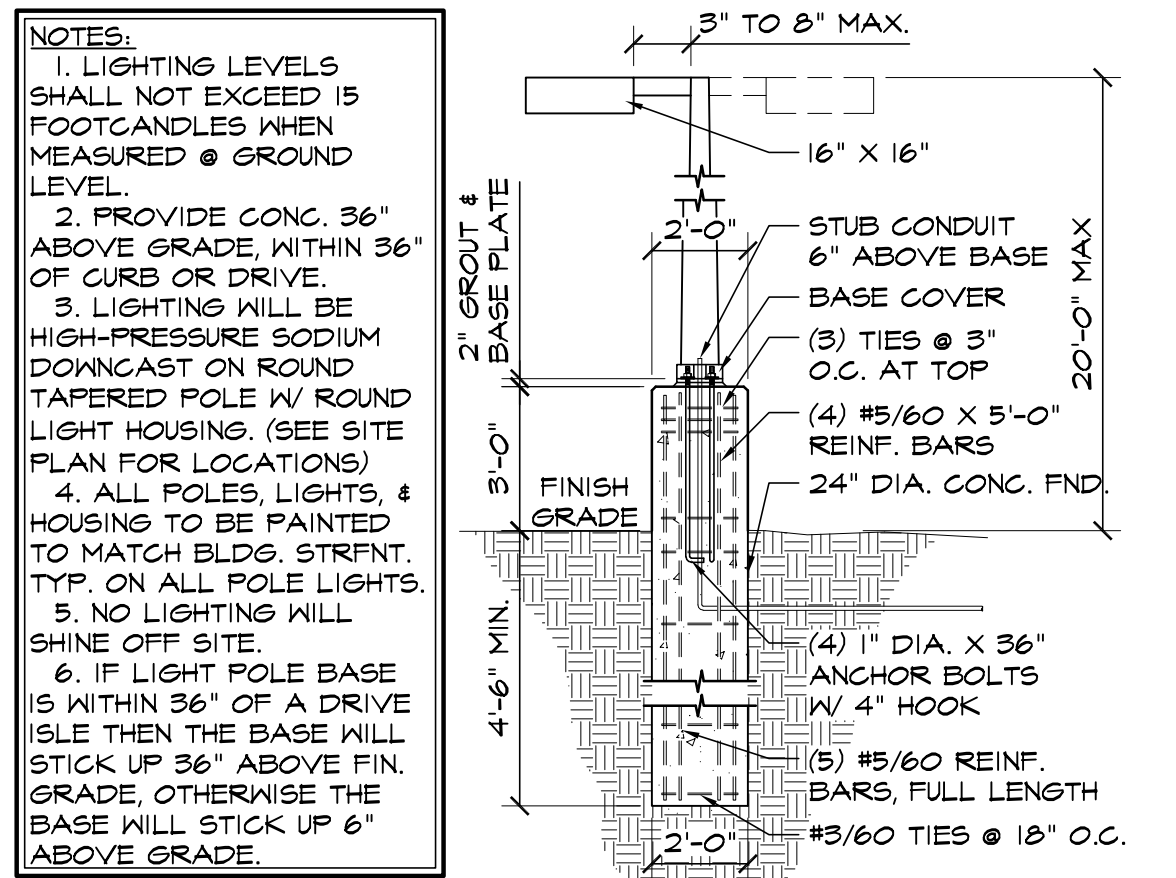
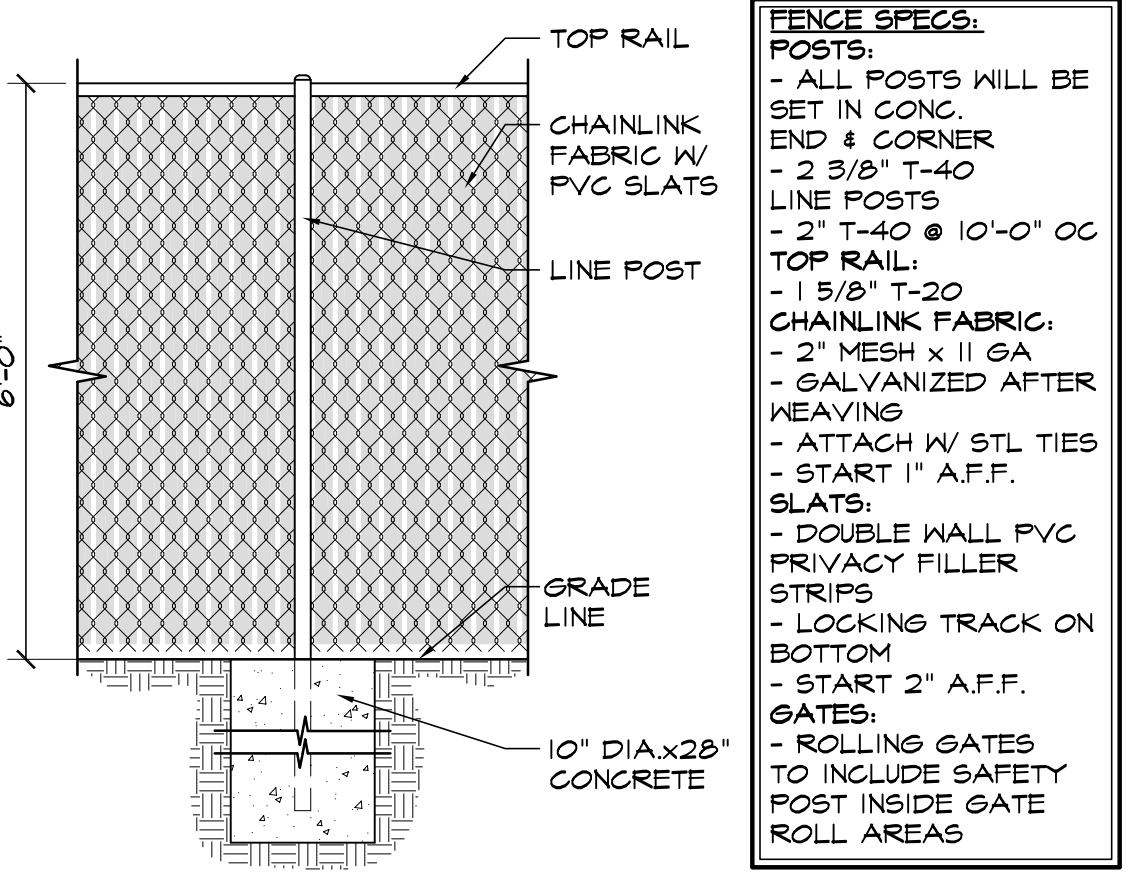


