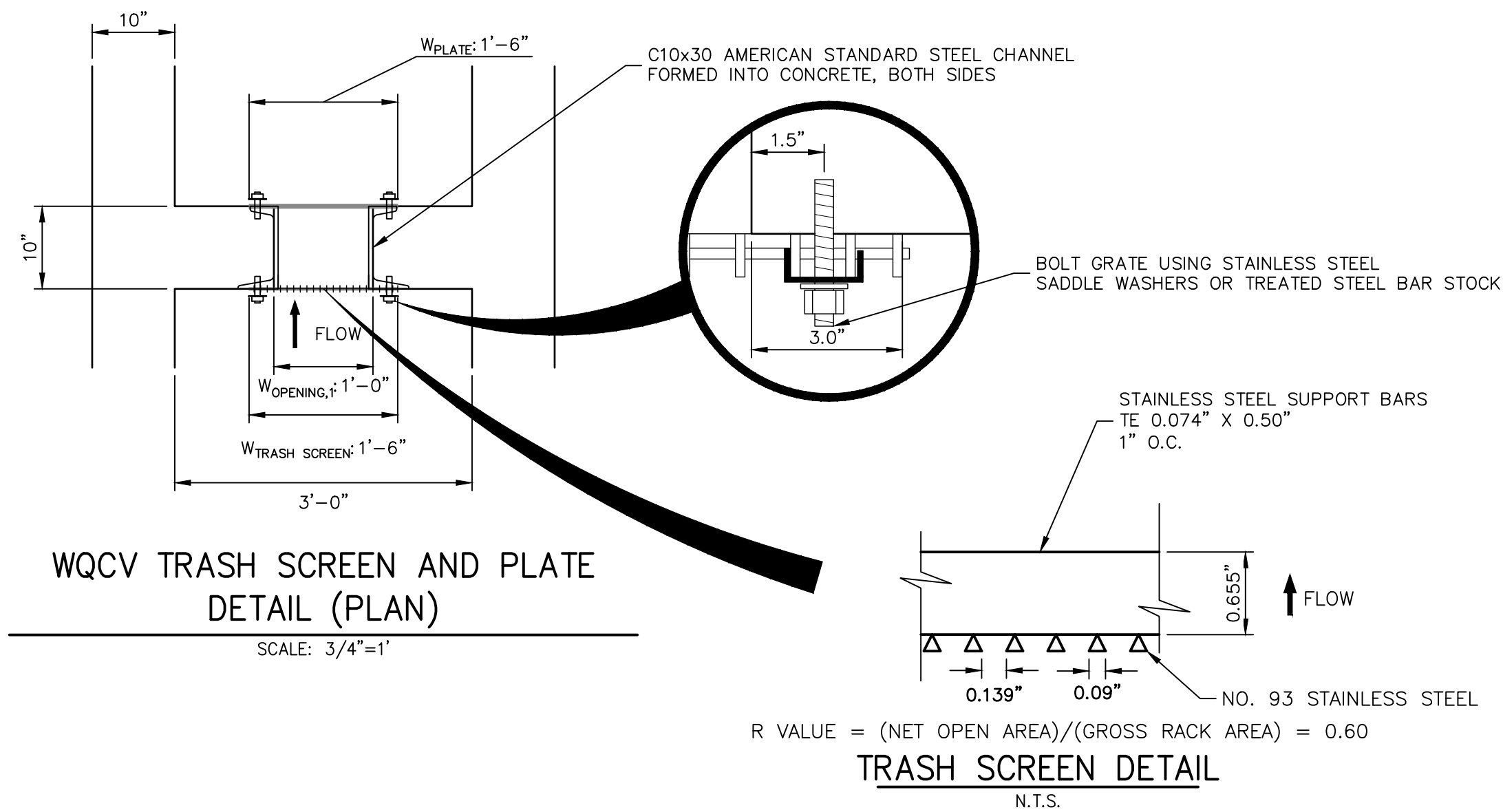
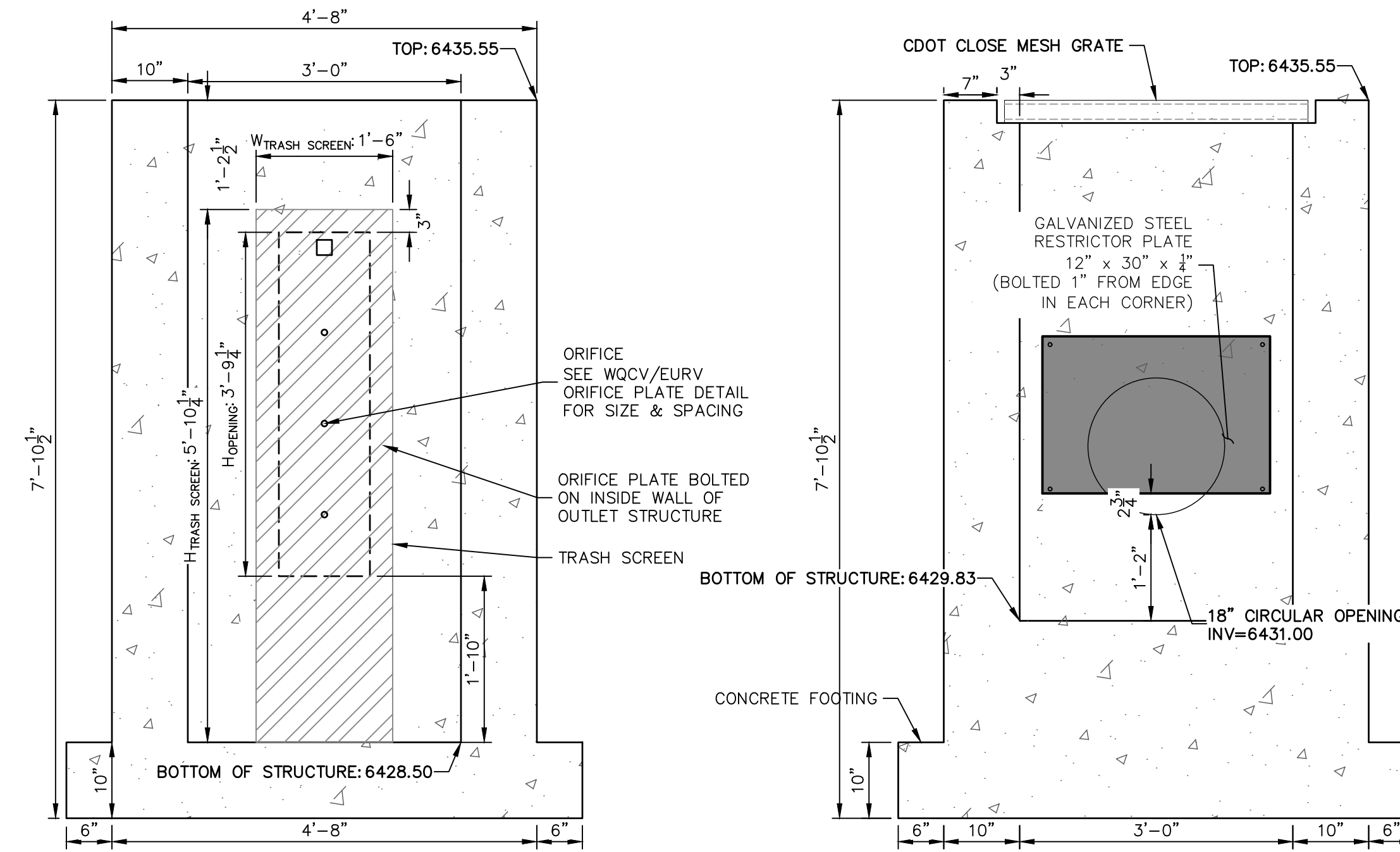
GLENN D. ELLIS, P.E.  
 COLORADO P.E. 38861  
 FOR AND ON BEHALF OF JR ENGINEERING

