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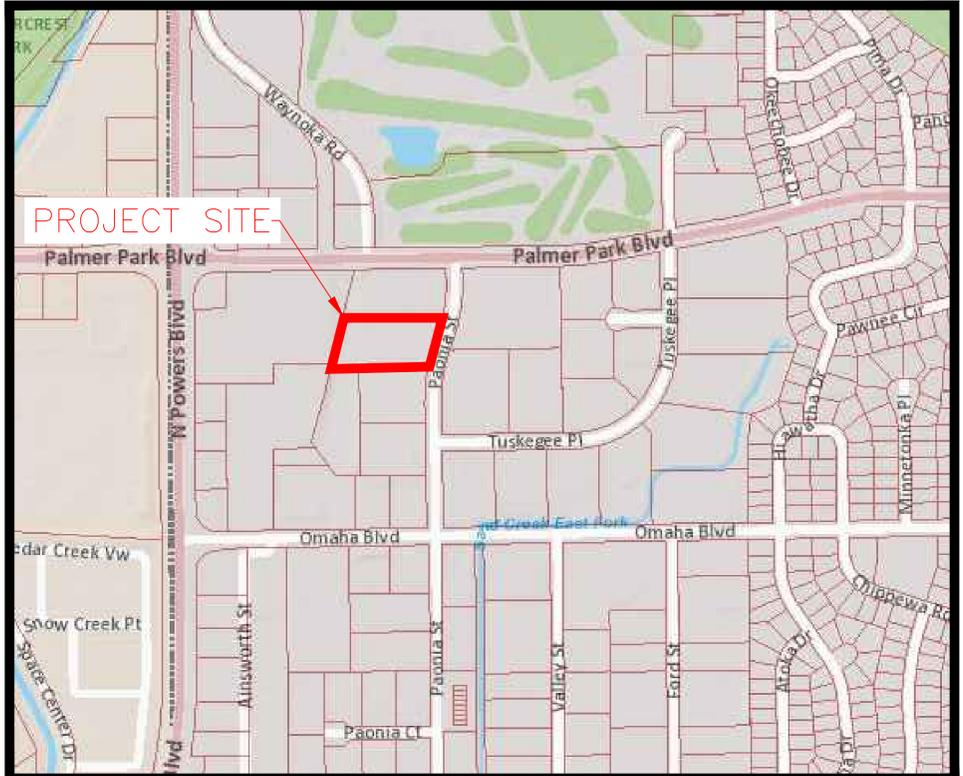
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**PHASES TRUCK AND AUTO REPAIR
 MINOR AMENDMENT
 1670 PAONIA STREET
 COLORADO SPRINGS, COLORADO**

- EL PASO COUNTY GRADING AND EROSION CONTROL STANDARD NOTES:**
- STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFF-SITE WATERS, INCLUDING WETLANDS.
 - NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS TO REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.
 - A SEPARATE STORMWATER MANAGEMENT PLAN (SWMP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. DURING CONSTRUCTION THE SWMP IS THE RESPONSIBILITY OF THE DESIGNATED QUALIFIED STORMWATER MANAGER OR CERTIFIED EROSION CONTROL INSPECTOR AND SHALL BE LOCATED ON SITE AT ALL TIMES DURING CONSTRUCTION AND SHALL BE KEPT UP TO DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.
 - ONCE THE ESQCP IS APPROVED AND A "NOTICE TO PROCEED" HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL MEASURES AS INDICATED ON THE APPROVED E.C. A PRECONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY STAFF.
 - CONTROL MEASURES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF ACTIVITIES THAT MAY CONTRIBUTE POLLUTANTS TO STORMWATER. TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED IMMEDIATELY UPON COMPLETION OF THE DISTURBANCE.
 - ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REMAIN IN EFFECTIVE OPERATING CONDITION UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND FINAL STABILIZATION IS ESTABLISHED. ALL PERSONS ENGAGED IN LAND DISTURBANCE ACTIVITIES SHALL ASSESS THE ADEQUACY OF CONTROL MEASURES AT THE SITE AND IDENTIFY IF CHANGES TO THOSE CONTROL MEASURES IS NEEDED TO ENSURE THE CONTINUED EFFECTIVE PERFORMANCE OF THE CONTROL MEASURES. ALL CHANGES TO TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES MUST BE INCORPORATED INTO THE STORMWATER MANAGEMENT PLAN PRIOR TO IMPLEMENTATION.
 - TEMPORARY STABILIZATION SHALL BE IMPLEMENTED ON DISTURBED AREAS AND STOCKPILES WHERE GROUND DISTURBING CONSTRUCTION ACTIVITY HAS PERMANENTLY CEASED OR TEMPORARILY CEASED FOR LONGER THAN 14 DAYS. AN AREA THAT IS GOING TO REMAIN IN AN INTERIM STATE FOR MORE THAN 60 DAYS SHALL ALSO BE STABILIZED.
 - FINAL STABILIZATION MUST BE IMPLEMENTED AT ALL APPLICABLE CONSTRUCTION SITES. FINAL STABILIZATION IS ACHIEVED WHEN ALL GROUND DISTURBING ACTIVITIES ARE COMPLETE AND ALL DISTURBED AREAS EITHER HAVE A UNIFORM VEGETATIVE COVER WITH INDIVIDUAL PLANT DENSITY OF 70 PERCENT OF PRE-DISTURBANCE LEVELS ESTABLISHED OR EQUIVALENT ALTERNATIVE STABILIZATION METHOD IS IMPLEMENTED. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED UPON FINAL STABILIZATION AND BEFORE PERMIT CLOSURE.
 - ALL PERMANENT STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AS DEFINED IN THE APPROVED PLANS. ANY PROPOSED CHANGES THAT EFFECT THE HYDROLOGY OR HYDRAULICS OF A PERMANENT STORMWATER MANAGEMENT STRUCTURES MUST BE APPROVED BY THE E.C.M. ADMINISTRATOR PRIOR TO IMPLEMENTATION.
 - ANY EARTH DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY MINIMIZE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME. PRE-EXISTING VEGETATION SHALL BE PROTECTED AND MAINTAINED WITHIN 50 HORIZONTAL FEET OF A WATERS OF THE STATE, UNLESS INFEASIBLE.
 - COMPACTION OF SOIL MUST BE PREVENTED IN AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES OR WHERE FINAL STABILIZATION WILL BE ACHIEVED BY VEGETATIVE COVER. AREAS DESIGNATED FOR INFILTRATION CONTROL SHALL ALSO BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED.
 - ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE A STABILIZED CONVEYANCE DESIGNED TO MINIMIZE EROSION AND THE DISCHARGE OF SEDIMENT OFF SITE.
 - CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO RUNOFF TO STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES. CONCRETE WASHOUT SHALL NOT BE LOCATED IN AN AREA WHERE SHALLOW GROUNDWATER MAY BE PRESENT, OR WITHIN 50 FEET OF A SURFACE WATER BODY.
 - DEWATERING OPERATIONS: UNCONTAMINATED GROUND WATER MAY BE DISCHARGED ON SITE, BUT MAY NOT LEAVE THE SITE IN THE FORM OF SURFACE RUNOFF.
 - EROSION CONTROL BLANKETING IS TO BE USED ON SLOPES STEEPER THAN 3:1.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
 - WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. CONTROL MEASURES MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.
 - TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFF-SITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.
 - THE OWNER, SITE DEVELOPER, CONTRACTOR, AND/OR THEIR AUTHORIZED AGENTS SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, AND SAND THAT MAY ACCUMULATE IN THE STORM SEWER OR OTHER DRAINAGE CONVEYANCE SYSTEM AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
 - THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.
 - NO CHEMICALS ARE TO BE USED BY THE CONTRACTOR, WHICH HAVE THE POTENTIAL TO BE RELEASED IN STORMWATER UNLESS PERMISSION FOR THE USE OF A SPECIFIC CHEMICAL IS GRANTED IN WRITING BY THE E.C.M. ADMINISTRATOR. IN GRANTING THE USE OF SUCH CHEMICALS, SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
 - BULK STORAGE OF PETROLEUM PRODUCTS OR OTHER LIQUID CHEMICALS IN EXCESS OF 55 GALLONS SHALL HAVE ADEQUATE SECONDARY CONVEYANCE SYSTEM AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
 - NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE FLOW LINE OF THE CURB AND GUTTER OR IN THE DITCH FLOW LINE.
 - INDIVIDUALS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS) AND THE "CLEAN WATER ACT" (33 USC 1344), IN ADDITION TO THE REQUIREMENTS INCLUDED IN THE DCM VOLUME II AND THE E.C.M. APPENDIX I. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (NPDES, FLOODPLAIN, ADA, FUGITIVE DUST, ETC.), IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, OR COUNTY AGENCIES, THE MORE RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
 - ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
 - PRIOR TO ACTUAL CONSTRUCTION THE PERMITEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.
 - A WATER SOURCE SHALL BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
 - A SOILS REPORT FOR THIS SITE HAS NOT BEEN DEVELOPED. THE SITE IS KNOWN TO CONSIST OF BLAKELAND LOAMY SAND (NRCS HYDROLOGIC SOIL GROUP B) FOR PART OF THE SOUTHWEST BERM, AND THE REST OF THE SITE CONSISTS OF BLAKELAND LOAMY SAND (NRCS HYDROLOGIC SOIL GROUP A).
 - AT LEAST TEN (10) DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB 1 ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT: COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT WATER QUALITY CONTROL DIVISION WQCD - PERMITS 4300 CHERRY CREEK DRIVE SOUTH DENVER, CO 80246-1530 ATTN: PERMITS UNIT