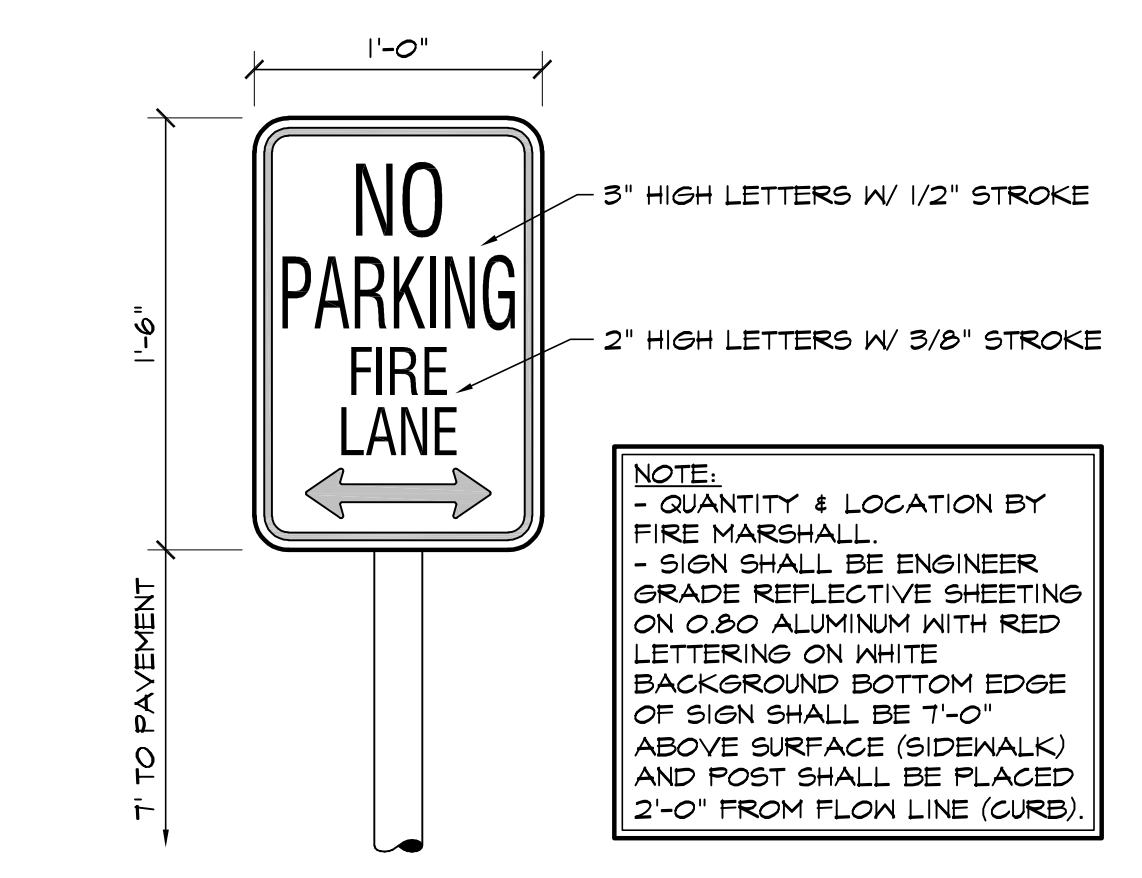
2 ADA / STANDARD PARKING
SCALE: 1/8"=1'-0"



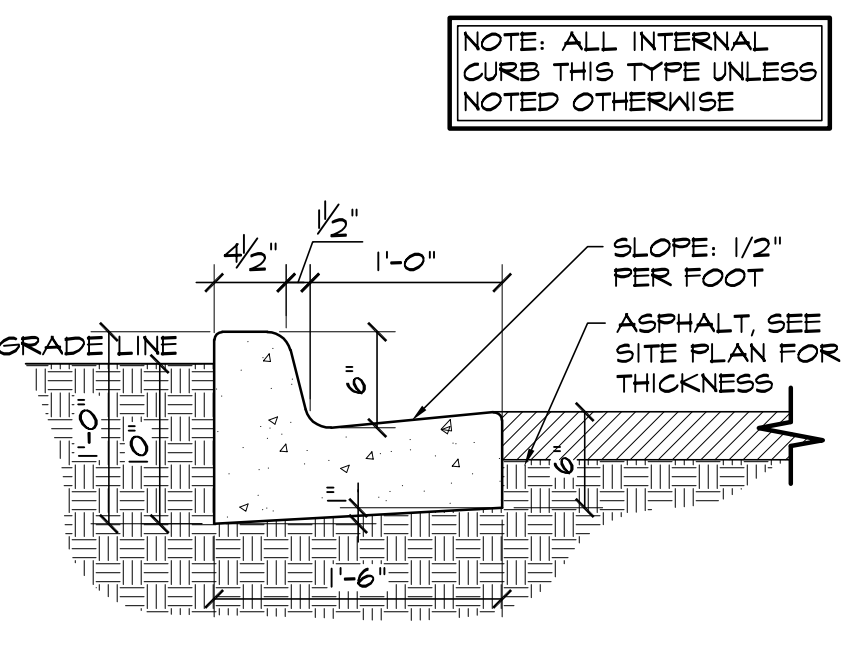
3 LIGHT POLE BASE DETAIL
SCALE: 1/4"=1'-0"



