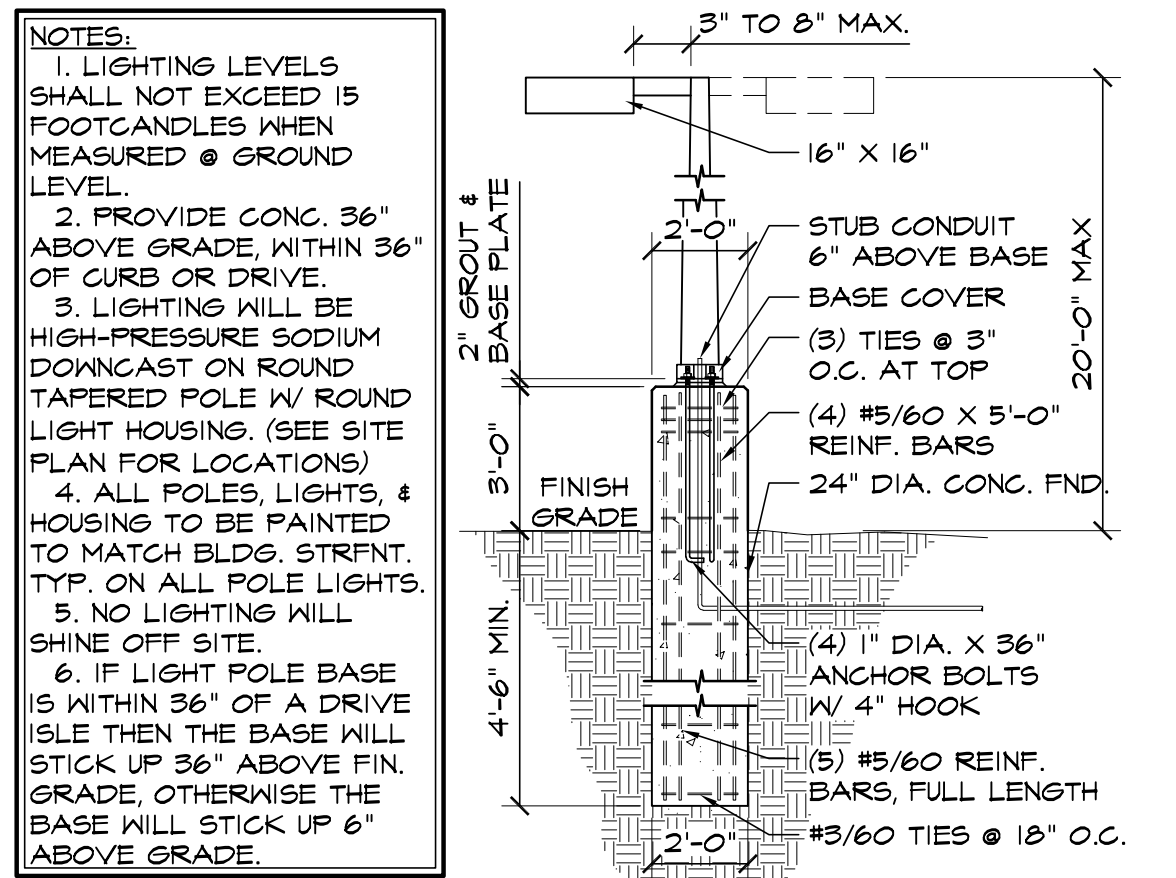
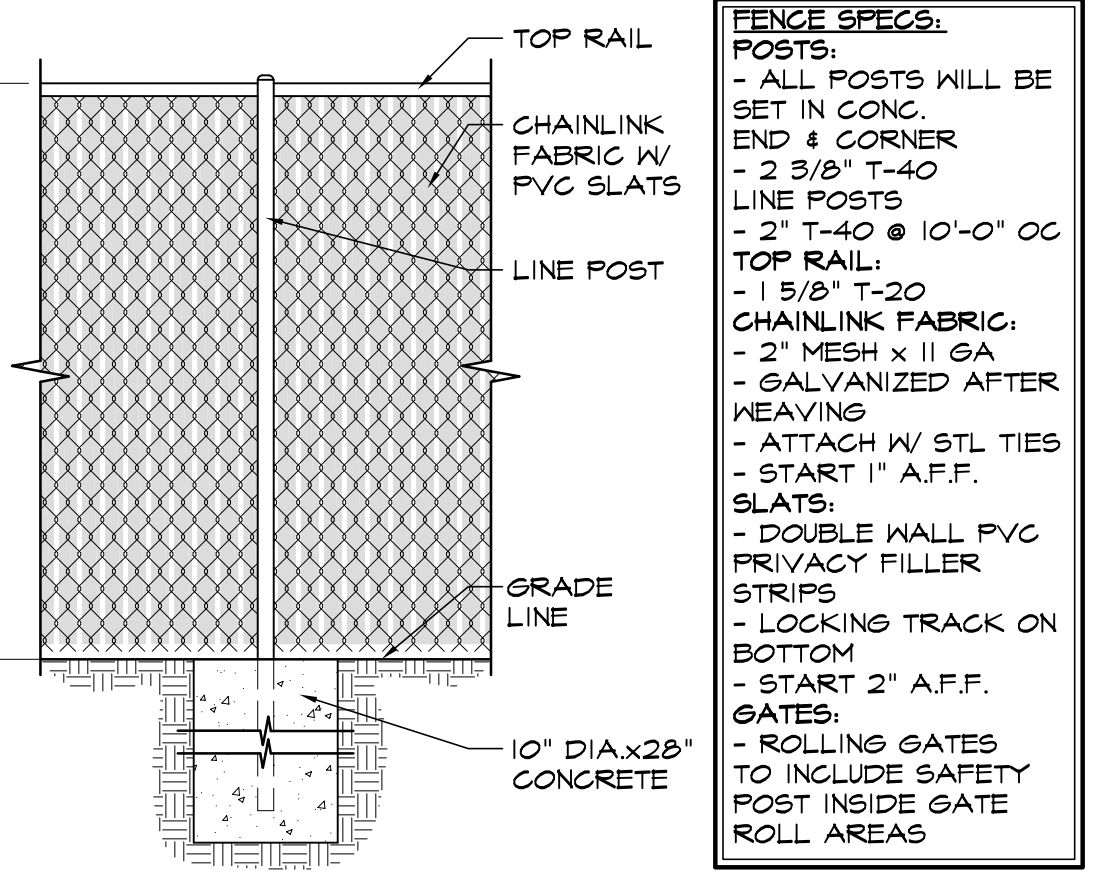