07/15/2021 DATE

EURV/WQCV ORIFICE PLATE:  
 4'-3 1/4" x 1'-6" x 1/2" THICK FLOW  
 GALVANIZED STEEL FLOW CONTROL PLATE.  
 PROVIDE CONTINUOUS NEOPRENE GASKET  
 MATERIAL BETWEEN THE ORIFICE PLATE AND  
 CONCRETE. BOLT PLATE TO CONCRETE @  
 12" MAX O.C., 1/2" FROM PLATE EDGE.



WQCV/EURV ORIFICE  
 PLATE DETAIL  
 SCALE: 3/4"=1'



$$R \text{ VALUE} = (\text{NET OPEN AREA}) / (\text{GROSS RACK AREA}) = 0.60$$

**OUTLET STRUCTURE STRUCTURAL NOTES:**

1. ALL CONCRETE SHALL BE CLASS D IN ACCORDANCE WITH CDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
2. ALL CONSTRUCTION JOINTS SHALL BE THOROUGHLY CLEANED BEFORE FRESH CONCRETE IS POURED.
3. ALL CONSTRUCTION JOINTS NOT SHOWN ON THE PLANS SHALL BE APPROVED BY THE ENGINEER.
4. THE CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE DURING CONSTRUCTION.
5. STRUCTURE EXCAVATION AND BACKFILL SHALL BE IN ACCORDANCE WITH CDOT STD. M-206-1.
6. DO NOT BACKFILL UNTIL CONCRETE HAS REACHED DESIGN STRENGTH, F<sub>c</sub>.
7. GRADE 60 REINFORCING STEEL AND EPOXY COATED ARE REQUIRED.
8. REINFORCING BARS SHALL BE DEFORMED AND SHALL HAVE A MINIMUM OF 2" CLEARANCE.
9. ALL EXPOSED CONCRETE CORNERS SHALL BE CHAMFERED 3/4".
10. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF EXISTING STRUCTURES AND EXISTING UTILITIES, PRIOR TO CONSTRUCTION OF THE CAST-IN-PLACE STRUCTURES. FIELD MODIFICATIONS OF PRECAST UNITS TO ACCOMMODATE CAST-IN-PLACE STRUCTURES WILL ONLY BE ACCEPTABLE WITH THE ENGINEER'S APPROVAL.
11. CONTRACTOR SHALL SUBMIT STEEL REINFORCING SHOP DRAWINGS FOR ALL CAST-IN-PLACE STRUCTURES FOR ENGINEER'S APPROVAL PRIOR TO CONSTRUCTION.

**OUTLET STRUCTURE PLATE AND GRADING NOTES:**

- ORIFICE PLATE AND RESTRICTOR PLATE:**
1. PROVIDE GASKET MATERIAL BETWEEN THE ORIFICE PLATE AND CONCRETE AND BETWEEN THE RESTRICTOR PLATE AND CONCRETE.
  2. BOLT PLATE TO CONCRETE 12" MAX. ON CENTER.
  3. ALL HARDWARE, BOLTS, AND FASTENERS SHALL BE STAINLESS STEEL.
  4. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL PLATES AND GRATING FOR ENGINEER'S APPROVAL PRIOR TO CONSTRUCTION.
- OVERFLOW GRATE:**
5. ALL OVERFLOW GRATES SHALL BE MOUNTED USING STAINLESS STEEL HARDWARE AND PROVIDED WITH HINGED & LOCKABLE OR BOLTABLE ACCESS PANELS AS SHOWN ON THE PLANS.
  6. OVERFLOW GRATES SHALL BE HOT DIP GALVANIZED STEEL AND MAY BE HOT POWDER COATED AFTER GALVANIZING.

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR  
**RICHMOND AMERICAN HOMES**  
 4350 S. MONACO STREET  
 DENVER, CO 80237  
 (720) 977-3827  
 JASON.FOCK@MDCH.COM

**J.R. ENGINEERING**  
 A Westman Company  
 Centennial 303-740-9383 • Colorado Springs 719-583-2593  
 Fort Collins 970-491-9888 • www.jrengineering.com