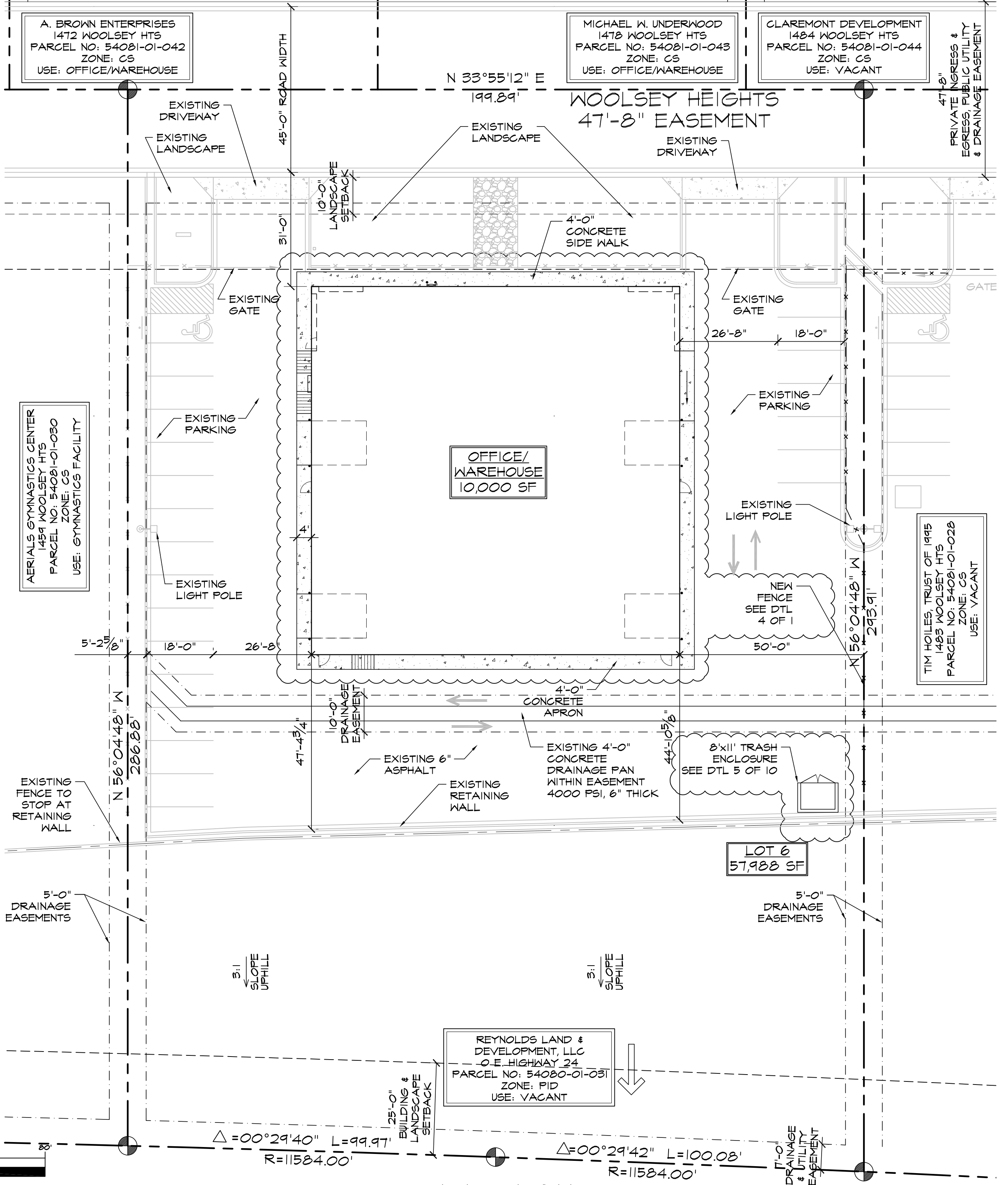
4 CHAINLINK FENCE DETAIL
SCALE: 1/2"=1'-0"



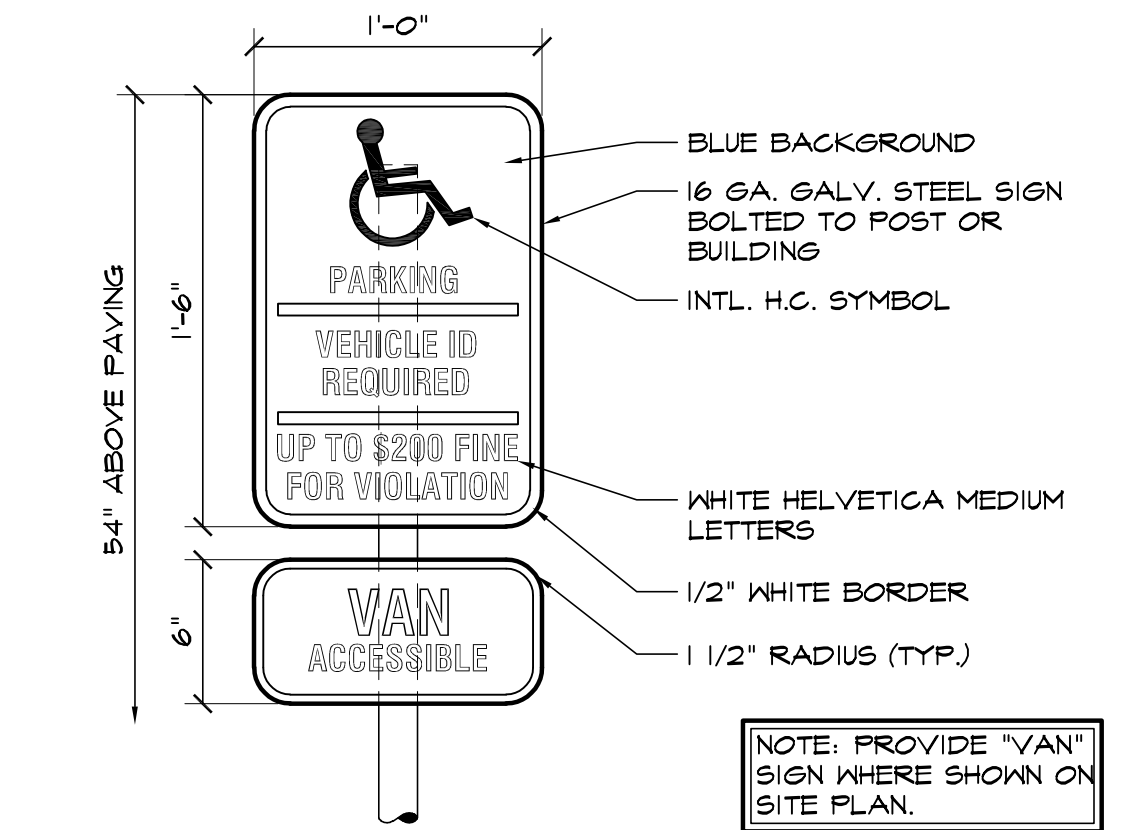
5 FIRE LANE SIGN
SCALE: 1/2"=1'-0"