SHEET LIST TABLE

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C-03	EROSION CONTROL PLAN
C-04	UTILITY SERVICE PLAN
C-05	EROSION CONTROL DETAILS
C-06	CONSTRUCTION DETAILS
A-1.01	FIRST FLOOR PLAN
A-1.02	EXTERIOR ELEVATIONS
E-110A	PHOTOMETRIC PLAN



FEMA FLOODPLAIN STATEMENT:
 FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP 08041C0752G, EFFECTIVE DATE DECEMBER 7, 2018, INDICATES THE AREA IN THE VICINITY OF THIS PARCEL OF LAND TO NOT BE WITHIN A FLOOD ZONE (AREAS TO BE DETERMINED OUTSIDE 500 YEAR FLOODPLAIN.)

ENGINEER'S STATEMENT:
 THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.

[Signature]
 ENGINEER OF RECORD SIGNATURE 08/15/2021 DATE

OWNER STATEMENT:
 I, THE OWNER/DEVELOPER, HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN AND ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

[Signature]
 OWNER SIGNATURE DATE 8/20/21

EL PASO COUNTY:
 COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

IN ACCORDANCE WITH E.C.M. SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR'S DISCRETION.

COUNTY ENGINEER/ECM ADMINISTRATOR DATE

PARKING SUMMARY: SEE 7.4.203
 NEW PARKING REQUIRED: 1-STORY AUTOMOTIVE REPAIR GARAGE (9,030 SF)
 1 SPACE PER 200 SF OF AUTO SERVICE = 42 SPACES
 1 SPACE PER 400 SF OF OFFICE SPACE = 2 SPACES
 ADA PARKING: 1 - 11' x 18' STALL (VAN ACCESSIBLE)
 1 - 8' x 18' STALL
 TOTAL REQUIRED = 44 SPACES

NOTE: NO PARKING IS PERMITTED WITHIN ACCESS DRIVE.

DEVELOPMENT DETAILS:
 EXISTING LAND USE: AUTOMOTIVE REPAIR GARAGE (1-2 CAD-0)
 PROPOSED LAND USE: BUILDING ADDITION INCLUDING COMMERCIAL AUTO REPAIR, OFFICE, AND WAREHOUSE (1-2 CAD-0)

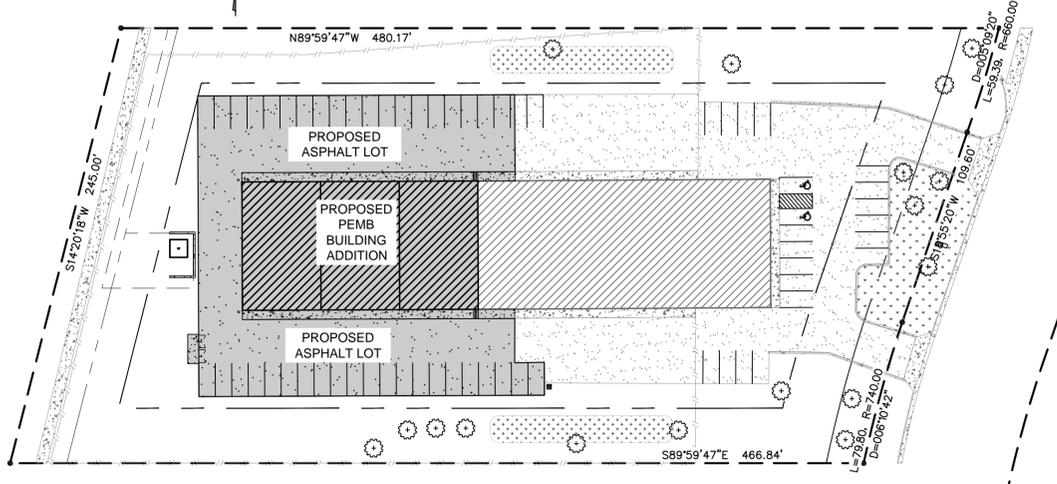
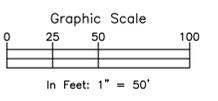
PROPERTY DESCRIPTION:
 LOT 5, BLOCK 1 OF THE PALMER PARK BUSINESS CENTER SUBDIVISION PLAT NO. 3, IN THE CITY OF COLORADO SPRINGS, EL PASO COUNTY, COLORADO, ACCORDING TO THE SUBDIVISION PLAT NO. 6746 OF THE EL PASO COUNTY RECORDS

THE DESCRIBED TRACT CONTAINS 112,385 SQUARE FEET, BEING 2.58 ACRES, MORE OR LESS.

EXISTING ZONING: 1-2 CAD-0
 SITE AREA: 112,385 SF (2.58 AC.)
 PROPOSED BUILDING HEIGHT: MAX HEIGHT = 20 FEET
 PROPOSED BUILDING FOOTPRINT: 9,030 SQUARE FEET
 PERCENT LOT COVERAGE BY BUILDING: 8.03%
 PERCENT LOT COVERAGE BY IMPERVIOUS SURFACES (LESS BUILDING): 1.05 ACRE / 2.58 LOT ACREAGE = 40.7%
 APPROXIMATE SCHEDULE OF DEVELOPMENT: JUNE 2021 - OCTOBER 2021

- SITE NOTES:**
- THE DEVELOPER SHALL INSTALL ALL ON-SITE TRAFFIC CONTROL MEASURES SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS.
 - PER CITY CODE SECTION 7.4.102.D, ALL LIGHTING FIXTURES SHALL HAVE FULL CUT-OFF OR HAVE SHIELDING TO REDUCE OFF-SITE LIGHTING IMPACTS ONTO ADJACENT PROPERTIES AND ROADWAYS. ALL EXTERIOR LIGHTING SHALL BE ARRANGED TO MITIGATE LIGHT DIRECTED AWAY FROM ADJACENT PROPERTIES AND ANY PUBLIC RIGHT-OF-WAY. AN AMENDMENT TO THIS PLAN MAY BE REQUIRED IF THE LIGHTING TYPE IS CHANGED.
 - SEE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS, LAYOUT, AND ELEVATIONS.
 - ALL EXISTING CURBS, GUTTER, SIDEWALK, PEDESTRIAN RAMPS OR CROSSPANS POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR NOT MEETING CURRENT CITY ENGINEERING STANDARDS ALONG PAONIA STREET ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO ISSUING THE CERTIFICATE OF OCCUPANCY (C.O.). AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY, IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 719-385-5977.
 - LANDSCAPE IMPROVEMENTS AND MAINTENANCE OF ALL LANDSCAPE AREAS AND FENCES SHALL BE THE RESPONSIBILITY OF THE CURRENT OWNER.
 - THE DRIVE ACCESS WILL BE THE RESPONSIBILITY OF THE CURRENT OWNER.
 - DIRECT VEHICULAR ACCESS WILL BE ALLOWED ONLY FROM PAONIA STREET.
 - NO PARKING ON THE ACCESS DRIVES IS PERMITTED.