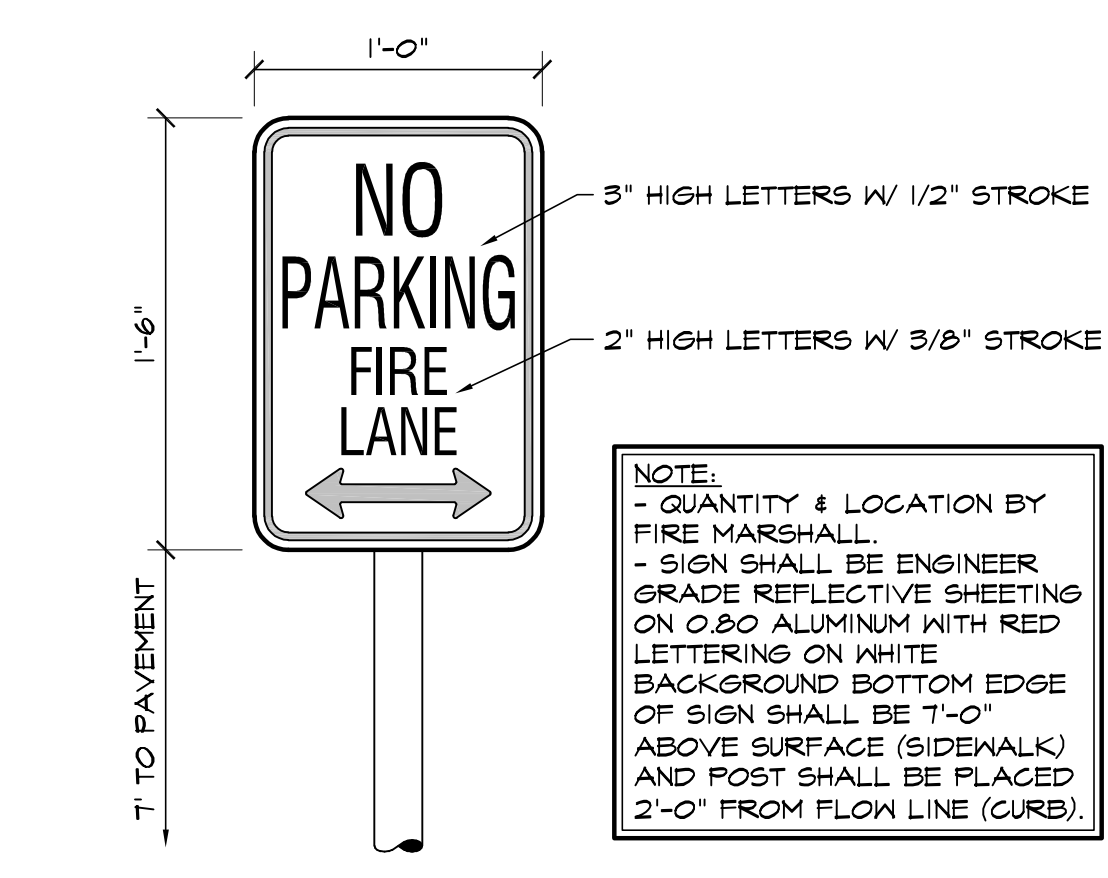
2 ADA / STANDARD PARKING
SCALE: 1/8"=1'-0"



