

- NOTE:
- SURVEY LINEWORK AND TOPOGRAPHIC INFORMATION VIA SURVEY PROVIDED BY RMG-ROCKY MOUNTAIN GROUP. HORIZONTAL DATUM IS NAD83 COLORADO STATE PLANE CENTRAL U.S. FOOT (COBS-NF) AND VERTICAL DATUM IS NAVD83. THE CONTRACTOR SHALL CALIBRATE TO ELEVATION DATUM AS NEEDED.
 - THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED. THE OWNER OR ITS REPRESENTATIVE SHOULD DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK.
 - NOT ALL UTILITIES MAY BE SHOWN, ESPECIALLY UTILITIES SUCH AS FIBER OPTIC CABLES, TELEPHONE, TELEVISION, PHONE, ETC.
 - THERE IS NO SITE LIGHTING PROPOSED. ALL PHOTOMETRICS TO BE VIA THE PRE-ENGINEERED METAL BUILDING LIGHTING AS DEPICTED ON THE ARCHITECTURAL PLANS AND/OR PEMB MANUFACTURER PLANS.
 - SEE TYPICAL PAVEMENT SECTION DETAILS ON SHEET C-06.
 - THERE ARE 42 PARKING SPACES LABELED AND ACCOUNTED FOR ON THE NORTH AND SOUTH SIDE OF THE PROPOSED PEMB (PER CITY CODE 7.4.203).
 - THE EAST END OF THE PARCEL CARRIES TWO ADDITIONAL 9'X18' HANDICAP STALLS TO BE STRIPPED TO THE EXISTING TWO 11'X18' ADA VAN ACCESSIBLE STALL (PER CITY CODE 7.4.203).
 - REFER TO SHEET C-06 FOR PARKING STALL AND PAVEMENT DETAILS.
 - THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL OR STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.
 - SIGNAGE TO BE INSTALLED INDICATING THAT OUTSIDE DRIVE AISLE ARE FIRE ACCESS LANES AND PARKING IS NOT PERMITTED.
 - DISTURBED AREAS WITH EXISTING VEGETATION ARE TO BE REVEGETATED WITH SEEDING AND MULCHING WITH A DENSITY OF AT LEAST 70 PERCENT OF PRE-DISTURBANCE LEVELS.
 - ALL AREAS NOT COVERED BY 50D ARE TO BE SEEDED WITH DRY LAND GRASS MIXTURE. TO BE MOWED AND MAINTAINED.
 - PER EL PASO COUNTY'S LANDSCAPE POLICY AND DESIGN MANUAL, PART 3, SECTION 1, REQUIRES AN ADDITIONAL FOR EVERY 15 PARKING SPACES, WITH 42 PROPOSED PARKING SPACES, 3 ADDITIONAL TREES HAVE BEEN ADDED.
 - AN EXISTING STORMWATER QUALITY STRUCTURE TOWARDS THE REAR OF THE LOT LOCATED ON THE WEST SIDE IS TO BE MAINTAINED AND CLEARED OF IMPOSING VEGETATION WITHIN 50 FEET OF THE DRAINAGE CHANNEL BY THE OWNER.
 - EXISTING LANDSCAPE IS FOUND AT THE FRONTAGE AND SIDES. THE REAR OF THE LOT IS SPARSELY COVERED IN NATIVE GRASSES AND SHRUBS.
 - THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

Cut/Fill Volumes	
Cut volume (unadjusted)	288.70 Cu. Yd.
Fill volume (unadjusted)	1369.46 Cu. Yd.
Net volume (unadjusted)	1080.75 Cu. Yd. <Fill>
Cut/Fill Volumes (33% SWELL/COMPACTION FACTORS)	
Cut volume (adjusted)	383.97 Cu. Yd.
Fill volume (adjusted)	1821.98 Cu. Yd.
Net volume (adjusted)	1437.40 Cu. Yd. <Fill>

- GENERAL NOTES:
- ANTICIPATED START: BEGINNING OF MAY 2021
 - EXPECTED DATE ON WHICH THE FINAL STABILIZATION WILL BE COMPLETED: BEGINNING OF OCTOBER 2021.
 - TOTAL AREA TO BE CLEARED, EXCAVATED, OR GRADED: 37,800 SF (0.87 AC).
 - RECEIVING WATERS: SAND CREEK
 - SOILS INFORMATION: USDA CLASSIFIED AS BLAKELAND LOAMY SAND AND BLENDON SANDY LOAM, HYDROLOGIC SOIL GROUP A AND B RESPECTIVELY.

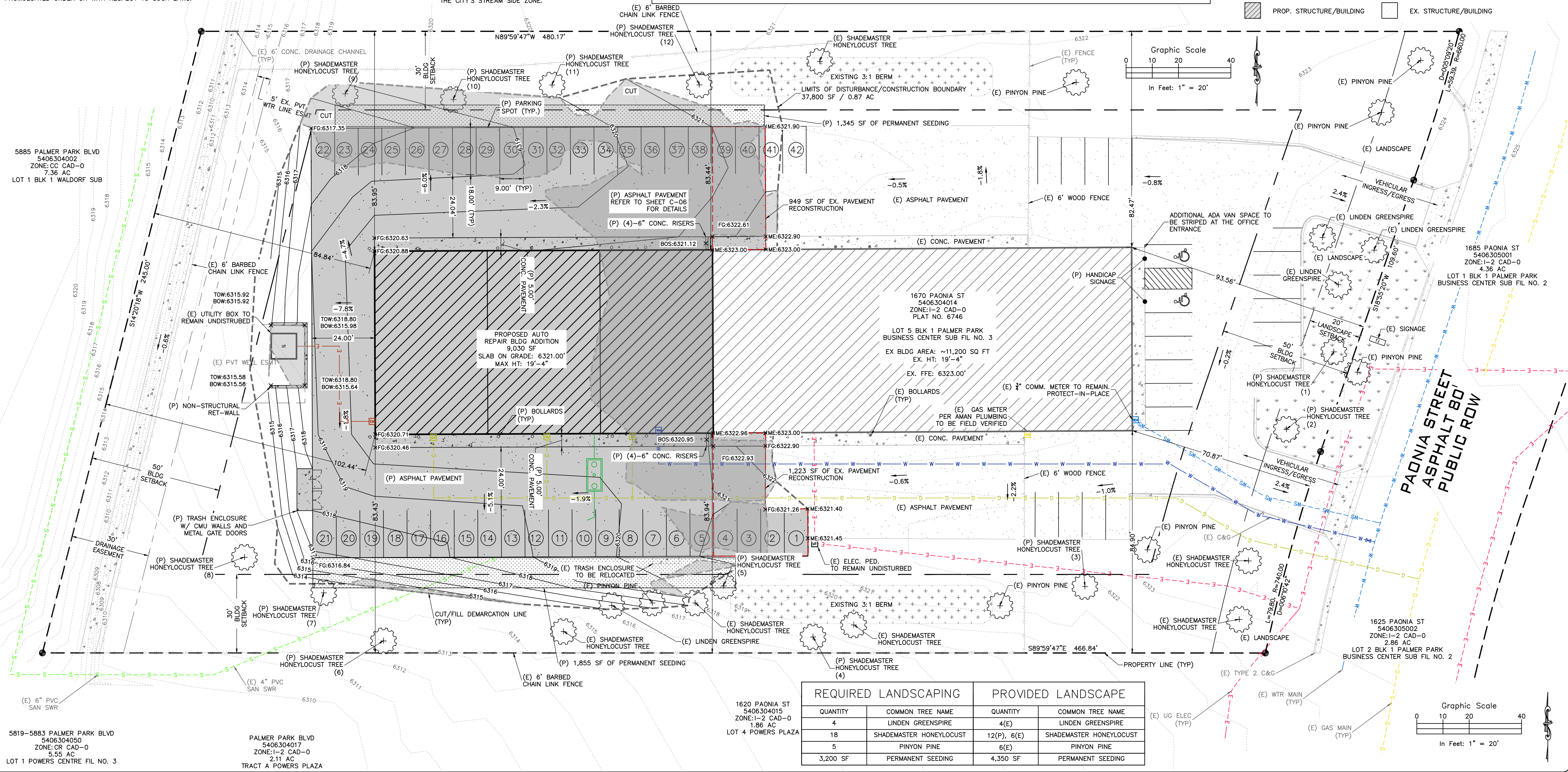
- PHASING NOTES:
- THE ANTICIPATED SEQUENCE OF CONSTRUCTION ARE AS FOLLOWS:
 - INSTALLATION OF INITIAL CONTROL MEASURES, CLEARING AND GRUBBING, CONSTRUCTION STAKING, VEHICLE TRACKING ACCESS INSTALLATION (BASE COURSE OF DRIVE ACCESS TO VTC DETAILS STANDARDS) - MAY 2021, DURATION: 1 WEEK
 - EXCAVATION FOR FOUNDATIONS AND UTILITIES COMMON TRENCHES - JUNE 2021, DURATION: 2 WEEKS
 - FOUNDATION AND UTILITIES INSTALLATIONS INCLUDING TIE IN TO EXISTING MAINS - JUNE 2021, DURATION: 2 WEEKS
 - INSTALLATION OF INTERIM CONTROL MEASURES, BACKFILL AND FINE GRADING, HARDSCAPE INSTALLATION INCLUDING WALLS - JULY 2021, DURATION: 4 WEEKS
 - STRUCTURE ERECTIONS AND OFFICE BUILDING CONSTRUCTION - AUGUST 2021, DURATION: 6 WEEKS
 - INSTALLATION OF FINAL CONTROL MEASURES, FINE GRADING, PERMANENT STABILIZATION AND SEEDING - SEPTEMBER 2021, DURATION: 2 WEEKS
 - PROJECT CLOSE OUT - OCTOBER 2021.