- SIGN INSTALLATION NOTES:**
- SIGNS SHALL BE LOCATED AND INSTALLED PER CITY OF COLORADO SPRINGS ENGINEERING STANDARDS AND REFERENCES.
 - BOTTOM OF ALL SIGNS SHALL BE INSTALLED AT LEAST 7' ABOVE THE ADJACENT FINISHED GRADE OR TOP BACK OF CURB, AS APPLICABLE.
 - ALL "STOP SIGNS" WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATIONS SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS. CONTACT TRAFFIC ENGINEERING, SIGNS & MARKINGS AT 719-385-6720 FOR ASSISTANCE.
 - SIGNAGE IS NOT APPROVED PER THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT THE DEVELOPMENT REVIEW ENTERPRISE AT 719-385-5982 TO BEGIN A SIGN PERMIT APPLICATION.



ROCKY MOUNTAIN GROUP
 ARCHITECTS
 ENGINEERS
 PLANNERS
 ENVIRONMENTAL SCIENTISTS

RMG ENGINEERS

2910 AUSTIN BLUFFS PARKWAY, COLORADO SPRINGS, CO 80918
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 STRUCTURAL ENGINEERING, CIVIL ENGINEERING, ENVIRONMENTAL ENGINEERING

COLORADO LICENSED
 SCOTT MARVEL
 08/15/2021
 52138
 PROFESSIONAL ENGINEER
 FOR CIVIL ONLY

PHASES TRUCK AND AUTO REPAIR
 1670 PAONIA STREET
 COLORADO SPRINGS, COLORADO
 CASCO CONSTRUCTION CORP.

SHEET NAME: COVER
 PROJECT STATUS: PERMIT

ENG: RDL
 DRAWN: AMC
 CHECKED: RDL
 DATE: 08/15/2021

#	REVISION	DATE

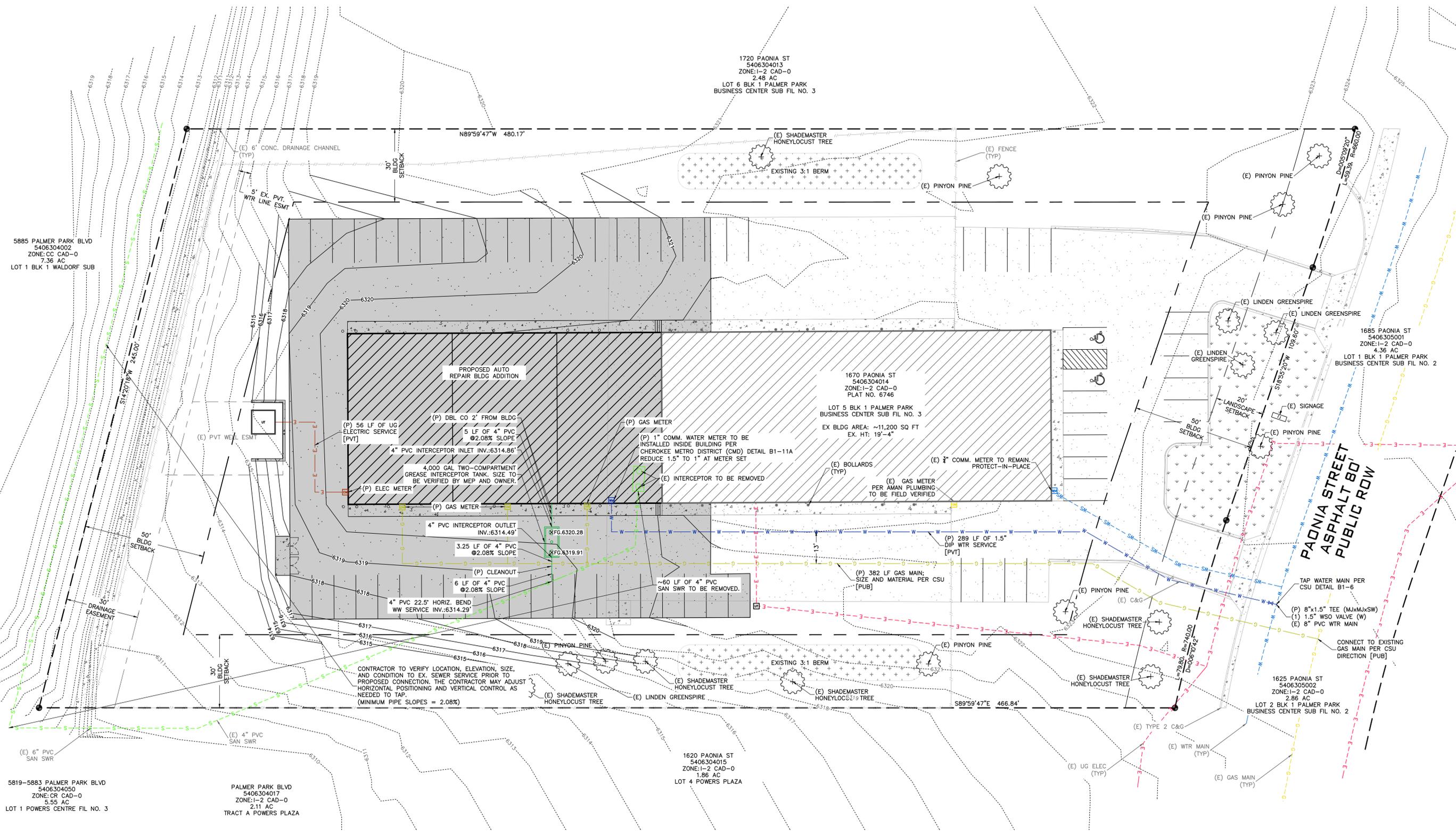
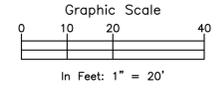
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NOTE:

- EXISTING SANITARY SEWER LINEWORK INFORMATION WAS PROVIDED VIA SITE & GRADING PLAN BY HAMMERS CONSTRUCTION, INC. DATED APRIL 19, 1999. THE OWNER OR ITS REPRESENTATIVE SHOULD DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK.
- AN EXISTING ELECTRIC PHASE 3 TRANSFORMER WAS FOUND ON SITE. THE ELECTRIC TRANSFORMER IS TO REMAIN UNDISTURBED WITH A MINIMUM OF 10 FEET OF ACCESS SPACE IN FRONT OF THE ACCESS DOOR.
- SURVEY LINEWORK AND TOPOGRAPHIC INFORMATION VIA SURVEY PROVIDED BY RMG-ROCKY MOUNTAIN GROUP. HORIZONTAL DATUM IS NAD83 COLORADO STATE PLANE CENTRAL U.S. FOOT (C083-NF) AND VERTICAL DATUM IS NAVD83. THE CONTRACTOR SHALL CALIBRATE TO ELEVATION DATUM AS NEEDED.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED. THE OWNER OR ITS REPRESENTATIVE SHOULD DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK.
- NOT ALL UTILITIES MAY BE SHOWN, ESPECIALLY UTILITIES SUCH AS FIBER OPTIC CABLES, TELEPHONE, TELEVISION, PHONE, ETC.
- REFER TO THE MEP PLANS FOR INTERNAL WATER, GAS AND ELECTRICAL UTILITY SERVICE.