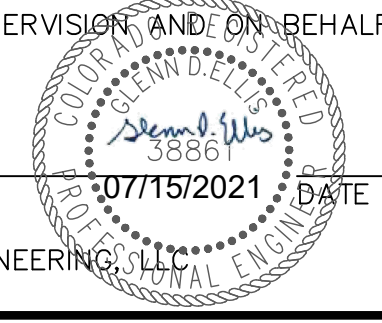
BY	DATE	REVISION

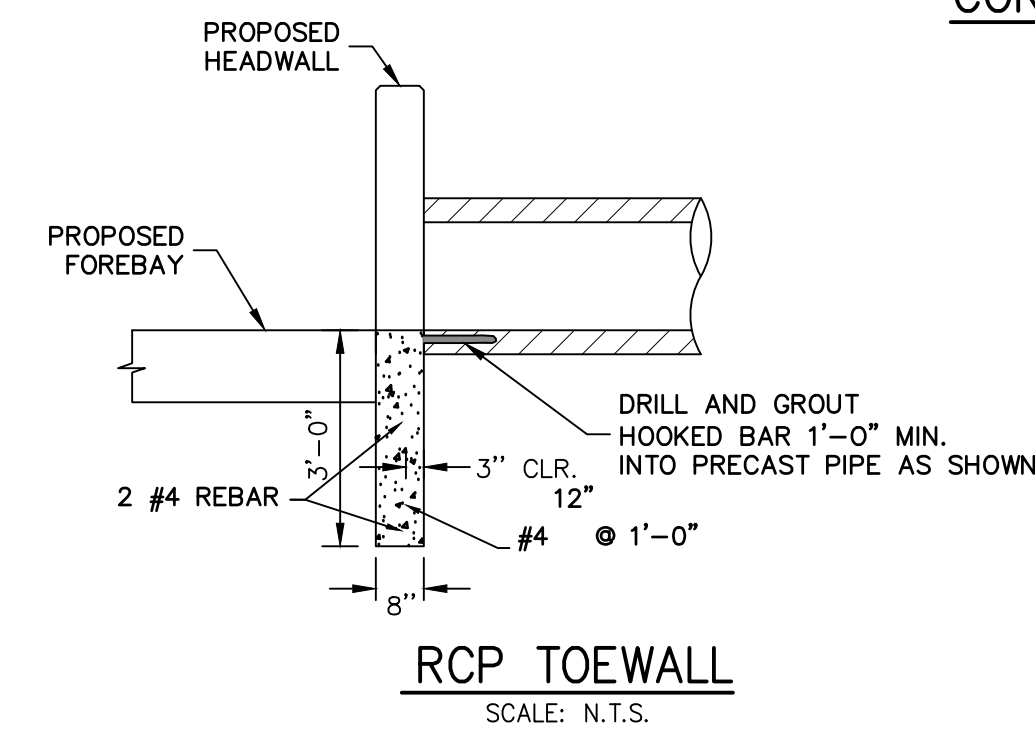
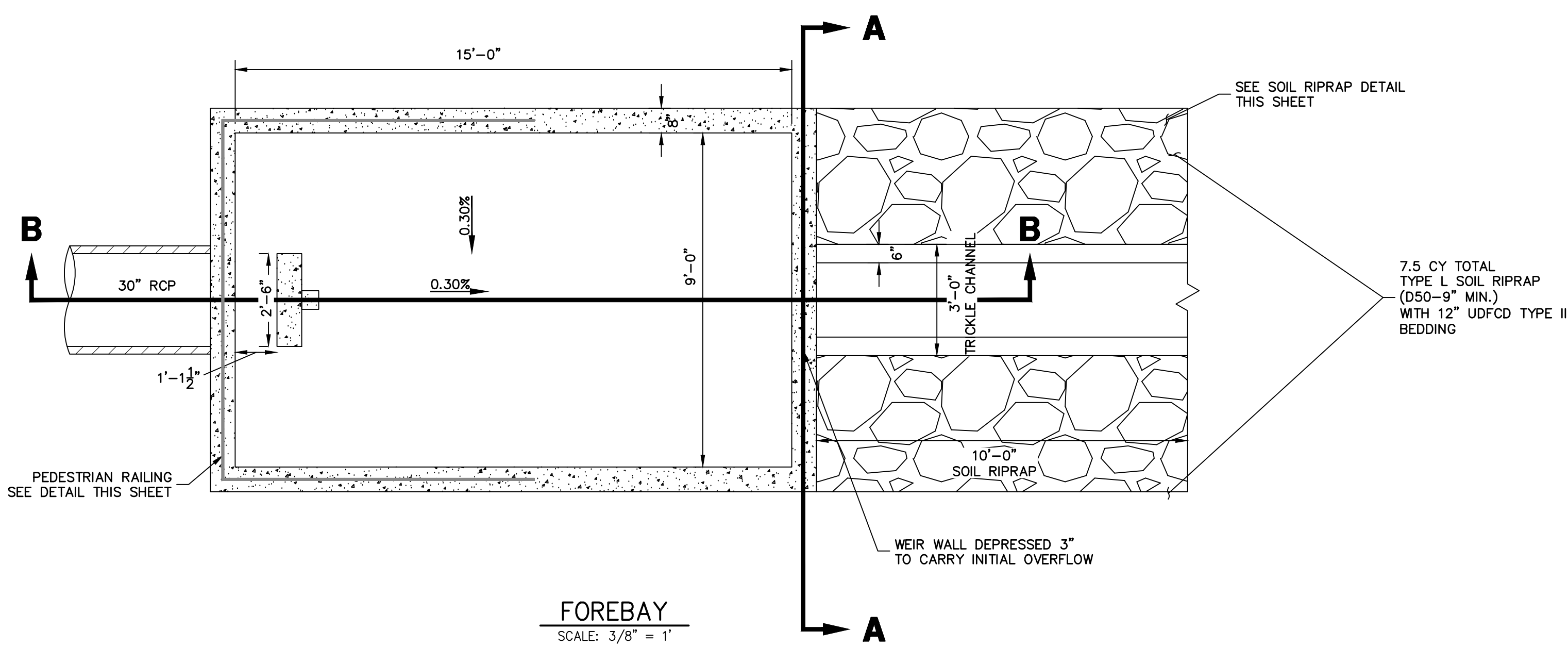
URBAN COLLECTION AT  
 PALMER VILLAGE  
 PERMANENT BMP PLANS  
 POND B OS DETAIL 2  
 CONSTRUCTION DOCUMENTS