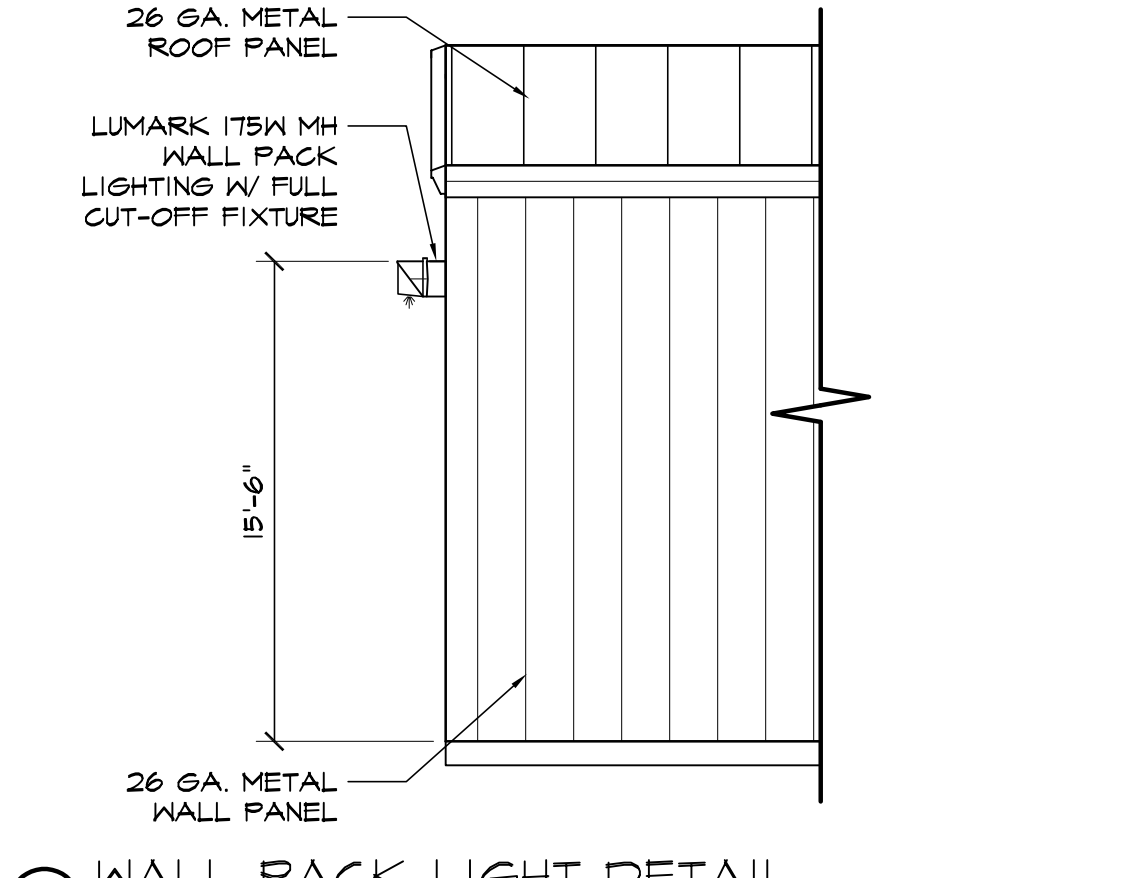
9 EPC TYPE B CURB
SCALE: 1"=1'-0"



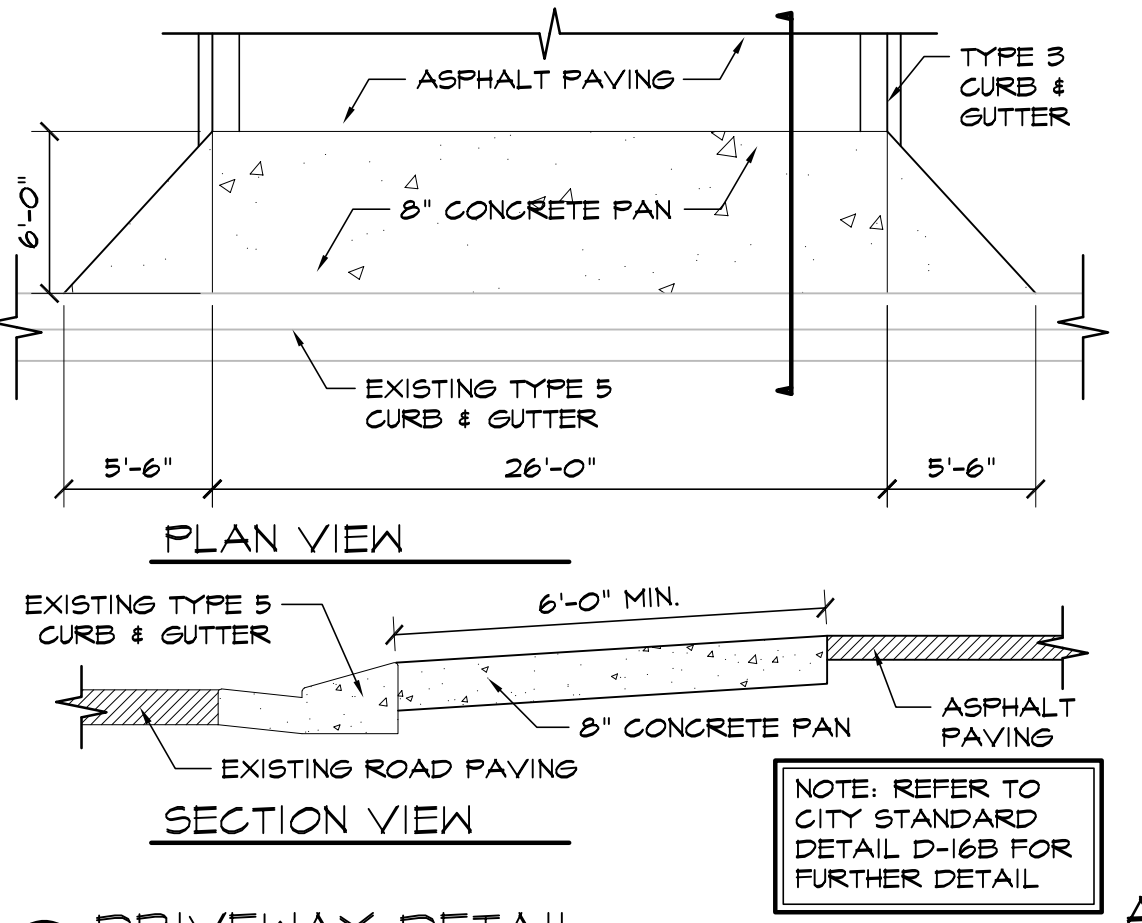
1 SITE PLAN
SCALE: 1"=20'-0"