5885 PALMER PARK BLVD
5406304002
ZONE: CC CAD-0
7.36 AC
LOT 1 BLK 1 WALDORF SUB

5819-5883 PALMER PARK BLVD
5406304050
ZONE: CC CAD-0
5.55 AC
LOT 1 POWERS CENTRE FIL NO. 3

PALMER PARK BLVD
5406304017
ZONE: I-2 CAD-0
2.11 AC
TRACT A POWERS PLAZA

1720 PAONIA ST
5406304013
ZONE: I-2 CAD-0
2.48 AC
LOT 6 BLK 1 PALMER PARK
BUSINESS CENTER SUB FIL NO. 3

1670 PAONIA ST
5406304014
ZONE: I-2 CAD-0
PLAT NO. 6746
LOT 5 BLK 1 PALMER PARK
BUSINESS CENTER SUB FIL NO. 3
EX BLDG AREA: ~11,200 SQ FT
EX. HT: 19'-4"

1685 PAONIA ST
5406305001
ZONE: I-2 CAD-0
4.36 AC
LOT 1 BLK 1 PALMER PARK
BUSINESS CENTER SUB FIL NO. 2

1625 PAONIA ST
5406305002
ZONE: I-2 CAD-0
2.86 AC
LOT 2 BLK 1 PALMER PARK
BUSINESS CENTER SUB FIL NO. 2

1620 PAONIA ST
5406304015
ZONE: I-2 CAD-0
1.86 AC
LOT 4 POWERS PLAZA

ROCKY MOUNTAIN GROUP
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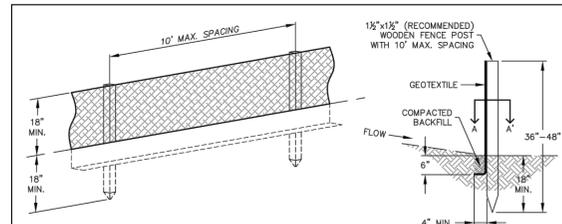
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UTILITY SERVICE PLAN
PERMIT
SHEET NAME
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ENG: RDL
DRAWN: AMC
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179592
SHEET NO.
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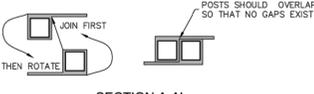
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SILT FENCE



J-HOOK INSTALLATION



SECTION A-A'

INSTALLATION NOTES

- SILT FENCE MUST BE PLACED ON A FLAT SURFACE 2'-5' AWAY FROM TOE OF THE SLOPE TO ALLOW FOR PONDING AND DEPOSITION.
- COMPACT THE TRENCH USING A JUMPING JACK OR WHEEL ROLLING TO THE POINT THAT THE FENCE RESISTS BEING PULLED OUT OF THE GROUND BY HAND.
- SILT FENCE SHALL BE TAUT WITH NO SAGS AFTER IT HAS BEEN ANCHORED.
- FABRIC SHALL BE ATTACHED TO POSTS WITH 1" HEAVY DUTY STAPLES OR 1" NAILS. THESE SHOULD BE PLACED VERTICALLY DOWN THE POST, 3" APART.
- THE PREFERRED INSTALLATION METHOD USES A TRENCHER OR SILT FENCE INSTALLATION DEVICE.
- INSTALL SILT FENCE ALONG THE CONTOUR OF THE SLOPES OR IN A MANNER TO AVOID CREATING CONCENTRATED FLOW (SUCH AS A "J-HOOK" INSTALLATION).

MAINTENANCE NOTES

- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN CONTROL MEASURES IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- ACCUMULATED SEDIMENT MUST BE REMOVED WHEN THE HEIGHT REACHES 1/2 OF THE DESIGN HEIGHT OF THE SILT FENCE.
- SILT FENCE MUST REMAIN UNTIL THE UPSTREAM DISTURBANCE AREA IS STABILIZED.
- PERMANENTLY STABILIZE AREA AFTER SILT FENCE IS REMOVED.

	SILT FENCE	
	APPROVED:	
	CITY ENGINEER	
ISSUED:	10/7/19	REVISION:
		DRAWING NO.:
		900-SF

SF

SEEDING & MULCHING

ALL SOIL TESTING, SOILS AMENDMENT AND FERTILIZER DOCUMENTATION, AND SEED LOAD AND BAG TICKETS MUST BE ADDED TO THE CSWMP.

SOIL PREPARATION

- IN AREAS TO BE SEEDDED, THE UPPER 6 INCHES OF THE SOIL MUST NOT BE HEAVILY COMPACTED, AND SHOULD BE IN FRIABLE CONDITION. LESS THAN 80% STANDARD PROCTOR DENSITY IS ACCEPTABLE. AREAS OF COMPACTION OR GENERAL CONSTRUCTION ACTIVITY MUST BE SCABBLED TO A DEPTH OF 6 TO 12 INCHES PRIOR TO SPREADING TOPSOIL TO BREAK UP COMPACTED LAYERS AND PROVIDE A BLENDING ZONE BETWEEN DIFFERENT SOIL LAYERS.
- AREAS TO BE PLANTED SHALL HAVE AT LEAST 4 INCHES OF TOPSOIL SUITABLE TO SUPPORT PLANT GROWTH.
- THE CITY RECOMMENDS THAT EXISTING AND/OR IMPORTED TOPSOIL BE TESTED TO IDENTIFY SOIL DEFICIENCIES AND ANY SOIL AMENDMENTS NECESSARY TO ADDRESS THESE DEFICIENCIES. SOIL AMENDMENTS AND/OR FERTILIZERS SHOULD BE ADDED TO CORRECT TOPSOIL DEFICIENCIES BASED ON SOIL TESTING RESULTS.
- TOPSOIL SHALL BE PROTECTED DURING THE CONSTRUCTION PERIOD TO RETAIN ITS STRUCTURE AVOID COMPACTION, AND TO PREVENT EROSION AND CONTAMINATION. STRIPPED TOPSOIL MUST BE STORED IN AN AREA AWAY FROM MACHINERY AND CONSTRUCTION OPERATIONS, AND CARE MUST BE TAKEN TO PROTECT THE TOPSOIL AS A VALUABLE COMMODITY. TOPSOIL MUST NOT BE STRIPPED DURING UNDESIRABLE WORKING CONDITIONS (E.G. DURING WET WEATHER OR WHEN SOILS ARE SATURATED). TOPSOIL SHALL NOT BE STORED IN SWALES OR IN AREAS WITH POOR DRAINAGE.

SEEDING

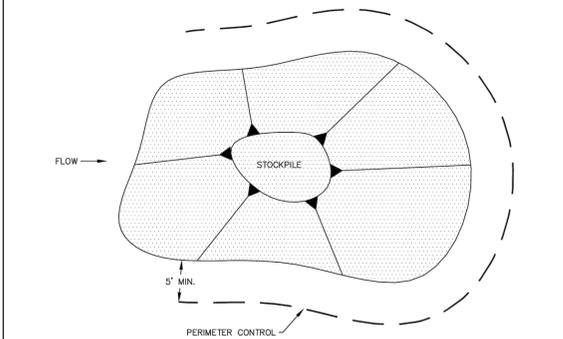
- ALLOWABLE SEED MIXES ARE INCLUDED IN THE CITY OF COLORADO SPRINGS STORMWATER CONSTRUCTION MANUAL. ALTERNATIVE SEED MIXES ARE ACCEPTABLE IF INCLUDED IN AN APPROVED LANDSCAPING PLAN.
- SEED SHOULD BE DRILL-SEEDED WHENEVER POSSIBLE.
- SEED DEPTH MUST BE 1/2 TO 3/4 INCHES WHEN DRILL-SEEDED IS USED.
- BROADCAST SEEDING OR HYDRO-SEEDED WITH TACKIFIER MAY BE SUBSTITUTED ON SLOPES STEEPER THAN 3:1 OR ON OTHER AREAS NOT PRACTICAL TO DRILL SEED.
- SEEDING RATES MUST BE DOUBLED FOR BROADCAST SEEDING OR INCREASED BY 50% IF USING A BRILLION DRILL OR HYDRO-SEEDED.
- BROADCAST SEEDING MUST BE LIGHTLY HAND-RAKED INTO THE SOIL.