- NOTES:
- ANY LAND DISTURBANCE BY ANY OWNER, DEVELOPER, BUILDER, CONTRACTOR, OR OTHER PERSON SHALL COMPLY WITH THE BASIC GRADING, EROSION AND STORMWATER QUALITY CONTROL REQUIREMENTS AND GENERAL PROHIBITIONS NOTED IN THE DRAINAGE CRITERIA MANUAL VOLUME II.
 - NO CLEARING, GRADING, EXCAVATION, FILLING, OR OTHER LAND DISTURBING ACTIVITIES SHALL BE PERMITTED UNTIL SIGNOFF AND ACCEPTANCE OF THE GRADING PLAN AND EROSION AND STORMWATER QUALITY CONTROL PLAN IS RECEIVED FROM EDRD.
 - THE INSTALLATION OF THE FIRST LEVEL OF TEMPORARY EROSION CONTROL FACILITIES AND BMP'S SHALL BE INSTALLED AND INSPECTED PRIOR TO ANY EARTH DISTURBANCE OPERATIONS TAKING PLACE. CALL CITY STORMWATER INSPECTIONS, 385-5980, 48 HOURS PRIOR TO CONSTRUCTION.
 - SEDIMENT (MUD AND DIRT) TRANSPORTED ONTO A PUBLIC ROAD, REGARDLESS OF THE SIZE OF THE SITE, SHALL BE CLEANED IMMEDIATELY.
 - CONCRETE WASH WATER SHALL NOT BE DISCHARGED TO OR ALLOWED TO RUNOFF TO STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
 - SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN TWENTY-ONE (21) CALENDAR DAYS AFTER FINAL GRADING OR FINAL EARTH DISTURBANCE HAS BEEN COMPLETED. DISTURBED AREAS AND STOCKPILES WHICH ARE NOT AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN THIRTY (30) DAYS SHALL ALSO BE MULCHED WITHIN TWENTY-ONE (21) DAYS AFTER INTERIM GRADING. AN AREA THAT IS GOING TO REMAIN IN AN INTERIM STATE FOR MORE THAN SIXTY (60) DAYS SHALL ALSO BE SEEDED. ALL TEMPORARY SOIL EROSION CONTROL MEASURES AND BMP'S SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED.
 - THE GRADING AND EROSION CONTROL PLAN WILL BE SUBJECT TO RE-REVIEW AND RE-ACCEPTANCE BY EDRD SHOULD ANY OF THE FOLLOWING OCCUR: GRADING DOES NOT COMMENCE WITHIN TWELVE (12) MONTHS OF THE CITY ENGINEER'S ACCEPTANCE OF THE PLAN, A CHANGE IN PROPERTY OWNERSHIP, PROPOSED DEVELOPMENT CHANGES, OR PROPOSED GRADING REVISIONS.
 - THE PLAN SHALL NOT SUBSTANTIALLY CHANGE THE DEPTH OF COVER, OR ACCESS EXISTING UTILITY LINES. ACCEPTANCE OF THIS PLAN DOES NOT CONSTITUTE APPROVAL TO GRADE IN ANY UTILITY EASEMENT OR RIGHT-OF-WAY. APPROVALS TO GRADE WITHIN UTILITY EASEMENTS MUST BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANY. IT IS NOT PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH ON ANY COLORADO SPRINGS UTILITIES EASEMENT OR UTILITY RIGHT-OF-WAY WITHOUT THEIR WRITTEN APPROVAL. THE PLAN SHALL NOT INCREASE OR DIVERT WATER TOWARDS UTILITY FACILITIES. ANY CHANGES TO EXISTING UTILITY FACILITIES TO ACCOMMODATE THE PLAN MUST BE APPROVED BY THE AFFECTED UTILITY OWNER PRIOR TO IMPLEMENTING THE PLAN. THE COST TO RELOCATE OR PROTECT EXISTING UTILITIES OR TO PROVIDE INTERIM ACCESS IS THE APPLICANT'S EXPENSE.
 - STABILIZATION METHODS AND RECOMMENDATIONS ARE INCLUDED AS PART OF THE GEOTECHNICAL REPORT AND SHALL CONFORM TO ASTM STANDARDS FOR THE SOIL CONDITIONS AS WELL AS FOLLOW SECTION 3.7 GRADING AND COMPACTION OF THE DRAINAGE CRITERIA MANUAL VOLUME I, CHAPTER 14.
 - IN AREAS TO BE SEEDED, THE UPPER 3 INCHES OF THE SOIL SHOULD NOT BE HEAVILY COMPACTED AND SHOULD BE IN A FRIABLE CONDITION. LESS THAN AN 85% STANDARD PROCTOR DENSITY IS ACCEPTABLE. DIFFERENCES IN TEXTURE AND DENSITY OF SUBSOIL AND TOPSOIL LAYERS CAN CREATE SOIL STRATIFICATION. THIS STRATIFICATION CAUSES POOR INTERNAL DRAINAGE FROM ONE TEXTURE TO ANOTHER AND CAN INHIBIT NORMAL ROOT GROWTH. LEFT TO CORRECT ITSELF NATURALLY, THIS CONDITION MAY TAKE DECADES AND MAY NEVER APPROACH AN IDEAL SITUATION. CONSEQUENTLY, AREAS OF COMPACTION OR GENERAL CONSTRUCTION ACTIVITY SHOULD BE SCARIFIED TO A DEPTH OF 6 TO 12 INCHES PRIOR TO SPREADING TOPSOIL TO BREAK UP COMPACTED LAYERS AND PROVIDE A BLENDING ZONE BETWEEN DIFFERENT SOIL LAYERS. THE IDEAL WOULD BE TO PRODUCE A SOIL SIMILAR TO THAT ENCOUNTERED IN A NATURAL, DESIRABLE SOIL CONDITION.
 - SEE GRADING AND EROSION CONTROL NARRATIVE REPORT FOR SOIL CONDITIONS.
 - CONTRACTOR TO LOCATE/VERIFY LOCATION OF EXISTING UTILITIES AND FIELD VERIFY ELEVATIONS PRIOR TO CONSTRUCTION.
 - ALL UTILITY INSTALLATIONS WITHIN THE LIMITS OF DISTURBANCE SHOWN ON THIS PLAN ARE COVERED UNDER THIS PLAN. LOCATIONS OF UTILITIES WITHIN THE LIMITS OF DISTURBANCE MAY BE MODIFIED AFTER PLAN APPROVAL AS A FIELD CHANGE. UTILITY INSTALLATIONS RELATED TO THE PRIVATE DEVELOPMENT THAT EXTEND BEYOND THE LIMITS OF DISTURBANCE SHOWN ON THIS PLAN ARE CONSIDERED TO BE PART OF THE LARGER DEVELOPMENT, AND THEREFORE REQUIRE A PLAN MODIFICATION PLAN OR SEPARATE PLAN FOR THE ADDITIONAL DISTURBANCE AREA.
 - APPLICANT REPRESENTS AND WARRANTS THAT THEY HAVE THE LEGAL AUTHORITY TO GRADE AND/OR CONSTRUCT IMPROVEMENTS ON ADJACENT PROPERTY. THE CITY HAS NOT REVIEWED THE DEVELOPER'S AUTHORITY TO MODIFY ADJACENT PROPERTY.
 - SEE SHEETS C-05, C-06 & C-07 FOR BMP DETAILS.

LEGEND

	PROPERTY LINE		PROPERTY CORNER/MONUMENT, BENCHMARK OR TEMPORARY BENCHMARK
	EASEMENT LINE		CUT/FILL DEMARCATION LINE
	SETBACK LINE		PROPERTY CORNER/MONUMENT, BENCHMARK OR TEMPORARY BENCHMARK
	LIMITS OF DISTURBANCE/CONSTRUCTION BOUNDARY		FLOWLINE
	CUT		SHEET FLOW/DRAINAGE DIRECTION
	FILL		PROPOSED MINOR CONTOUR
	BM		PROPOSED MAJOR CONTOUR
	PROPERTY CORNER/MONUMENT, BENCHMARK OR TEMPORARY BENCHMARK		EXISTING MINOR CONTOUR
	FLOWLINE		EXISTING MAJOR CONTOUR
	SHEET FLOW/DRAINAGE DIRECTION		SPOT ELEVATION
	PROPOSED MINOR CONTOUR		
	PROPOSED MAJOR CONTOUR		
	EXISTING MINOR CONTOUR		
	EXISTING MAJOR CONTOUR		
	SPOT ELEVATION		
SITE HATCHING			
	PROP. ASPHALT PAVEMENT		EX. ASPHALT PAVEMENT
	PROP. CONCRETE PAVEMENT		EX. CONCRETE PAVEMENT
	PROP. STRUCTURE/BUILDING		EX. STRUCTURE/BUILDING

*THIS PROPERTY DOES NOT FALL WITHIN THE CITY'S STREAM SIDE ZONE.



REQUIRED LANDSCAPING		PROVIDED LANDSCAPE	
QUANTITY	COMMON TREE NAME	QUANTITY	COMMON TREE NAME
4	LINDEN GREENSPIRE	4(E)	LINDEN GREENSPIRE
18	SHADEMASTER HONEYLOCUST	12(P), 6(E)	SHADEMASTER HONEYLOCUST
5	PINYON PINE	6(E)	PINYON PINE
3,200 SF	PERMANENT SEEDING	4,350 SF	PERMANENT SEEDING

ROCKY MOUNTAIN GROUP
 ARCHITECTS
 Structural
 Forestry
 Civil
 Planning
 Environmental
 Engineering

LEGEND

PHASES TRUCK AND AUTO REPAIR

SITE & GRADING PLAN

PERMIT

08/15/2021

179592

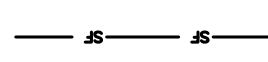







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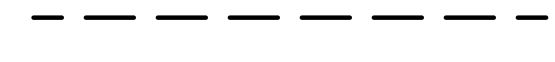
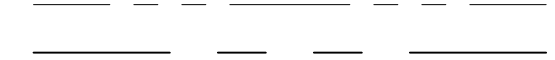



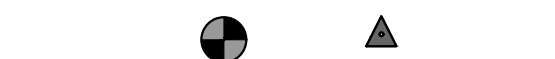
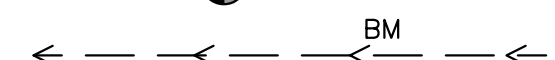