**ENGINEER'S STATEMENT**

PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING

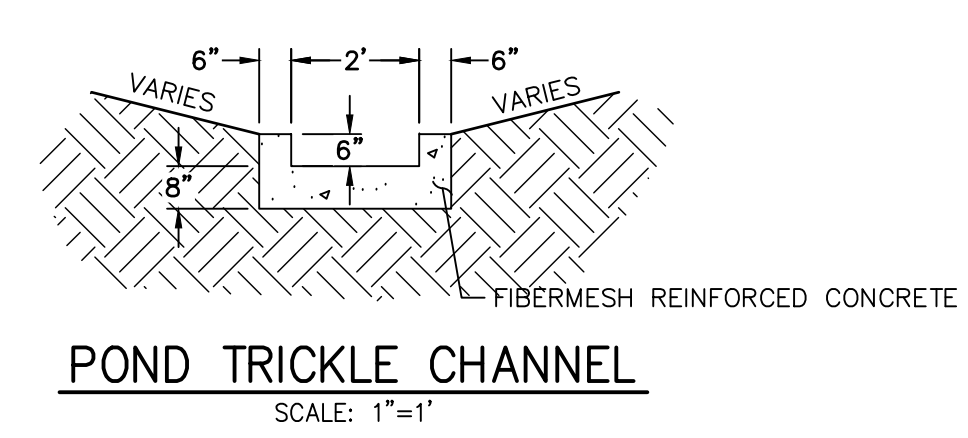
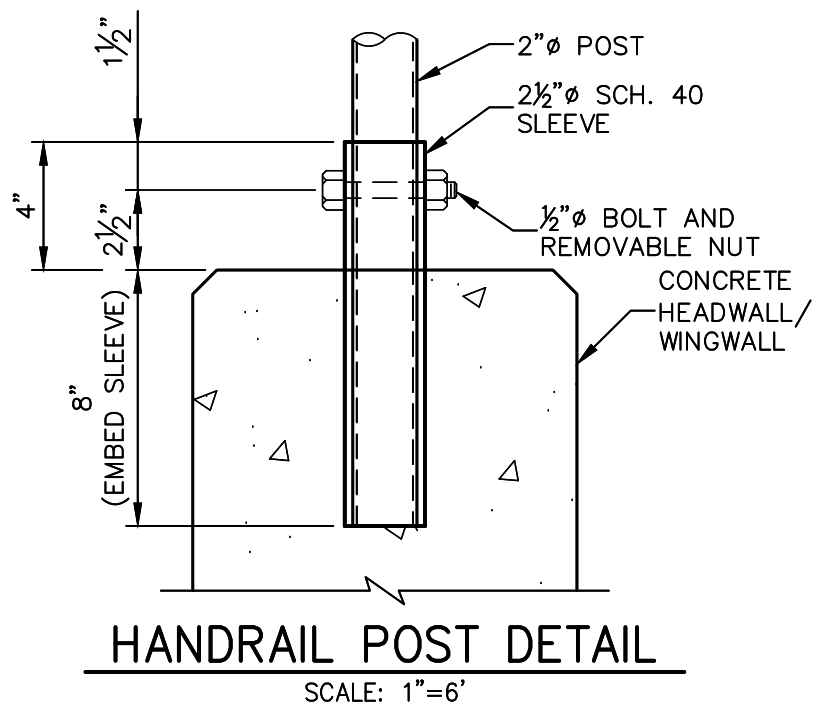
