

LEGEND

PROPERTY LINE
 EASEMENT LINE
 SETBACK LINE
 LIMITS OF DISTURBANCE
 CUT/FILL DEMARCATION LINE
 PROPERTY CORNER MARKING, BENCHMARK OR TEMPORARY BENCHMARK
 FLOURE
 SHEET FLOW/IRRIGATION DIRECTION
 PROPOSED MAJOR CONTOUR
 EXISTING MAJOR CONTOUR
 EXISTING MINOR CONTOUR
 SPOT ELEVATION
 SETBACKING
 EX. ASPHALT PAVEMENT
 EX. CONCRETE PAVEMENT
 EX. STRUCTURE/BUILDING
 PROP. ASPHALT PAVEMENT
 PROP. CONCRETE PAVEMENT
 PROP. STRUCTURE/BUILDING
 EX. ASPHALT PAVEMENT
 EX. CONCRETE PAVEMENT
 EX. STRUCTURE/BUILDING

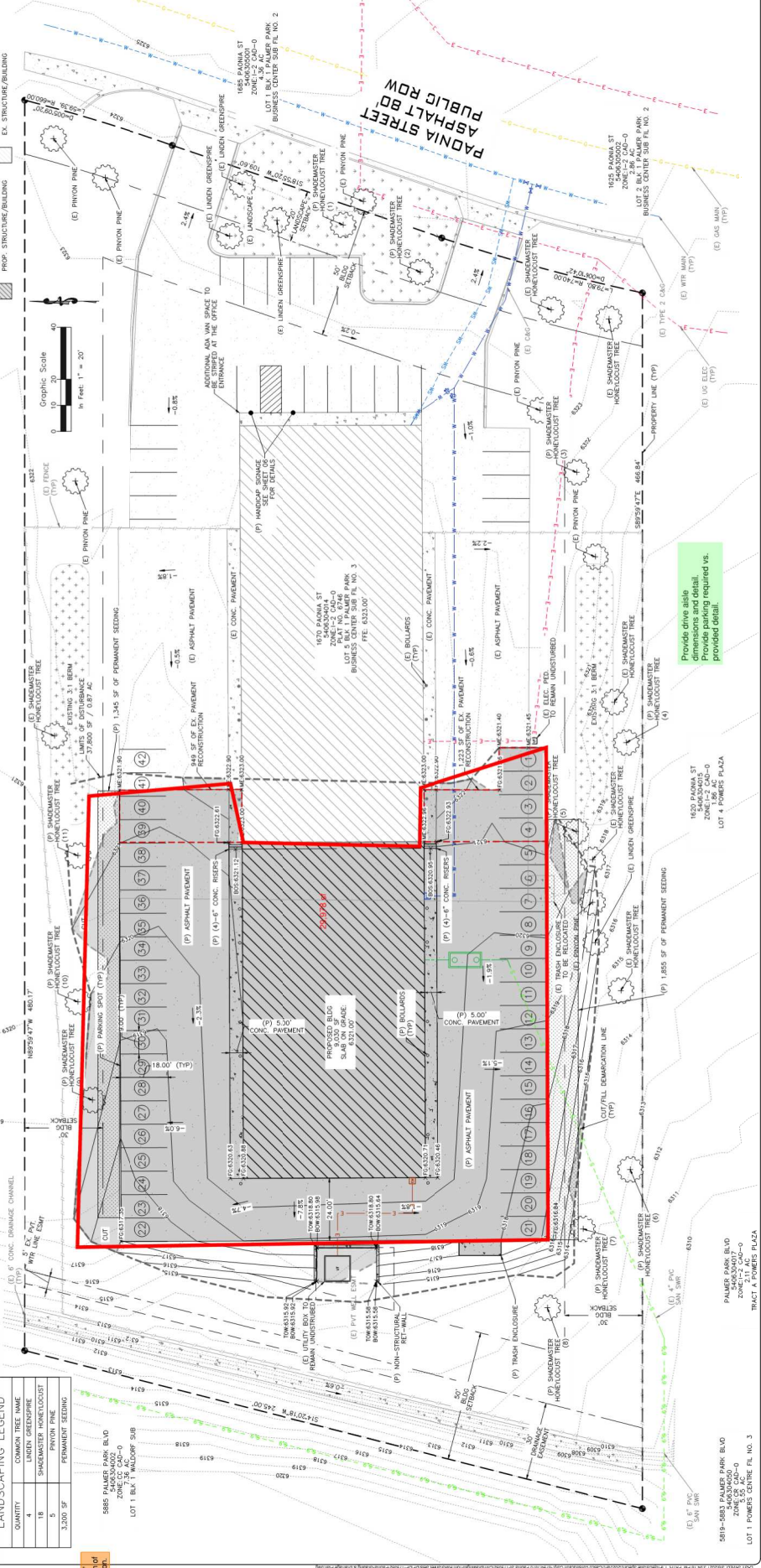
- NOTES:**
1. ANY LAND DISTURBANCE BY ANY OWNER, DEVELOPER, BUILDER, CONTRACTOR, OR OTHER PERSON SHALL COMPLY WITH THE BASIC GRADING, EROSION AND STORMWATER QUALITY MANAGEMENT PLAN, EROSION CONTROL PLAN, AND STORMWATER QUALITY MANAGEMENT PLAN. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THE PLAN. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THE PLAN. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THE PLAN.
 2. THE INSTALLATION OF THE BEST MANAGEMENT PRACTICES (BMPs) SHALL BE INSTALLED AND INSPECTED PRIOR TO ANY EARTH DISTURBANCE. THE INSTALLATION OF THE BEST MANAGEMENT PRACTICES (BMPs) SHALL BE INSTALLED AND INSPECTED PRIOR TO ANY EARTH DISTURBANCE.