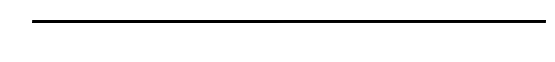





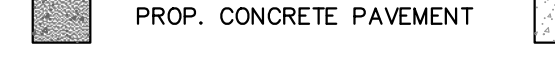

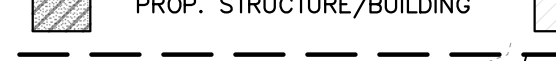

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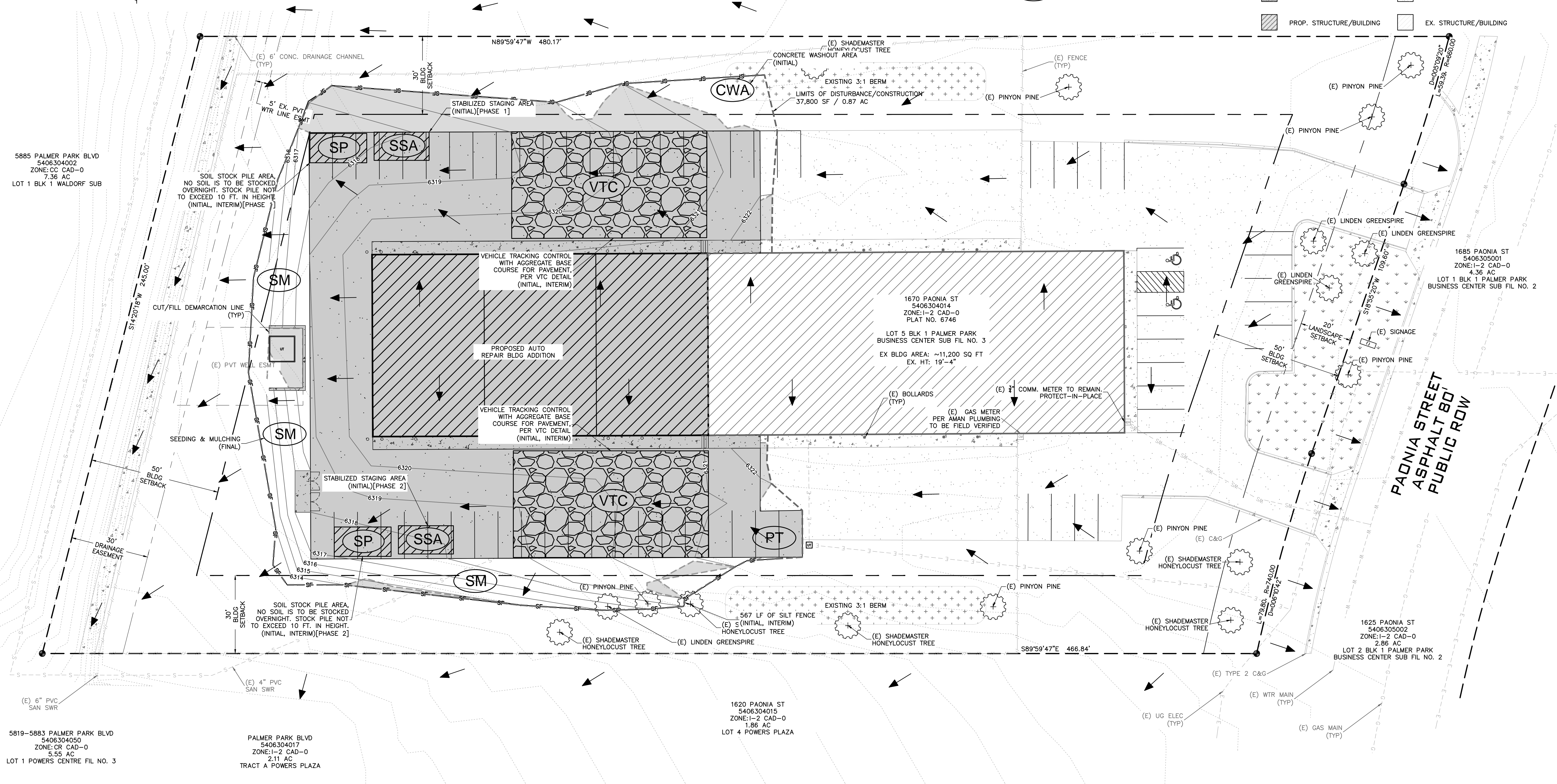
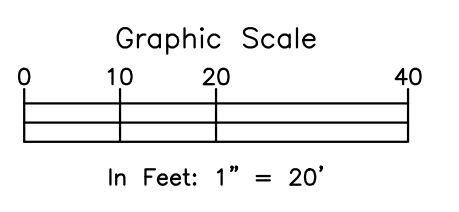
FEMA FLOODPLAIN STATEMENT:
 ACCORDING TO FEMA FLOODPLAIN MAP 08041C0752G
 DATED 12/07/2018, THE PROPERTY FALLS WITHIN
 ZONE X, AREA OF MINIMAL FLOOD HAZARD.

EROSION CONTROL LEGEND

-  SILT FENCE
-  STABILIZED STAGING AREA
-  CONCRETE WASHOUT AREA
-  SEDIMENT CONTROL LOGS
-  SEEDING & MULCHING
-  STOCKPILE AREA
-  VEHICLE TRACKING CONTROL
-  PORTABLE TOILET

LEGEND

-  PROPERTY LINE
-  EASEMENT LINE
-  SETBACK LINE
-  LIMITS OF DISTURBANCE
-  CUT/FILL DEMARCATION LINE
-  PROPERTY CORNER/MONUMENT, BENCHMARK OR TEMPORARY BENCHMARK
-  FLOWLINE
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-  EXISTING MINOR CONTOUR
-  EXISTING MAJOR CONTOUR
-  SPOT ELEVATION
- SITE HATCHING**
-  PROP. ASPHALT PAVEMENT
-  EX. ASPHALT PAVEMENT
-  PROP. CONCRETE PAVEMENT
-  EX. CONCRETE PAVEMENT
-  PROP. STRUCTURE/BUILDING
-  EX. STRUCTURE/BUILDING



ROCKY MOUNTAIN GROUP
 ARCHITECTS
 GEOTECHNICAL
 MATERIALS TESTING
 CIVIL TRAINING
RMG
 ENGINEERS
 ARCHITECTURAL
 STRUCTURAL
 FORENSIC

2910 ALBANY BLUFFS PARKWAY, COLORADO SPRINGS, CO 80918
 719.585.5145 WWW.ROCKYMOUNTAINENGINEERS.COM
 SOLELY RESPONSIBLE DESIGNER/REGISTERED PROFESSIONAL ENGINEER

COLORADO LICENSED
 SCOTT MARVEL
 08152021
 52138
 PROFESSIONAL ENGINEER
 FOR CIVIL ONLY

PHASES TRUCK AND AUTO REPAIR
 1670 PAONIA STREET
 COLORADO SPRINGS, COLORADO
 CASCO CONSTRUCTION CORP.

EROSION CONTROL PLAN
 SHEET NAME
 PROJECT STATUS
 PERMIT

ENG: RDL
 DRAWN: AMC
 CHECKED: RDL
 DATE
 08/15/2021

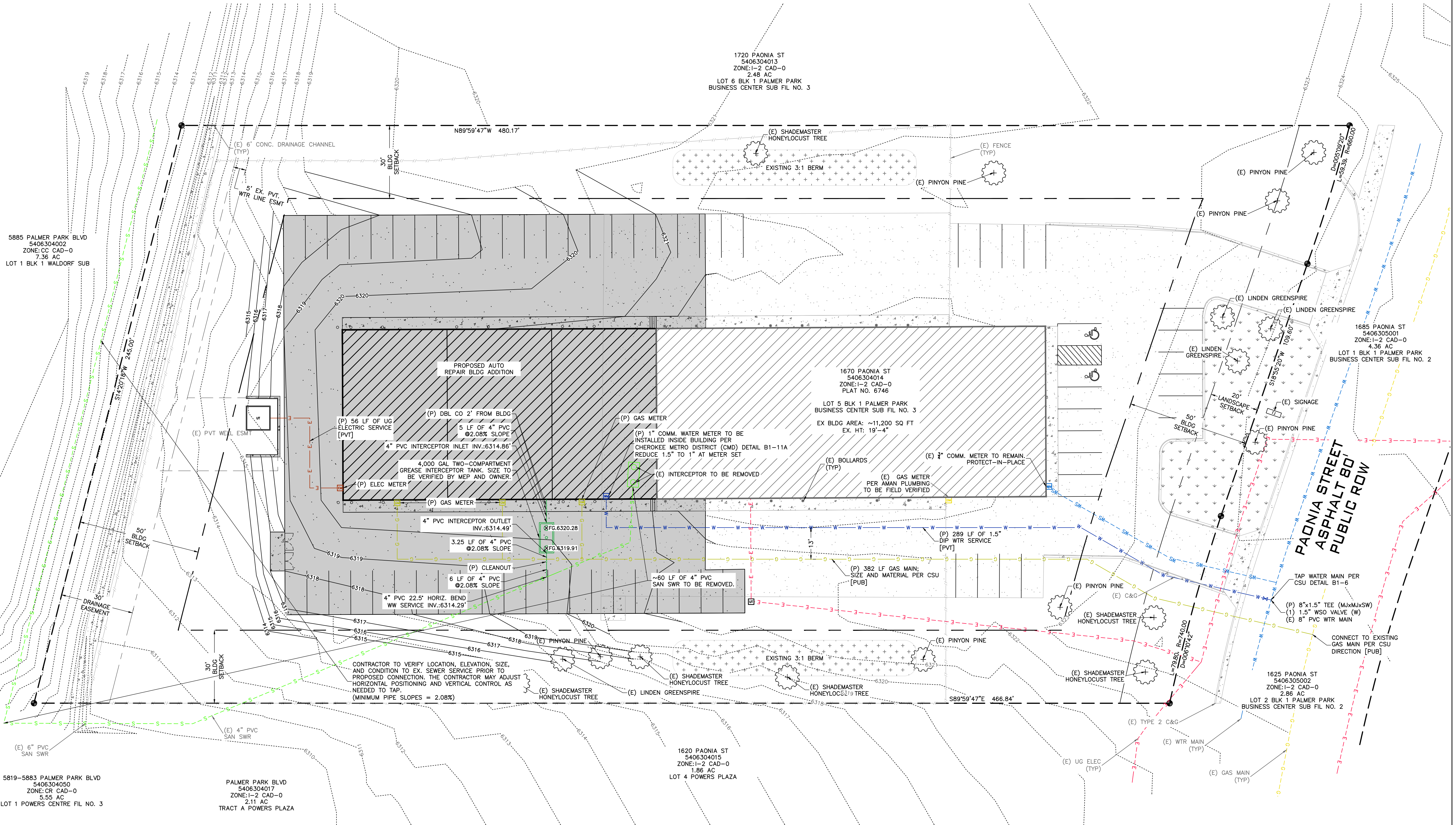
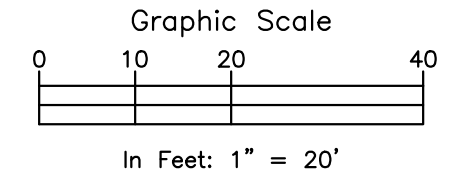
#	REVISION	DATE