MULCHING

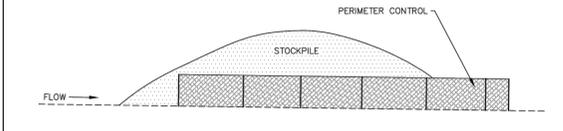
- MULCHING SHOULD BE COMPLETED AS SOON AS PRACTICABLE AFTER SEEDING, HOWEVER PLANTED AREAS MUST BE MULCHED NO LATER THAN 14 DAYS AFTER PLANTING.
- MULCHING REQUIREMENTS INCLUDE:
 - HAY OR STRAW MULCH
 - ONLY CERTIFIED WEED-FREE AND CERTIFIED SEED-FREE MULCH MAY BE USED. MULCH MUST BE APPLIED AT 2 TONS/ACRE AND ADEQUATELY THICK BY CRIMPING AND/OR TACKIFIER.
 - CRIMPING MUST NOT BE USED ON SLOPES GREATER THAN 3:1 AND MULCH FIBERS MUST BE TUCKED INTO THE SOIL TO A DEPTH OF 3 TO 4 INCHES.
 - TACKIFIER MUST BE USED IN PLACE OF CRIMPING ON SLOPES STEEPER THAN 3:1.
 - HYDRAULIC MULCHING
 - HYDRAULIC MULCHING IS AN OPTION ON STEEP SLOPES OR WHERE ACCESS IS LIMITED.
 - IF HYDRO-SEEDED IS USED, MULCHING MUST BE APPLIED AS A SEPARATE, SECOND OPERATION.
 - WOOD CELLULOSE FIBER WITH WATER MUST BE APPLIED AT A RATE OF 2,000 TO 2,500 POUNDS/ACRE, AND TACKIFIER MUST BE APPLIED AT A RATE OF 100 POUNDS/ACRE.
 - EROSION CONTROL BLANKET
 - EROSION CONTROL BLANKET MAY BE USED IN PLACE OF TRADITIONAL MULCHING METHODS.

	SEEDING & MULCHING	
	APPROVED:	
	CITY ENGINEER	
ISSUED:	10/7/19	REVISION:
		DRAWING NO.:
		900-SM

SM



STOCKPILE PROTECTION PLAN



STOCKPILE PROTECTION ELEVATION

INSTALLATION NOTES

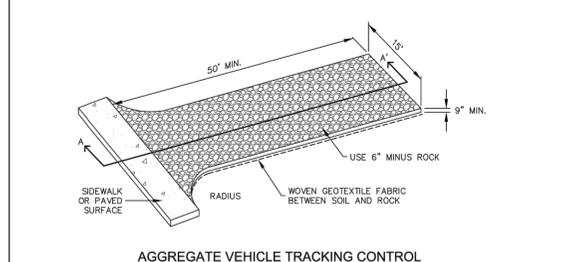
- INSTALL PERIMETER CONTROL AROUND STOCKPILE ON DOWNGRADIENT SIDE. PERIMETER CONTROL MUST BE SUITABLE TO SITE CONDITIONS AND INSTALLED ACCORDING TO THE RELEVANT DETAIL.
- FOR STOCKPILES ON THE INTERIOR PORTION OF A CONSTRUCTION SITE, WHERE OTHER DOWNGRADIENT CONTROLS INCLUDING PERIMETER CONTROL ARE IN PLACE, STOCKPILE PERIMETER CONTROLS MAY NOT BE REQUIRED.

MAINTENANCE NOTES

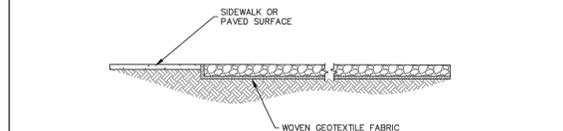
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN CONTROL MEASURES IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- IF PERIMETER CONTROLS MUST BE MOVED TO ACCESS STOCKPILE, REPLACE PERIMETER CONTROLS BY THE END OF THE WORK DAY.
- ACCUMULATED SEDIMENT MUST BE REMOVED ACCORDING TO PERIMETER CONTROL DETAIL.

	STOCKPILE PROTECTION	
	APPROVED:	
	CITY ENGINEER	
ISSUED:	10/7/19	REVISION:
		DRAWING NO.:
		900-SP

SP



AGGREGATE VEHICLE TRACKING CONTROL



SECTION A-A'

INSTALLATION NOTES

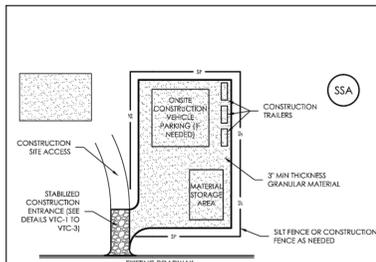
- A STABILIZED CONSTRUCTION ENTRANCE/EXIT SHOULD BE LOCATED AT ALL POINTS WHERE VEHICLES EXIT THE CONSTRUCTION SITE TO ADJACENT ROADWAY.
- STABILIZED CONSTRUCTION ENTRANCE/EXITS SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- RADIUS MUST BE ADEQUATE FOR INTENDED CONSTRUCTION VEHICLE TURNING.
- ROCK SHOULD CONSIST OF 6" MINUS ROCK.
- INSTALL CONSTRUCTION FENCE ON BOTH SIDES OF VEHICLE TRACKING CONTROL PAD WHEN NEEDED OR REQUIRED BY INSPECTOR.

MAINTENANCE NOTES

- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN CONTROL MEASURES IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- SEDIMENT TRACKED ONTO THE ADJACENT ROAD SHALL BE REMOVED DAILY, BY SWEEPING OR SHOVELING, AND NEVER WASHED DOWN STORM DRAINS.
- ROUGHEN, REPLACE AND/OR ADD ROCK AS NEEDED TO MAINTAIN CONSISTENT DEPTH AND TO PREVENT SEDIMENT TRACKING ONTO ADJACENT STREET.
- PERMANENTLY STABILIZE AREA AFTER VEHICLE TRACKING CONTROL IS REMOVED.

	VEHICLE TRACKING CONTROL	
	APPROVED:	
	CITY ENGINEER	
ISSUED:	10/7/19	REVISION:
		DRAWING NO.:
		900-VTC

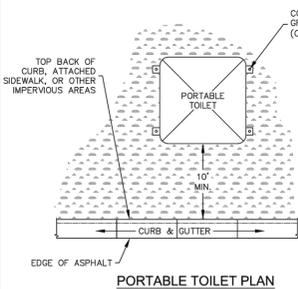
VTC



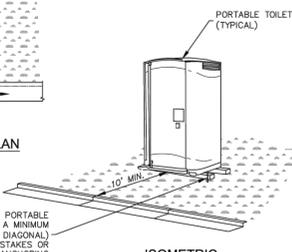
SSA-1. STABILIZED STAGING AREA

STABILIZED STAGING AREA INSTALLATION NOTES

- SEE PLAN VIEW FOR - LOCATION(S) OF STAGING AREA(S).
- CONTRACTOR MAY ADJUST LOCATION AND SIZE OF STAGING AREA WITH APPROVAL FROM THE LOCAL JURISDICTION.
- STABILIZED STAGING AREA SHOULD BE APPROPRIATE FOR THE NEEDS OF THE SITE, OVERSEEING RESULTS IN A LARGER AREA TO STABILIZE FOLLOWING CONSTRUCTION.
- STAGING AREA SHALL BE STABILIZED PRIOR TO OTHER OPERATIONS ON THE SITE.
- THE STABILIZED STAGING AREA SHALL CONSIST OF A MINIMUM OF 3" THICK GRANULAR MATERIAL.
- UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF COOT SECT. #703, AASHTO #3 COARSE AGGREGATE OR 6" (MIN.) ROCK.
- ADDITIONAL FIBERED BIRMS MAY BE REQUIRED INCLUDING BUT NOT LIMITED TO SILT FENCE AND CONSTRUCTION FENCING.
- STABILIZED CONSTRUCTION ENTRANCE EXIT MAINTENANCE NOTES
 - INSPECT BIRMS EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OR BIRMS SHOULD BE PROTECTIVE, NOT RESTRICTIVE. INSPECT BIRMS AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
 - FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BIRMS IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
 - WHERE BIRMS HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
 - ROCK SHALL BE REPAIRED OR REGRADING AS NECESSARY IF RUTTING OCCURS OR UNDERLYING SURGRADE BECOMES EXPOSED.
 - STABILIZED STAGING AREA SHALL BE ENLARGED IF NECESSARY TO COORDINATE PARKING, STORAGE, AND UNLOADING/LOADING OPERATIONS.
 - THE STABILIZED STAGING AREA SHALL BE REMOVED AT THE END OF CONSTRUCTION. THE GRANULAR MATERIAL SHALL BE REMOVED OR, IF APPROVED BY THE LOCAL JURISDICTION, USED ON SITE, AND THE AREA COVERED WITH TOPSOIL, SEEDS AND MULCHED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY LOCAL JURISDICTION.