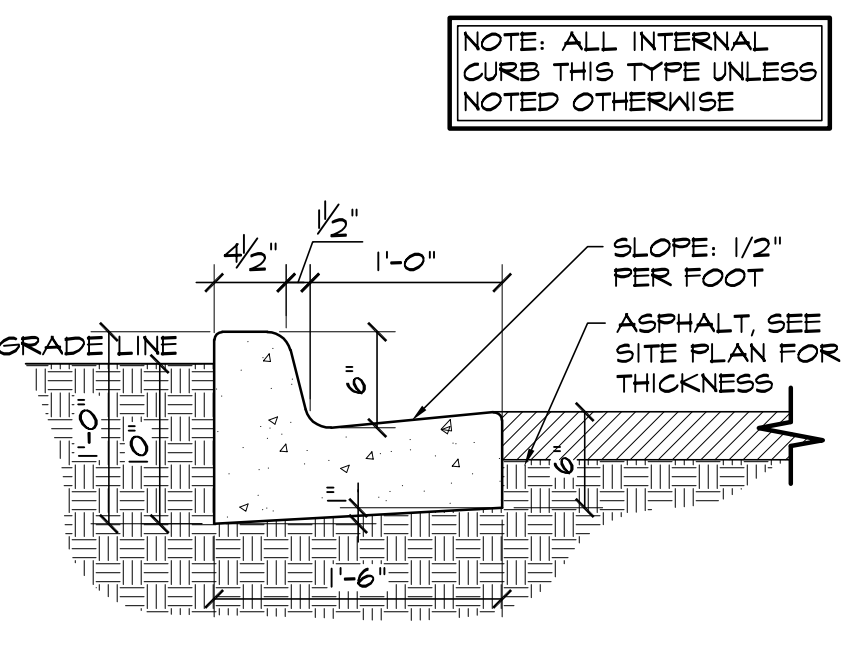
3 LIGHT POLE BASE DETAIL
SCALE: 1/4"=1'-0"