JOB NO.
179592

SHEET NO.
C-03
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- NOTE:
- EXISTING SANITARY SEWER LINEWORK INFORMATION WAS PROVIDED VIA SITE & GRADING PLAN BY HAMMERS CONSTRUCTION, INC. DATED APRIL 19, 1999. THE OWNER OR ITS REPRESENTATIVE SHOULD DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK.
 - AN EXISTING ELECTRIC PHASE 3 TRANSFORMER WAS FOUND ON SITE. THE ELECTRIC TRANSFORMER IS TO REMAIN UNDISTURBED WITH A MINIMUM OF 10 FEET OF ACCESS SPACE IN FRONT OF THE ACCESS DOOR.
 - SURVEY LINEWORK AND TOPOGRAPHIC INFORMATION VIA SURVEY PROVIDED BY RMG-ROCKY MOUNTAIN GROUP. HORIZONTAL DATUM IS NAD83 COLORADO STATE PLANE CENTRAL U.S. FOOT (C083-NF) AND VERTICAL DATUM IS NAVD83. THE CONTRACTOR SHALL CALIBRATE TO ELEVATION DATUM AS NEEDED.
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 - NOT ALL UTILITIES MAY BE SHOWN, ESPECIALLY UTILITIES SUCH AS FIBER OPTIC CABLES, TELEPHONE, TELEVISION, PHONE, ETC.
 - REFER TO THE MEP PLANS FOR INTERNAL WATER, GAS AND ELECTRICAL UTILITY SERVICE.



ROCKY MOUNTAIN GROUP
 ARCHITECTS
 ENGINEERS
 2910 ALBANY BLVD. SUITE 200
 BOULDER, CO 80501
 WWW.RMG-ENGINEERS.COM

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 52138
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 1670 PAONIA STREET
 COLORADO SPRINGS, COLORADO
 CASCO CONSTRUCTION CORP.

UTILITY SERVICE PLAN
 PERMIT
 PROJECT STATUS
 DATE: 08/15/2021
 SHEET NO.: C-04
 JOB NO.: 170592
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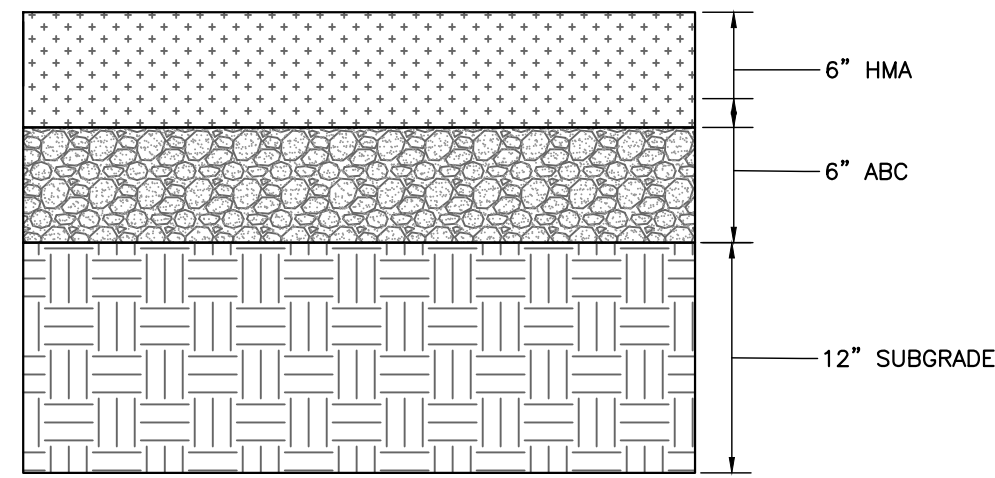
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PAVEMENT MATERIALS

PAVEMENT MATERIALS SHOULD BE SELECTED, PREPARED, AND PLACED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY RMG-ROCKY MOUNTAIN GROUP DATED JANUARY 29, 2021 AS WELL AS THE CITY OF COLORADO SPRINGS ENGINEERING DEPARTMENT AND THE PIKES PEAK REGION ASPHALT PAVING SPECIFICATIONS. TESTS SHOULD BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE PROCEDURES PRESENTED IN THE REPORT AND SPECIFICATIONS.

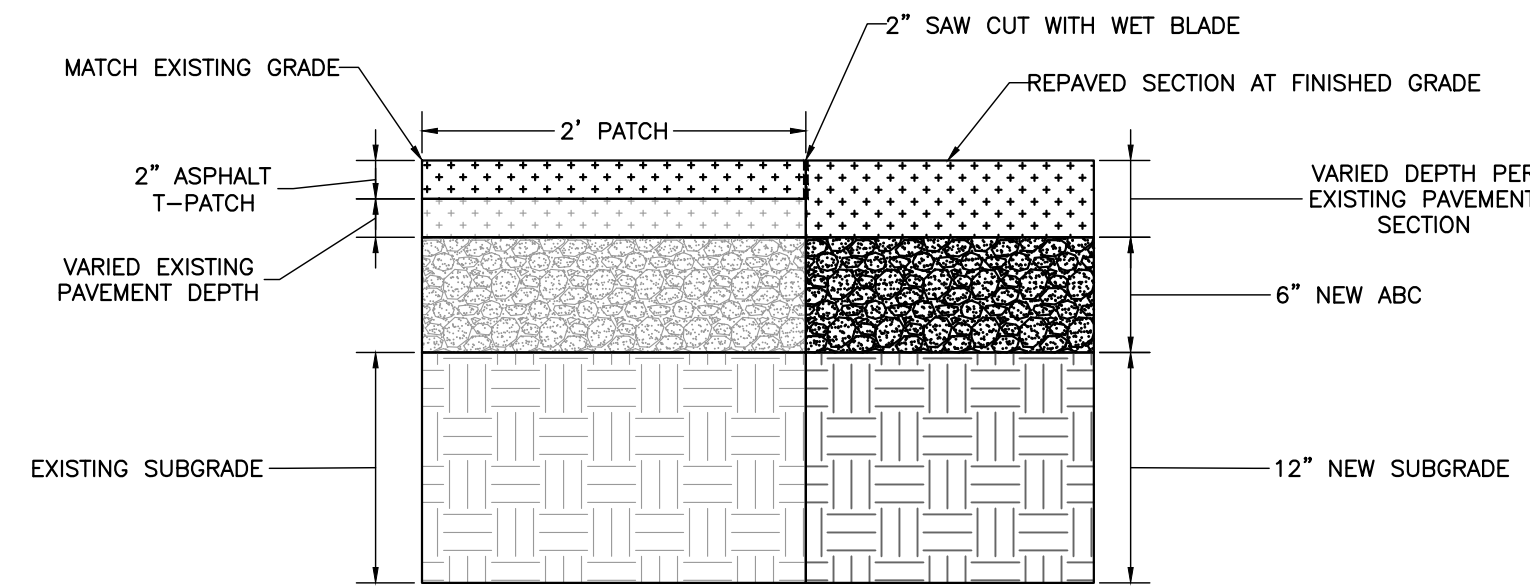
SUBGRADE PREPARATION

ALL SUBGRADE MATERIAL PLACED BELOW PAVEMENTS SHOULD BE MOISTURE CONDITIONED AND COMPACTED IN ACCORDANCE WITH THE STRUCTURAL FILL-GENERAL SECTION OF THE GEOTECHNICAL REPORT PREPARED BY RMG-ROCKY MOUNTAIN GROUP. PRIOR TO PLACEMENT OF THE PAVEMENT SECTION, THE FINAL SUBGRADE SHOULD BE SCARIFIED TO A DEPTH OF 6-INCHES, ADJUSTED TO WITHIN 2 PERCENT OF THE OPTIMUM MOISTURE CONTENT AND RECOMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D-1557). THE SUBGRADE SHOULD THEN BE PROOF-ROLLED WITH A HEAVY, PNEUMATIC Tired VEHICLE.