6 HANDICAPPED PARKING SIGN
SCALE: 1/2"=1'-0"



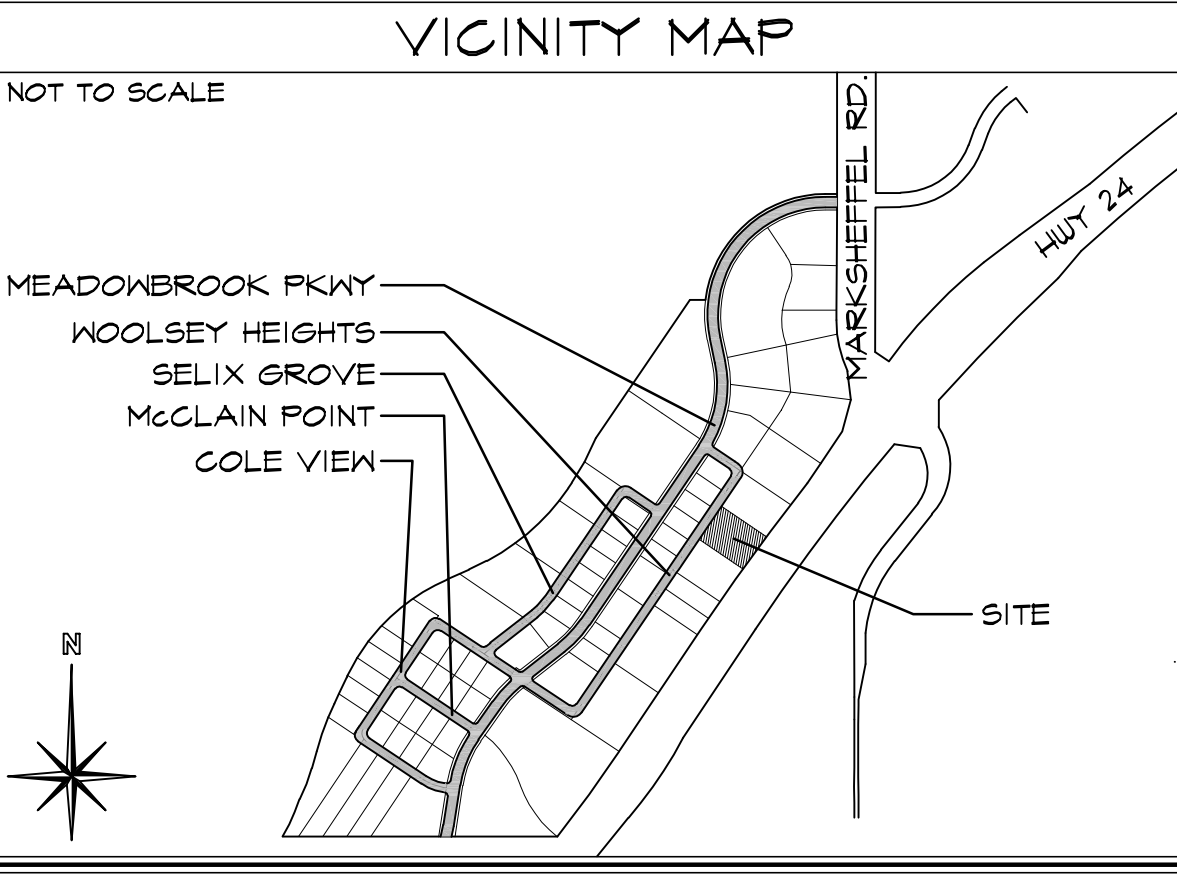
7 WALL PACK LIGHT DETAIL
SCALE: 1/4"=1'-0"



8 DRIVEWAY DETAIL
NOT TO SCALE

DRAWING INDEX

- 1 of 10 - SITE PLAN, PROJECT INFORMATION, DRAWING INDEX
- 2 of 10 - LANDSCAPE PLAN
- 3 of 10 - LANDSCAPE DETAILS
- 4-TSO - GRADING TITLE SHEET
- 5-GN - GENERAL NOTES
- 6-GPI - GRADING PLAN
- 7-EDI - GRADING & EROSION CONTROL DETAILS
- 8-EOI - EROSION CONTROL PLAN
- 9-UPI - UTILITY PLAN
- 10 of 10 - BUILDING ELEVATIONS



PROJECT INFORMATION

PROPERTY INFORMATION	
OWNER NAME:	GENFIVE LLC 1812 ALAMO AVE COLORADO SPRINGS, CO 80907
LEGAL DESCRIPTION:	LOT 6 FILING 1A OF CLAREMONT BUSINESS PARK
PARCEL NUMBER:	54081-01-029
ZONING:	CS
LOT SIZE FOR 4:	57,988 SF (1.33 ACRES)
CURRENT USE:	VACANT
FLOODPLAIN STATEMENT:	NONE (MAP NO. 08041C0756 F. DATED MARCH 17, 1997)
BUILDING INFORMATION (FUTURE)	
GROSS BUILDING AREA:	10,000 SF
BUILDING OCCUPANCY:	B/S-2
TYPE OF CONSTRUCTION:	11-B
FIRE SYSTEMS:	NONE
AREA SEPARATION WALLS:	NONE
ZONING CODE STUDY	
PROPOSED PRINCIPAL USE:	OFFICE/WAREHOUSE
BUILDING STRUCTURAL HEIGHT:	19'-8" (45'-0" MAX)
FRONT YARD SETBACK:	25'-0"
SIDE YARD SETBACK:	25'-0"
REAR YARD SETBACK:	25'-0"
REQUIRED PARKING SPACES FOR FUTURE OFFICE:	
OFFICE-(1 SPACE/200 S.F.)	5
(1,500 S.F. / 200 S.F.)	8
WAREHOUSE-(1 SPACE/1,000 S.F.)	9
(8,500 S.F. / 1,000 S.F.)	9
H.C.-(1 SPACE/25 REQ'D)	18
TOTAL PARKING SPACES REQUIRED:	21
TOTAL PARKING PROVIDED:	20
STANDARD SPACES PROVIDED:	1
H.C. SPACES PROVIDED:	1
COMPACT SPACES PROVIDED:	0
(SEE DETAIL 2 OF 1 FOR DIMENSIONS)	
DEVELOPMENT SCHEDULE	
CONSTRUCTION:	WINTER 2020
LANDSCAPING:	WINTER 2020
DEVELOPMENT APPLICANT	
COMPANY:	HAMMERS CONSTRUCTION, INC. 1411 WOOLSEY HEIGHTS COLO. SPGS., CO 80915
PHONE NUMBER:	(719)-570-1549
FAX NUMBER:	(719)-570-1008
APPLICANT NAME:	LISA PETERSON
APPLICANT E-MAIL:	lpeterson@hammersconstruction.com