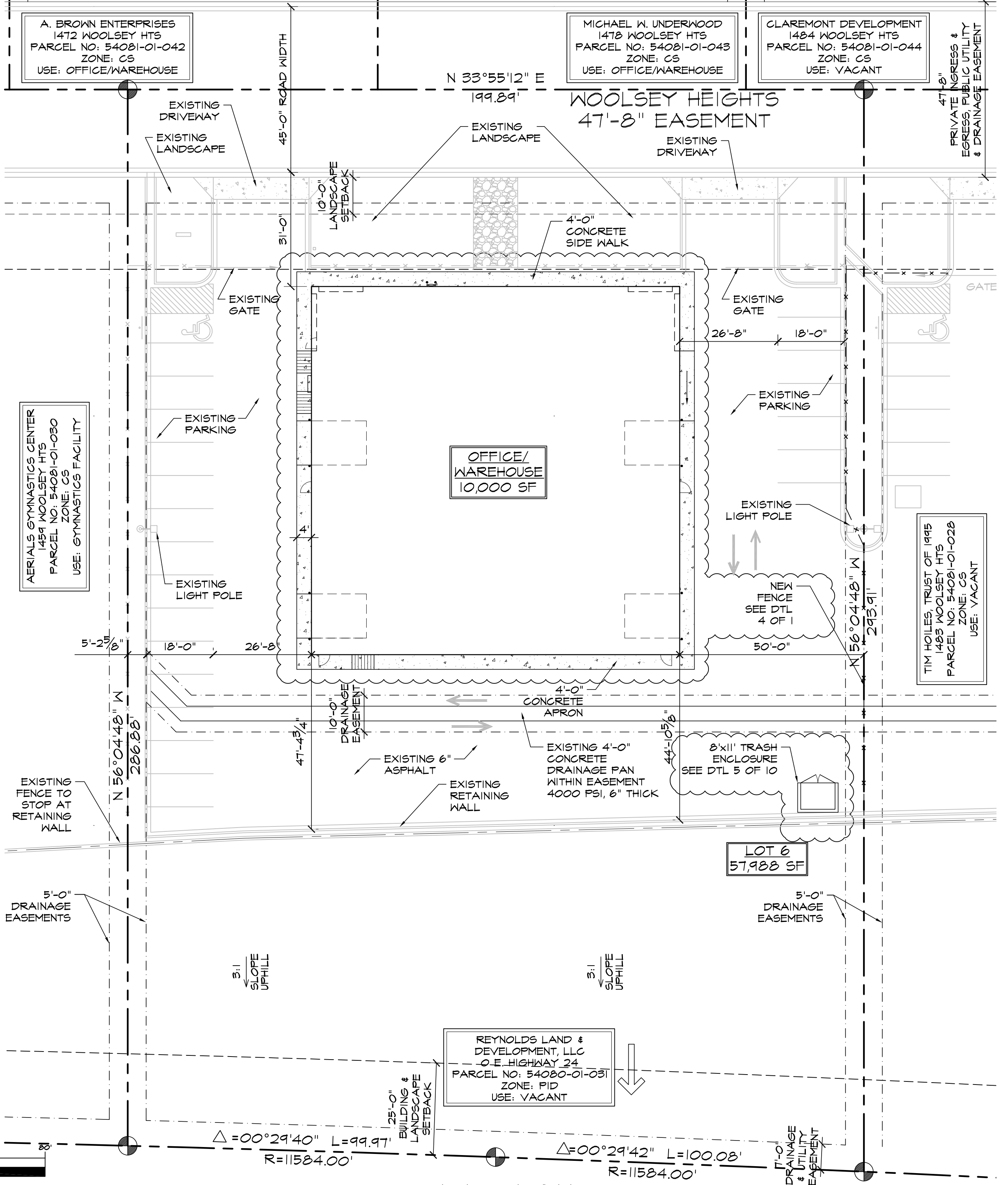
4 CHAINLINK FENCE DETAIL
SCALE: 1/2"=1'-0"