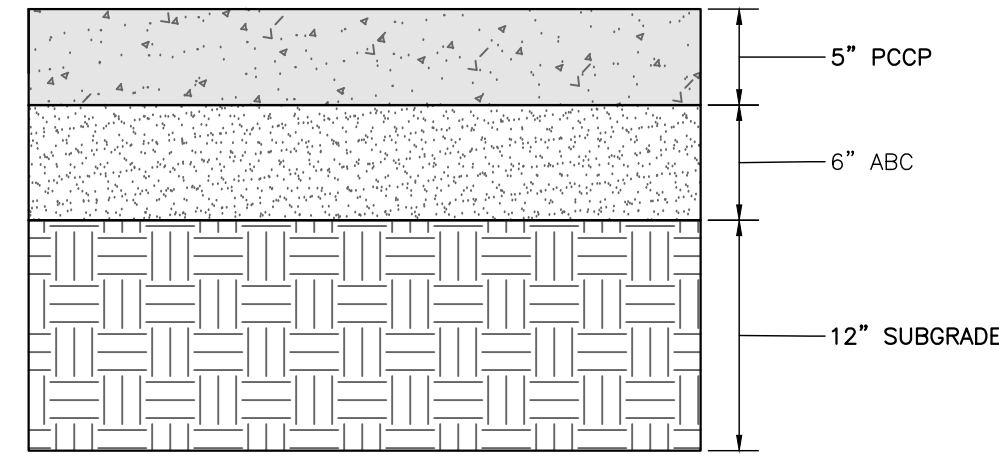


*RECOMMENDED PAVEMENT SECTION FOR HEAVY USE AREAS, DUMPSTER PADS, EQUIPMENT AREAS, AND AREAS WITH TURNING MOTIONS

(A) TYPICAL HEAVY LOADING ASPHALT PAVEMENT SECTION
NOT TO SCALE

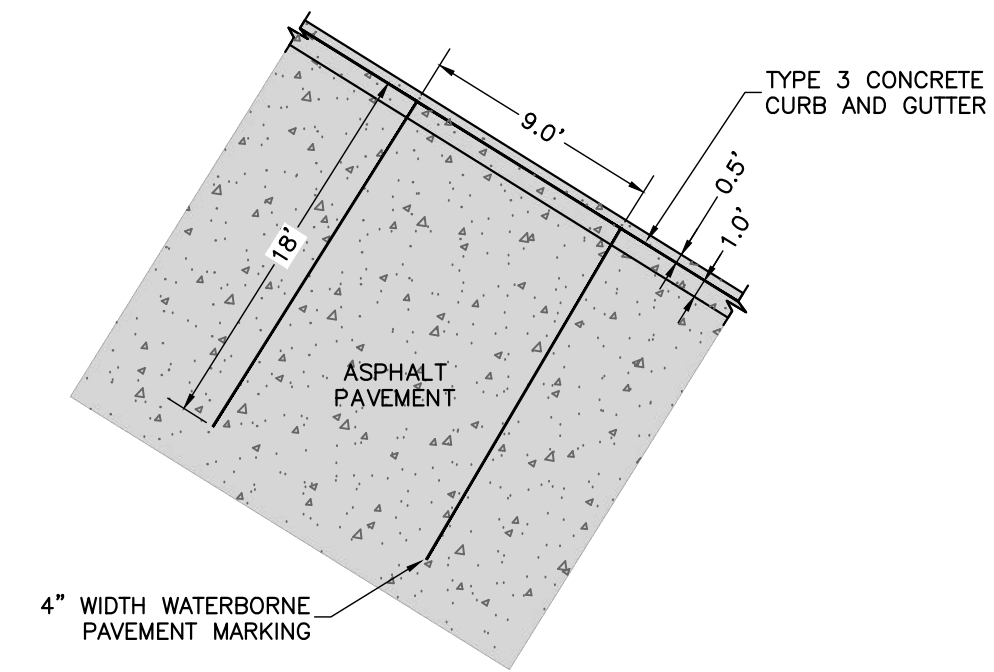


(B) ASPHALT PATCH PAVEMENT SECTION
NOT TO SCALE

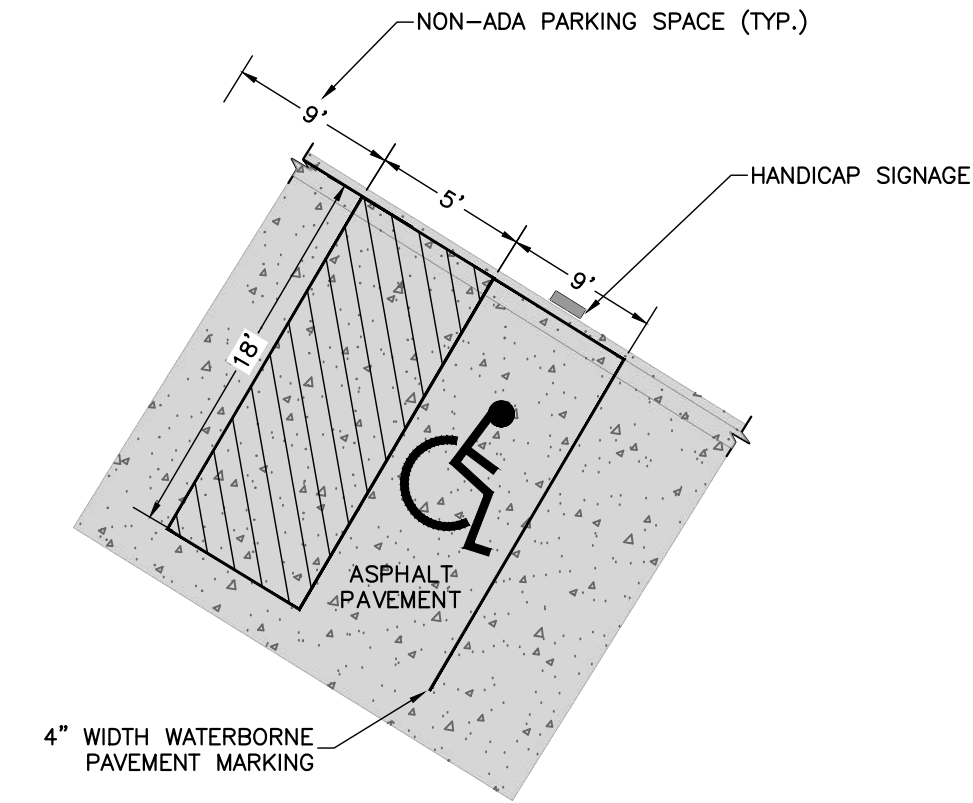


(C) TYPICAL CONCRETE PAVEMENT SECTION
NOT TO SCALE

*CONTRACTOR SHALL ADHERE TO AND BE FAMILIAR WITH ACI 330R-08 (LATEST REVISION) STANDARDS FOR CONCRETE JOINTING AND PLACEMENT (INCLUDING BUT NOT LIMITED TO SECTIONS 3.7, 3.8, 3.9).

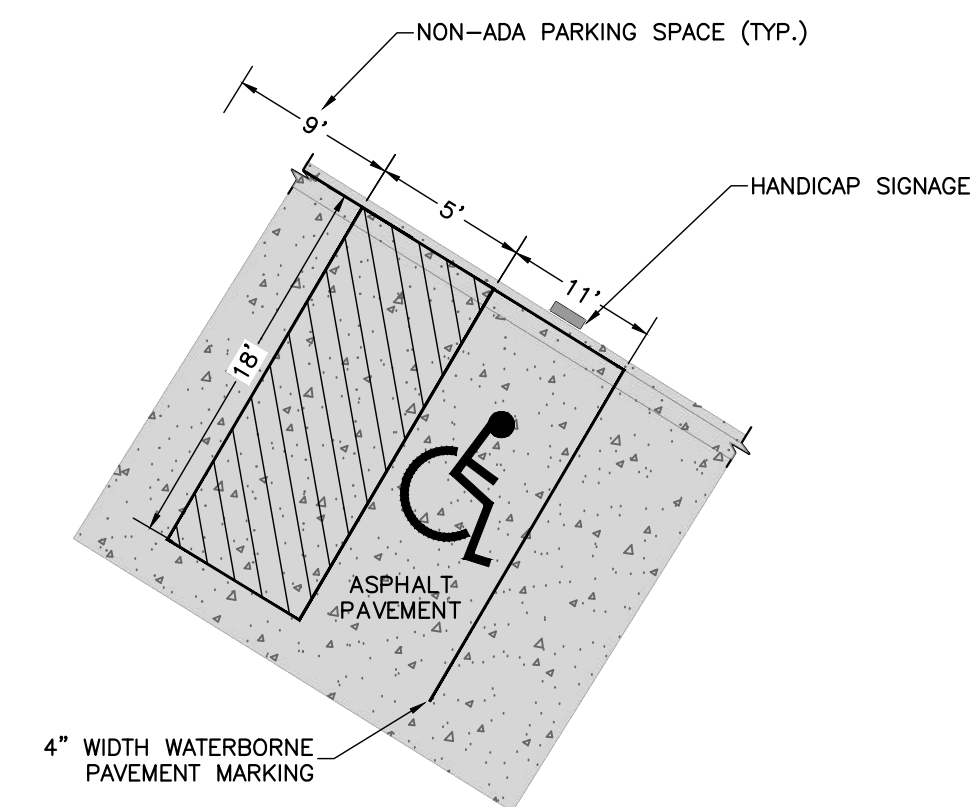


TYPICAL NON-HANDICAP PARKING STALL



TYPICAL HANDICAP PARKING STALL

*REFER TO CITY OF COLORADO SPRINGS CODE OF ORDINANCES SECTION 7.4.205 F FOR DIMENSIONAL REQUIREMENTS.



TYPICAL HANDICAP PARKING STALL (VAN ACCESSIBLE)

*REFER TO CITY OF COLORADO SPRINGS CODE OF ORDINANCES SECTION 7.4.205 F, AND EL PASO COUNTY STANDARDS, FOR DIMENSIONAL REQUIREMENTS.