 3. ALL UTILITIES SHALL BE SHOWN, ESPECIALLY UTILITIES SUCH AS FIBER OPTIC CABLES, AND ALL UTILITIES SHALL BE SHOWN, ESPECIALLY UTILITIES SUCH AS FIBER OPTIC CABLES, AND ALL UTILITIES SHALL BE SHOWN, ESPECIALLY UTILITIES SUCH AS FIBER OPTIC CABLES.
 4. THERE IS NO SITE LIGHTING PROVIDED. ALL PHOTOMETRICS TO BE BY THE ARCHITECTURAL PLANS AND/OR PLUMB MANUFACTURER PLANS.
 5. THE USE OF 2" WIDE STALLS SHALL BE USED AND ACCORDING TO THE NORTH AND SOUTH SIDE OF THE PROPOSED PAVING (PER CITY CODE 7.4.203). STALLS TO BE STIPPED TO THE EXISTING TWO (2) FT ADA WALK ACCESSIBLE AND SOUTH SIDE OF THE PROPOSED PAVING (PER CITY CODE 7.4.203).
 6. REFER TO SHEET C-02 FOR PAVING STALL DETAILS.
 7. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF COLORADO, ALL CODES AND ORDINANCES AND THE UNITED STATES DEPARTMENT OF TRANSPORTATION, FEDERAL AID ROAD AND BRIDGE CONSTRUCTION MANUAL, AND ALL OTHER FEDERAL, STATE, AND LOCAL REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLORADO, STATE OF COLORADO, AND LOCAL JURISDICTIONS.
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LANDSCAPING LEGEND