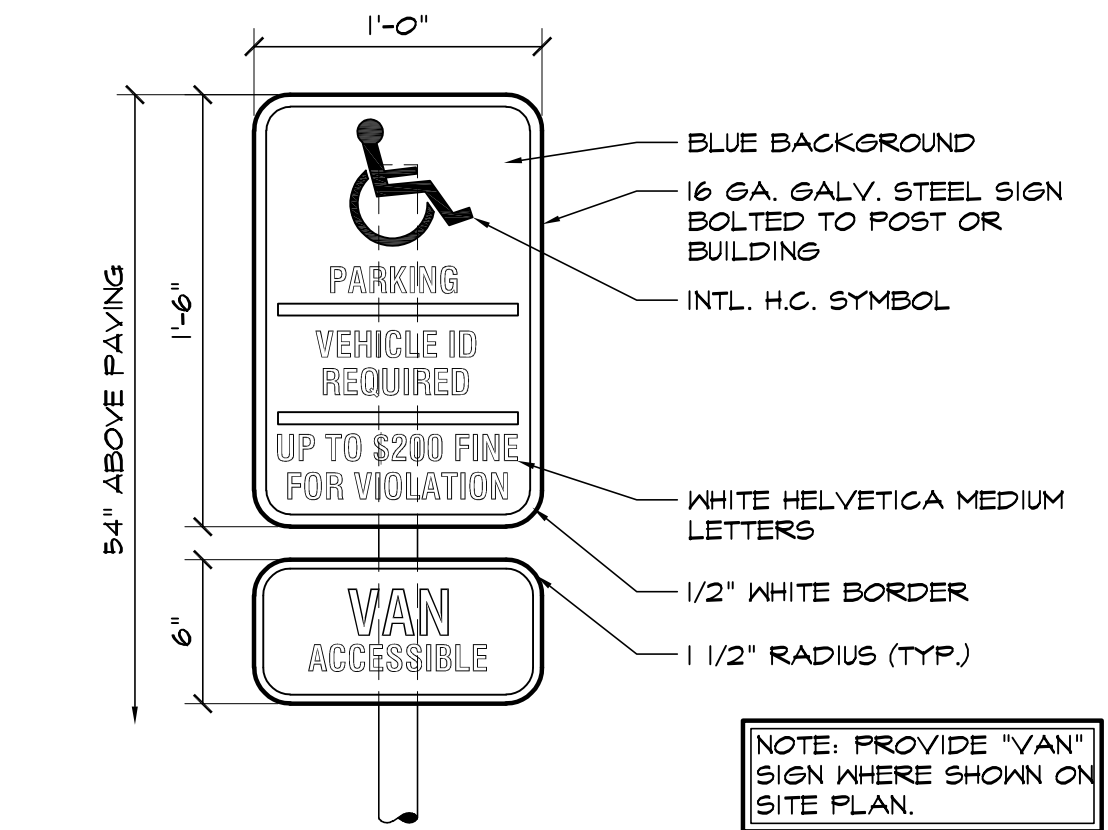
5 FIRE LANE SIGN
SCALE: 1/2"=1'-0"



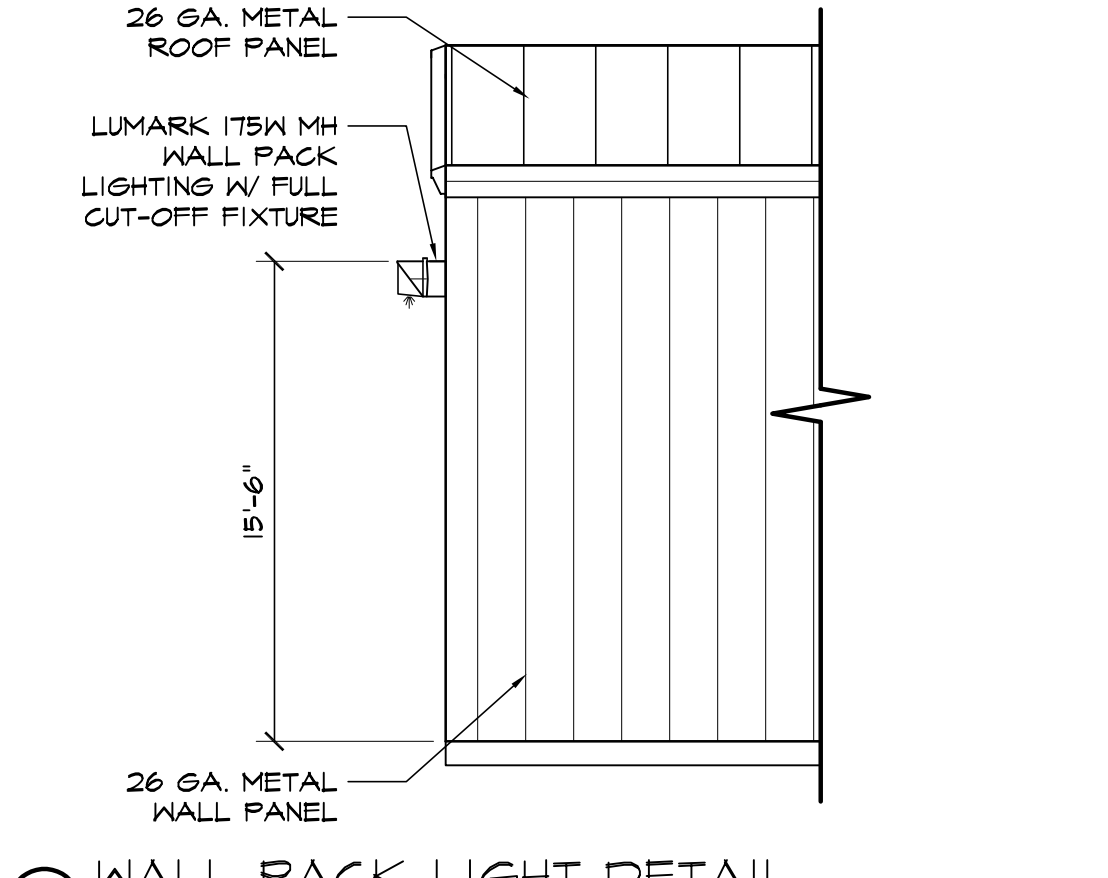
9 EPC TYPE B CURB
SCALE: 1"=1'-0"