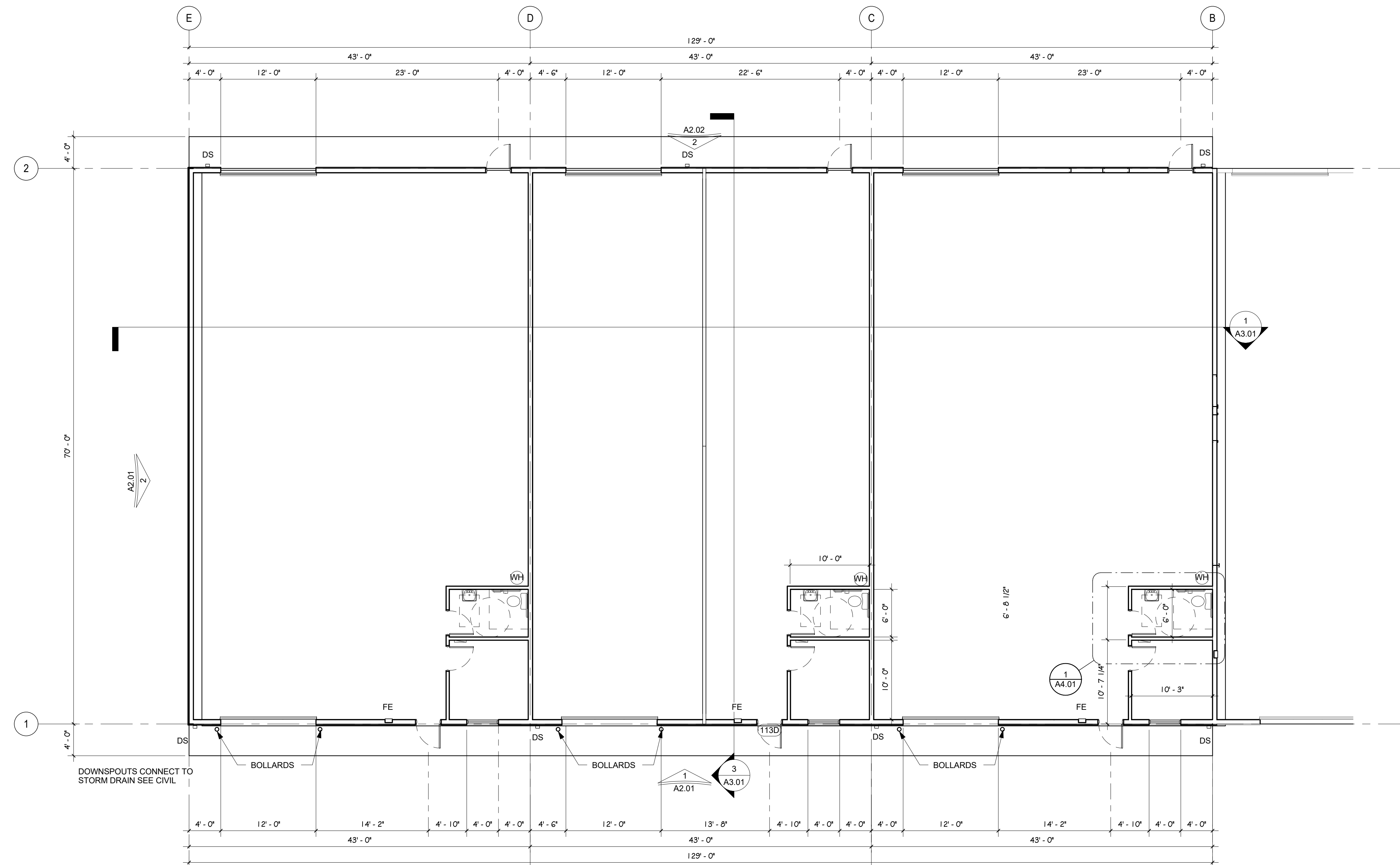
ROCKY MOUNTAIN GROUP
ARCHITECTS
Geotechnical
Materials Testing
Civil/Planning
RMG
ENGINEERS
Structural
Forensics
2910 ALBERTA BLUFFS PARKWAY, COLORADO SPRINGS, CO 80918
WWW.RMGENGINEERS.COM
SOUTHERN COLORADO
SPECIALTY ENGINEERING, DESIGN AND CONSTRUCTION

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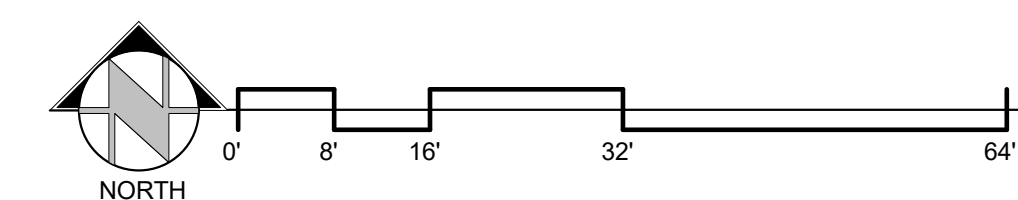
PHASES TRUCK AND AUTO REPAIR
1670 PAONIA STREET
COLORADO SPRINGS, COLORADO
CASCO CONSTRUCTION CORP.
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SHEET NAME
CONSTRUCTION DETAILS
PROJECT STATUS
PERMIT
ENG: SAM
DRAWN: AMC
CHECKED: RCL
DATE
08/15/2021
REVISION DATE
JOB NO.
179592
SHEET NO.
C-06
of 10
PCD FILING NO.: PPR-21-021

LAST SAVED: 01/15/2021 2:55:28 PM. PATH: \\sawtooth\engr\proj\179592\Cad\Casco Construction Corp - 47941670 Paonia St\179592\Cad\Drawings\From RMG\Sheet Set\CD\CD-179592-Phase 2\Phase 2\Construction Details.dwg




1 FIRST FLOOR PLAN
A1.01 SCALE: 1/8" = 1'-0"



PCD FILING NO: PPR-21-021

ROCKY MOUNTAIN GROUP
ENGINEERS ARCHITECTS
PLANNERS
LANDSCAPE ARCHITECTS
INTERIOR DESIGNERS



800 WILSON BLVD SUITE 300
DENVER, COLORADO 80202
19375 BELCON LANE RD., HIGHLAND, CO 80432
(719) 482-2145 - WWW.RMGENGINEERS.COM
SOUTH PLATON, COLORADO, DENVER METRO, HIGHLAND, COLORADO

PAONIA WAREHOUSE
1670 PAONIA STREET, COLORADO SPRINGS, CO 80915

CASCO CONSTRUCTION CORP.
This office is responsible only for the design of the work shown on these plans. The contractor is responsible for the construction of the work shown on these plans. The contractor shall be responsible for obtaining all necessary permits and for the accuracy of the work shown on these plans. No liability is assumed by this office for any work shown on these plans that is not shown on these plans.