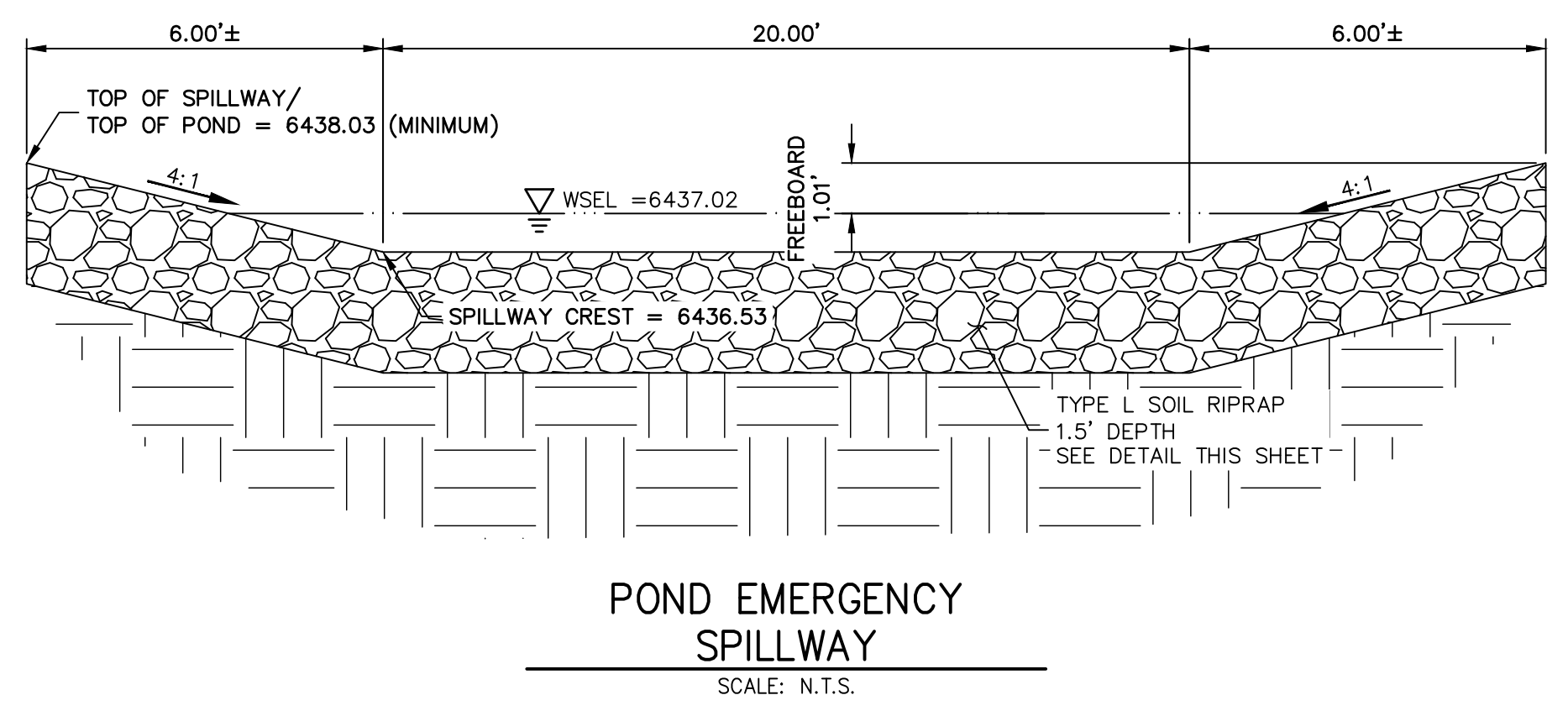
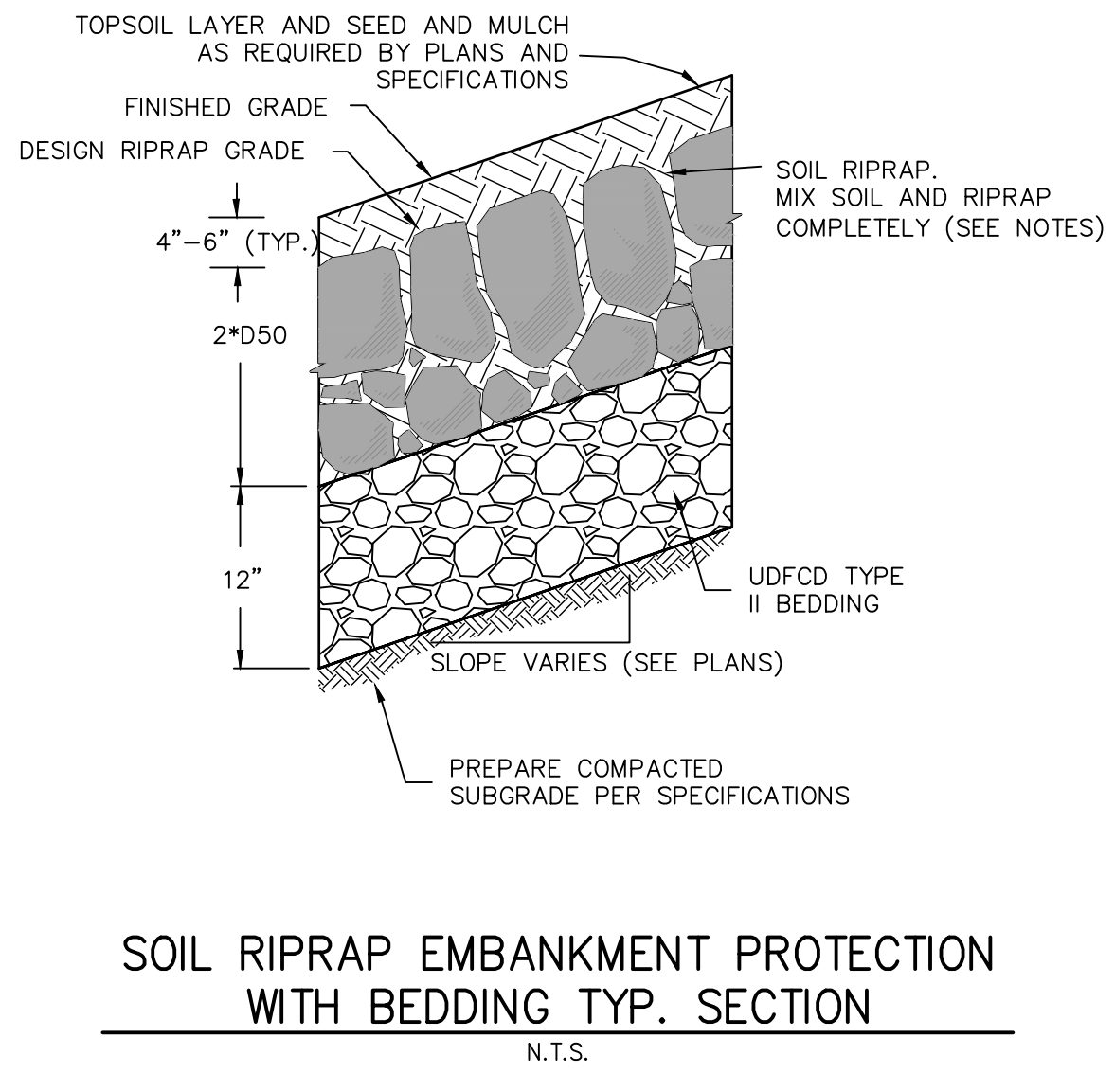
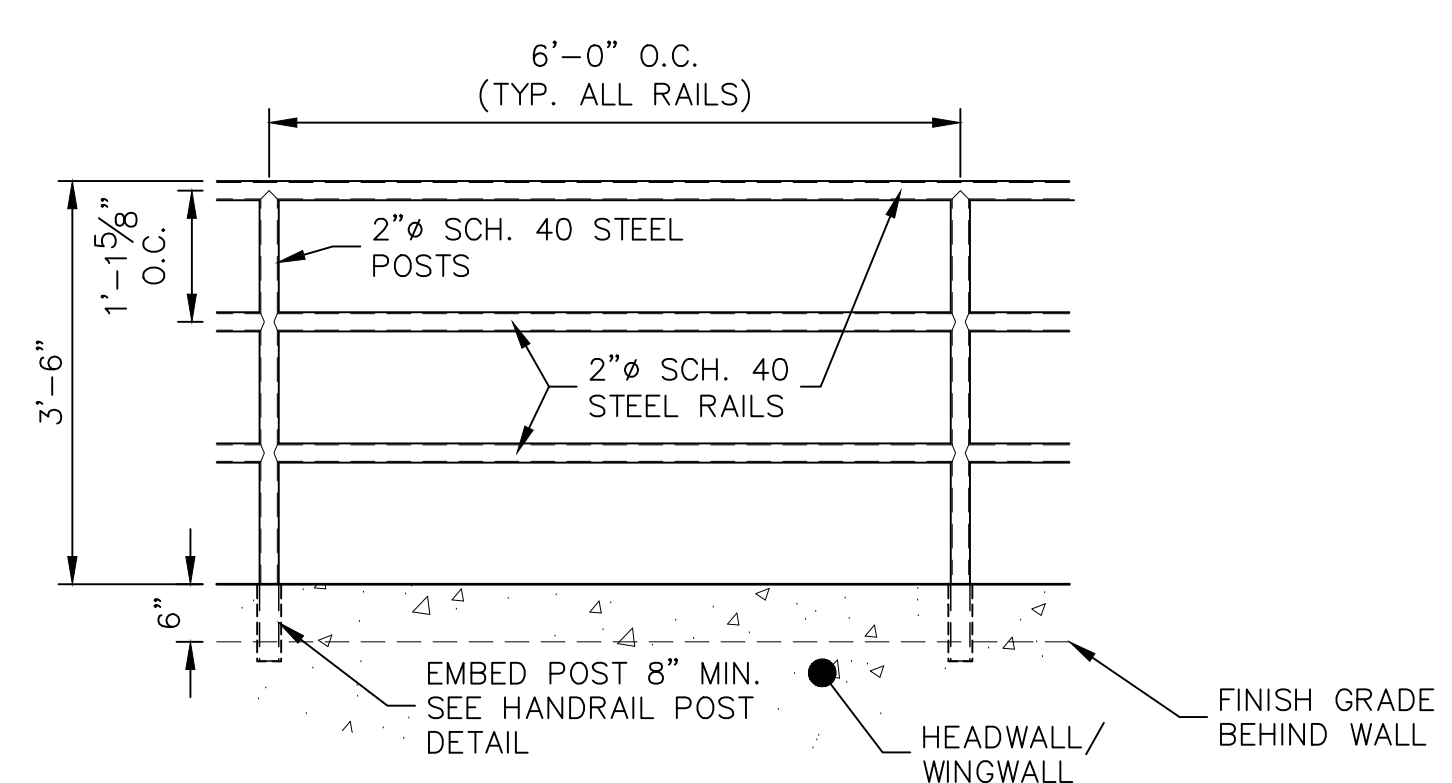
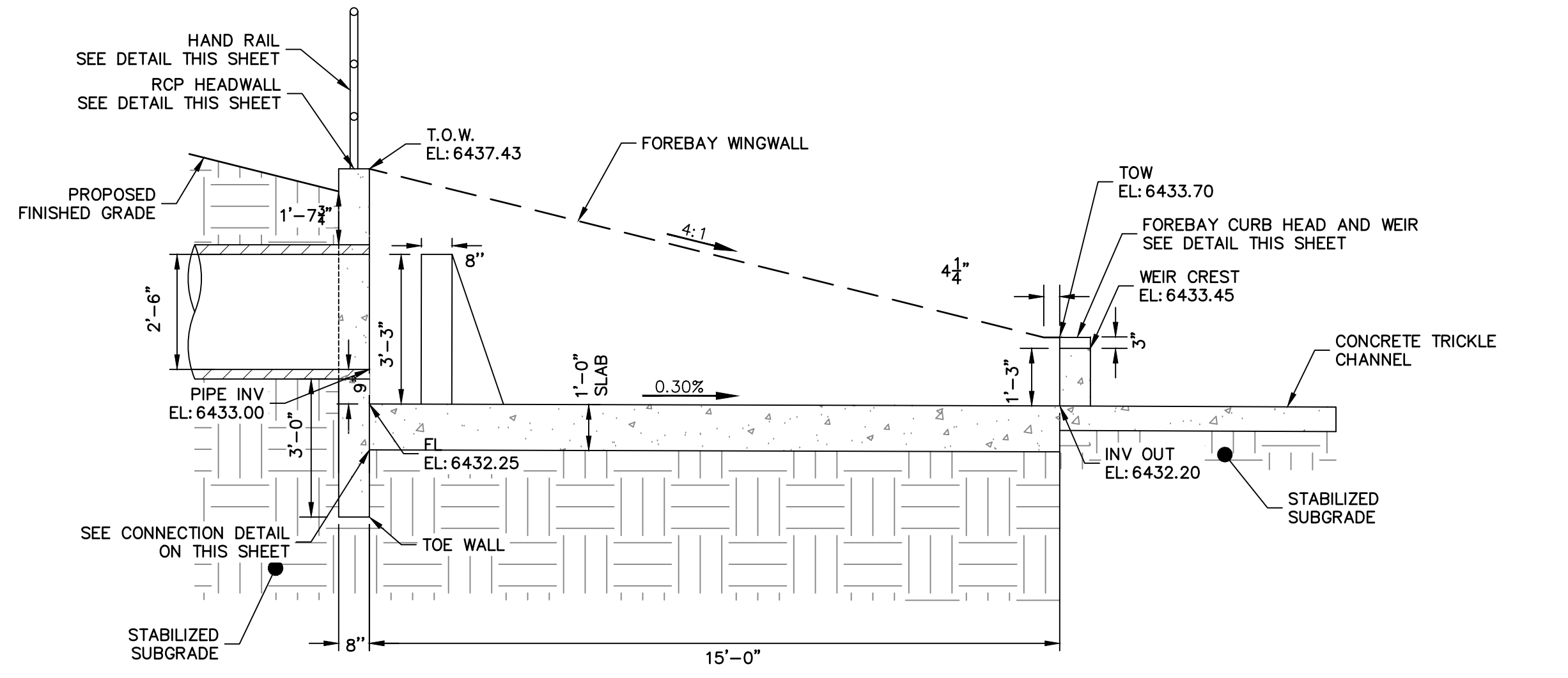
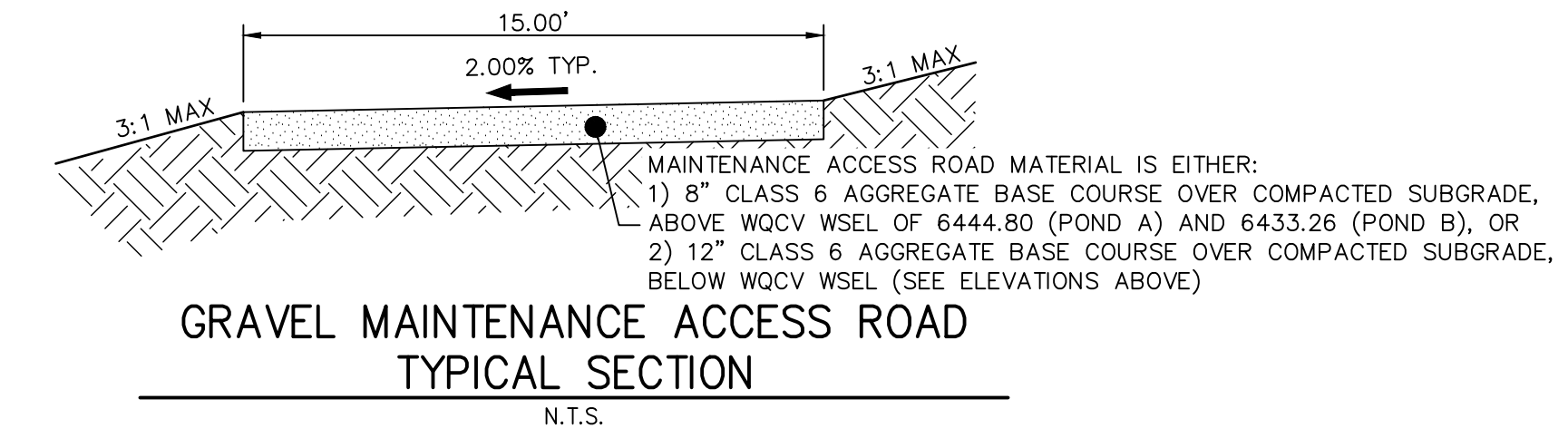