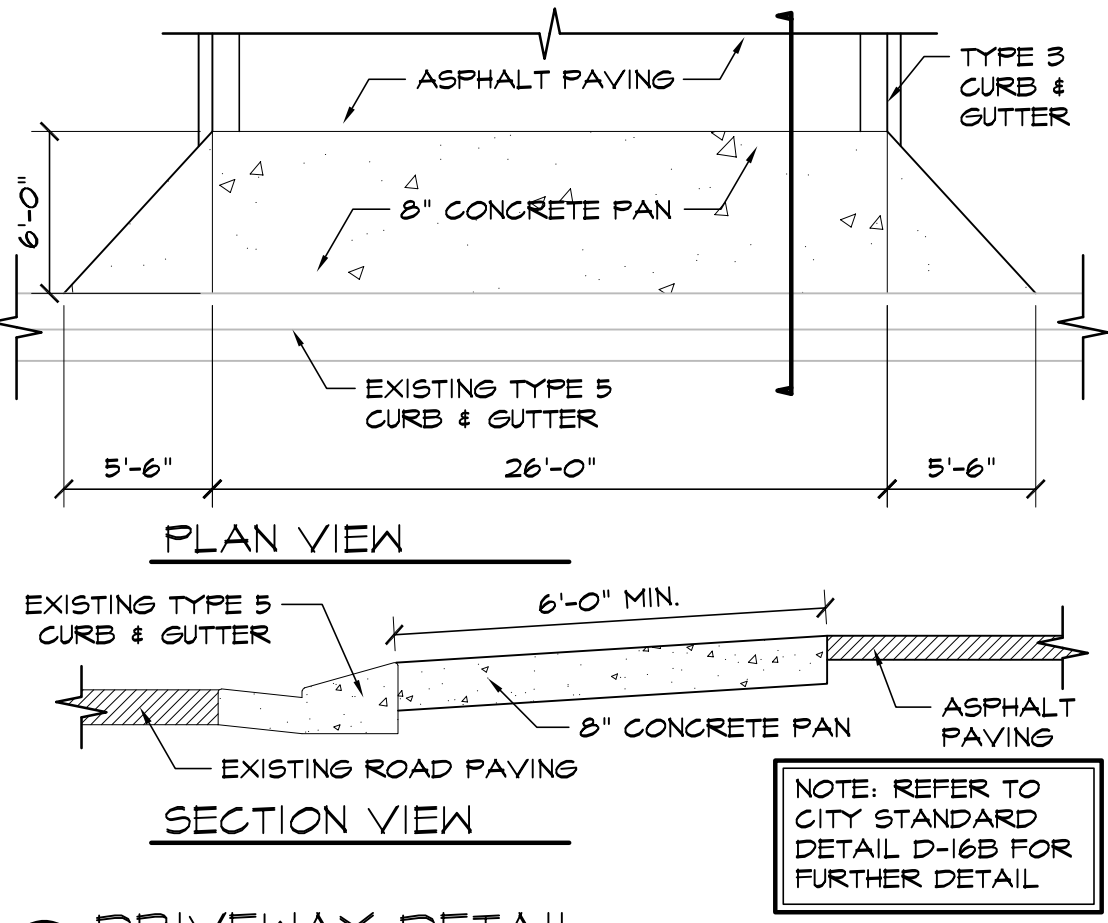
1 SITE PLAN
SCALE: 1"=20'-0"