SHEET NAME
FIRST FLOOR PLAN

PROJECT STATUS
PRELIMINARY SET

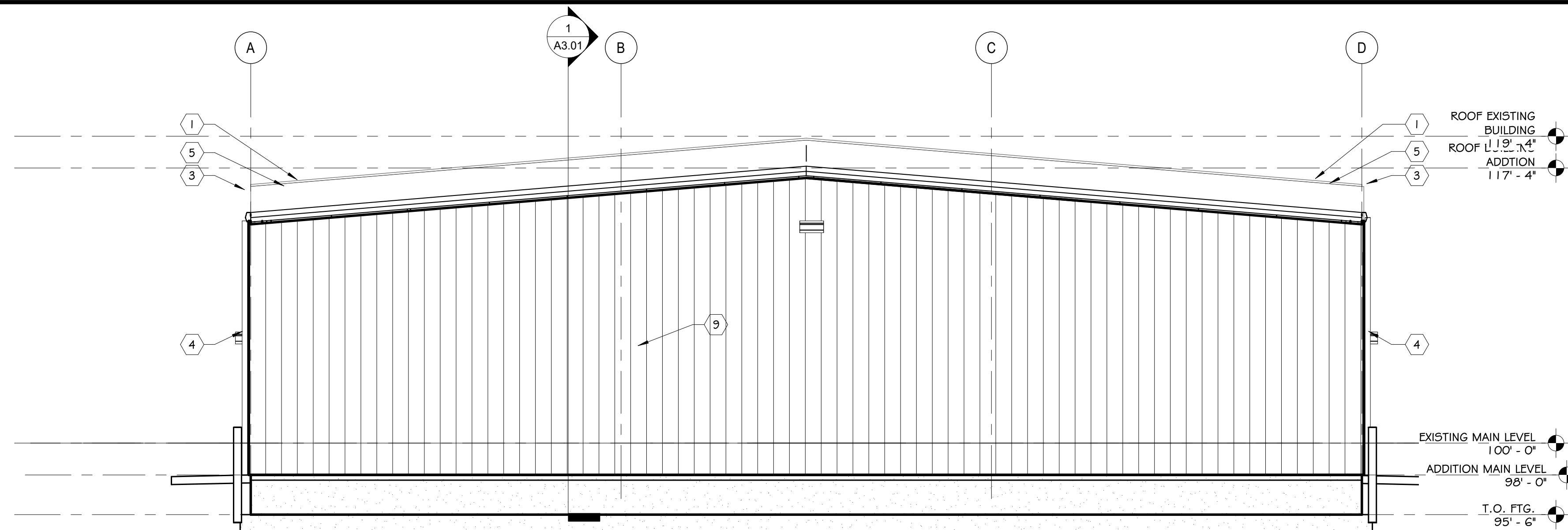
ARCH/ENG: KEM
DRAWN: JDZ
CHECKED: km

DATE
12.29.2020

REVISION	DATE

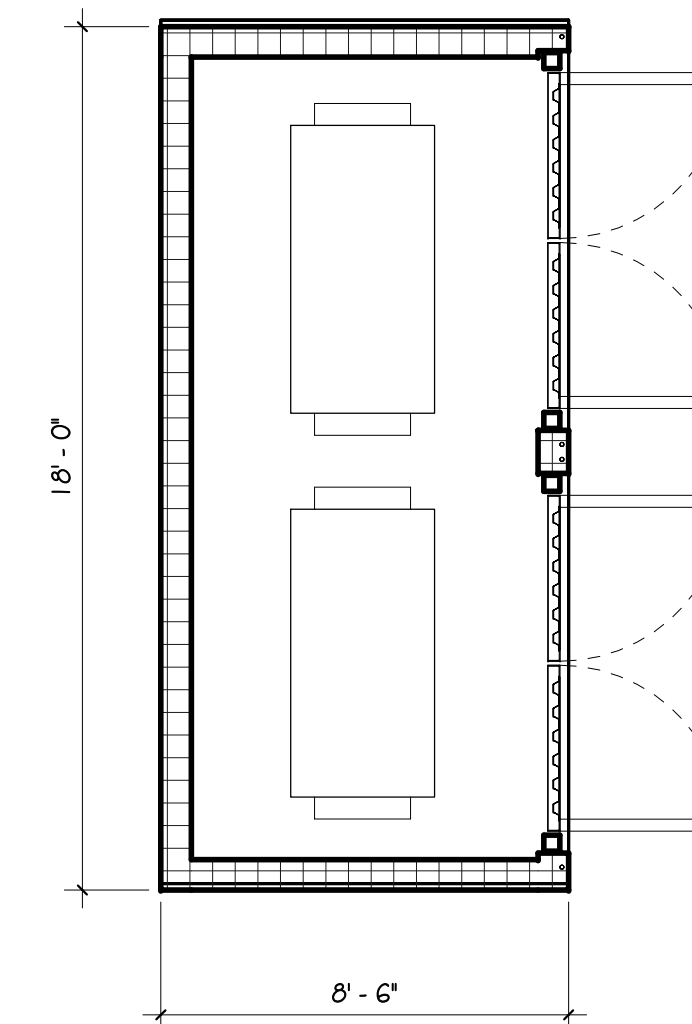
JOB NO:
179592

SHEET NO:
A1.01



1 WEST DEVELOPMENT ELEVATION

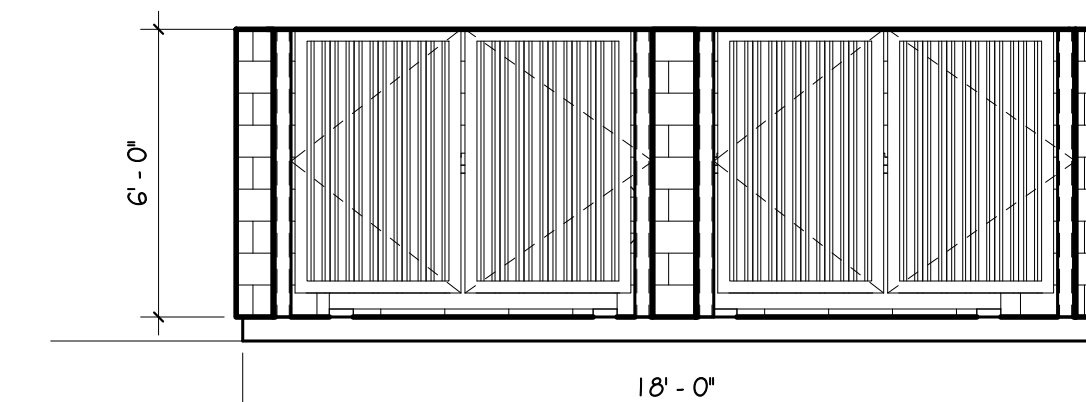
DP.03 SCALE: 3/16" = 1'-0"



5 TRASH ENCLOSURE PLAN

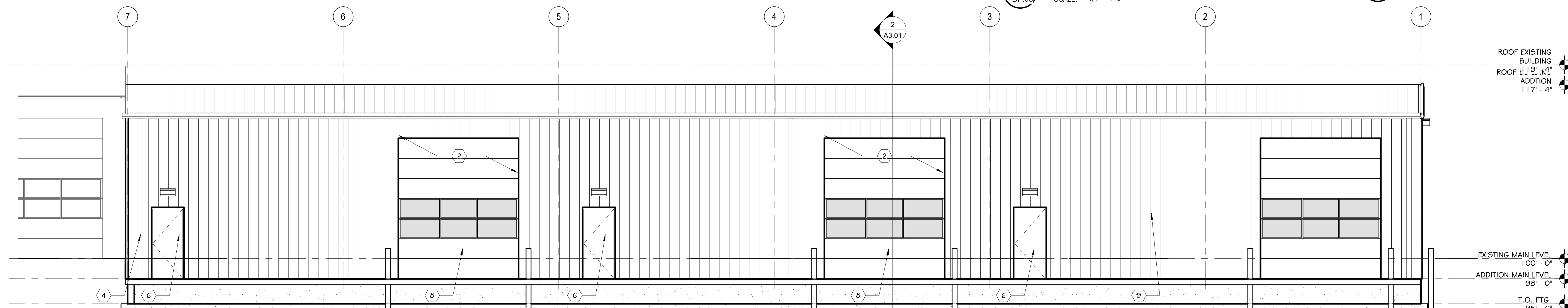
DP.03 SCALE: 1/4" = 1'-0"

MK	MATERIAL	COLOR	FINISH
1	STANDING SEAM METAL ROOF	SLATE GRAY (SR 35 SRI 37)	FACTORY
2	HEADER/JAMB METAL PANEL	CHARCOAL GRAY (SRI 39 TE .86)	FACTORY
3	PRE FINISHED GUTTERS	CHARCOAL GRAY (SRI 39 TE .86)	FACTORY
4	PRE FINISHED DOWNSPOUTS	TO MATCH SIDING	FACTORY
5	METAL FASCIA	CHARCOAL GRAY (SRI 39 TE .86)	FACTORY
6	STEEL MAN DOORS	CHARCOAL GRAY (SRI 39 TE .86)	FACTORY
7	FLASHING	TO MATCH	FACTORY
8	ROLL UP DOORS	CHARCOAL GRAY (SRI 39 TE .86)	FACTORY
9	METAL SIDING (PBR)	ASH GRAY (SRI 52 TE .86)	FACTORY
10	4' X 4' WINDOW	LOW E	FACTORY
11			
12			



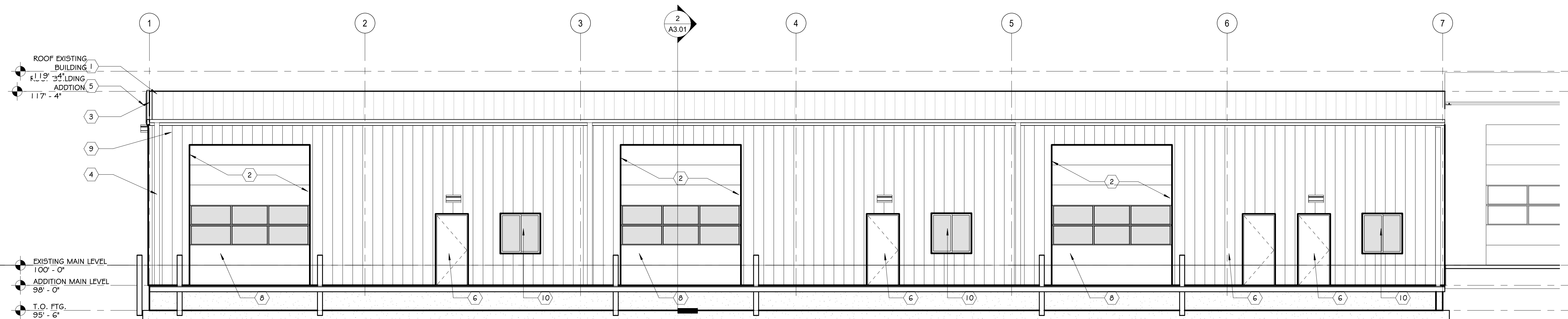
4 TRASH ENCLOSURE

DP.03 SCALE: 1/4" = 1'-0"



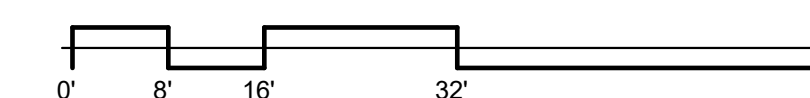
2 NORTH DEVELOPMENT ELEVATION

DP.03 SCALE: 3/16" = 1'-0"



3 SOUTH DEVELOPMENT ELEVATION

DP.03 SCALE: 3/16" = 1'-0"



PCD FILING NO: PPR-21-021

ROCKY MOUNTAIN GROUP
 ARCHITECTURAL ENGINEERS
 CONSULTING CIVIL ENGINEERS
 19375 BEACON LITE RD., MONUMENT, CO 80132
 (719) 488-2145 - WWW.RMG-ENGINEERS.COM

PAONIA WAREHOUSE CORE AND SHELL
 CASCO CONSTRUCTION CORP.
 1670 PAONIA STREET, COLORADO SPRINGS, CO 80915

EXTERIOR ELEVATIONS DEVELOPMENT

ARCHENGR: KEM
 DRAWN: JDZ
 CHECKED: km
 DATE: 04.12.2021

REVISION	DATE

JOB NO: 179592
 SHEET NO: DP.03
 3 OF 19

LIGHTING FIXTURE SCHEDULE						
TYPE	MANUFACTURER/CATALOG NO.	LAMP TYPE	FINISH	MOUNTING	VOLTAGE	DESCRIPTION
EX1	BEACON VP-S-60L-136-4K7-4W-BC OR APPROVED EQUAL	(60) LED 4000K 15,000 LUMENS	BLACK	POLE 17'-6" AFF	120-277V	POLE MOUNT AREA LIGHT WITH TYPE 4 HEAD WITH BACK SHIELD

CALCULATION SUMMARY						
LABEL	CALC TYPE	UNITS	AVG	MAX	MIN	AVG/MIN
PARKING LOT	ILLUMINANCE	FC	2.21	14.7	0.1	22.10
PROPERTY LINE	ILLUMINANCE	FC	0.00	0.1	0.0	N/A
						147.00

BEACON
VIPER S
SMALL VIPER LUMINAIRE

FEATURES

- Small size compared to Viper Large
- Wide choice of different LED wattage configurations
- Wide optical distributions
- Designed for replace HID lighting up to 400W MH or HPS
- Suitable for wet locations

CONTROL TECHNOLOGY

CONSTRUCTION

- Manufactured with die cast aluminum
- Coated with a polyester finish that meets ASTM B97 corrosion test requirements and ASTM D522 encasing and loss of adhesion test requirements
- IP5 polyester powder-coat electrostatically applied and thermocured. IP5 finish consists of a five stage pretreatment regimen with a primer primer sealer and top coated with a fluoropolymer TFC polyester powder coat finish
- The finish meets the AAMA 2604 performance specification which includes passing a 3000-hour salt spray test for corrosion resistance and visible cracking or loss of adhesion per ASTM D522 and resists surface impacts of up to 150 inch-pounds
- General hardware is corrosion resistant
- Optics
- Cartridge is held together with internal brass standards bonded to the base so that it can be field replaced as a one-piece optical system
- One-piece silicone gasket ensures a weatherproof seal around each individual optic
- One-piece optical cartridge system consisting of all LED engine, optics, gasket and stainless steel bezel
- One-piece optical cartridge system consisting of all LED engine, optics, gasket and stainless steel bezel

INSTALLATION

- Mounting options for horizontal arm, vertical beam or traditional arm mounting available. Mounting hardware included
- Available with (E)gress for optional set, cleaning, shield cleaning with ultrasonic spray, or rimmed drilling based on time of night

ELECTRICAL

- Luminaires accept 120V through 277V, 347V or 480V input 50 Hz to 60 Hz (50/60)

DATE: LOCATION:

TYPE: PROJECT:

CATALOG #:

STRIKE

RELATED PRODUCTS

Viper Large

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BEACON
VIPER S
SMALL VIPER LUMINAIRE