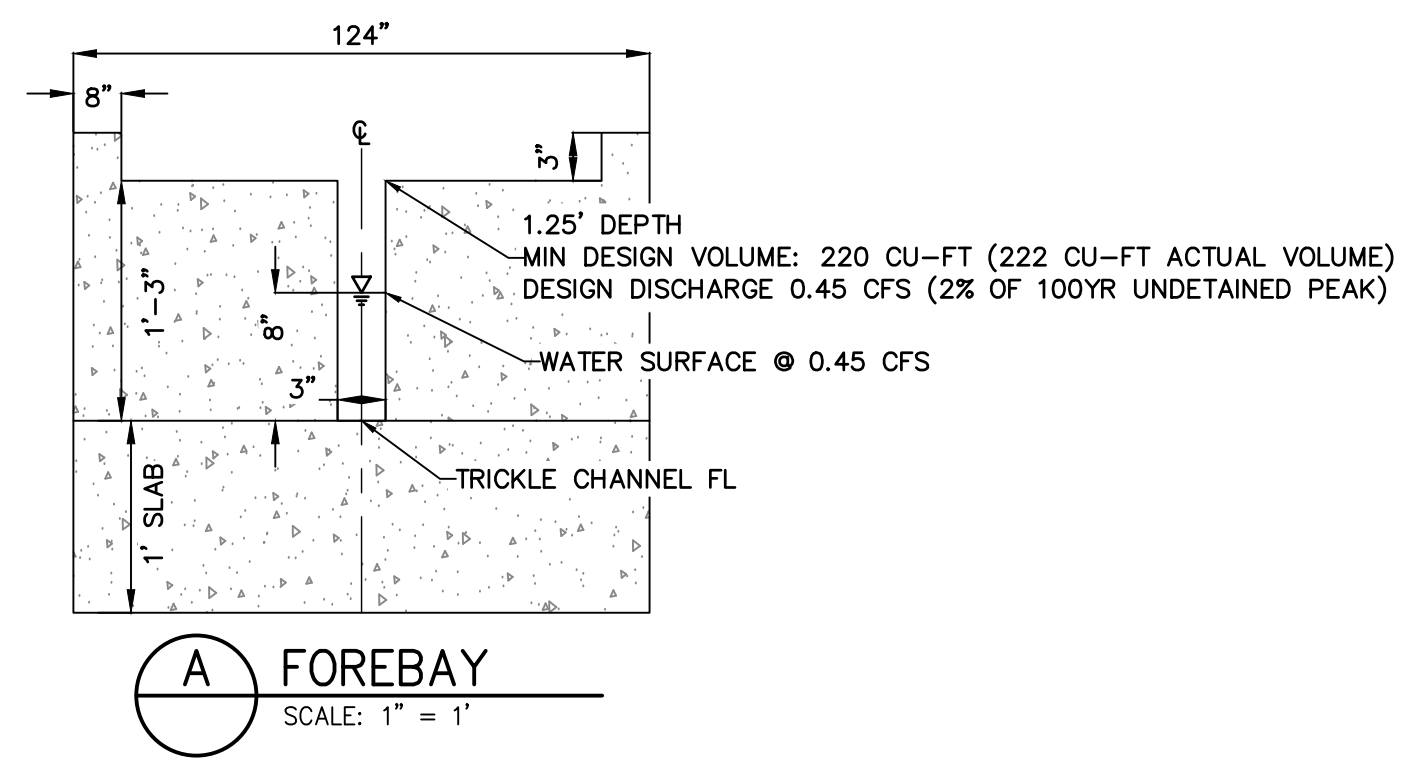
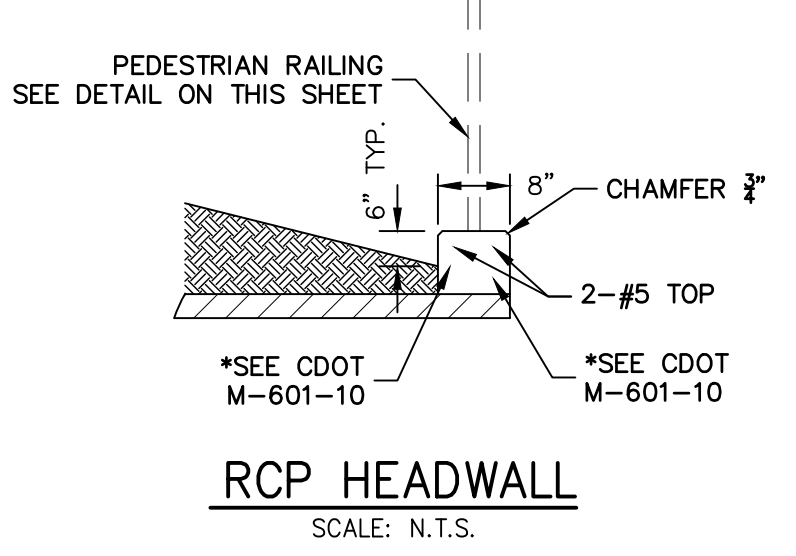
GLENN D. ELLIS, P.E.  
 COLORADO P.E. 38861  
 FOR AND ON BEHALF OF JR ENGINEERING