6 HANDICAPPED PARKING SIGN
SCALE: 1/2"=1'-0"



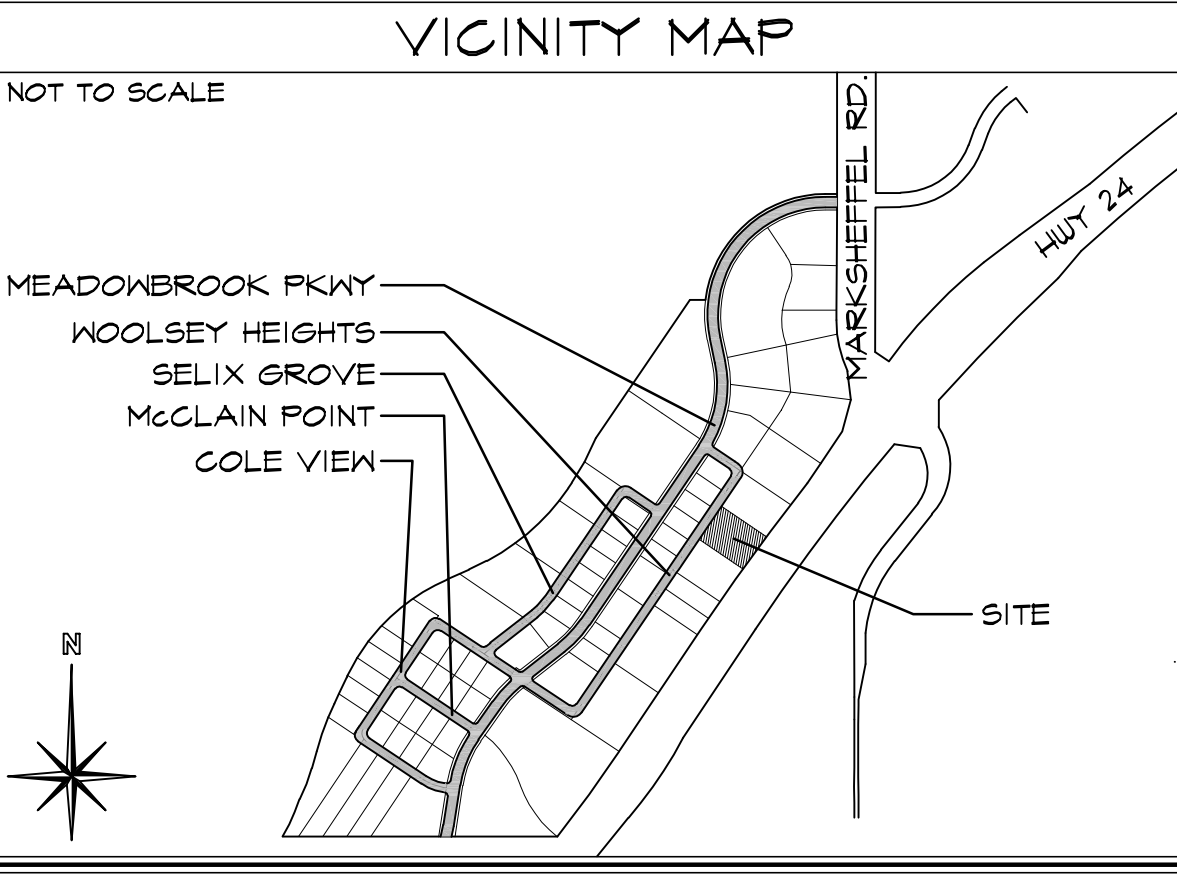
7 WALL PACK LIGHT DETAIL
SCALE: 1/4"=1'-0"



8 DRIVEWAY DETAIL
NOT TO SCALE

DRAWING INDEX

- 1 of 10 - SITE PLAN, PROJECT INFORMATION, DRAWING INDEX
- 2 of 10 - LANDSCAPE PLAN
- 3 of 10 - LANDSCAPE DETAILS
- 4-TSO - GRADING TITLE SHEET
- 5-GN - GENERAL NOTES
- 6-GPI - GRADING PLAN
- 7-EDI - GRADING & EROSION CONTROL DETAILS
- 8-EOI - EROSION CONTROL PLAN
- 9-UPI - UTILITY PLAN
- 10 of 10 - BUILDING ELEVATIONS