PORTABLE TOILET PLAN



ISOMETRIC

INSTALLATION NOTES

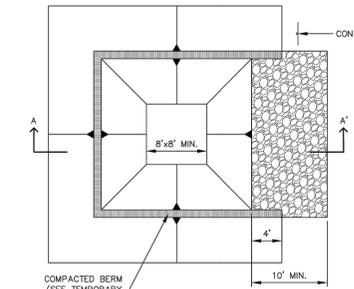
- PORTABLE TOILETS SHALL BE PLACED A MINIMUM OF 10 FEET BEHIND ALL CURBS, SIDEWALKS, AND OTHER IMPERVIOUS AREAS, 50 FEET FROM STORM INLETS, AND 100 FEET FROM WATERWAYS.
- PORTABLE TOILETS IN THE RIGHT-OF-WAY ARE REQUIRED TO BE PLACED ON MOBILE TRAILERS AND MUST BE ANCHORED OR WEIGHTED DOWN. PORTABLE TOILETS MAY BE INSTALLED IN ACCORDANCE WITH NOTE #1 IN STAGING AREAS/YARDS.
- PORTABLE TOILETS SHALL BE SECURELY ANCHORED TO THE GROUND USING U-SHAPED REBAR STAKES, OR OTHER EFFECTIVE ANCHORING.
- ANCHORING SHALL BE POSITIONED ON AT LEAST TWO OPPOSING (DIAGONAL) CORNERS.

MAINTENANCE NOTES

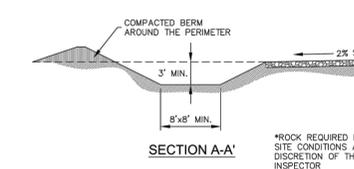
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN CONTROL MEASURES IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- PORTABLE TOILETS SHALL BE SERVICED AT THE APPROPRIATE INTERVALS TO ELIMINATE THE POSSIBILITY OF OVERFLOW.
- WHEN THE PORTABLE TOILETS ARE REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE TOILETS MUST BE PERMANENTLY STABILIZED.

	PORTABLE TOILET	
	APPROVED:	
	CITY ENGINEER	
ISSUED:	10/7/19	REVISION:
		DRAWING NO.:
		900-PTM

PT



CONCRETE WASHOUT AREA PLAN



SECTION A-A'

*ROCK REQUIRED BASED ON SITE CONDITIONS AT THE DISCRETION OF THE GEO INSPECTOR

	CONCRETE WASHOUT AREA	
	APPROVED:	
	CITY ENGINEER	
ISSUED:	10/7/19	REVISION:
		DRAWING NO.:
		900-CWA-1

CWA

INSTALLATION NOTES

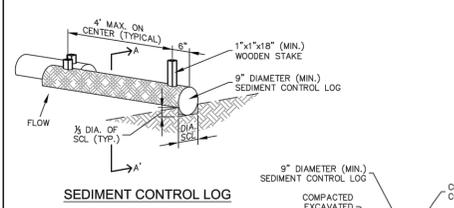
- SEE PLAN VIEW FOR: - LOCATION OF CONCRETE WASHOUT AREA
- LOCATE AT LEAST 50' AWAY FROM STATE WATERS MEASURED HORIZONTALLY.
- AN IMPERMEABLE LINER (16 MIL. MINIMUM THICKNESS) IS REQUIRED IF CONCRETE WASH AREA IS LOCATED WITHIN 400' OF STATE WATERS OR 1000' OF WELLS OR DRINKING WATER SOURCES.
- DO NOT LOCATE IN AREAS WHERE SHALLOW GROUNDWATER MAY BE PRESENT.
- THE CONCRETE WASH AREA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.
- CONCRETE WASH AREA ENTRANCE SHALL BE SLOPED 2% TOWARDS THE CONCRETE WASH AREA.
- BERM SURROUNDING SIDES AND BACK OF CONCRETE WASH AREA SHALL HAVE A MINIMUM HEIGHT OF 2 FEET.
- CONCRETE WASH AREA ENTRANCE SHALL BE SLOPED 2% TOWARDS THE CONCRETE WASH AREA.
- SIGNS SHALL BE PLACED AT THE CONCRETE WASH AREA.
- USE EXCAVATED MATERIAL FOR PERIMETER BERM CONSTRUCTION.

MAINTENANCE NOTES

- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN CONTROL MEASURES IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- THE CONCRETE WASH AREA SHALL BE REPAIRED, CLEANED, OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR CONCRETE WASTE. CONCRETE MATERIALS ACCUMULATED IN THE PIT SHALL BE REMOVED ONCE THE MATERIALS HAVE REACHED A DEPTH OF 1/3 THE HEIGHT OF THE CONCRETE WASH AREA.
- CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE, AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE IN A WATER-TIGHT CONTAINER AND DISPOSED OF PROPERLY.
- THE CONCRETE WASH AREA SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.
- PERMANENTLY STABILIZE AREA AFTER CONCRETE WASH AREA IS REMOVED.

	CONCRETE WASHOUT AREA	
	APPROVED:	
	CITY ENGINEER	
ISSUED:	10/7/19	REVISION:
		DRAWING NO.:
		900-CWA-2

CWA



SEDIMENT CONTROL LOG



SECTION A-A'

SEDIMENT CONTROL LOG JOINTS

INSTALLATION NOTES

- ALL SEDIMENT CONTROL LOGS MUST BE EMBEDDED TO 1/3 OF THE HEIGHT OF THE LOG.
- LARGER DIAMETER SEDIMENT CONTROL LOGS NEED TO BE EMBEDDED DEEPER.
- PLACE SEDIMENT CONTROL LOG AGAINST SIDEWALK OR BACK OF CURB WHEN ADJACENT TO THESE FEATURES.
- SEDIMENT CONTROL LOGS SHALL CONSIST OF STRAW, COMPOST, EXCELISOR OR COCONUT FIBER, AND SHALL BE FREE FROM ANY NOXIOUS WEED SEEDS OF DEFECTS INCLUDING RIPS, HOLES AND OBVIOUS WEAR.
- IF USING AS SLOPE PROTECTION, INSTALL SEDIMENT CONTROL LOGS ALONG THE CONTOUR.

MAINTENANCE NOTES

- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN CONTROL MEASURES IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- ACCUMULATED SEDIMENT MUST BE REMOVED WHEN THE HEIGHT REACHES 1/2 OF THE HEIGHT OF THE SEDIMENT CONTROL LOG.
- PERMANENTLY STABILIZE AREA AFTER SEDIMENT CONTROL LOGS HAVE BEEN REMOVED.