SITE LEGEND

---	PROPERTY LINE
---	RIGHT OF WAY
---	BUILDING SETBACK
---	LANDSCAPE SETBACK
---	UTILITY/DRAINAGE EASEMENT
---	ELECTRICAL EASEMENT
---	ACCESS EASEMENT
---	CHAINLINK OPAQUE FENCE
---	6' HIGH WROUGHT IRON FENCE
---	GAS LINE
---	WATER LINE
---	ELECTRICAL LINE
---	SANITARY SEWER LINE
---	STORM SEWER LINE
---	PHONE LINE
---	OVERHEAD ELECTRIC LINE
---	RETAINING WALL
---	NEW SIDEWALK LOCATIONS W/ CONTROL JOINTS @ 5'-0" O.C.
●	PROPERTY CORNER
○	TRAFFIC FLOW
□	WALL PACK LIGHTING
○	SIGN
○	MANHOLE
□	ELECTRICAL TRANSFORMER
○	EXISTING FIRE HYDRANT
○	PROPOSED FIRE HYDRANT

AMENDING COUNTY FILE NO. PPR-06-025 COM-20-008

DATE: JAN 30, 2020
DRAWN BY: W. VENEROS
PROJ. MGR: R. GREEN
SCALE: SEE PLAN
APPROVED BY:
JOB NO: 1153

△ SUBMITTALS:
△ 2-15-07/COMMENTS 1-18-06
△ 7-16-07/FINAL SUBMITTAL
△ 10-4-07/AMENDED PLOT PLAN
△ 1-30-20/AMENDED PLOT PLAN

1 of 10
SITE PLAN

HAMMERS CONSTRUCTION INC.

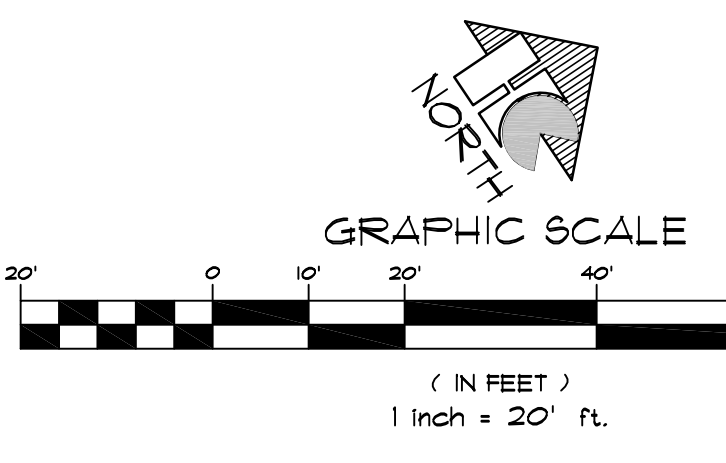
COMMERCIAL GENERAL CONTRACTORS SPECIALIZING IN DESIGN/BUILD

PRESIDENT: STEVE R. HAMMERS
VICE PRES: DAVID J. HAMMERS
1411 WOOLSEY HEIGHTS
COLORADO SPRINGS, CO 80915
(719) 570-1599 FAX (719) 570-7008
www.hammersconstruction.com

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CBP LOT 6-1A
OFFICE/WAREHOUSE
1411 WOOLSEY HEIGHTS
COLORADO SPRINGS, CO 80915
EL PASO COUNTY, COLORADO

Approved
By: Nina Ruiz
Date: 02/10/2020
El Paso County Planning & Community Development



Stormwater Permit Applicability Evaluation Form

Part I. Project Information	
Project Name: Claremont Business Park Lot 6 Amendment	Project Number (DPW): Project File Number (PCD): COM208
Project Location: 1471 Woolsey Hts	Project Located in MS4 Permit Area (Y/N): Y
Project Description: Install a 10,000 sf building	
If Project is located within MS4 permit area, provide copy of this completed form to Stormwater Quality Coordinator for reporting purposes; and save completed form in project file.	

Part II. Determination of Applicable Construction Activities (Refer to Part I.E.3 of MS4 Permit for definitions then check appropriate <i>Yes or No</i> boxes)			
Questions:	Yes	No	Notes:
1. Does project meet definition of Construction Activity in MS4 permit?	x		
2. Does the project disturb ≥ 1 acre of land?		x	
3. Is project part of a larger common plan of development?		x	Plans approved on July, 2007.
4. Is Project Applicable Construction Activity? If: "Yes" to all questions; or "Yes" to 1 and 2; or "Yes to 1 and 3; or <u>Then project is an Applicable Construction Activity</u>		x	

Part III. Evaluation of Stormwater Permit Exclusions (check <i>Yes or No</i> boxes)			
Questions:	Yes	No	Notes:
1. Does project qualify for R-Factor Waiver? (see requirements in permit, Part I.E.3.a.i (A) Waiver application available here: https://www.colorado.gov/pacific/sites/default/files/RWAIVER%20app.pdf		x	If Yes, must submit waiver application to CDPHE for approval
2. Is project a large single-family residential lot, or agricultural zoned land larger than 2.5 acres with total site imperviousness ≤ 10 percent?		x	
3. Is project associated with oil and gas exploration, production, processing, treatment or transmission in Non-Urban Areas?		x	see MS4 permit Part I.E.3.a.i (C)
4. Do exclusions apply to this project? Check "Yes" if answered "Yes" to any question in this part.		x	

Part IV. Final Determination if Stormwater Permit Required		
Questions:	Yes	No
Is project an Applicable Construction Activity?		X
Do any exclusion apply to this project?		X
<p>If project is an Applicable Construction Activity and no exclusion apply, the constructing agent must acquire ESQCP, develop SWMP, and acquire CDPHE permit prior to beginning land disturbance.</p> <p>An additional assessment must be completed using the Post-Construction Stormwater Management Applicability Evaluation. This form will determine whether project will be required to implement post-construction (permanent) stormwater control measure.</p> <p>If permit is not required, temporary erosion control measures must still be implemented.</p>		

Part V. Notes

I have performed the MS4 permit applicability evaluation for the project identified in Part 1 of this form. I have reviewed the project information and completed the form to the best of my knowledge.