PROJECT INFORMATION

PROPERTY INFORMATION	
OWNER NAME:	GENFIVE LLC 1812 ALAMO AVE COLORADO SPRINGS, CO 80907
LEGAL DESCRIPTION:	LOT 6 FILING 1A OF CLAREMONT BUSINESS PARK
PARCEL NUMBER:	54081-01-029
ZONING:	CS
LOT SIZE FOR 4:	57,988 SF (1.33 ACRES)
CURRENT USE:	VACANT
FLOODPLAIN STATEMENT:	NONE (MAP NO. 08041C0756 F. DATED MARCH 17, 1997)
BUILDING INFORMATION (FUTURE)	
GROSS BUILDING AREA:	10,000 SF
BUILDING OCCUPANCY:	B/S-2
TYPE OF CONSTRUCTION:	11-B
FIRE SYSTEMS:	NONE
AREA SEPARATION WALLS:	NONE
ZONING CODE STUDY	
PROPOSED PRINCIPAL USE:	OFFICE/WAREHOUSE
BUILDING STRUCTURAL HEIGHT:	19'-8" (45'-0" MAX)
FRONT YARD SETBACK:	25'-0"
SIDE YARD SETBACK:	25'-0"
REAR YARD SETBACK:	25'-0"
REQUIRED PARKING SPACES FOR FUTURE OFFICE:	
OFFICE-(1 SPACE/200 S.F.)	5
(1,500 S.F. / 200 S.F.)	8
WAREHOUSE-(1 SPACE/1,000 S.F.)	9
(8,500 S.F. / 1,000 S.F.)	9
H.C.-(1 SPACE/25 REQ'D)	18
TOTAL PARKING SPACES REQUIRED:	21
TOTAL PARKING PROVIDED:	20
STANDARD SPACES PROVIDED:	1
H.C. SPACES PROVIDED:	1
COMPACT SPACES PROVIDED:	0
(SEE DETAIL 2 OF 1 FOR DIMENSIONS)	
DEVELOPMENT SCHEDULE	
CONSTRUCTION:	WINTER 2020
LANDSCAPING:	WINTER 2020
DEVELOPMENT APPLICANT	
COMPANY:	HAMMERS CONSTRUCTION, INC. 1411 WOOLSEY HEIGHTS COLO. SPGS., CO 80915
PHONE NUMBER:	(719)-570-1549
FAX NUMBER:	(719)-570-1008
APPLICANT NAME:	LISA PETERSON
APPLICANT E-MAIL:	lpeterson@hammersconstruction.com

SITE LEGEND

---	PROPERTY LINE
---	RIGHT OF WAY
---	BUILDING SETBACK
---	LANDSCAPE SETBACK
---	UTILITY/DRAINAGE EASEMENT
---	ELECTRICAL EASEMENT
---	ACCESS EASEMENT
---	CHAINLINK OPAQUE FENCE
---	6" HIGH WROUGHT IRON FENCE
---	GAS LINE
---	WATER LINE
---	ELECTRICAL LINE
---	SANITARY SEWER LINE
---	STORM SEWER LINE
---	PHONE LINE
---	OVERHEAD ELECTRIC LINE
---	RETAINING WALL
---	NEW SIDEWALK LOCATIONS W/ CONTROL JOINTS @ 5'-0" O.C.
●	PROPERTY CORNER
○	TRAFFIC FLOW
□	WALL PACK LIGHTING
○	SIGN
○	MANHOLE
□	ELECTRICAL TRANSFORMER
○	EXISTING FIRE HYDRANT
○	PROPOSED FIRE HYDRANT

AMENDING COUNTY FILE NO. PPR-06-025 COM-20-008

HAMMERS CONSTRUCTION INC.

COMMERCIAL GENERAL CONTRACTORS SPECIALIZING IN DESIGN/BUILD

PRESIDENT: STEVE R. HAMMERS
VICE PRES: DAVID J. HAMMERS
1411 WOOLSEY HEIGHTS
COLORADO SPRINGS, CO 80915
(719) 570-1599 FAX (719) 570-7008
www.hammersconstruction.com

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CBP LOT 6-1A
OFFICE/WAREHOUSE
1411 WOOLSEY HEIGHTS
COLORADO SPRINGS, CO 80915
EL PASO COUNTY, COLORADO

DATE: JAN 30, 2020
DRAWN BY: W. VENEROS
PROJ. MGR: R. GREEN
SCALE: SEE PLAN
APPROVED BY:
JOB NO: 1153

△ SUBMITTALS:
△ 2-15-07/COMMENTS T-18-06
△ 7-16-07/FINAL SUBMITTAL
△ 10-4-07/AMENDED PLOT PLAN
△ 1-30-20/AMENDED PLOT PLAN

1 of 10
SITE PLAN