QUANTITY	COMMON TREE NAME
4	LINDEN GREENPINE
15	SHADOWERMASTER HONEYLOCUST
8	PRINON PINE
3,000 SF	PERMANENT SEEDING

5885 PALMER PARK BLVD
 ZONE C-1, C-2, C-3
 LOT 1 BKT 1 WALKOFF SUB

5819-5885 PALMER PARK BLVD
 ZONE C-1, C-2, C-3
 LOT 1 POWERS CENTRE FLD. NO. 3



1670 PAVINA STREET
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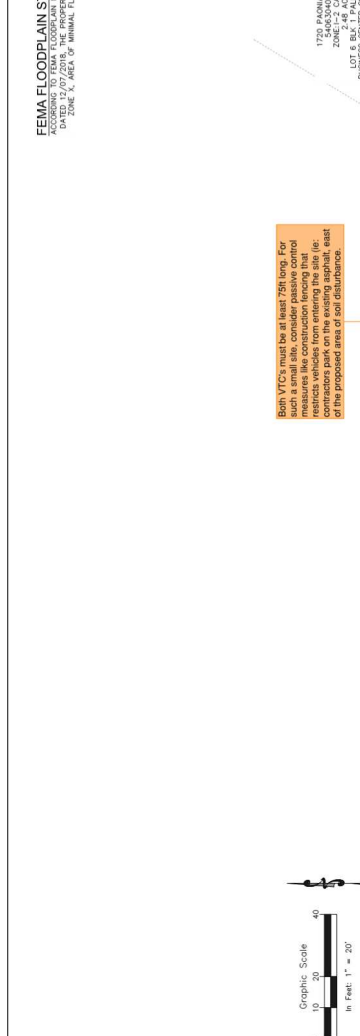
EROSION CONTROL LEGEND

Silt Fence
 Stabilized Staging Area (SSA)
 Concrete Washout Area (CWA)
 Sediment Control Loops (SCL)
 Seeding & Mulching (SM)
 Stoopale Area (SP)
 Vehicle Tracking Control (VTC)
 Vehicle Tracking Control (PT)

Property Line
 Easement Line
 Limits of Disturbance
 Cut/Fill Demarcation Line
 Property Corner Monument, Benchmark
 or Temporary Benchmark
 Flowline
 Sheet Flow/Drainage Direction
 Proposed Minor Contour
 Proposed Major Contour
 Existing Minor Contour
 Existing Major Contour
 Spot Elevation
 Site Materials
 Prop. Asphalt Pavement
 Prop. Concrete Pavement
 Prop. Structure/Building
 Ex. Asphalt Pavement
 Ex. Concrete Pavement
 Ex. Structure/Building