	SEDIMENT CONTROL LOGS	
	APPROVED:	
	CITY ENGINEER	
ISSUED:	10/7/19	REVISION:
		DRAWING NO.:
		900-SCL

SCL

PHASES TRUCK AND AUTO REPAIR

1670 PAONIA STREET
COLORADO SPRINGS, COLORADO
CASCO CONSTRUCTION CORP.

EROSION CONTROL DETAILS

SHEET NAME

PROJECT STATUS

PERMIT

ENG: SAM

DRAWN: AMC

CHECKED: RCL

DATE

08/15/2021

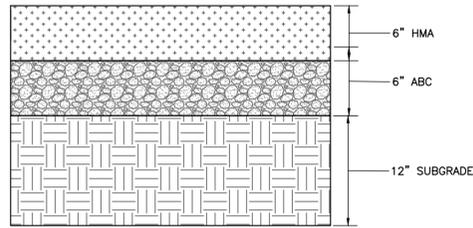
REVISION DATE

PAVEMENT MATERIALS

PAVEMENT MATERIALS SHOULD BE SELECTED, PREPARED, AND PLACED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY RMG-ROCKY MOUNTAIN GROUP DATED JANUARY 29, 2021 AS WELL AS THE CITY OF COLORADO SPRINGS ENGINEERING DEPARTMENT AND THE PIKES PEAK REGION ASPHALT PAVING SPECIFICATIONS. TESTS SHOULD BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE PROCEDURES PRESENTED IN THE REPORT AND SPECIFICATIONS.

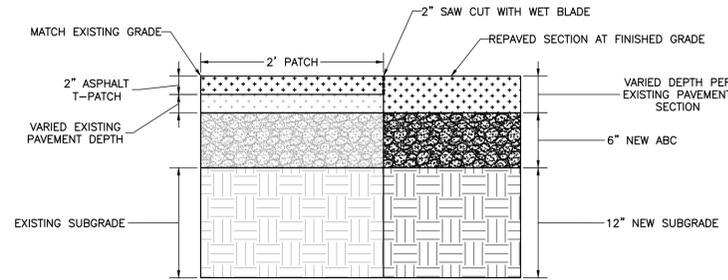
SUBGRADE PREPARATION

ALL SUBGRADE MATERIAL PLACED BELOW PAVEMENTS SHOULD BE MOISTURE CONDITIONED AND COMPACTED IN ACCORDANCE WITH THE STRUCTURAL FILL-GENERAL SECTION OF THE GEOTECHNICAL REPORT PREPARED BY RMG-ROCKY MOUNTAIN GROUP. PRIOR TO PLACEMENT OF THE PAVEMENT SECTION, THE FINAL SUBGRADE SHOULD BE SCARIFIED TO A DEPTH OF 6-INCHES, ADJUSTED TO WITHIN 2 PERCENT OF THE OPTIMUM MOISTURE CONTENT AND RECOMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D-1557). THE SUBGRADE SHOULD THEN BE PROOF-ROLLED WITH A HEAVY, PNEUMATIC TIRED VEHICLE.

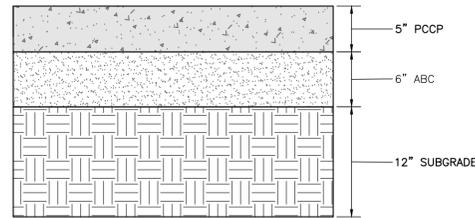


*RECOMMENDED PAVEMENT SECTION FOR HEAVY USE AREAS, DUMPSTER PADS, EQUIPMENT AREAS, AND AREAS WITH TURNING MOTIONS

(A) TYPICAL HEAVY LOADING ASPHALT PAVEMENT SECTION
NOT TO SCALE

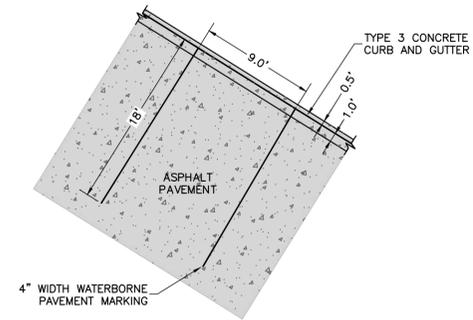


(B) ASPHALT PATCH PAVEMENT SECTION
NOT TO SCALE

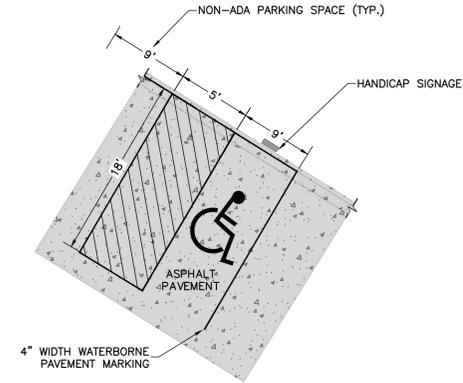


(C) TYPICAL CONCRETE PAVEMENT SECTION
NOT TO SCALE

*CONTRACTOR SHALL ADHERE TO AND BE FAMILIAR WITH ACI 330R-08 (LATEST REVISION) STANDARDS FOR CONCRETE JOINTING AND PLACEMENT (INCLUDING BUT NOT LIMITED TO SECTIONS 3.7, 3.8, 3.9).

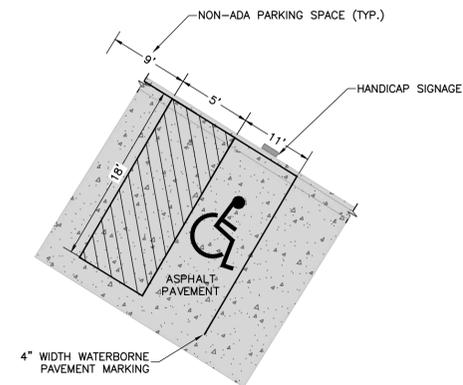


TYPICAL NON-HANDICAP PARKING STALL



TYPICAL HANDICAP PARKING STALL

*REFER TO CITY OF COLORADO SPRINGS CODE OF ORDINANCES SECTION 7.4.205 F FOR DIMENSIONAL REQUIREMENTS.



TYPICAL HANDICAP PARKING STALL (VAN ACCESSIBLE)

*REFER TO CITY OF COLORADO SPRINGS CODE OF ORDINANCES SECTION 7.4.205 F, AND EL PASO COUNTY STANDARDS, FOR DIMENSIONAL REQUIREMENTS.

ROCKY MOUNTAIN GROUP
ARCHITECTS
Geotechnical
Materials Testing
Civil/Planning
RMG
ENGINEERS
Structural
Forensics
2910 ALBERTA BLUFFS PARKWAY, COLORADO SPRINGS, CO 80918
WWW.RMGENGINEERS.COM
SOUTHERN COLORADO
STRUCTURAL ENGINEERING, DESIGN AND PLANNING CONSULTANTS

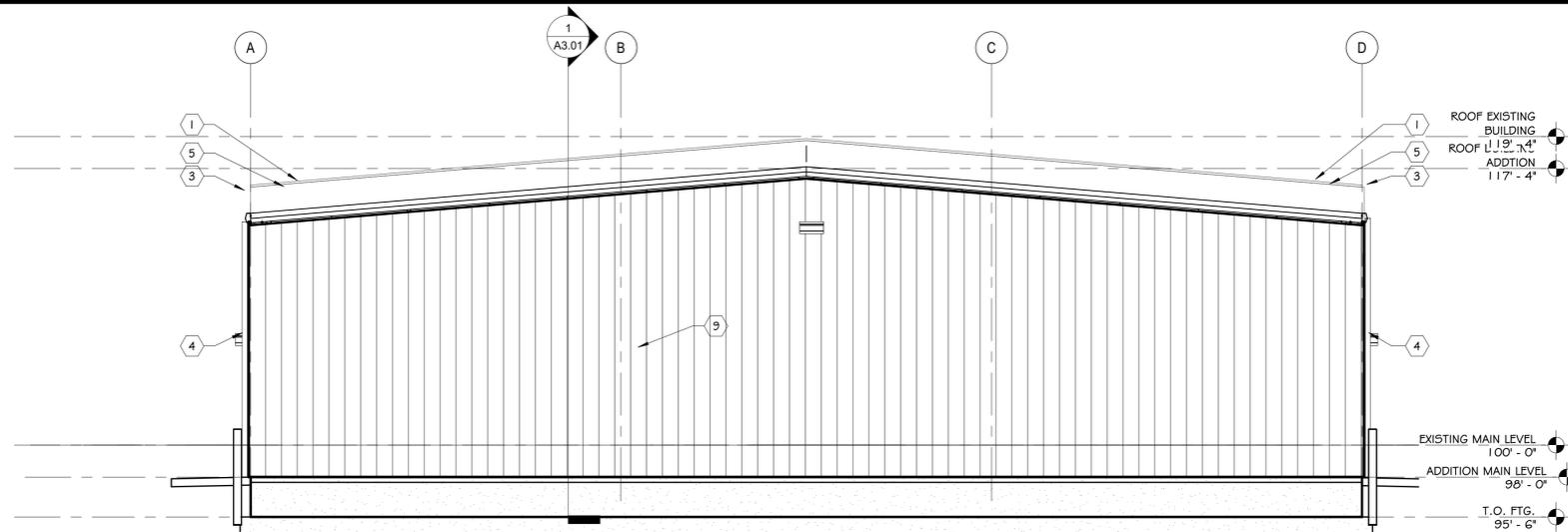
COLORADO LICENSED
SCOTT MARVEL
08/15/2021
52138
PROFESSIONAL ENGINEER
FOR CIVIL ONLY