**WARNING**  
THIS AREA IS A STORMWATER FACILITY AND IS SUBJECT TO PERIODIC FLOODING

**PERMANENT BMP SIGN**  
N.T.S.  
MINIMUM AREA: 3 SQUARE FEET



**TYPE L RIPRAP**

INTERMEDIATE ROCK DIMENSION (IN.)	PERCENT PASSING (%)
15	70-100
12	50-70
9	35-50
3	2-10

\*TYPE L RIPRAP D50=9".  
D50 = MEAN PARTICLE SIZE (INTERMEDIATE DIMENSION) BY WEIGHT.

- RIPRAP NOTES:**
- SOIL RIPRAP DETAILS ARE APPLICABLE TO SLOPED AREAS. REFER TO THE SITE PLAN ACTUAL LOCATION AND LIMITS.
  - MIX UNIFORMLY 65% RIPRAP BY VOLUME WITH 35% OF APPROVED SOIL BY VOLUME PRIOR TO PLACEMENT.
  - PLACE STONE-SOIL MIX TO RESULT IN SECURELY INTERLOCKED ROCK AT THE DESIGN THICKNESS AND GRADE. COMPACT AND LEVEL TO ELIMINATE ALL VOIDS AND ROCKS PROJECTING ABOVE DESIGN RIPRAP TOP GRADE.
  - CRIMP OR TACKIFY MULCH OR USE APPROVED HYDROMULCH AS CALLED FOR IN THE PLANS AND SPECIFICATIONS.
  - ROCK SHALL BE HARD, DURABLE, ANGULAR IN SHAPE, AND FREE FROM CRACKS, OVERBURDEN, SHALE, AND ORGANIC MATTER.
  - NEITHER BREADTH NOR THICKNESS OF A SINGLE STONE SHOULD BE LESS THAN ONE-THIRD ITS LENGTH, AND ROUNDED STONE SHOULD BE AVOIDED.
  - THE ROCK SHOULD SUSTAIN A LOSS OF NOT MORE THAN 40% AFTER 500 REVOLUTIONS IN AN ABRASION TEST (LOS ANGELES MACHINE ASTM C-535-69) AND SHOULD SUSTAIN A LOSS OF NOT MORE THAN 10% AFTER 12 CYCLES OF FREEZING AND THAWING (AASHTO TEST 103 FOR LEDGE ROCK PROCEDURE A).
  - ROCK HAVING A MINIMUM SPECIFIC GRAVITY OF 2.65 IS PREFERRED; HOWEVER, IN NO CASE SHOULD ROCK HAVE A SPECIFIC GRAVITY LESS THAN 2.50.