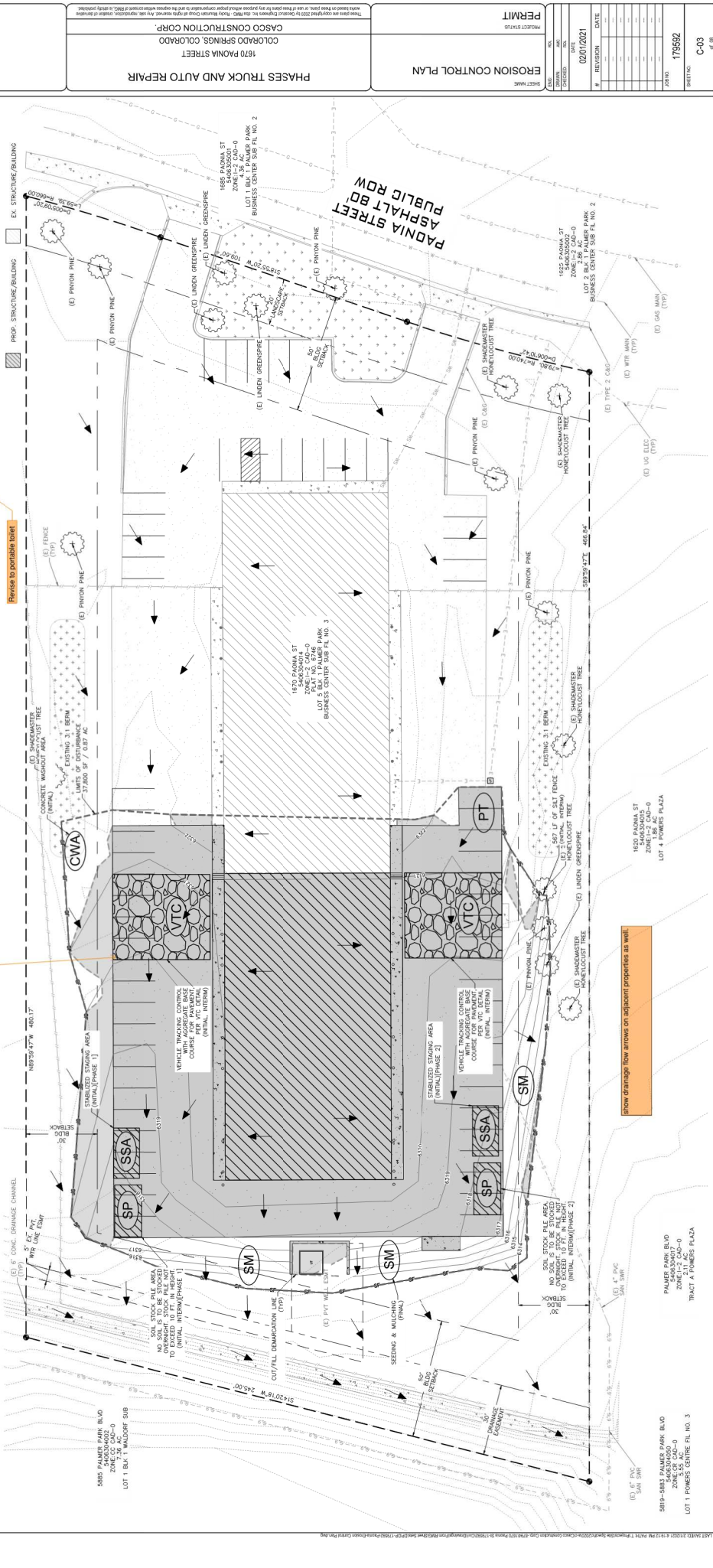
FEHA FLOODPLAIN STATEMENT:
 ACCORDING TO FEMA FLOODPLAIN MAP 0804100202G
 (REVISED 08/01/04), THE PROPOSED PROJECT IS LOCATED
 IN ZONE A, AN AREA OF MINIMAL FLOOD HAZARD.

Item H and M. If "limits of disturbance" and "limits of construction" boundary are the same, change to "limits of disturbance" and show as separate lines for "limits of disturbance" and "limits of construction" or otherwise show as separate lines for "limits of disturbance" and "limits of construction" on this legend and figure.



Both VTCs must be at least 75ft long. For such a small site, consider passive control measures such as seeding and mulching or reconstruction on existing the site (or contractor park on the existing asphalt, east of the proposed area of soil disturbance).

Graphical Scale
 0 10 20 40
 in Feet, 1" = 20'

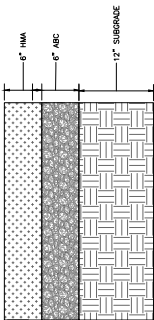


PAVEMENT MATERIALS

PAVEMENT MATERIALS SHOULD BE SELECTED, PREPARED, AND PLACED IN ACCORDANCE WITH THE GEOLOGICAL REPORT PREPARED BY RMC-ROCKY MOUNTAIN GROUP DATED XXXX, 2021 AS WELL AS THE CITY OF COLORADO SPRINGS ENGINEERING DEPARTMENT AND THE Pikes Peak Region ASPHALT PAVING SPECIFICATIONS. TESTS SHOULD BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE PROCEDURES PRESENTED IN THE REPORT AND SPECIFICATIONS.