PHASES TRUCK AND AUTO REPAIR
1670 PAONIA STREET
COLORADO SPRINGS, COLORADO
CASCO CONSTRUCTION CORP.

CONSTRUCTION DETAILS
SHEET NAME
PROJECT STATUS
PERMIT

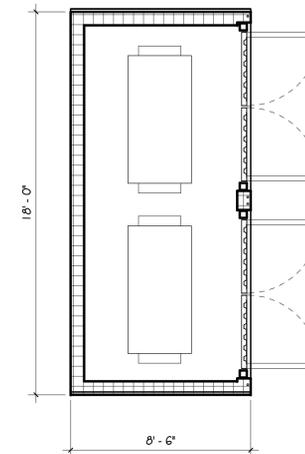
ENG:	SAM	
DRAWN:	AMC	
CHECKED:	ROL	
DATE	08/15/2021	
#	REVISION	DATE
JOB NO.	179592	
SHEET NO.	C-06	

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1 WEST DEVELOPMENT ELEVATION

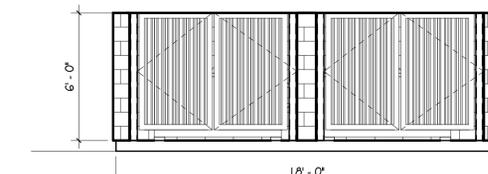
DP.03 SCALE: 3/16" = 1'-0"



5 TRASH ENCLOSURE PLAN

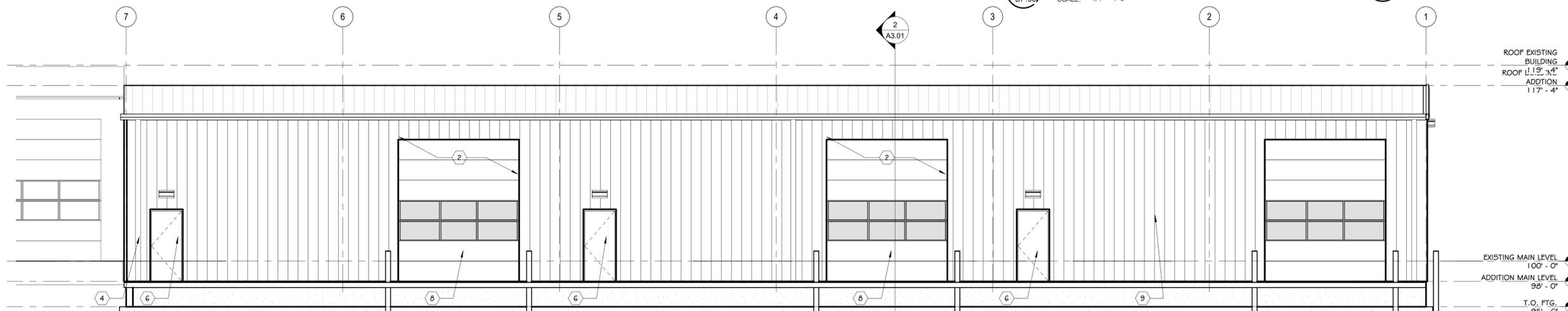
DP.03 SCALE: 1/4" = 1'-0"

MK	MATERIAL	COLOR	FINISH
1	STANDING SEAM METAL ROOF	SLATE GRAY (SR 35 SRI 37)	FACTORY
2	HEADER/JAMB METAL PANEL	CHARCOAL GRAY (SRI 39 TE .86)	FACTORY
3	PRE FINISHED GUTTERS	CHARCOAL GRAY (SRI 39 TE .86)	FACTORY
4	PRE FINISHED DOWNSPOUTS	TO MATCH SIDING	FACTORY
5	METAL FASCIA	CHARCOAL GRAY (SRI 39 TE .86)	FACTORY
6	STEEL MAN DOORS	CHARCOAL GRAY (SRI 39 TE .86)	FACTORY
7	FLASHING	TO MATCH	FACTORY
8	ROLL UP DOORS	CHARCOAL GRAY (SRI 39 TE .86)	FACTORY
9	METAL SIDING (PBR)	ASH GRAY (SRI 52 TE .86)	FACTORY
10	4' X 4' WINDOW	LOW E	FACTORY
11			
12			



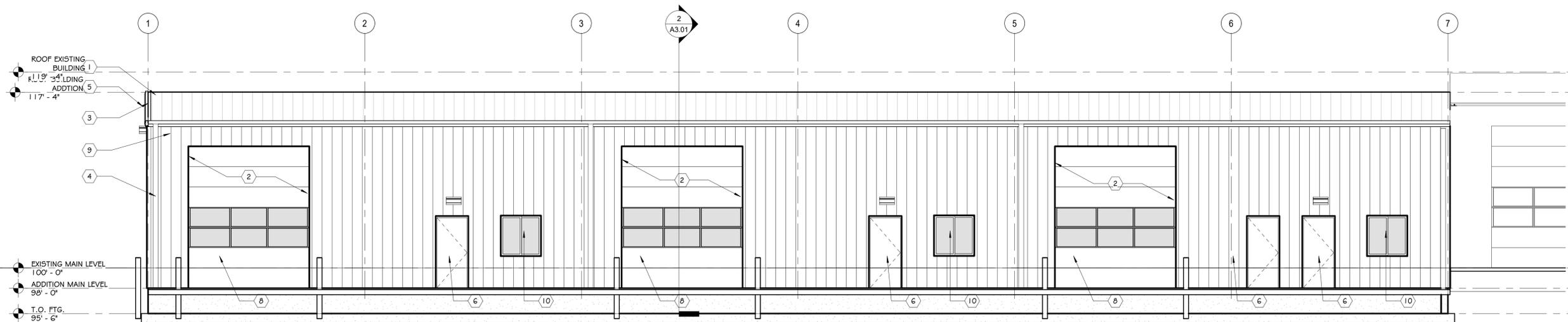
4 TRASH ENCLOSURE

DP.03 SCALE: 1/4" = 1'-0"



2 NORTH DEVELOPMENT ELEVATION

DP.03 SCALE: 3/16" = 1'-0"



3 SOUTH DEVELOPMENT ELEVATION

DP.03 SCALE: 3/16" = 1'-0"



PCD FILING NO: PPR-21-021

ROCKY MOUNTAIN GROUP
 ARCHITECTURAL ENGINEERS
 CONSULTING CIVIL ENGINEERS
 19375 BEACON LITE RD., MONUMENT, CO 80132
 (719) 488-2145 - WWW.RMG-ENGINEERS.COM

PAONIA WAREHOUSE CORE AND SHELL
 CASCO CONSTRUCTION CORP.
 1670 PAONIA STREET, COLORADO SPRINGS, CO 80915

EXTERIOR ELEVATIONS DEVELOPMENT

ARCHENGR: KEM
 DRAWN: JZJ
 CHECKED: km
 DATE: 04.12.2021

REVISION	DATE

JOB NO: 179592
 SHEET NO: DP.03
 3 OF 19