Print Name of El Paso County Reviewer	ACCEPTED for FILE Engineering Review <i>02/05/2020 3:02:25 PM</i>  EPC Planning & Community Development Department	Date
Signature of El Paso County Project Engineer		Date

ELEVATIONS HAVE BEEN UPDATED TO REFLECT THE CURRENT BUILDING MATERIALS AND FLOOR PLAN PER PERMIT PLANS

ELEVATION KEY NOTES	
①	PREFINISHED 24 GA. "FBR" METAL ROOF PANELS BY METAL BUILDING PROVIDER
②	PREFINISHED GUTTER & DOWNSPOUTS BY METAL BUILDING PROVIDER
③	PREFINISHED 26 GA. "FBR" METAL WALL PANELS BY METAL BUILDING PROVIDER
④	SEE SCHEDULES ON "A" SHEETS FOR ALL DOOR INFORMATION
⑤	3/4" STUCCO FINISH SYS. W/ EXPANSION JOINT-120 SF MAX AREA
⑥	WALL PACK LIGHT TOP OF LIGHT @ 15'-6" A.F.F. SEE ELECT. PLANS
⑦	STONE VENEER W/ 2" CAP INSTALLED W/ SCHLUTER TRIM

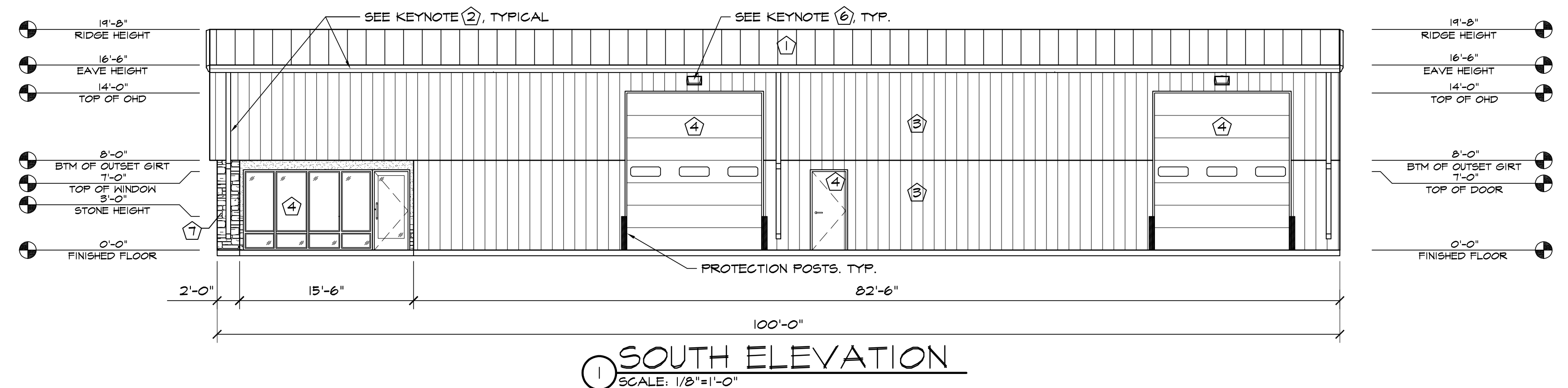
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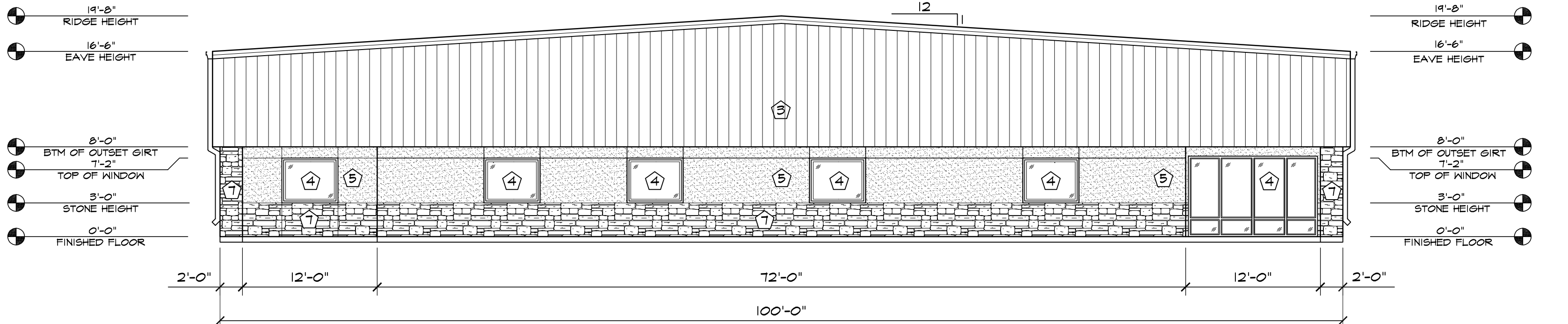
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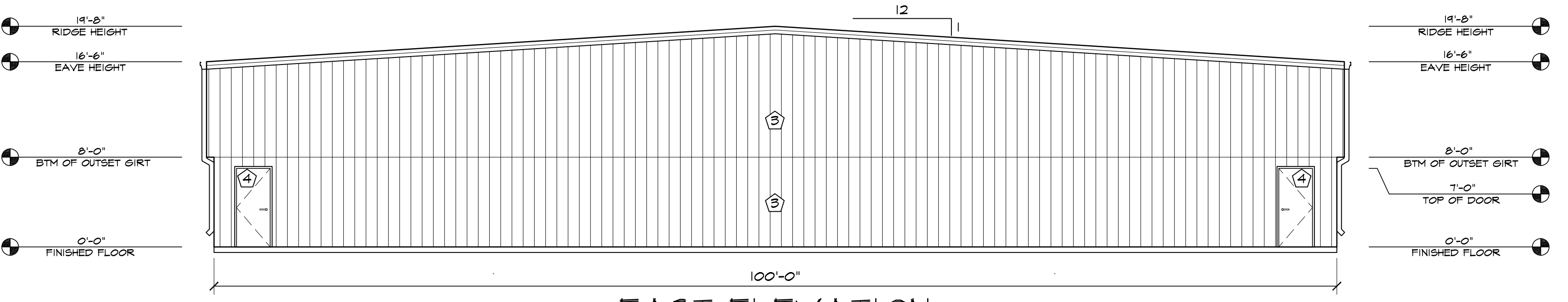
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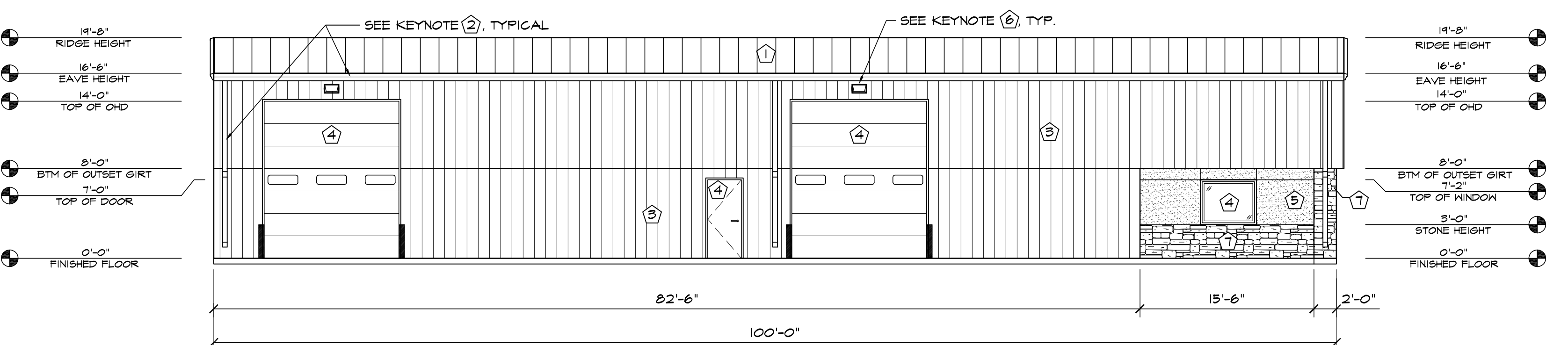
① SOUTH ELEVATION
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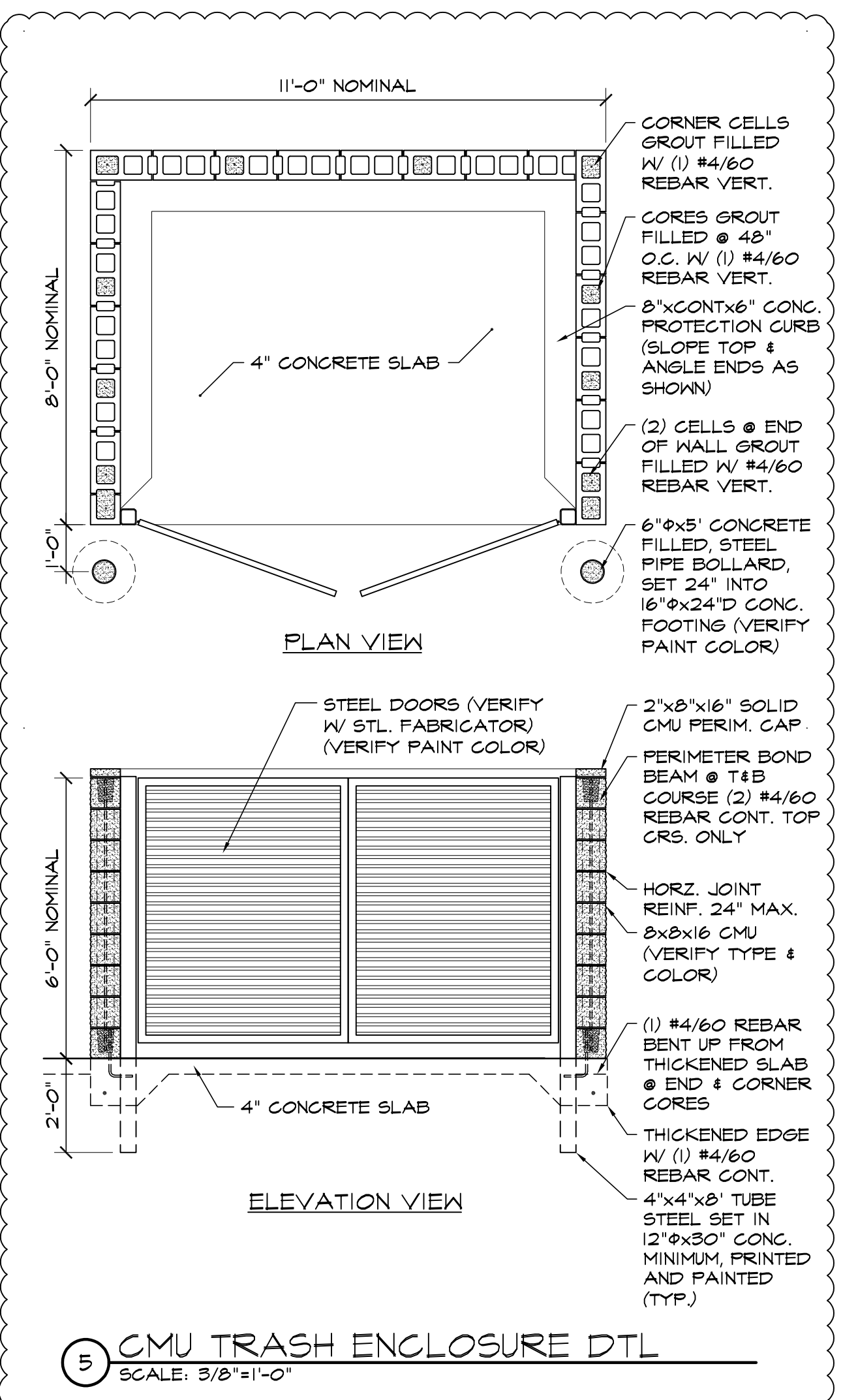
② WEST ELEVATION
 SCALE: 1/8"=1'-0"



③ EAST ELEVATION
 SCALE: 1/8"=1'-0"



④ NORTH ELEVATION
 SCALE: 1/8"=1'-0"



⑤ CMU TRASH ENCLOSURE DTL
 SCALE: 3/8"=1'-0"