ORDERING GUIDE

Example: VPS-24L-55-6K7-4W-4W-4-DET-TL-GEN-04-BC

VPS #	LED Engine	OPTIC	Finish	Mounting	Options
24-30	30W LED entry	307 3000K TC CR	FC	Type 1	None
24-36	36W LED entry	307 3000K TC CR	FC	Type 1	None
24-40	40W LED entry	307 3000K TC CR	FC	Type 1	None
24-45	45W LED entry	307 3000K TC CR	FC	Type 1	None
24-50	50W LED entry	307 3000K TC CR	FC	Type 1	None
24-55	55W LED entry	307 3000K TC CR	FC	Type 1	None
24-60	60W LED entry	307 3000K TC CR	FC	Type 1	None
24-65	65W LED entry	307 3000K TC CR	FC	Type 1	None
24-70	70W LED entry	307 3000K TC CR	FC	Type 1	None
24-75	75W LED entry	307 3000K TC CR	FC	Type 1	None
24-80	80W LED entry	307 3000K TC CR	FC	Type 1	None
24-85	85W LED entry	307 3000K TC CR	FC	Type 1	None
24-90	90W LED entry	307 3000K TC CR	FC	Type 1	None
24-95	95W LED entry	307 3000K TC CR	FC	Type 1	None
24-100	100W LED entry	307 3000K TC CR	FC	Type 1	None

KEY DATA

Lumen Range	4045-1678
Wattage Range	30-100
Energy Range (LPM)	100-250
Reported Life (Hours)	17000-50000
Input Current Range (Amps)	0.1-1.1

WARRANTY

- 5 Year warranty
- See ILL Commercial and Industrial Outdoor Lighting Warranty for additional information

GENERAL NOTES

- DRAWINGS ARE BASED ON RECORD DRAWINGS (NOT GUARANTEED TO BE CURRENT AT TIME OF CONSTRUCTION) AND FIELD INVESTIGATION WITH DEMOLITION. EXAMINE PLANS AND VISIT THE SITE TO FIELD VERIFY ACTUAL CONDITIONS AND COORDINATE SAME WITH OTHER TRADES PRIOR TO STARTING WORK.
- A LICENSED AND BONDED CONTRACTOR SHALL BE USED FOR INSTALLATION. ALL LOCAL CODES SHALL BE FOLLOWED DURING INSTALLATION.
- OWNER SHALL HAVE FIRST RIGHT OF REFUSAL ON ALL REMOVED EQUIPMENT AND MATERIAL.

KEYNOTES

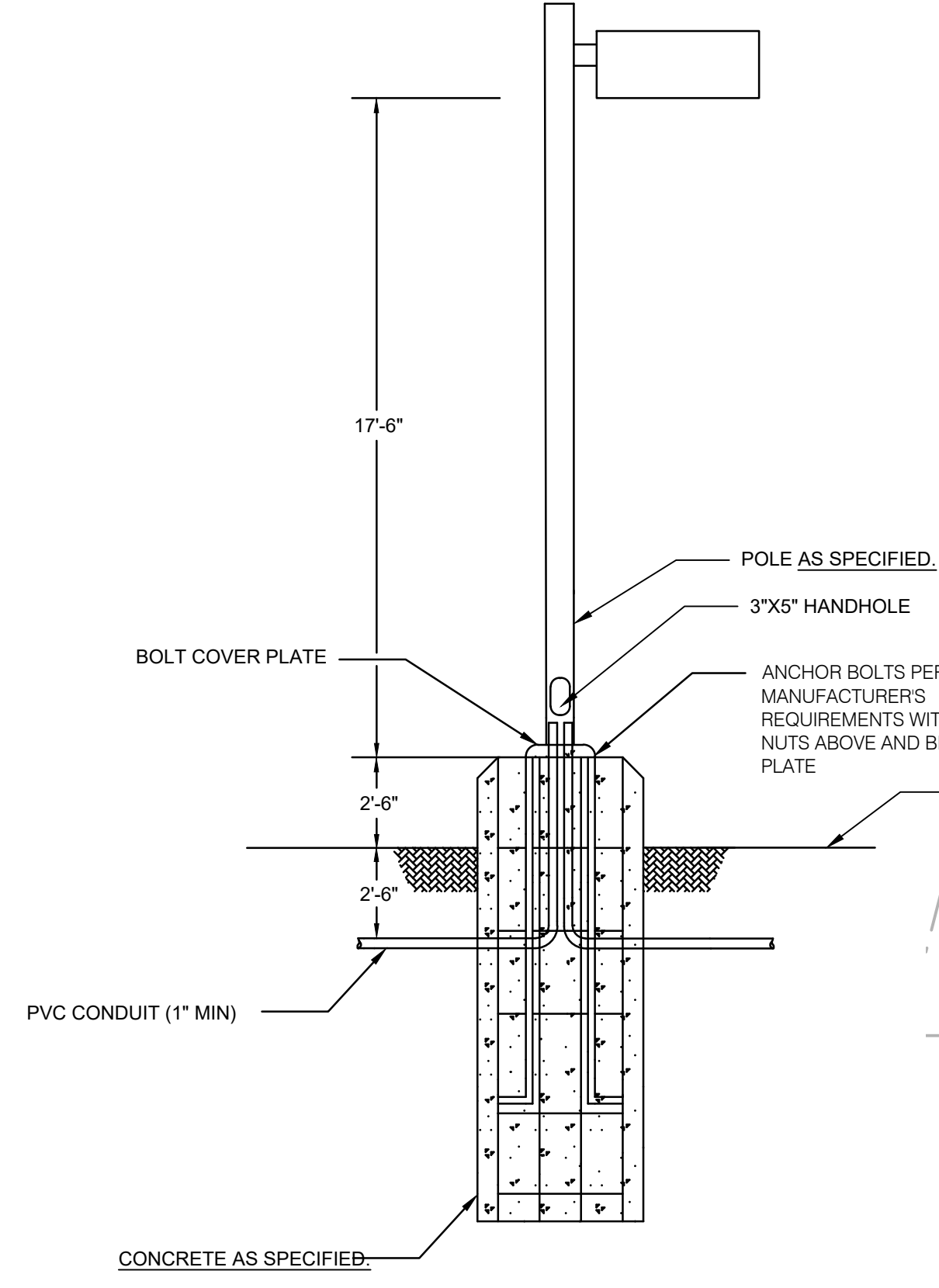
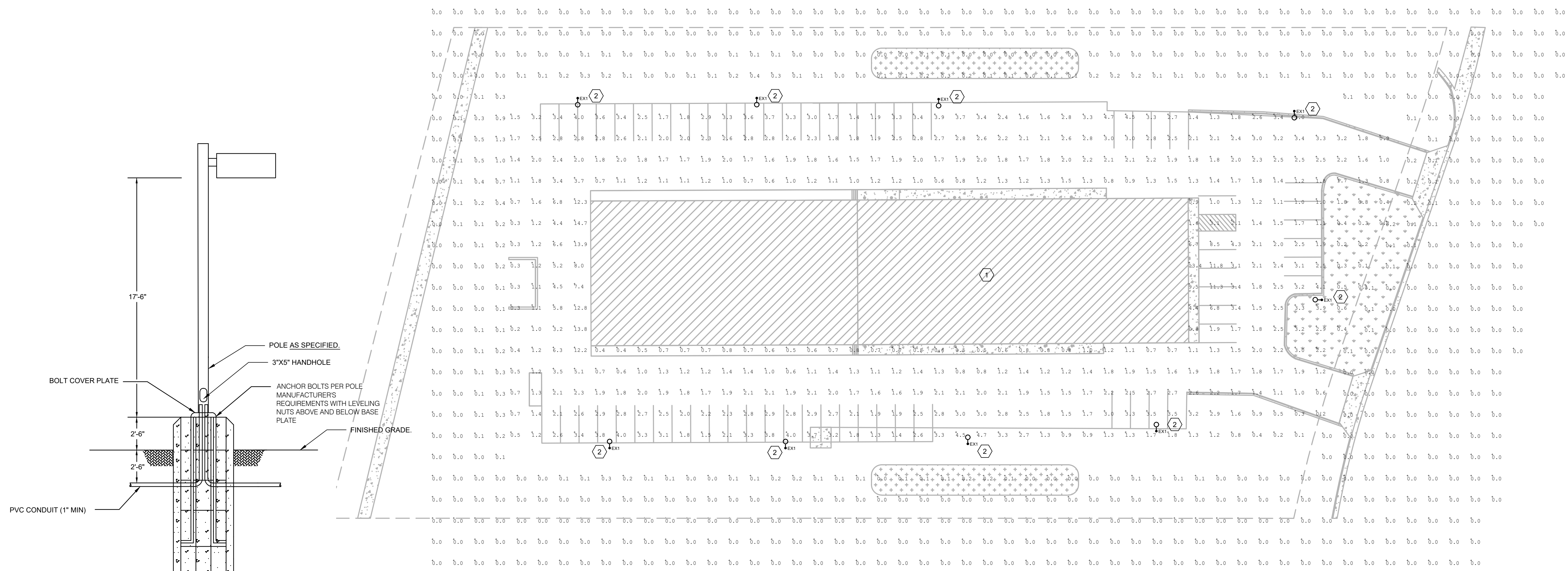
- LIGHTING FOR THE WALKWAYS WILL BE PROVIDED BY WALL-MOUNTED DOWN CASTING FIXTURES LOCATED ON PROPOSED BUILDING.
- EXTERIOR LIGHTING, EXCEPT SECURITY LIGHTING, WILL BE CONTROLLED BY A TIME CLOCK TO BE TURNED OFF DURING NON-OPERATING HOURS.

ENGINEER SEAL:



10186 MT. LINCOLN DR. PEYTON, CO 80831
CHIANTANOENGINEERINGGROUP@GMAIL.COM
719.330.6823

PAONIA WAREHOUSE
1670 PAONIA ST
COLORADO SPRINGS, CO 80915



POLE BASE DETAIL 1
SCALE: NTS

PHOTOMETRIC PLAN
SCALE: NTS

NO.	REVISION	DATE
1	DP PLAN COMMENTS	05/15/2021
2	ISSUED FOR PERMIT	04/12/2021

PROJECT NO: 0009
DRAWN BY: MPC
CHECKED BY: MPC
DATE: 01/23/2021

SHEET CONTENTS:

PHOTOMETRIC PLAN

SHEET NUMBER:

E110A

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