**CAST-IN-PLACE STRUCTURAL NOTES:**

- ALL CONCRETE SHALL BE CLASS D IN ACCORDANCE WITH CDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- ALL CONSTRUCTION JOINTS SHALL BE THOROUGHLY CLEANED BEFORE FRESH CONCRETE IS POURED.
- ALL CONSTRUCTION JOINTS NOT SHOWN ON THE PLANS SHALL BE APPROVED BY THE ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE DURING CONSTRUCTION.
- STRUCTURE EXCAVATION AND BACKFILL SHALL BE IN ACCORDANCE WITH CDOT STD. M-206-1.
- DO NOT BACKFILL UNTIL CONCRETE HAS REACHED DESIGN STRENGTH, F<sub>c</sub>.
- GRADE 60 REINFORCING STEEL AND EPOXY COATED ARE REQUIRED.
- REINFORCING BARS SHALL BE DEFORMED AND SHALL HAVE A MINIMUM OF 2" CLEARANCE.
- ALL EXPOSED CONCRETE CORNERS SHALL BE CHAMFERED 3/4".
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF EXISTING STRUCTURES AND EXISTING UTILITIES, PRIOR TO CONSTRUCTION OF THE CAST-IN-PLACE STRUCTURES. FIELD MODIFICATIONS OF PRECAST UNITS TO ACCOMMODATE CAST-IN-PLACE STRUCTURES WILL ONLY BE ACCEPTABLE WITH THE ENGINEER'S APPROVAL.
- CONTRACTOR SHALL SUBMIT STEEL REINFORCING SHOP DRAWINGS FOR ALL CAST-IN-PLACE STRUCTURES FOR ENGINEER'S APPROVAL PRIOR TO CONSTRUCTION.

**WALL NOTES:**

- HEADWALLS FOR PIPES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CDOT STANDARD PLAN M-601-10.
- WINGWALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CDOT STANDARD PLAN M-601-20.
- PEDESTRIAN RAILINGS ARE REQUIRED IN LOCATIONS WHERE THE WALL HEIGHT EXCEEDS 30".

THE LOCATIONS OF EXISTING ABOVE GROUND AND UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL ABOVE GROUND AND UNDERGROUND UTILITIES.



**ENGINEER'S STATEMENT**

PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING

GLENN D. ELLIS, P.E.  
COLORADO P.E. 38861  
FOR AND ON BEHALF OF JR ENGINEERING

07/15/2021 DATE

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USE, THESE DRAWINGS ARE DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR  
**RICHMOND AMERICAN HOMES**  
4350 S. MONACO STREET  
DENVER, CO 80237  
(720) 977-3827  
JASON.FOCK@MDCH.COM

**J.R. ENGINEERING**  
A Westman Company  
Central 303-740-9383 • Colorado Springs 719-583-2583  
Fort Collins 970-491-9888 • www.jrengineering.com

BY	DATE	REVISION	AS SHOWN	AS SHOWN
			01/29/21	JEA
				JEA



Know what's below.  
Call before you dig.

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USE. THESE DRAWINGS ARE DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR  
**RICHMOND AMERICAN HOMES**  
4350 S. MONACO STREET  
DENVER, CO 80237  
(720) 977-3827  
JASON.FOCK@MDCOH.COM

**J.R. ENGINEERING**  
A Westman Company  
Central 303-740-9888 • Colorado Springs 719-583-2593  
Fort Collins 970-491-9888 • www.jrengineering.com

BY	DATE	No.	REVISION	H-SCALE	N/A	V-SCALE	N/A	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
								01/29/21	APL	APL	

**Typical Curb and Gutter Details Standard Drawing**

DATE APPROVED: 6/23/20  
REVISION DATE: 6/23/20  
FILE NAME: SD\_2-20

JENNIFER E. IRVINE  
DEPARTMENT OF PUBLIC WORKS

DEPARTMENT OF PUBLIC WORKS

(Res. No. 20-222, 6-23-20)

**Typical Cross Pan Layout Detail Standard Drawing**

DATE APPROVED: 8/11/11  
REVISION DATE: 12/8/15  
FILE NAME: SD\_2-26

ANDRÉ P. BRACKIN  
DEPARTMENT OF TRANSPORTATION

DEPARTMENT OF TRANSPORTATION

(Res. No. 20-222, 6-23-20)

**Pedestrian Curb Ramp Detail Standard Drawing**

DATE APPROVED: 6/23/20  
REVISION DATE: 6/23/20  
FILE NAME: SD\_2-40

JENNIFER E. IRVINE  
DEPARTMENT OF PUBLIC WORKS

DEPARTMENT OF PUBLIC WORKS

(Res. No. 20-222, 6-23-20)

**Pedestrian Curb Ramp Detail Standard Drawing**

DATE APPROVED: 6/23/20  
REVISION DATE: 6/23/20  
FILE NAME: SD\_2-41

JENNIFER E. IRVINE  
DEPARTMENT OF PUBLIC WORKS

DEPARTMENT OF PUBLIC WORKS

(Res. No. 20-222, 6-23-20)

**Detectable Warning Surface Details Standard Drawing**

DATE APPROVED: 6/23/20  
REVISION DATE: 6/23/20  
FILE NAME: SD\_2-42

JENNIFER E. IRVINE  
DEPARTMENT OF PUBLIC WORKS

DEPARTMENT OF PUBLIC WORKS

(Res. No. 20-222, 6-23-20)

**Parallel Pedestrian Curb Ramp Detail Standard Drawing**

DATE APPROVED: 6/23/20  
REVISION DATE: 6/23/20  
FILE NAME: SD\_2-50

JENNIFER E. IRVINE  
DEPARTMENT OF PUBLIC WORKS

DEPARTMENT OF PUBLIC WORKS

(Res. No. 20-222, 6-23-20)

**ENGINEER'S STATEMENT**

STANDARD DETAILS SHOWN WERE REVIEWED ONLY AS TO THEIR APPLICATION ON THIS PROJECT

07/15/2021

GLENN D. ELLIS, P.E.  
COLORADO P.E. 38861  
FOR AND ON BEHALF OF JR ENGINEERING