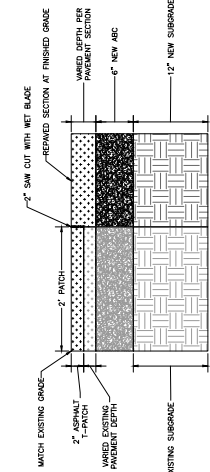
SUBGRADE PREPARATION

ON-SITE SOILS ENCOUNTERED IN THE TEST BORINGS ARE SUITABLE AS SUBGRADE MATERIAL. ALL SUBGRADE MATERIAL PLACED BELOW PAVEMENTS SHOULD BE MOISTURE CONDITIONED AND COMPACTED IN ACCORDANCE WITH THE STRUCTURAL DESIGN AND SPECIFICATIONS. THE SUBGRADE SHOULD BE PROOF-ROLLED WITH A HEAVY, PNEUMATIC TIRE VEHICLE WITH 2 PERCENT OF THE OPTIMUM MOISTURE CONTENT AND RECOMPACTED. THE SUBGRADE SHOULD THEN BE PROOF-ROLLED WITH A HEAVY, PNEUMATIC TIRE VEHICLE.

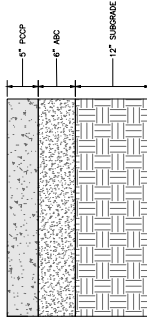


*RECOMMENDED PAVEMENT SECTION FOR HEAVY USE AREAS, DUMPSTER PADS, EQUIPMENT AREAS, AREAS WITH TURNING MOTIONS

(A) TYPICAL HEAVY LOADING ASPHALT PAVEMENT SECTION
NOT TO SCALE

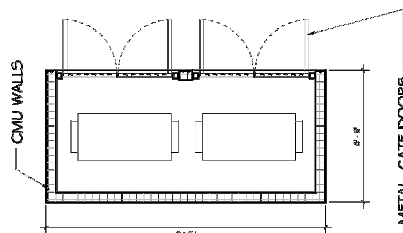


(B) ASPHALT PATCH PAVEMENT SECTION
NOT TO SCALE



(C) TYPICAL CONCRETE PAVEMENT SECTION
NOT TO SCALE

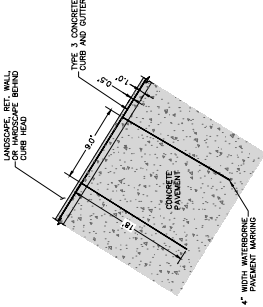
*CONTRACTOR SHALL ADHERE TO AND BE RESPONSIBLE FOR THE MOST RECENT EDITIONS OF ALL AASHTO AND MICHIGAN CONCRETE JOINTING AND PLACEMENT (INCLUDING BUT NOT LIMITED TO SECTIONS 3.7, 3.8, 3.9).



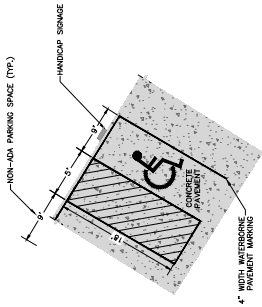
METAL GATE DOORS
TRASH ENCLOSURE PLAN
NOT TO SCALE



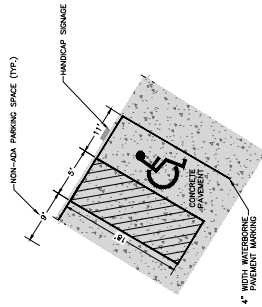
TRASH ENCLOSURE SECTION
NOT TO SCALE



TYPICAL NON-HANDICAP PARKING STALL



TYPICAL HANDICAP PARKING STALL
REFER TO CITY OF COLORADO SPRINGS CODE OF ORDINANCES SECTION 7.4.205 F FOR DIMENSIONAL REQUIREMENTS.



TYPICAL HANDICAP PARKING STALL (VAN ACCESSIBLE)
REFER TO CITY OF COLORADO SPRINGS CODE OF ORDINANCES SECTION 7.4.205 F FOR DIMENSIONAL REQUIREMENTS.

ROCKY MOUNTAIN GROUP
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Denver, CO 80202
Tel: 303.733.1100
Fax: 303.733.1101
www.rmcgroup.com

NOT FOR CONSTRUCTION
FOR UTIL ONLY

PHASES TRUCK AND AUTO REPAIR
1670 PAVING STREET
COLORADO SPRINGS, COLORADO
CASCO CONSTRUCTION CORP.

CONSTRUCTION DETAILS
PERMIT

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